

# **EAST STREET FACILITY**

**99 East Street  
Southington, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless  
99 East River Drive  
East Hartford, CT 06108

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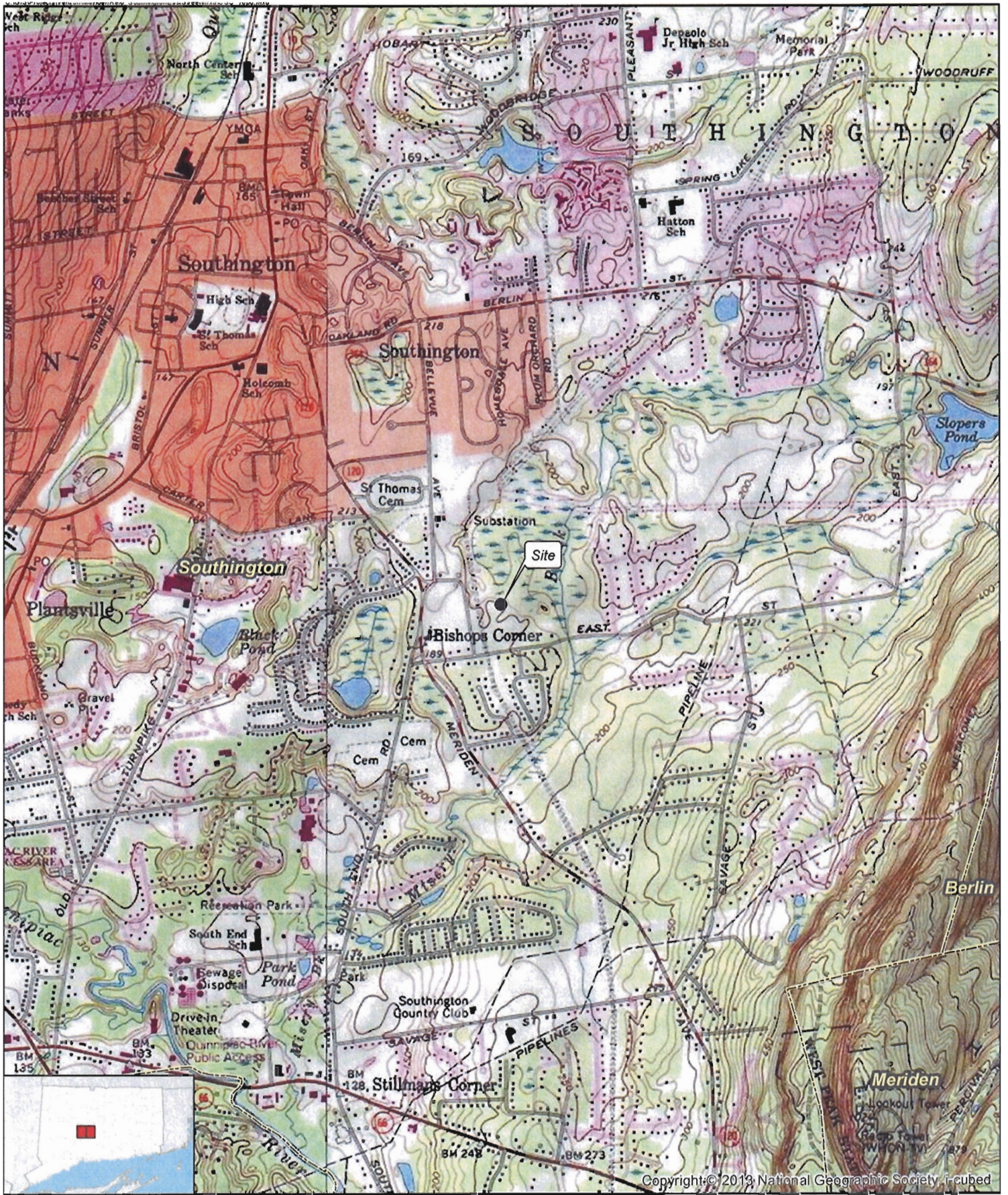
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SITE NAME: East Street Facility – 99 East Street, Southington, CT

GENERAL CELL SITE DESCRIPTION

The proposed East Street Facility would be located in the westerly portion of an approximately 27 acre parcel owned by the Town of Southington (“Town”). The proposed facility would consist of a 90-foot telecommunications tower disguised as a pine tree and a 12’ x 30’ equipment shelter located near the base of the tower. The shelter would house Cellco’s radio equipment and a propane-fueled back-up generator. The tower, equipment shelter and a 1,000 gallon propane tank will be maintained within a 50’ x 50’ fenced compound and leased area.

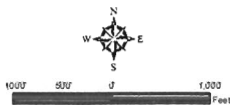
Cellco’s antennas would be mounted at a centerline height of 80 feet above ground level. The top portion of the tower is reserved for municipal antennas. The top of the proposed tree tower would extend to an overall height of approximately 97 feet. Vehicular access to the site would extend from East Street over an existing dirt and gravel driveway servicing the Town’s compost facility, a distance of approximately 600 feet and a 160-foot gravel driveway extension, to the site compound. Utility service would extend underground within a new utility easement from East Street, along the easterly boundary line of the property to the cell site.



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- Legend**
- Site
  - - - Municipal Boundary

Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Meriden and Southington, CT (1992)  
 Site located on the Meriden Quadrangle  
 Map Scale: 1:24,000  
 Map Date: November 2014



**USGS Topographic Map**







Proposed Wireless Telecommunications Facility  
 Southington East Street a/k/a Meriden Relo  
 99 East Street  
 Southington, Connecticut

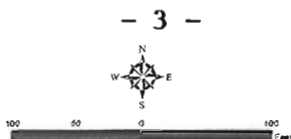




**Legend**

-  Proposed Stealth Structure Pine Tree
-  Proposed Facility Layout
-  Approximate Parcel Boundary (CTDEEP)
-  Approximate Subject Parcel Boundary

Base Map Source: 2012 Aerial Photograph (CTECO)  
 Map Scale: 1 inch = 150 feet  
 Map Date: November 2014



**Aerial Photograph**



Proposed Wireless  
 Telecommunications Facility  
 Southington East Street a/k/a Meriden Relo  
 99 East Street  
 Southington, Connecticut



## SITE EVALUATION REPORT

SITE NAME: East Street Facility – 99 East Street, Southington, CT

### I. TOWER LOCATION

- A. COORDINATES: 41°-35'-01.12" N 72°-51'-52.87" W
- B. GROUND ELEVATION: Approximately 198± feet AMSL
- C. USGS MAP: Meriden, CT and Southington, CT
- D. SITE ADDRESS: 99 East Street, Southington, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is in Southington's R-20/25 Residence zone district.

### II. DESCRIPTION

- A. SITE SIZE: 50' x 50' Leased Area and Compound
- B. LESSOR'S PARCEL: Approximately 27 acres
- C. TOWER TYPE/HEIGHT: 90' Monopine Tower  
97' Top of Faux Branches
- D. SITE TOPOGRAPHY AND SURFACE: Topography in the area of the site is generally flat. Minimal clearing and grading for construction of the site compound and northerly portion of the facility access drive will be required. Only four (4) trees, 6" or greater diameter at breast height ("dbh") will need to be removed to construct the facility tower.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the westerly portion of a 27 acre parcel used by the Town as its composting facility and open space. The closest wetland area is located approximately 113 feet to the northeast of the limits of clearing for the proposed facility compound.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The proposed East Street Facility is located on a 27 acre parcel used by the Town as its leaf composting facility. The parcel is surrounded by residential uses to the south and west, agricultural uses to the north and open space land to the east. (See Aerial Photograph at p. 3).

III. FACILITIES

- A. POWER COMPANY: Connecticut Light and Power
- B. POWER PROXIMITY TO SITE: Approximately 640 feet along the proposed utility easement to East Street to the south.
- C. TELEPHONE COMPANY: Frontier
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from East Street over an existing dirt and gravel driveway a distance of 600 feet, then over a new gravel driveway extension an additional distance of 160 feet to the cell site.
- F. CLEARING AND FILL REQUIRED: Minimal tree clearing and grading would be required for construction of the tower, site compound and northernmost portion of the access drive. Detailed construction plans would be developed if this facility is approved by the Siting Council.

IV. LEGAL

- A. PURCHASE  LEASE
- B. OWNER: Town of Southington
- C. ADDRESS: 99 East Street, Southington, CT 06489
- D. DEED ON FILE AT: Town of Southington, CT Land Records





## ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: East Street Facility – 99 East Street, Southington, CT

### I. PHYSICAL IMPACT

#### A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive, tower or equipment shelter. The equipment used will not discharge any pollutants to area surface or groundwater systems. The closest wetland area is located approximately 113 feet to the northeast of the facility compound.

#### B. AIR QUALITY

Under normal operating conditions, the Cellco equipment at the East Street Facility would generate no air emissions. During power outage events and periodically for maintenance purposes, Cellco would utilize a propane-fueled generator to provide emergency back-up power. Cellco's back-up generator will be managed to comply with the "permit by rule" criteria established by the Connecticut Department of Energy and Environmental Protection ("DEEP") Bureau of Air Management pursuant to R.C.S.A. § 22a-174-3b, and therefore is exempt from general air permit requirements.

#### C. LAND

Minimal clearing and grading of the tower compound and access drive will be required. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

#### D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

Cellco's antennas at the proposed facility would operate within the limits established by the FCC for RF emissions. (See Attachment 13).

F. VISIBILITY

See Visibility Report included as Attachment 9.

# Cellco Partnership

d.b.a. **verizon** wireless

## WIRELESS COMMUNICATIONS FACILITY

SOUTHINGTON - EAST STREET

99 EAST STREET

SOUTHINGTON, CT 06489

### SITE DIRECTIONS

FROM:	TO:	
99 EAST RIVER DRIVE EAST HARTFORD, CONNECTICUT	99 EAST STREET SOUTHINGTON, CONNECTICUT	
1. HEAD EAST ON E RIVER DR TOWARD DARLIN ST		0.3 MI.
2. TURN LEFT TO STAY ON E RIVER DR		400 FT.
3. TAKE THE 1ST LEFT ONTO CONNECTICUT BLVD		0.2 MI.
4. TURN LEFT TO MERGE ONTO I-84		443 FT.
5. MERGE ONTO I-84		15.6 MI.
6. TAKE EXIT 32 FOR CT-10/QUEEN ST		0.3 MI.
7. TURN RIGHT ONTO CT-10 S/QUEEN ST		2.6 MI.
8. TURN LEFT ONTO CT-120 S		1.2 MI.
9. TURN LEFT ONTO EAST ST, AND THE DESTINATION WILL BE ON THE LEFT		0.2 MI.

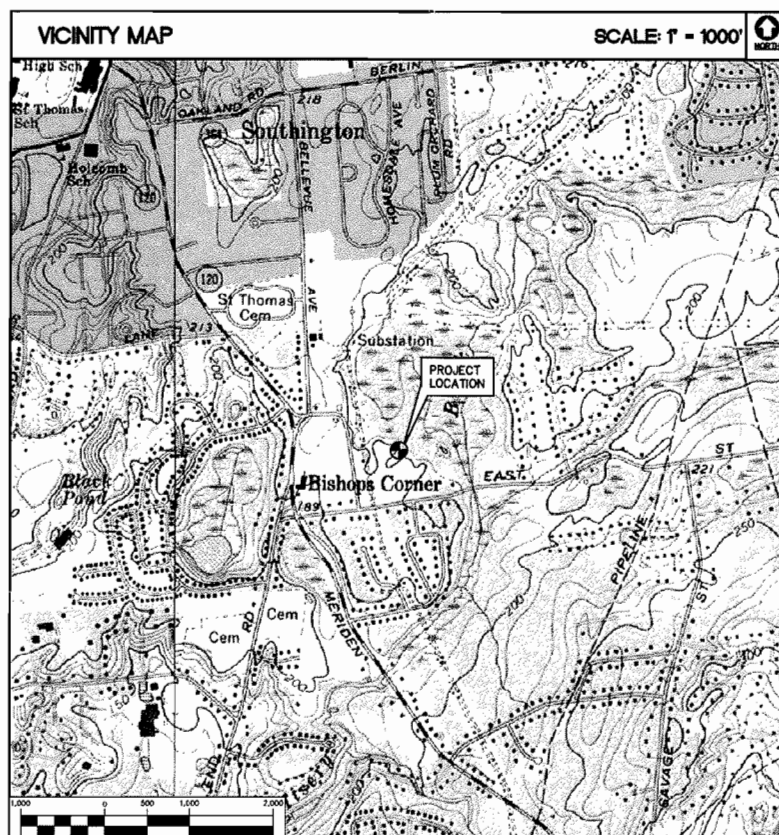
### GENERAL NOTES

- PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

### SITE INFORMATION

THE SCOPE OF WORK SHALL INCLUDE:

- THE CONSTRUCTION OF A 50'x50' FENCED WIRELESS COMMUNICATIONS COMPOUND.
- A TOTAL OF UP TO TWELVE (12) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 80'-0"± AGL ON A 90'-0"± PROPOSED STEEL MONOPINE TOWER.
- POWER AND TELCO UTILITIES SHALL BE ROUTED UNDERGROUND FROM EXISTING RESPECTIVE DEMARCS TO THE PROPOSED UTILITY BACKBOARD LOCATED ADJACENT TO THE PROPOSED FENCED COMPOUND. FINAL DEMARC LOCATION AND UTILITY ROUTING TO PROPOSED BACKBOARD WILL BE VERIFIED/DETERMINED BY LOCAL UTILITY COMPANIES. UTILITIES WILL BE ROUTED UNDERGROUND FROM UTILITY BACKBOARD TO THE PROPOSED NOMINAL 12'x30' WIRELESS EQUIPMENT SHELTER LOCATED WITHIN FENCED COMPOUND AREA.
- FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE D&M PLANS.
- THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2009 CONNECTICUT SUPPLEMENT.
- THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
- THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.



### PROJECT SUMMARY

SITE NAME:	SOUTHINGTON - EAST STREET
SITE ADDRESS:	99 EAST STREET SOUTHINGTON, CT 06489
PROPERTY OWNER:	TOWN OF SOUTHINGTON 75 MAIN STREET SOUTHINGTON, CT 06489
LESSEE/TENANT:	CELCO PARTNERSHIP d.b.a. VERIZON WIRELESS 99 EAST RIVER DRIVE EAST HARTFORD, CT 06108
CONTACT PERSON:	SANDY CARTER CELCO PARTNERSHIP d.b.a. VERIZON WIRELESS 99 EAST RIVER DRIVE EAST HARTFORD, CT 06108
TOWER COORDINATES:	LATITUDE: 41°-35'-01.117" LONGITUDE: 72°-51'-52.868" GROUND ELEVATION: 198.2'± A.M.S.L.
	COORDINATES AND GROUND ELEVATION BASED ON FAA 1-A SURVEY CERTIFICATION AS PREPARED FOR VERIZON WIRELESS BY MARTINEZ COUCH AND ASSOCIATES, DATED AUGUST 12, 2014, REVISED OCTOBER 20, 2014.

### SHEET INDEX

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REV.	DATE	BY	DESCRIPTION
3	12/17/14	HMR	CFC REVISION - ISSUED FOR CT SITING COUNCIL
2	12/10/14	HMR	CFC REVISION - ISSUED FOR CT SITING COUNCIL
1	10/20/14	HMR	CFC REVISION - ISSUED FOR CT SITING COUNCIL
0	10/15/14	HMR	CFC ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW

PROFESSIONAL ENGINEER SEAL

Cellco Partnership  
d.b.a. verizon wireless

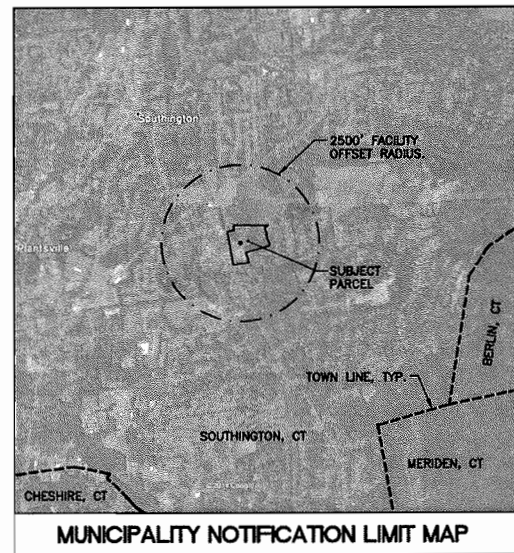
CENITEK engineering  
Connecticut, Inc.  
2001 4th Street  
822 North Main Road  
Hartford, CT 06105  
www.cenitek.com

Cellco Partnership d/b/a Verizon Wireless  
WIRELESS COMMUNICATIONS FACILITY  
**SOUTHINGTON - EAST STREET**  
99 EAST STREET  
SOUTHINGTON, CT 06489

DATE: 10/13/14  
SCALE: AS NOTED  
JOB NO. 14035.000

TITLE SHEET

**T-1**  
Sheet No. 1 of 2



MUNICIPALITY NOTIFICATION LIMIT MAP

**EAST STREET**

N/F  
096108  
RAYMOND A. & DENISE C. JANDREAU  
193 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066107  
STEPHEN C. & TINA M. SCHMELCKE  
189 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066106  
AARON J. & CORINNA A. CLARK  
177 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066105  
BRAN C. & KARA MORE  
169 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066104  
RENE HALL  
163 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066073  
AUDREY L. BROWN  
100 EAST STREET  
MAILING ADDRESS:  
37 S. PLAINS STREET  
SOUTHINGTON, CT 06489

N/F  
066072  
ROBERT C & SHARON M ALIA  
108 EAST STREET  
MAILING ADDRESS:  
118 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066070  
ROBERT C & SHARON M ALIA  
118 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066069  
WILLIAM & GAIL CACO  
130 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066068  
MICHAEL P SPALTER  
138 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066067  
JOSEPH G & MARY S SATONICK  
154 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066066  
ERNEST L. FISHER III & MEGAN HURLEY  
168 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066065  
NATHAN SUVER & KAREN HYKYS  
178 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066064  
RUSSELL W. & CASSANDRA Z. DIBBLE  
190 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066056  
TOWN OF SOUTHINGTON  
RUSTIC OAK DRIVE  
MAILING ADDRESS:  
75 MAIN STREET  
SOUTHINGTON, CT 06489

N/F  
066055  
DC DEVELOPMENT & CONSTRUCTION LLC  
221 EAST STREET  
MAILING ADDRESS:  
3 WEST GRANNIS POND ROAD  
SOUTHINGTON, CT 06489

N/F  
066054  
GARRISON BRUMBACK & JENNIFER FARRELL  
207 EAST STREET  
SOUTHINGTON, CT 06489

N/F  
066052  
RONALD ZIENKA JR  
87 EAST STREET  
SOUTHINGTON, CT 06489

**STRAWBERRY LANE**  
N/F  
066041  
PATRICK & LENORA MUNSON  
90 STRAWBERRY LANE  
SOUTHINGTON, CT 06489

N/F  
066040  
ERIC A & MICHELLE D PERRY  
91 STRAWBERRY LANE  
SOUTHINGTON, CT 06489

**BELLEVIEW AVENUE**  
N/F  
077064  
TOWN OF SOUTHINGTON  
BELLEVIEW AVENUE  
MAILING ADDRESS:  
75 MAIN STREET  
SOUTHINGTON, CT 06489

**BLUEBERRY LANE**  
N/F  
066100  
JASON R & JENNIFER L HUMPHREY  
63 BLUEBERRY LANE  
SOUTHINGTON, CT 06489

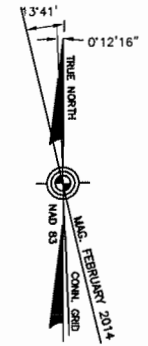
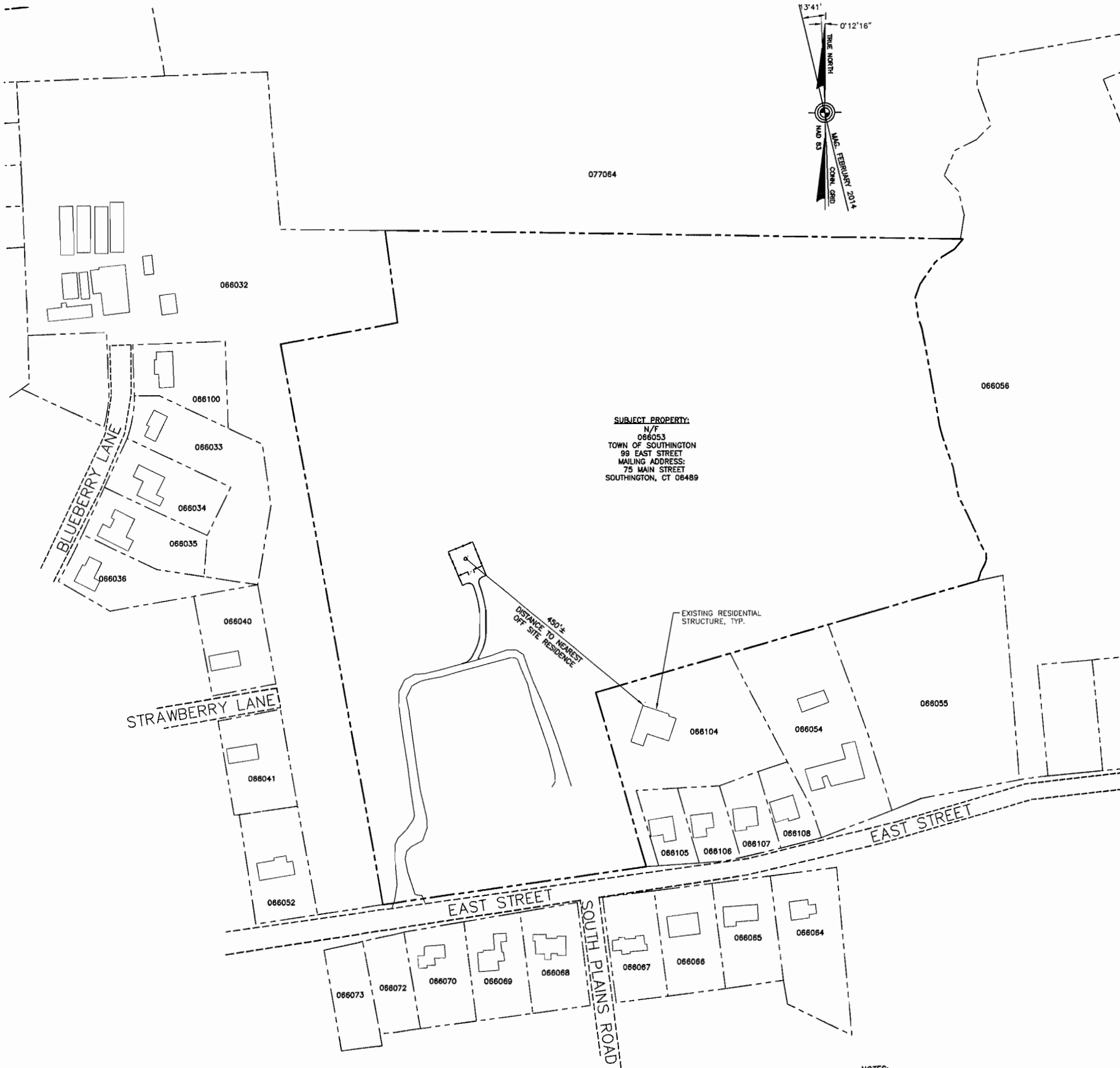
N/F  
066036  
TRACEY & ADALID FERNANDEZ JR  
23 BLUEBERRY LANE  
SOUTHINGTON, CT 06489

N/F  
066035  
DAVID J. & JUDITH M. DALFINO  
33 BLUEBERRY LANE  
SOUTHINGTON, CT 06489

N/F  
066034  
ROBERT J. & ROSE C. EGAN TRUSTEES  
43 BLUEBERRY LANE  
SOUTHINGTON, CT 06489

N/F  
066033  
RONALD & MARGARET SAVAGE  
53 BLUEBERRY LANE  
SOUTHINGTON, CT 06489

**MERIDEN AVENUE**  
N/F  
066032  
TOWN OF SOUTHINGTON  
85 MERIDEN AVENUE  
MAILING ADDRESS:  
75 MAIN STREET  
SOUTHINGTON, CT 06489

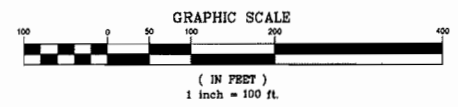


**SUBJECT PROPERTY:**  
N/F  
066033  
TOWN OF SOUTHINGTON  
99 EAST STREET  
MAILING ADDRESS:  
75 MAIN STREET  
SOUTHINGTON, CT 06489

450'±  
DISTANCE TO NEAREST  
OFF-SITE RESIDENCE

EXISTING RESIDENTIAL  
STRUCTURE, TYP.

**1**  
C-1  
**ABUTTERS MAP**  
SCALE: 1"=100'



**NOTES:**  
1. PARCEL INFORMATION FOR TOWN OF SOUTHINGTON FROM ON LINE GIS MAPPING APPLICATION  
2. PARCEL ID'S ARE ALSO REFERRED TO AS GIS ID'S, MBL OR PARCEL NO. ON THE TOWN OF SOUTHINGTON ONLINE MAPPING SYSTEM, ASSESSOR MAPS AND PROPERTY RECORD CARDS.

PROFESSIONAL ENGINEER SEAL	REV.	DATE	DRAWN BY	CHK'D BY	DESCRIPTION
	3	12/17/14	HAR	CFC	REVISED - ISSUED FOR CT STAKE COUNCIL
	2	12/10/14	HAR	CFC	REVISED - ISSUED FOR CT STAKE COUNCIL
	1	10/20/14	HAR	CFC	ISSUED FOR CT STAKE COUNCIL
	0	10/15/14	HAR	CFC	ISSUED FOR CT STAKE COUNCIL - CLIENT REVIEW
 d.b.a. Verizon Wireless					
 CENTEK Engineering Communications Solutions (203) 488-0388 (203) 488-0397 Fax 100 Meriden Road Bristol, CT 06033 www.centekeng.com					
<b>Cellco Partnership d/b/a Verizon Wireless</b> WIRELESS COMMUNICATIONS FACILITY <b>SOUTHINGTON - EAST STREET</b> 99 EAST STREET SOUTHINGTON, CT 06489					
DATE: 10/13/14					
SCALE: AS NOTED					
JOB NO. 14035.000					
ABUTTERS MAP					
<b>C-1</b>					
Sheet No. 2 of 2					

MISCELLANEOUS SITE INFORMATION	
DISTANCE TO NEAREST OFF SITE RESIDENCE*	= 450'±
DISTANCE TO NEAREST MUNICIPALITY (MERIDEN, CT)*	= 7,260'±
ACCESS LENGTH OFF EAST ST.	= 780'±
NUMBER OF RESIDENTIAL STRUCTURES WITHIN 1000' OF TOWER	= 40±
TOTAL NUMBER OF TREES TO BE REMOVED	= 4
DISTANCE TO NEAREST PROPERTY LINE*	= 279'±

\* DISTANCES TAKEN FROM CENTER OF TOWER

SYMBOLS LEGEND	
	PROPERTY LINE
	EASEMENT LINE (PROPOSED)
	EXISTING ROAD
	ACCESS DRIVE (PROPOSED)
	CONTOUR LINE
	GRADING LINE
	UTILITY POLE
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING DECIDUOUS TREE TO BE REMOVED
	EXISTING CONIFEROUS TREE TO BE REMOVED
	SILTATION FENCE/ HAYBALES/ SILTATION FENCE "SANDWICH"
	FENCE LINE
	SPOT ELEVATION (PROPOSED)
	WETLAND BOUNDARY

**SURVEY NOTES**

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. THE TOPOGRAPHIC SURVEY PORTION OF THIS PLAN CONFORMS TO A VERTICAL ACCURACY OF CLASS 1-2 AND IS INTENDED TO BE USED TO DEPICT A PROPOSED TELECOMMUNICATIONS SITE.

THE PROPERTY/BOUNDARY LINES DEPICTED HEREON ARE COMPILED FROM OTHER MAPS, DEEDS AND LIMITED FIELD SURVEY. THESE LINES ARE NOT TO BE CONSTRUED AS A BOUNDARY OPINION AND ARE SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. PROPERTY MAY BE SUBJECT TO ENCUMBRANCES, EASEMENTS, RIGHTS OF WAY AS A TITLE SEARCH REPORT MAY DISCLOSE.

COORDINATES BASED ON CONNECTICUT GRID SYSTEM NAD 83.

ELEVATIONS REFER TO AN NGVD 1929 DATUM.

PARCEL OWNER OF RECORD: TOWN OF SOUTHWINGTON.

PARCELS KNOWN AS 99 EAST STREET, SOUTHWINGTON, CT.

MBL 08/8/053

PARCEL AREA = 27± ACRES

A PORTION OF THE PARCEL IS IN FLOOD ZONE AE BASED ON THE FLOOD INSURANCE RATE MAP, HARTFORD COUNTY, CONNECTICUT, ALL JURISDICTIONS, PANELS 603 OF 675, COMMUNITY MAP NUMBER 09009C0466J & 0900C0603F, EFFECTIVE DATE SEPTEMBER 26, 2009, BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

PARCEL IS SUBJECT TO UTILITY EASEMENT TO THE CONNECTICUT LIGHT & POWER COMPANY AS DEPICTED HEREON.

ALL IMPROVEMENTS ARE NOT SHOWN.

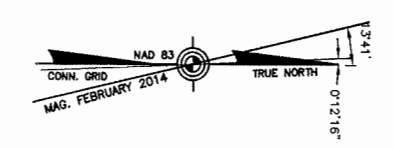
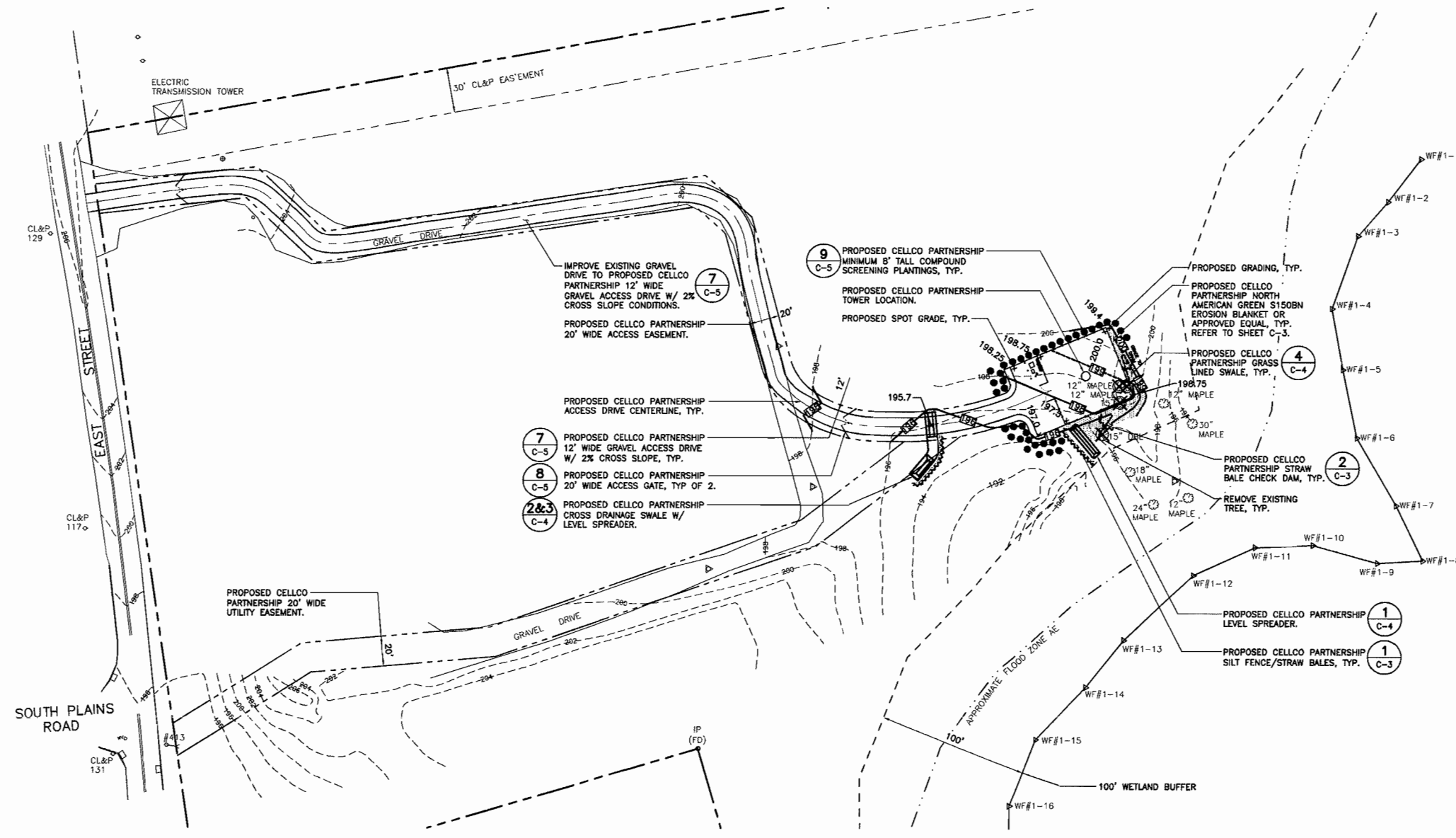
**MAP REFERENCE**

1) MAP OF THE LEWIS FARM, BELLEVUE AVENUE - MERIDEN AVENUE - EAST STREET, SOUTHWINGTON, CONN., SCALE 1"=100', DATED OCTOBER 24, 1980, REVISED THROUGH JULY 22, 1992, BY RUSSELL S. ANDRES.

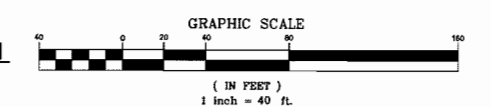
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

A. RAFAEL MARTINEZ LLS #18833 DATE



**1 PARTIAL SITE/SURVEY PLAN**  
C-1A SCALE: 1"=40'

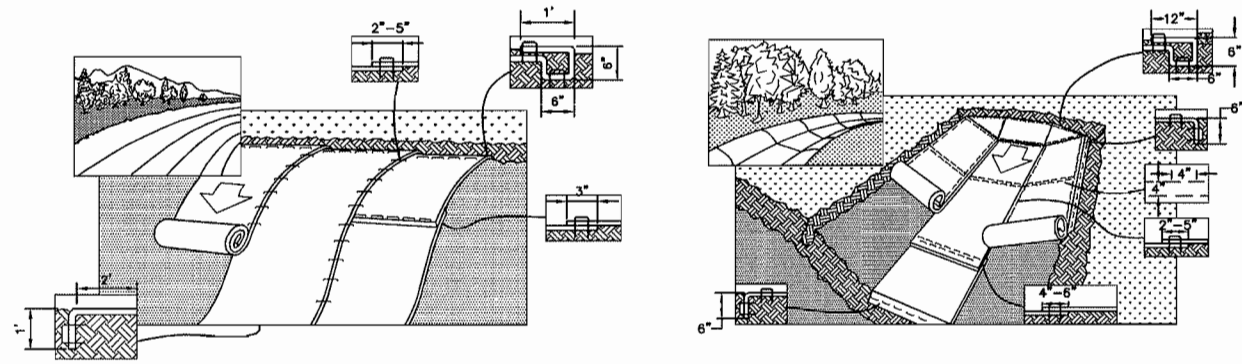


Calcello Partnership d/b/a Verizon Wireless	
Cellcello Partnership d/b/a Verizon Wireless WIRELESS COMMUNICATIONS FACILITY <b>SOUTHWINGTON - EAST STREET</b> 99 EAST STREET SOUTHWINGTON, CT 06489	
DATE:	10/13/14
SCALE:	AS NOTED
JOB NO.:	14035.000
PARTIAL SITE/SURVEY PLAN	
<b>C-1A</b>	
Sheet No. 3 of 9	

REV.	DATE	BY	DESCRIPTION
0	10/15/14	HRM	ISSUED FOR CT SITING COUNCIL
1	10/20/14	HRM	ISSUED FOR CT SITING COUNCIL
2	10/20/14	HRM	ISSUED FOR CT SITING COUNCIL
3	10/17/14	HRM	ISSUED FOR CT SITING COUNCIL



**EROSION CONTROL BLANKET STABILIZATION**



**3** TYPICAL EROSION MAT INSTALLATION ON SLOPE  
C-3 NOT TO SCALE

**4** TYPICAL EROSION MAT INSTALLATION IN CHANNEL  
C-3 NOT TO SCALE

**STABILIZATION CRITERIA**

- CONTRACTOR SHALL IMPLEMENT EROSION CONTROL BLANKET SLOPE STABILIZATION & SWALE CONSTRUCTION WHEN STABLE EARTH CUTS ARE PREVALENT (IN LOCATIONS WITHOUT LEDGE OR LARGE AMOUNTS OF SUBGRADE ROCK)

**STABILIZATION PRODUCT SPECIFICATION**

NORTH AMERICAN GREEN, PRODUCT NUMBER S150BN, 12 MONTH BIODEGRADABLE.

**EROSION MAT ON SLOPES**

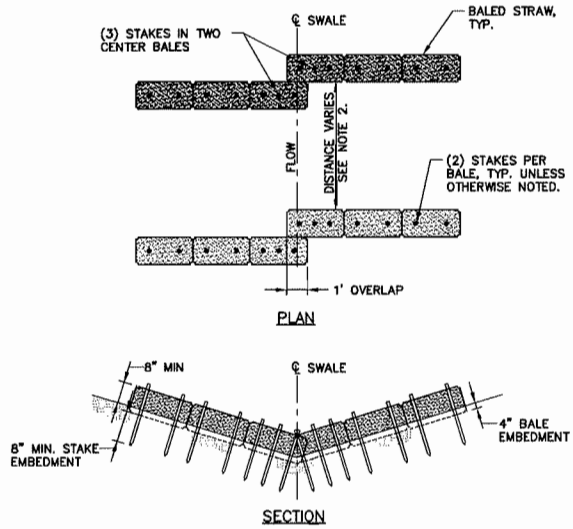
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLE/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKET DOWN OR HORIZONTALLY ACROSS THE SLOPE. BLANKET WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ROLLED EROSION CONTROL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM(TM), STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY A 2"-5" OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE ROLLED EROSION CONTROL BLANKET SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.  
\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
- THE EDGE OF THE BLANKET IS TO EXTEND A MINIMUM 24 INCHES BEYOND THE TOE OF THE SLOPE AND ANCHORED BY PLACING THE STAPLES/STAKES IN A 12 INCH DEEP x 6 INCH WIDE ANCHOR TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12 INCH APART IN THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING (STONE OR SOIL MAY BE USED AS BACKFILL).
- REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPIKES PER ONE SQ. FT.

**EROSION MAT IN CHANNEL**

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLE/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM(TM), STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"- 5" AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH(TM) ON THE BLANKET BEING OVERLAPPED.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPIKES PER ONE SQ. FT. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED, AND REMULCHED AS DIRECTED.

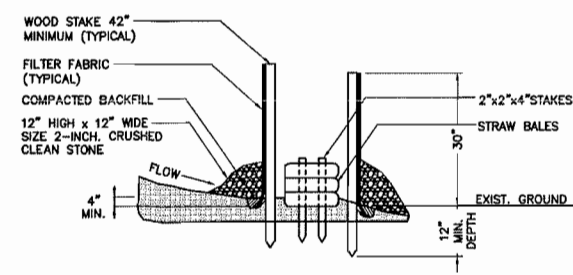
**MAINTENANCE**

THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED, AND REMULCHED AS DIRECTED.



- NOTES:**
- CHECKDAM SHALL BE INSTALLED IN LOCATIONS INDICATED ON SITE PLAN (SHEET C-1A) IN DRAINAGE SWALE WITH BED WIDTHS OF 2 FEET OR LESS.
  - THE DISTANCE BETWEEN STRAW BALE CHECKDAMS SHALL BE DETERMINED BY THE SLOPE OF THE SWALE. CHECKDAMS SHALL BE SET AT EVERY 2 FEET DROP IN SWALE ELEVATION.
  - BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
  - INSTALL 3 STAKES PER BALE WITHIN SWALE BED AREAS.

**2** TYP. STRAW BALE CHECKDAM (NARROW SWALE)  
C-3 NOT TO SCALE



**1** SILTATION FENCE/STRAW BALE SILTATION FENCE "SANDWICH" EROSION CONTROL  
C-3 NOT TO SCALE

**GENERAL CONSTRUCTION / PRE-CONSTRUCTION NOTES**

- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, A MANDATORY ON-SITE PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED WITH THE VERIZON WIRELESS CONSTRUCTION MANAGER, CONTRACTOR'S CONSTRUCTION MANAGER, THE PROJECT EROSION AND SEDIMENTATION CONTROL/ENVIRONMENTAL MONITOR AND THE ENGINEER OF RECORD.

**GENERAL CONSTRUCTION SEQUENCE**

THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.

- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
- CONSTRUCT CLOSED DRAINAGE SYSTEM. PRECEPT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- INSTALL UNDERGROUND UTILITIES.
- BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
- DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
- AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**SOIL EROSION AND SEDIMENT CONTROL SEQUENCE**

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS CONSTRUCTION ENTRANCE / ANTI TRACKING PAD, SILTATION FENCE, AND SILTATION FENCE / HAY BALE SHALL BE IN PLACE PRIOR TO ANY GRADING ACTIVITY. INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES. MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR AREA IS STABILIZED.
- THE ENTRANCE TO THE PROJECT SITE IS TO BE PROTECTED BY STONE ANTI TRACKING PAD OF ASTM C-33, SIZE NO. 2 OR 3, OR D.O.T. 2" CRUSHED GRAVEL. THE STONE ANTI TRACKING PAD IS TO BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- LAND DISTURBANCE WILL BE KEPT TO A MINIMUM AND RESTABILIZATIONS WILL BE SCHEDULED AS SOON AS PRACTICAL.
- ALL SOIL EROSION AND SEDIMENT CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL INCLUDING THE LATEST DATE FROM THE COUNCIL ON SOIL AND WATER CONSERVATION.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL DEEMED NECESSARY BY TOWN STAFF DURING CONSTRUCTION, SHALL BE INSTALLED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN STAFF.
- IN ALL AREAS, REMOVAL OF TREES, BUSHES AND OTHER VEGETATION AS WELL AS DISTURBANCE OF THE SOIL IS TO BE KEPT TO AN ABSOLUTE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE. DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.
- SILTATION FENCE SHALL BE PLACED AS INDICATED BEFORE A CUT SLOPE HAS BEEN CREATED. SEDIMENT DEPOSITS SHOULD BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDES OF SILTATION FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. SILTATION FENCE IS TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE FENCE IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE EROSION CHECKS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- SWALE DISCHARGE AREA WILL BE PROTECTED WITH RIP RAP SPLASH PAD/ ENERGY DISSIPATER.
- ALL FILL AREAS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
- THE SOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING.
- AFTER CONSTRUCTION IS COMPLETE AND GROUND IS STABLE, REMOVE SILTS IN THE RIP RAP ENERGY DISSIPATERS. REMOVE OTHER EROSION AND SEDIMENT DEVICES.

**CONSTRUCTION SPECIFICATIONS - SILT FENCE**

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

**MAINTENANCE - SILT FENCE**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

REVISIONS	DATE	BY	DESCRIPTION
3	12/17/14	HMR	CFC ISSUED FOR CT SILING COUNCIL
2	12/10/14	HMR	CFC ISSUED FOR CT SILING COUNCIL
1	10/20/14	HMR	CFC ISSUED FOR CT SILING COUNCIL
0	10/15/14	HMR	CFC ISSUED FOR CT SILING COUNCIL - CLIENT REVIEW
			DATE
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99 EAST STREET  
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DATE: 10/13/14  
SCALE: AS NOTED  
JOB NO. 14035.000

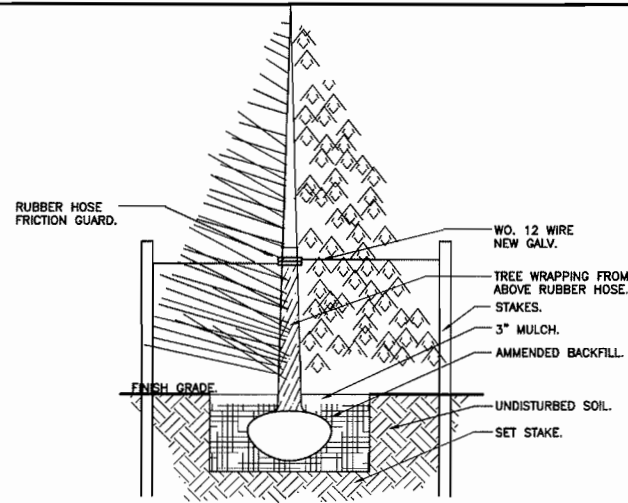
SITE CONSTRUCTION,  
S&E CONTROL  
NOTES & DETAILS

**C-3**

Sheet No. 5 of 9



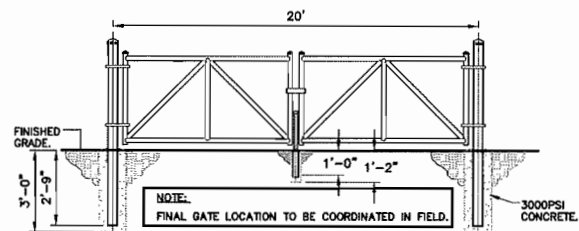




**TREE & SHRUB PLANTING SPECIFICATIONS:**

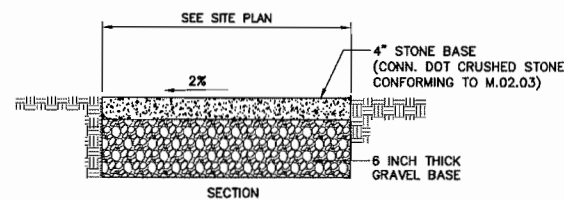
1. GUY WIRES (WO.12 NEW GALV.) SHALL BE REQUIRED FOR ALL TREES 3 GAL. AND LARGER.
2. SOIL MIX SHALL CONSIST OF: 3 PARTS TOP SOIL, 3 PART PEAT MOSS, 10 ONE PART COMPOSTED COW MANURE, AND 1 OZ. SOIL MOIST PER EVERY 12 IN. OF LINEAR DIM. OF ROOT BALL. COVER WITH LANDSCAPE FABRIC, AND A MINIMUM OF 3\"/>

**9 TYPICAL TREE PLANTING DETAIL**  
C-5 NOT TO SCALE

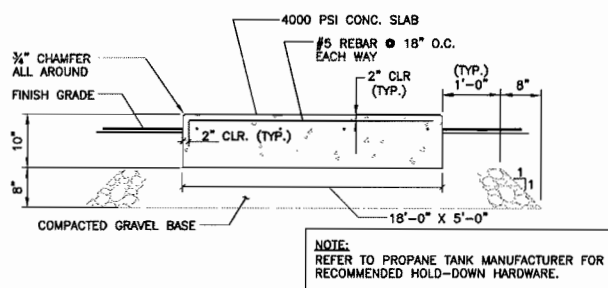


- BARRIER GATE CONSTRUCTION NOTES**
1. GATE POST 3\"/>

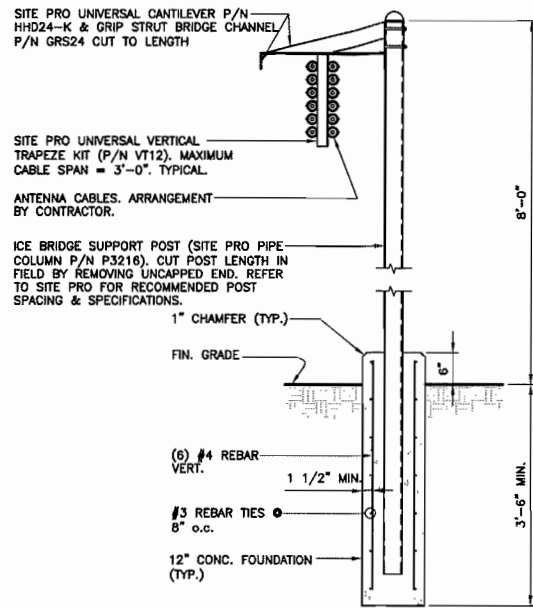
**8 BARRIER GATE DETAIL**  
C-5 NOT TO SCALE



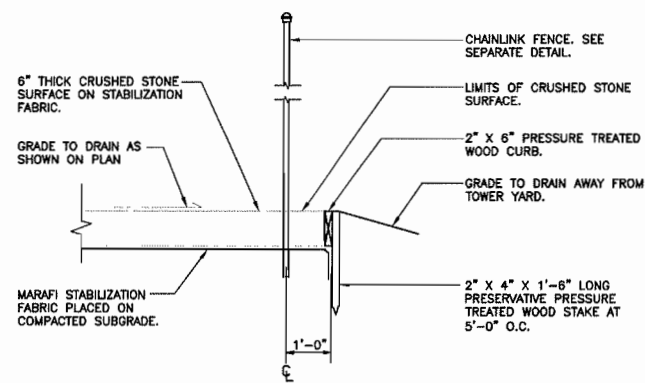
**7 GRAVEL SURFACE PARKING AREA AND ACCESS DRIVE**  
C-5 NOT TO SCALE



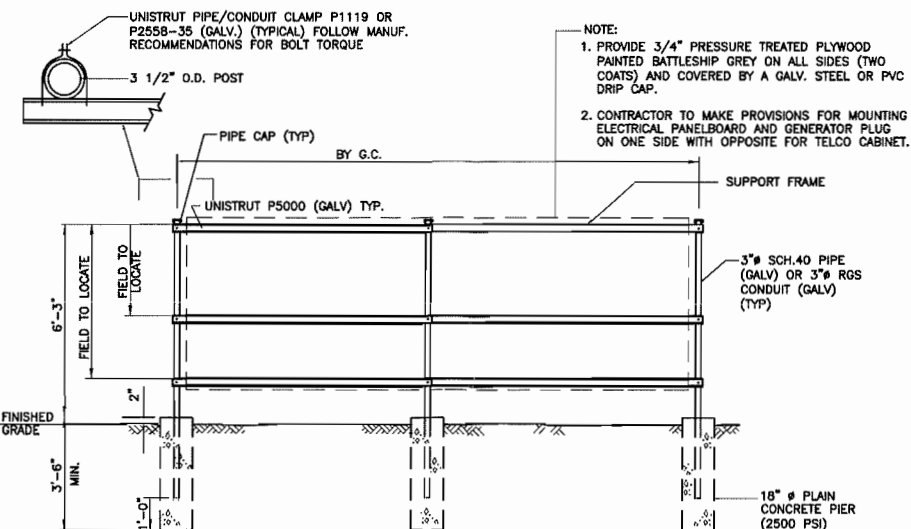
**6 PROPANE TANK PAD DETAIL**  
C-5 NOT TO SCALE



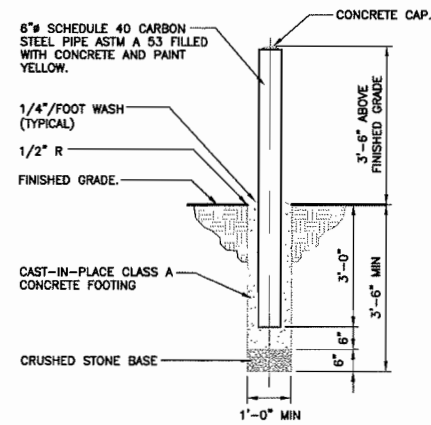
**5 ICE BRIDGE DETAIL**  
C-5 NOT TO SCALE



**4 COMPOUND SURFACING DETAIL**  
C-5 NOT TO SCALE



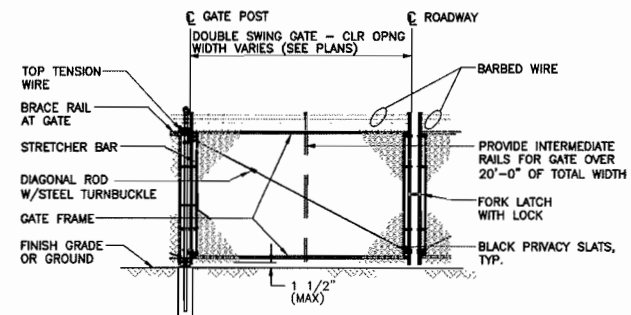
**3 UTILITY SUPPORT FRAME (TYP)**  
C-5 NOT TO SCALE



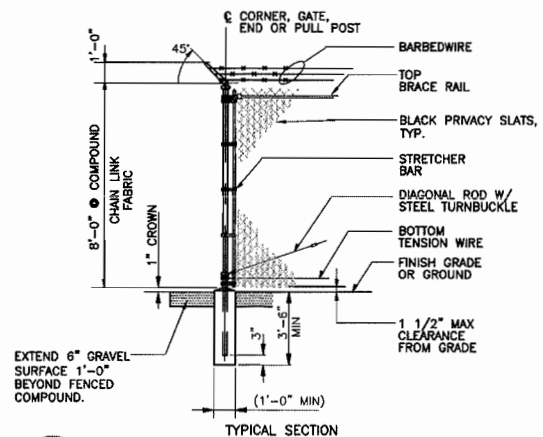
**2 BOLLARD DETAIL**  
C-5 NOT TO SCALE

**WOVEN WIRE FENCE NOTES**

1. GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2\"/>

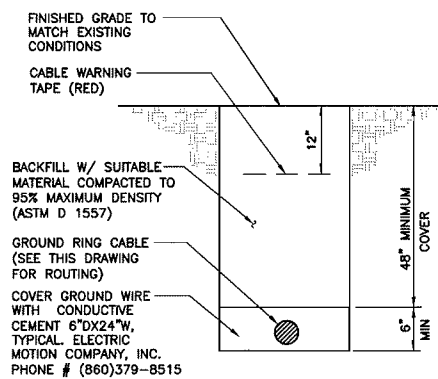


**1A WOVEN WIRE SWING GATE-DOUBLE**  
C-5 NOT TO SCALE



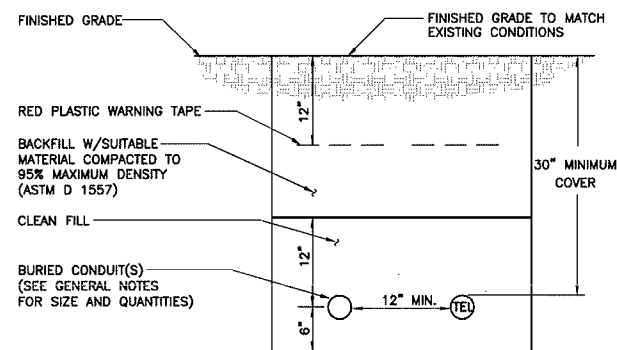
**1 WOVEN WIRE FENCE DETAIL**  
C-5 NOT TO SCALE

PROFESSIONAL ENGINEER SEAL	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>10/15/14</td> <td>ISSUED FOR CT SITING COUNCIL</td> </tr> <tr> <td>2</td> <td>10/20/14</td> <td>ISSUED FOR CT SITING COUNCIL</td> </tr> <tr> <td>3</td> <td>12/17/14</td> <td>REVISION - ISSUED FOR CT SITING COUNCIL</td> </tr> <tr> <td>4</td> <td>12/10/14</td> <td>REVISION FOR CT SITING COUNCIL</td> </tr> <tr> <td>5</td> <td>10/20/14</td> <td>ISSUED FOR CT SITING COUNCIL</td> </tr> <tr> <td>6</td> <td>10/15/14</td> <td>ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW</td> </tr> <tr> <td>7</td> <td>0</td> <td>DRAWN BY CHK'D BY</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	10/15/14	ISSUED FOR CT SITING COUNCIL	2	10/20/14	ISSUED FOR CT SITING COUNCIL	3	12/17/14	REVISION - ISSUED FOR CT SITING COUNCIL	4	12/10/14	REVISION FOR CT SITING COUNCIL	5	10/20/14	ISSUED FOR CT SITING COUNCIL	6	10/15/14	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW	7	0	DRAWN BY CHK'D BY
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<p><b>CENTEK</b> Engineering, Inc. Contractors &amp; Builders</p> <p>1500 485 6500 1200 485 6507 632 North Broad Road Hartford, CT 06105 www.CentekEng.com</p>	<p>Cellco Partnership d/b/a Verizon Wireless WIRELESS COMMUNICATIONS FACILITY</p> <p><b>SOUTHINGTON - EAST STREET</b> 89 EAST STREET SOUTHINGTON, CT 06489</p>																								
<p>DATE: 10/13/14 SCALE: AS NOTED JOB NO. 14035.000</p>	<p>SITE DETAILS</p>																								
<p><b>C-5</b></p>	<p>Sheet No. <u>  </u> of <u>  </u></p>																								



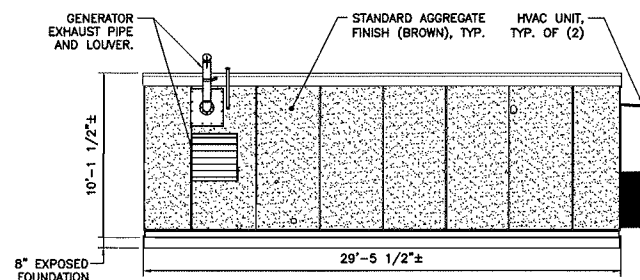
- NOTES:**
- BACK FILL SHALL NOT CONTAIN ASHES, CINDERS, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION.
  - WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.

**6 TYPICAL BURIAL GROUND CABLE DETAIL**  
C-6 NOT TO SCALE

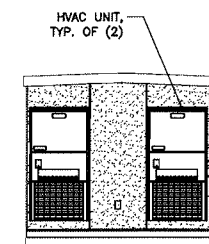


- NOTES:**
- THE CLEAN FILL SHALL PASS THROUGH A 3/8" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES. OTHER BACKFILL SHALL NOT CONTAIN ASHES, CINDERS, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION.
  - WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.

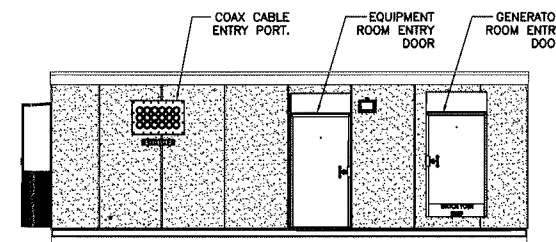
**5 TYPICAL ELECTRICAL/TEL TRENCH DETAIL**  
C-6 NOT TO SCALE



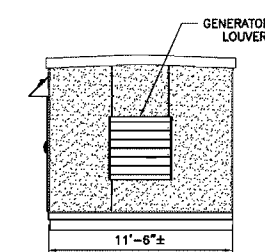
**4 NORTHERN SHELTER ELEVATION**  
C-6 SCALE: 3/16" = 1'-0"



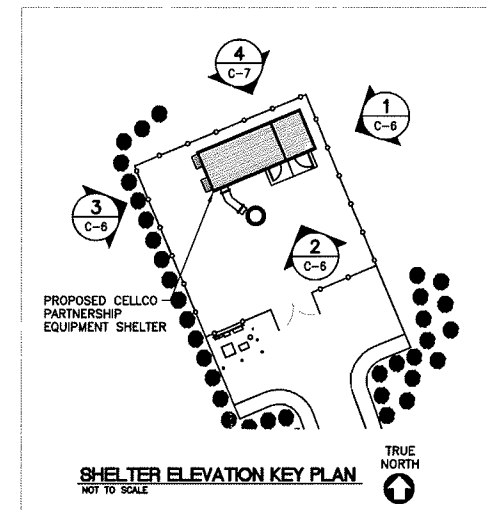
**3 WESTERN SHELTER ELEVATION**  
C-6 SCALE: 3/16" = 1'-0"



**2 SOUTHERN SHELTER ELEVATION**  
C-6 SCALE: 3/16" = 1'-0"



**1 EASTERN SHELTER ELEVATION**  
C-6 SCALE: 3/16" = 1'-0"



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	0	10/15/14 HMR CFC ISSUED FOR CT SITING COUNCIL
<p><b>Celco Partnership</b> d.b.a. <b>Verizon Wireless</b></p>		
<p><b>CENTEK engineering</b> Contracted on Subcontract 1201 488-0058 132 North Branch Road Branford, CT 06405 www.CentekEng.com</p>		
<p><b>Celco Partnership d/b/a Verizon Wireless</b> WIRELESS COMMUNICATIONS FACILITY <b>SOUTHINGTON - EAST STREET</b> 99 EAST STREET SOUTHINGTON, CT 06489</p>		
<p>DATE: 10/13/14 SCALE: AS NOTED JOB NO. 14035.000</p>		
<p>SITE DETAILS AND SHELTER ELEVATIONS</p>		
<p><b>C-6</b></p>		
<p>Sheet No. 8 of 9</p>		

SLAB ON GRADE FOUNDATION DESIGN CONFORMS TO THE REQUIREMENTS OF THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2005 CONNECTICUT STATE BUILDING CODE SUPPLEMENT SECTION 1805.2.1 'FROST PROTECTION' AND SEI/ASCE STANDARD 32-01 SECTION 7.1 'SLAB ON GRADE CONSTRUCTION'.

EQUIPMENT SHELTER BY CELLXION. VERIFY ALL SHELTER DIMENSIONS, EQUIPMENT DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.

**NOTES:**

1. BEARING SHIMS, TIE-DOWN PLATES AND ASSOCIATED INSTALLATION ANCHORS PROVIDED BY CELLXION. CONTRACTOR SHALL VERIFY ALL SHIM & TIE-DOWN QUANTITIES AND LOCATIONS WITH CELLXION PRIOR TO PERFORMING FOUNDATION WORK.
2. SLAB/ TOP OF WALL TOLERANCE IS 1/4"±
3. TOP 8" OF FOUNDATION SIDES MUST BE FORMED FLAT TO ACCEPT TIE-DOWN PLATES.

**FOUNDATION NOTES:**

1. IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
2. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
3. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

**SITE NOTES:**

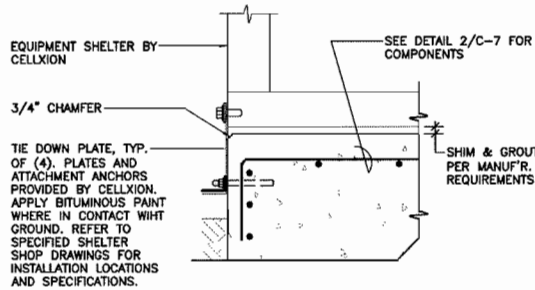
1. THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. ACTIVE EXISTING UTILITIES, WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY. PRIOR TO PROCEEDING, SHOULD ANY UNCOVERED EXISTING UTILITY PRECLUDE COMPLETION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. ALL RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED OFF SITE AND BE LEGALLY DISPOSED, AT NO ADDITIONAL COST.
4. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREAS.
5. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
6. THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
7. THE AREAS OF THE COMPOUND DISTURBED BY THE WORK SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
8. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
9. IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL PROCEED WITH AFFECTED WORK AFTER CONFLICT IS SATISFACTORILY RESOLVED.
10. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
11. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

**COMPACTED GRAVEL FILL:**

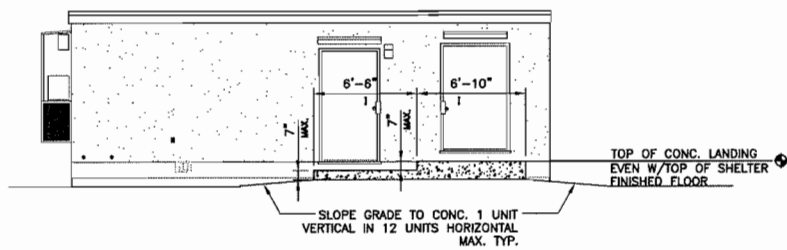
1. COMPACTED GRAVEL FILL SHALL BE FURNISHED AND PLACED AS A FOUNDATION FOR STRUCTURES, WHERE SHOWN ON THE CONTRACT DRAWINGS OR DIRECTED BY THE ENGINEER.
2. GRAVEL SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE M.02.02 OF THE CONNECTICUT D.O.T. STANDARD SPECIFICATIONS. ADMIXTURES AND SURFACE PROTECTIVE MATERIALS USED TO PREVENT THE GRAVEL FROM FREEZING MUST MEET THE APPROVAL OF THE ENGINEER. THE LARGEST STONE SIZE SHALL BE 3-1/2 INCHES.
3. SAMPLES OF THE MATERIAL TO BE USED SHALL BE DELIVERED TO THE JOB SITE 5 DAYS PRIOR TO ITS INTENDED USE SO IT MAY BE TESTED FOR APPROVAL.
4. AFTER ALL EXCAVATION HAS BEEN COMPLETED, GRAVEL SHALL BE DEPOSITED IN LAYERS NOT EXCEEDING EIGHT (8) INCHES IN DEPTH OVER THE AREAS. IN EXCEPTIONAL CASES, THE ENGINEER MAY PERMIT THE FIRST LAYER TO BE THICKER THAN EIGHT (8) INCHES. EACH LAYER SHALL BE LEVELED OFF BY SUITABLE EQUIPMENT. THE ENTIRE AREA OF EACH LAYER SHALL BE COMPACTED BY USE OF APPROVED VIBRATORY, PNEUMATIC-TIRED OR TREAD-TYPE COMPACTION EQUIPMENT. COMPACTION SHALL BE CONTINUED UNTIL THE DRY DENSITY OVER THE ENTIRE AREA OF EACH LAYER IS NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY ACHIEVED BY AASHTO T-99 METHOD C. THE MOISTURE CONTENT OF THE GRAVEL SHALL NOT VARY BY MORE THAN 3 %+ FROM ITS OPTIMUM MOISTURE CONTENT. NO SUBSEQUENT LAYER SHALL BE DEPOSITED UNTIL THE SPECIFIED COMPACTION IS ACHIEVED FOR THE PREVIOUS LAYER. IF NECESSARY TO OBTAIN THE REQUIRED COMPACTION, WATER SHALL BE ADDED AND GENTLE PUDDLING PERFORMED IF AUTHORIZED. COMPACTED GRAVEL FILL SHALL BE PREVENTED FROM FREEZING BY USE OF APPROVED ADMIXTURES OR BY USE OF APPROVED PROTECTIVE MATERIALS ON THE SURFACE, OR BOTH.

**CONCRETE AND REINFORCING STEEL NOTES:**

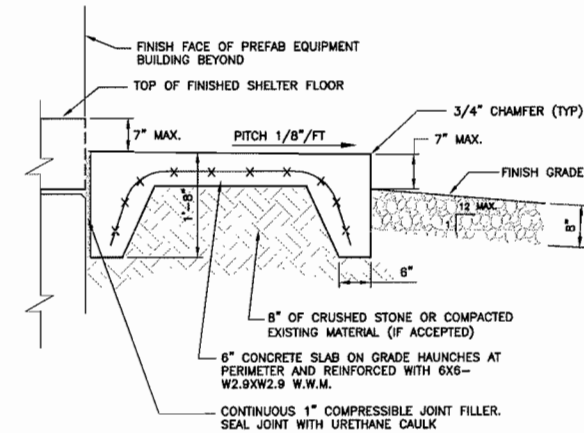
1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED WITH A MAXIMUM SLUMP OF 4", AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS OTHERWISE INDICATED.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON THE DRAWINGS:  
 CONCRETE CAST AGAINST EARTH.....3 IN.  
 CONCRETE EXPOSED TO EARTH OR WEATHER:  
 #6 AND LARGER.....2 IN.  
 #5 AND SMALLER & WWF.....1 1/2 IN.  
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:  
 SLAB AND WALL.....3/4 IN.  
 BEAMS AND COLUMNS.....1 1/2 IN.
5. ALL EXPOSED EDGES OF CONCRETE TO RECEIVE A 3/4" CHAMFER IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. CONCRETE EQUIPMENT PAD TO RECEIVE A BRUSHED FINISH.
7. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT DURING DRILLING WITHOUT PRIOR REVIEW BY THE ENGINEER.



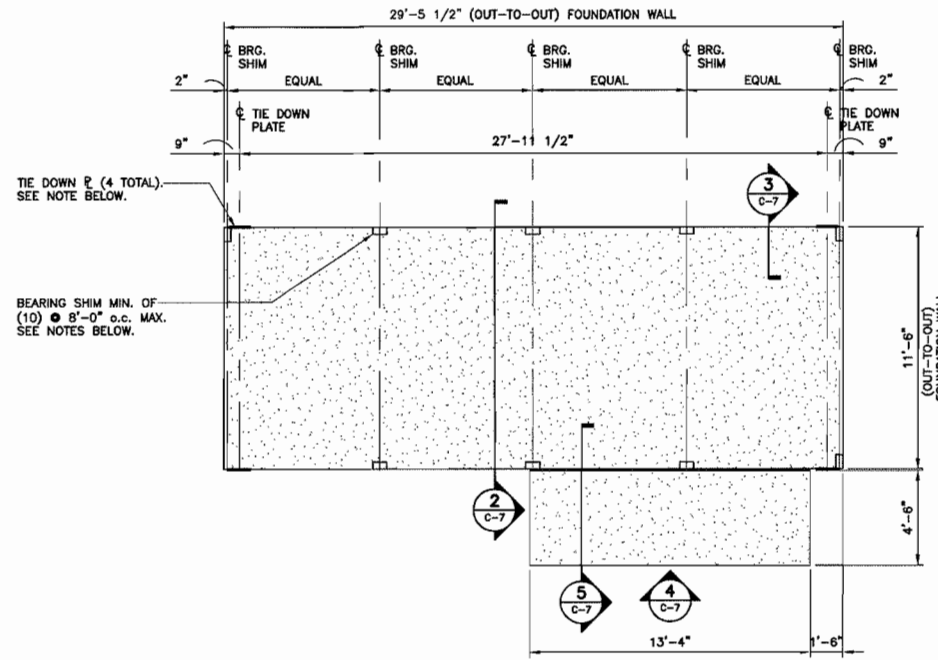
**3 BUILDING TIE DOWN**  
C-7 SCALE: 1"=1'-0"



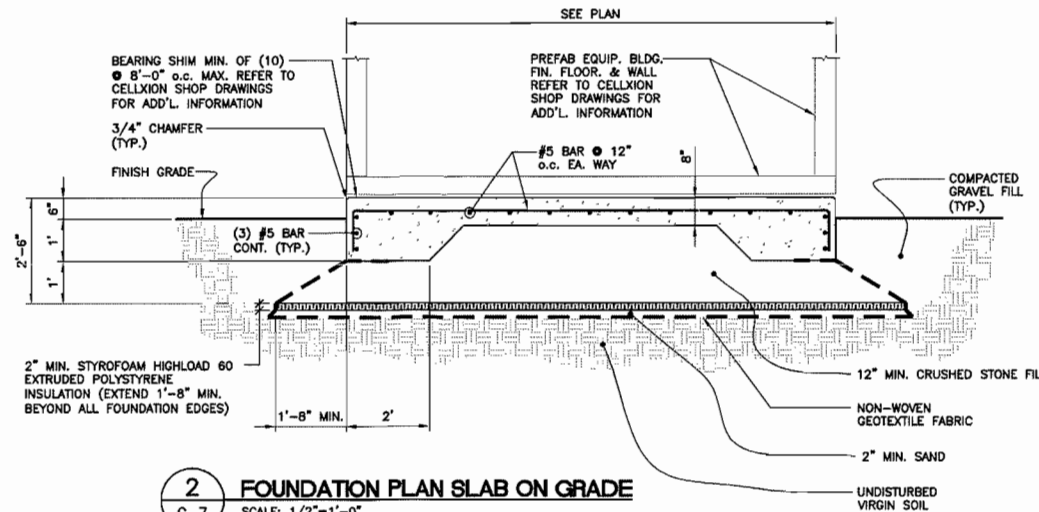
**4 ENTRY STOOP DETAIL - ELEVATION**  
C-7 SCALE: 3/16"=1'-0"



**5 ENTRY STOOP DETAIL - SECTION**  
C-7 SCALE: 3/16"=1'-0"



**1 FOUNDATION PLAN**  
C-7 SCALE: 1/4"=1'-0" APPROX. NORTH



**2 FOUNDATION PLAN SLAB ON GRADE**  
C-7 SCALE: 1/2"=1'-0"

REV.	DATE	BY	CHK'D BY	DESCRIPTION
3	12/17/14	HMR	CFC	REVISED FOR CT SITING COUNCIL
2	12/10/14	HMR	CFC	REVISED FOR CT SITING COUNCIL
1	10/20/14	HMR	CFC	ISSUED FOR CT SITING COUNCIL
0	10/15/14	HMR	CFC	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW

PROFESSIONAL ENGINEER SEAL

Cellco Partnership  
d/b/a Verizon Wireless

CEN-TEK engineering  
Center on Solutions  
1203 488-0380  
1000 North Main Street  
Branford, CT 06405  
www.cen-tek.com

Cellco Partnership d/b/a Verizon Wireless  
WIRELESS COMMUNICATIONS FACILITY  
**SOUTHINGTON - EAST STREET**  
99 EAST STREET  
SOUTHINGTON, CT 06489

DATE: 10/13/14  
SCALE: AS NOTED  
JOB NO. 14035.000

SHELTER FOUND. PLAN, DETAILS AND NOTES

**C-7**  
Sheet No. 9 of 9