

CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS

Connecticut Siting Council

APPLICATION OF CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS

TOWN OF BLOOMFIELD

NORTH BLOOMFIELD FACILITY

DOCKET NO. _____

FEBRUARY 11, 2011



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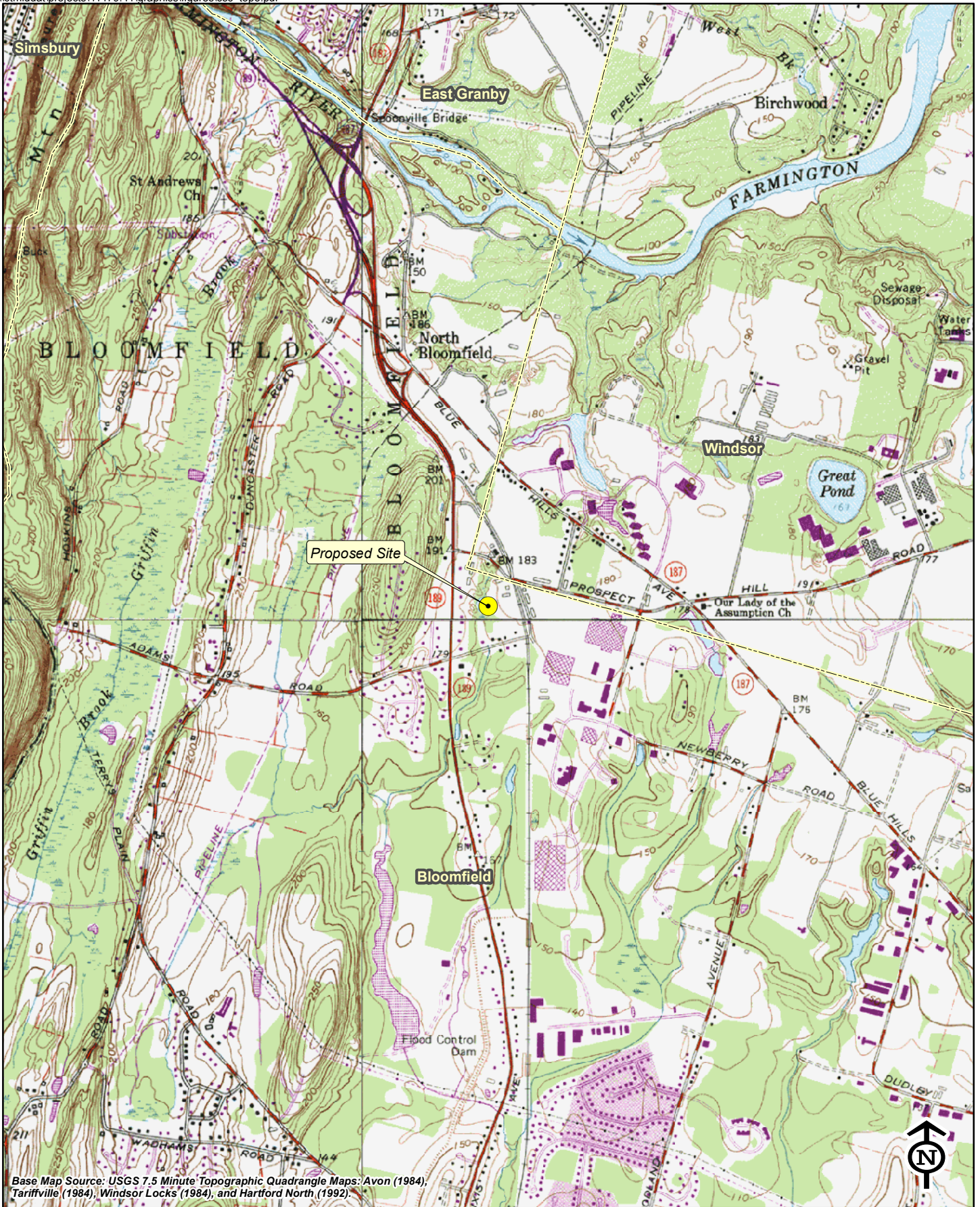
LIST OF ATTACHMENTS

1. North Bloomfield Facility – Factual Summary and Project Plans
2. Certificate of Service of Application on Government Officials and List of Officials Served
3. Legal Notice in the *Hartford Courant*
4. Notice to Landowners; List of Abutting Landowners; Certificate of Service
5. Federal Communications Commission Licenses
6. Coverage Maps – Location of Proposed and Surrounding Cell Sites
7. Antenna and Equipment Specifications
8. Site Search Summary
9. Visual Impact Evaluation Report
10. Environmental Reviews/State Agency Comments
11. General Power Density Table
12. Wetland Impact Report and Soils Report
13. FEMA – Flood Insurance Rate Map
14. Federal Aviation Administration – Determination of No Hazard to Air Navigation
15. Redacted Lease Agreement – River Bend Associates, Inc.

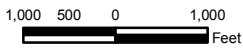
EXECUTIVE SUMMARY

Cellco Partnership d/b/a Verizon Wireless (“Cellco” or “Applicant”), proposes to construct a telecommunications tower and related facility on an 10.8 acre parcel south of Day Hill Road in the northerly portion of the Town of Bloomfield. Cellco has identified this cell site as its “North Bloomfield Facility”. The North Bloomfield Facility will provide reliable wireless service to Cellco customers primarily along portions of Routes 189, 187 and local roads, as well as residential, agricultural, commercial and industrial land uses in portions of northern Bloomfield, northwest Windsor and southern East Granby.

At the North Bloomfield Facility, Cellco proposes the construction of a 110-foot telecommunications tower. Cellco will install fifteen (15) panel-type antennas at the top of the tower and a 12’ x 24’ shelter on the ground near the base of the tower. The shelter will house Cellco’s radio equipment and a propane-fueled back-up generator. The tower, equipment shelter and 1,000 gallon propane tank will be maintained within a 47’ x 76’ fenced compound. Vehicular access to the North Bloomfield Facility would extend from Day Hill Road over a new gravel driveway, a distance of approximately 1,250 feet to the cell site. Utilities will extend from existing service along Day Hill Road.

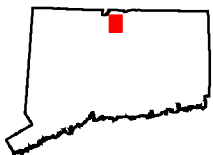


Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps: Avon (1984),
 Tariffville (1984), Windsor Locks (1984), and Hartford North (1992).



Vanasse Hangen Brustlin, Inc.

**USGS Topographic Map
 Proposed Verizon Wireless Facility
 North Bloomfield
 Day Hill Road
 Bloomfield, Connecticut**

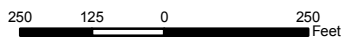


Quadrangle Location



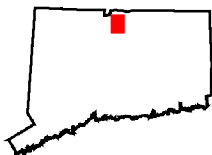


Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
 Proposed Verizon Wireless Facility
 North Bloomfield
 Day Hill Road
 Bloomfield, Connecticut**



Quadrangle Location



STATE OF CONNECTICUT
CONNECTICUT SITING COUNCIL

IN RE: :
: :
APPLICATION OF CELLCO PARTNERSHIP : DOCKET NO. ____
D/B/A VERIZON WIRELESS FOR A :
CERTIFICATE OF ENVIRONMENTAL :
COMPATIBILITY AND PUBLIC NEED FOR :
THE CONSTRUCTION, MAINTENANCE :
AND OPERATION OF A WIRELESS :
TELECOMMUNICATIONS FACILITY OFF :
DAY HILL ROAD, BLOOMFIELD, :
CONNECTICUT : FEBRUARY 11, 2011

**APPLICATION FOR CERTIFICATE OF
ENVIRONMENTAL COMPATIBILITY AND PUBLIC NEED**

I. INTRODUCTION

A. Authority and Purpose

This Application and the accompanying attachments (collectively, the “Application”) is submitted by Cellco Partnership d/b/a Verizon Wireless (“Cellco” or “Applicant”), pursuant to Chapter 277a, Sections 16-50g *et seq.* of the Connecticut General Statutes (“C.G.S.”), as amended, and Sections 16-50j-1 *et seq.* of the Regulations of Connecticut State Agencies (“R.C.S.A.”), as amended. The Application requests that the Connecticut Siting Council (“Council”) issue a Certificate of Environmental Compatibility and Public Need (“Certificate”) for the construction, maintenance, and operation of a wireless telecommunications facility off Day Hill Road in the northerly portion of the Town of Bloomfield, Connecticut (the “North Bloomfield Facility”). The proposed North Bloomfield Facility would provide reliable wireless telecommunications services to Cellco customers traveling along portions of Routes 189 and 187

and local roads, as well as residential, agricultural, commercial and industrial land uses in portions of northern Bloomfield, northwestern Windsor and southern East Granby.

Cellco currently maintains five (5) wireless facilities within approximately four (4) miles of the proposed North Bloomfield Facility. These facilities are identified as Cellco's Simsbury, Tariffville, Windsor 2, Windsor and Cottage Grove cell sites. None of these existing facilities can provide service to Cellco's existing gaps in the north Bloomfield area.

Cellco's existing Simsbury cell site consists of antennas at the 140-foot level of a 150-foot tower off Grist Mill Road in Simsbury, approximately 3.7 miles west of the proposed North Bloomfield Facility. Cellco's existing Tariffville cell site consists of antennas at the 148-foot level of a 180-foot tower at 8 Hoskins Road in northwest Bloomfield, approximately 1.1 miles northwest of the proposed North Bloomfield Facility. Cellco's existing Windsor 2 cell site consists of antennas at the 83-foot level of a 100-foot tower at 750 Rainbow Road, approximately 3.2 miles northeast of the North Bloomfield Facility. Cellco's existing Windsor cell site consists of antennas at the 158-foot level on a 160-foot tower at 482 Pigeon Hill Road in Windsor, approximately 3.3 miles east of the North Bloomfield Facility. Cellco's existing Bloomfield 3 cell site consists of antennas at the 109-foot level on a 140-foot tower at 785 Park Avenue in Bloomfield, approximately 3.1 miles south of the North Bloomfield Facility.

The proposed North Bloomfield Facility would be located in the southerly portion of an approximately 10.8 acre parcel south of Day Hill Road and west of the Connecticut Department of Transportation ("CTDOT") rail line. At this site, Cellco proposes to construct a 110-foot self-supporting monopole telecommunications tower. Cellco would install a total of fifteen (15) panel-type antennas (six (6) cellular (850 MHz) antennas; six (6) PCS (1900 MHz) antennas and

three (3) LTE (700 MHz) antennas) at the top of the tower at a centerline height of 110-feet above ground level (“AGL”). The top of Cellco’s antennas would extend to an overall height of approximately 113 AGL. Equipment associated with Cellco’s antennas and a propane fueled back-up generator would be located in a 12’ x 24’ shelter installed near the base of the tower. The tower, equipment shelter and a 1,000 gallon propane tank will be located within a 47’ x 76’ fenced compound. Vehicular access to the cell site would extend from Day Hill Road over a new gravel access driveway, a distance of approximately 1,250 feet. Utilities will extend underground from existing service near Day Hill Road within the access right of way, to the cell site.

The proposed facility will provide reliable wireless service to a 2.2 mile portion of Route 187, a 1.7 mile portion of Route 189 and an overall area of 4.07 square miles at 850 MHz frequencies; a 1.8 mile portion of Route 187, a 1.7 mile portion of Route 189, and an overall area of 3.88 square miles at 1900 MHz frequencies; and a 2.3 mile portion of Route 187, a 1.9 mile portion of Route 189, and an overall area of 5.91 square miles at 700 MHz frequencies.

The proposed facility is located in the Town’s Residential (R-40) zone district. The tower and facility compound would be designed to accommodate additional carriers as well as state or local emergency services antennas and equipment. As of the date of this filing no State or local emergency service providers, or any other commercial wireless service providers have committed to share the proposed facility.

Cellco’s equipment shelter would house radio and related equipment, including (a) receiving, transmitting, switching, processing and performance monitoring equipment; and (b) automatic heating and cooling equipment. A propane-fuel back-up generator would also be

installed in a segregated generator room within the shelter for use during power outages and periodically for maintenance purposes. A 1,000 gallon propane tank would be located within the fenced compound adjacent to the shelter.

The tower, equipment shelter and propane tank would be enclosed by an 8-foot high security fence and gate. Cellco's equipment building would be equipped with a silent intrusion and systems alarm and will be monitored on a 24-hour basis to receive and to respond to incoming alarms or other technical problems. The equipment building would remain unstaffed, except as required for maintenance. Once the cell site is operational, maintenance personnel will visit the cell site on a monthly basis. More frequent visits may be required if there are problems with the cell site equipment.

Included in this Application, as Attachment 1, is a factual summary and project plans for the proposed facility. This summary, along with the other attachments submitted as part of this Application, contain all of the site-specific information required by statute and the regulations of the Council.

B. The Applicant

Cellco is a Delaware Partnership with an administrative office located at 99 East River Drive, East Hartford, CT, 06108. Cellco is licensed by the Federal Communications Commission ("FCC") to operate a wireless telecommunications system in the State of Connecticut within the meaning of C.G.S. Section 16-50i(a)(6). Cellco has extensive national experience in the development, construction and operation of wireless telecommunications systems and the provision of wireless telecommunications service to the public. Operation of the wireless

telecommunications systems and related activities are Cellco's sole business in the State of Connecticut.

Correspondence and/or communications regarding this Application may be addressed to:

Sandy Carter, Regulatory Manager
Verizon Wireless
99 East River Drive
East Hartford, Connecticut 06108

A copy of all such correspondence or communications should also be sent to:

Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attention: Kenneth C. Baldwin, Esq.

C. Application Fee

The estimated total construction cost for the facility would be less than \$5,000,000.

Therefore, pursuant to Section 16-50v-1a(b) of the Regulations of Connecticut State Agencies, an application fee of \$1,250 accompanies this Application in the form of a check payable to the Council.

II. SERVICE AND NOTICE REQUIRED BY C.G.S. SECTION 16-50I(b)

Copies of this Application have been sent by certified mail, return receipt requested, to municipal, regional, state and federal officials, pursuant to C.G.S. Section 16-50I(b). A certificate of service, along with a list of the parties served with a copy of the Application, is included as Attachment 2.

Notice of Cellco's intent to submit this Application was published on February 9 and 10, 2011, by Cellco in the *Hartford Courant* pursuant to C.G.S. Section 16-50I(b). A copy of the

published legal notice is included as Attachment 3. An Affidavit of Publication will be submitted as soon as it is available.

Attachment 4 contains a certification that notices were sent to each person appearing of record as an owner of property that may be considered to abut the land on which the facility would be located in accordance with C.G.S. Section 16-50(b), as well as a list of the property owners to whom such notice was sent and a sample notice letter.

III. REQUIRED INFORMATION: PROPOSED WIRELESS FACILITY

The purpose of this section is to provide an overview and general description of the facility proposed to be installed in Bloomfield.

A. General Information

Prior to the 1980's, mobile telephone service was characterized by insufficient frequency availability, inefficient use of available frequencies and poor quality of service. These limitations generally resulted in problems of congestion, blocking of transmissions, interference, lack of coverage and relatively high cost. Consequently, the FCC, in its Report and Order released May 4, 1981 in FCC Docket No. 79-318, recognized the public need for technical improvement, wide-area coverage, high quality service and a degree of competition in mobile telephone service.

More recently, the federal Telecommunications Act of 1996 (the "Act") emphasized and expanded on these aspects of the FCC's 1981 decision. Among other things, the Act recognized an important nationwide public need for high-quality wireless telecommunication services of all varieties. The Act also expressly promotes competition and seeks to reduce regulation in all aspects of the telecommunications industry in order to foster lower prices for consumers and to encourage the rapid deployment of new telecommunications technologies.

The proposed North Bloomfield Facility would be part of Cellco's expanding wireless telecommunications network envisioned by the Act and has been developed to help meet these nationwide goals. In particular, Cellco's system has been designed, and the cell sites proposed in this Application have been selected, so as to maximize the geographical coverage and quality of service while minimizing the total number of cell sites required.

Because the FCC and the United States Congress have determined that there is a pressing public need for high-quality wireless telecommunications service nationwide, the federal government has preempted the determination of public need by states and municipalities, including the Council, with respect to public need for the service to be provided by the proposed facility. In addition, the FCC has promulgated regulations containing technical standards for wireless systems, including design standards, in order to ensure the technical integrity of each system and nationwide compatibility among all systems. State and local regulation of these matters is likewise preempted. The FCC has also exercised its jurisdiction over and preempted state and local regulation with respect to radio frequency interference issues by establishing regulations in this area as well.

Pursuant to FCC authorizations, Cellco has constructed and currently operates a wireless system throughout Connecticut. This system, together with Cellco's system throughout its east coast and nationwide markets, has been designed and constructed to operate as one integrated, contiguous system, consistent with Cellco's business policy of developing compatibility and continuity of service on a regional and national basis.

Recognizing the public safety benefits that enhanced wireless telecommunications networks can provide, the United States, Congress also enacted the Wireless Communications and Public Safety Act of 1999 to promote and enhance public safety by making 911 the universal emergency

assistance number, furthering the deployment of wireless 911 capabilities and further encouraging the construction and operation of seamless, ubiquitous and reliable wireless networks. In 2004, Congress enacted the Enhanced 911 Act for the specific purpose of enhancing and promoting Homeland Security, public safety and citizen activated emergency response capabilities. These goals and other related responsibilities imposed on wireless service providers can only be satisfied if Cellco maintains a ubiquitous and reliable wireless network.

Included as Attachment 5 is a copy of the FCC's authorization issued to Cellco for its wireless service in Hartford County, Connecticut. The FCC's rules permit a licensee to modify its system, including the addition of new cell sites, without prior approval by the FCC, as long as the licensee's authorized service area is not enlarged. The North Bloomfield Facility would not enlarge Cellco's authorized service area.

B. Public Need and System Design

1. Public Need

As noted above, the Act has pre-empted any state or local determination of public need for wireless services. In Hartford County, Cellco holds an FCC License to provide cellular, PCS and LTE services. Pursuant to its FCC Licenses, Cellco has developed and continues to develop a network of cell sites to serve the demand for wireless service in the area. Cellco's network currently provides coverage in portions of Bloomfield and the surrounding towns from its existing cell sites in the area. Plots showing coverage from Cellco's existing surrounding facilities alone and together with the coverage from the proposed North Bloomfield Facility are included as Attachment 6.

2. System Design and Equipment

a. System Design

Cellco's wireless system in general and the proposed North Bloomfield Facility, in particular, have been designed and developed to allow Cellco to achieve and to maintain high quality, reliable wireless service without interruption from dropped calls and interference.

The system design provides for frequency reuse and hand-off, is capable of orderly expansion and is compatible with other wireless systems. The resulting quality of service compares favorably with the quality of service provided by conventional wireline telephone service. The wireless system is designed to assure a true cellular configuration of base transmitters and receivers in order to cover the proposed service area effectively while providing the highest quality of service possible. Cell site transmissions are carefully tailored to the FCC's technical standards with respect to coverage and interference and to minimize the amount of power that is radiated.

Mobile telephone switching offices ("MTSOs") in Windsor and Wallingford are interconnected and operate Cellco's wireless systems in Connecticut as a single network, offering the subscriber uninterrupted use of the system while traveling throughout the State. This network is further interconnected with the local exchange company ("LEC") and inter-lata (long distance) carriers network.

Cellco has designed its wireless system in conformity with applicable standards and constraints for wireless systems. Cellco's system is also designed to minimize the need for additional cell sites in the absence of additional demand or unforeseen circumstances.

b. Cellular System Equipment

The key elements of the cellular system are the two MTSOs located in Windsor and Wallingford and the various connector cell sites around the state. Cellco's CDMA wireless networks are deployed on two platforms: the earlier AUTOPLEX system, using Series II base stations, and the newer FLEXENT CDMA system, using smaller, more compact modular base stations. Because the Series II base stations are no longer manufactured, the newer CDMA systems, using smaller, more compact modular base stations are used for all current installations.

The major electronic components of each cell site are radio frequency transmission and receiving equipment and cell site controller equipment. Cellco's cellular system uses Lucent Flexent® Modular Cell 4.0B cell site equipment to provide complete cell site control and performance monitoring. This equipment is capable of expanding in modules to meet system growth needs. The cell site equipment primarily provides for: message control on the calling channel; call setup and supervision; radio frequency equipment control; internal diagnostics; response to remote and local test commands; data from the mobile or portable unit in both directions and on all channels; scan receiver control; transmission of power control commands; rescanning of all timing; and commands and voice channel assignment. Additional information with respect to the Lucent Flexent® Modular Cell 4.0B equipment is contained in Attachment 7.

3. Technological Alternatives

Cellco submits that there are no equally effective technological alternatives to the proposal contained herein. In fact, Cellco's wireless system represents state-of-the-art technology offering high-quality service. Cellco is aware of no viable and currently available alternatives to its system design for carriers licensed by the FCC.

C. Site Selection and Tower Sharing

1. Cell Site Selection

The goal in selecting cell sites such as the one proposed in north Bloomfield is to locate a facility in such a manner as to allow it to build and to operate a high-quality wireless system with the least environmental impact. The Applicant has determined that the proposed North Bloomfield Facility will satisfy this goal and is necessary to resolve existing coverage problems and to provide high-quality reliable service primarily along portions of Routes 187 and 189 and local roads in the area, as well as residential, agricultural and industrial land uses in portions of Bloomfield, Windsor and East Granby.

The methodology of cell site selection for a wireless system generally limits the search for possible locations to specific locations on the overall grid for the area. A list of existing towers or other non-tower structures considered is included in Attachment 8. Cellco currently shares the existing towers and utilizes existing structures in the area including those sites identified on the coverage maps. (See Attachment 6). Cellco cannot satisfy its coverage objectives in north Bloomfield from these existing cell sites. Cellco also regularly investigates the use of existing, non-tower structures in an area, when available, as an alternative to building a new tower. No existing non-tower structures of suitable height exist in north Bloomfield. Cellco initiated a site search process for the North Bloomfield cell site in April, 2006, and identified the Property as a viable candidate for a cell site. Cellco determined that an antenna centerline height of 110 feet at this location would satisfy its wireless service objectives in the area. The Site Search Summary in Attachment 8, together with the site information contained in Attachment 1 support Cellco's position that the site selected represents the most feasible alternative of the sites investigated.

2. Tower Sharing

The Applicant will design the approved facility tower and compound to be shared by a minimum of four wireless carriers, and the Town, if a need exists. If deemed necessary, Cellco would also design the tower so that it could be extended by up to 20 feet; at total height of 130 feet. This type of tower sharing arrangement would reduce, if not eliminate, the need for these other carriers or municipal entities to develop a separate tower in this same area in the future. As of the date of this filing, no other carrier has expressed any interest in the North Bloomfield Facility.

D. Cell Site Information

1. Site Facilities

At the proposed cell site, the Applicant would construct a new 110-foot tall monopole tower and install fifteen (15) panel-type directional antennas at the top of the tower. Cellco's antennas would extend above the top of the tower to an overall height of approximately 113 feet AGL. Cellco would install a 12' x 24' single-story shelter near the base of the tower to house its receiving, transmitting, switching, processing and performance monitoring equipment and the required heating and cooling equipment. A propane-fueled generator would also be installed within a segregated room in Cellco's equipment shelter for use during power outages and periodically for maintenance purposes. A 1,000 gallon propane tank would be located adjacent to the equipment shelter. The tower, equipment shelter and propane tank would be surrounded by an 8-foot high security fence and gate. (See Attachment 1).

The equipment shelter would be equipped with silent intrusion and systems alarms. Cellco personnel will be available on a 24-hour basis to receive and to respond to incoming alarms. The equipment building will remain unstaffed, except as required for periodic maintenance purposes.

2. Overall Costs and Benefits

Aside from the limited visual impacts discussed further below, the Applicant believes that there are no significant costs attendant to the construction, maintenance, and operation of the proposed cell site. In fact, the public will benefit substantially from its increased ability to receive high-quality, reliable wireless service in north Bloomfield.¹ The North Bloomfield Facility would be a part of a communications system that addresses the public need identified by the FCC and the United States Congress for high-quality, competitive mobile and portable wireless service. Moreover, the proposed cell site would be part of a system designed to limit the need for additional cell sites in the future.

The overall costs to the Applicant for development of the proposed cell site are set forth in Section III.E. of the Application.

3. Environmental Compatibility

Pursuant to Section 16-50p of the General Statutes, in its review of the Application, the Council is required to find and to determine, among other things, the nature of the probable environmental impact, including a specification of every significant adverse effect of the proposed facility, whether alone or cumulatively with other effects, on, and conflicting with the policies of the state concerning the natural environment, ecological balance, public health and safety, scenic, historic and recreational values, forests and parks, air and water purity and fish and wildlife.

¹ Businesses across the State have become more dependent on wireless telecommunication services. The public safety benefits of wireless telephone service are illustrated by the improved Connecticut State Police 911 emergency calling system. The 911 emergency calling system is available statewide to all wireless telephone users. Numerous other emergency service organizations have turned to wireless telephone service for use during natural disasters and severe storms when wireline service is interrupted or unavailable. As a deterrent to crime, the general public will further benefit from the Cellular Telecommunications Industry Association's donation of more than 50,000 cellular phones to "Neighborhood Watch" groups nationwide.

a. Primary Facility Impact is Visual

The wireless system of which the proposed North Bloomfield Facility would be a part has been designed to meet the public need for high-quality, reliable wireless service while minimizing any potential adverse environmental impact. In part because there are few, if any other adverse impacts, the primary impact of facilities such as this is visual. This visual impact will vary from location to location around a tower, depending upon factors such as vegetation, topography, the distance of nearby properties from the tower and the location of buildings and roadways in a “sight line” toward the tower. Similarly, visual impact of a tower facility can be further reduced through the proper use of alternative tower structures; so-called “stealth installations.” Where appropriate, telecommunications towers camouflaged as trees, can help to further reduce visual impacts associated with these structures. Attachment 9 contains a Visual Resource Evaluation Report, prepared by VHB, Inc. (the “VHB Report”) for the proposed facility. The report includes photosimulations for the Council’s review and consideration.

(1) Visibility

According to the VHB Report, areas where the tower would be visible above the tree canopy comprise approximately 101 acres or approximately 1.25 percent of the 8,042 acre study area. Most of the areas of potential year-round visibility associated with the tower occurs, in the general vicinity of the Property over several open commercial and agricultural parcels. Areas where seasonal views are anticipated comprise of approximately 33 additional acres and are generally located in the general vicinity of the proposed North Bloomfield Facility.

There are twenty-nine (29) residences within 1,000 feet of the facility. The closest residence is located at 372 Tunxis Avenue, approximately 470 feet to the west of the site

compound. The property at 372 Tunxis Avenue is listed on Cellco's abutting properties list behind Attachment 4 of this Application.

Weather permitting, the Applicant will raise balloons with a diameter of at least three (3) feet at the proposed tower location on the day of the Council's hearing on this Application, or at a time otherwise specified by the Council.

b. Environmental Reviews and Agency Comments

Section 16-50j of the General Statutes requires the Council to consult with and to solicit comments on the Application from the Commissioners of the Departments of Environmental Protection, Public Health, Public Utility Control, Economic Development, and Transportation, the Council on Environmental Quality, and the Office of Policy and Management, Energy Division. In addition to the Council's solicitation of comments, Cellco, as a part of the National Environmental Policy Act ("NEPA") Checklist, each solicit comments on the proposed facility from the U.S. Department of the Interior, Fish and Wildlife Service ("USFWS"), Environmental and Geographic Information Center of the Connecticut Department of Environmental Protection ("DEP") and the Connecticut Historical Commission, State Historic Preservation Officer ("SHPO"). Information on the USFWS and DEP reviews regarding impacts on known populations of Federal or State Endangered, Threatened or Special Concern Species occurring at the proposed site are included in Attachment 10.

According to the USFWS letter dated January 3, 2011, the Dwarf Wedge Mussel, a federally listed endangered and threatened species, is known to occur in Hartford County, Connecticut. Dean Gustafson with VHB, Inc. has analyzed on-site wetlands and intermittent watercourses and determined 1) the on-site watercourse is unlikely to support dwarf mussel habitat;

and 2) the proposed North Bloomfield Facility will not impact the intermittent watercourse on the Property. The proposed development will not, therefore, impact this listed species.

Also included in Attachment 10 is correspondence from the SHPO confirming that the proposed facility will have no effect on the historic character of or on historic properties in the area.

c. Non-Ionizing Radio Frequency Radiation

The FCC has adopted a standard for exposure to Radio Frequency (“RF”) emissions from telecommunications facilities like the one proposed in this Application. To ensure compliance with the applicable standards, Cellco has performed maximum power density calculations for the proposed cell site according to the methodology prescribed by the FCC Office of Engineering and Technology Bulletin No. 65, Edition 97-01 (August 1997) (“OET Bulletin 65”). The calculation is a conservative, worst-case approximation for RF power density levels at the closest accessible point to the antennas, in this case the base of the tower, and with all antennas transmitting simultaneously on all channels at full power. The calculations indicate that the maximum power density level for Cellco’s 850 MHz, 1900 MHz and 700 MHz antennas would be 29.30% of the Standard. A General Power Density Table is included in Attachment 11.

d. Other Environmental Issues

No sanitary facilities are required for the proposed facility. The operations at the North Bloomfield Facility will not cause any significant air, water, noise or other environmental impacts, or hazard to human health.

Based on agency comments received and field investigations by the Cellco project team, the Applicant submits that the proposed facility will have no significant adverse effect on scenic, natural, historic or recreational features, and that none of the potential effects, either alone or cumulatively with other effects, is sufficient reason to deny this Application.

4. Consistency with Local Land Use Controls

The Council Application Guide for Community Antenna Television and Telecommunication Facilities, as amended on April, 2010, requires the inclusion of a narrative summary of the project's consistency with the Town's Plan of Conservation and Development (the "Plan") and Building Zoning Regulations, as well as a description of planned and existing uses of the site location and surrounding properties.

a. Planned and Existing Land Uses

The proposed facility would be located on an approximately 10.8 acre parcel owned by River Bend Associates, Inc. The parcel is zoned Residential (R-40) and is vacant. The Property was most recently used for agricultural purposes.

b. Bloomfield Plan of Conservation and Development

The Town of Bloomfield Plan of Development (the "Plan"), does not identify telecommunications towers as a land use consistent or inconsistent with the general planning and conservation policies of the Town of Bloomfield. Four (4) copies of the Plan were filed, in bulk, with the Council.

c. Zoning Regulations

According to the Town's Zoning Map, the Property is located in the R-40 zone district. Pursuant to Section 3.1.C.3. of the Bloomfield Zoning Regulations, towers for radio and television in accordance with Section 8.3 are permitted in the R-40 zone subject to the approval of a Special Permit. Section 8.3, entitled "Radio-Television Antenna, Wireless Communications, Cellular Towers and Satellite Receptor Dish Antenna", regulate only the location, size and height of antenna structures. Free standing "radio or television antennas" may exceed the maximum height in a particular zone (35' in R-40) provided the structure maintains a setback, equal to its

height from the nearest property line. The proposed North Bloomfield Facility tower is setback more than 110 feet from all property lines.

Four (4) copies of the Bloomfield Zoning Regulations were filed, in bulk, with the Council.

d. Inland Wetland and Water Course Regulations

The Regulations of the Inland Wetlands and Watercourses Commission (the “Wetland Regulations”) define Regulated Activity as any operation within or use of a wetland or watercourse involving removal or deposition of material or any obstruction, construction, alteration or pollution, of such wetlands or watercourses, and any such activity within 100 feet of a wetland or 200 feet of a watercourse. Four (4) copies of the Bloomfield IWW Regulations were filed, in bulk, with the Council.

Dean Gustafson, Professional Soil Scientist with VHB, Inc., conducted a field investigation and completed a Wetland Compliance memorandum for development for the proposed North Bloomfield Facility. The closest ground disturbance associated with the proposed North Bloomfield Facility is located approximately 100 feet to the west near wetland flag 1-13. (See Attachment 1 Plan Sheet C-1.0). No direct impacts to wetlands, however, is proposed as a part of this proposal. Copies of the NEPA Wetlands Compliance memorandum are included in Attachment 12.

In accordance with the Connecticut Soil Erosion Control Guidelines, as established by the Council for Soil and Water Conservation, adequate and appropriate soil erosion and sedimentation control measures will be established and maintained throughout the cell site construction period. In addition, the Applicant will employ appropriate construction

management practices to ensure that no pollutants would be discharged to any nearby watercourse or wetland areas or to area groundwater during the construction process.

According to the Federal Emergency Management Agency Flood Insurance Rate Map (“FIRM”), Map Number 09003C0213F (Map Effective: September 26, 2008), the proposed North Bloomfield Facility would be located in Flood Zone X (unshaded). A copy of the FIRM is also included in Attachment 13.

5. Local Input

Section 16-50(e) of the Connecticut General Statutes, as amended, requires local input on matters before the Council. On November 19, 2010, Cellco representatives met with Bloomfield’s Town Planner, Thomas Hooper, as designee for the Town Manager, to commence the sixty (60) day municipal consultation process. Mr. Hooper received copies of technical information summarizing Cellco’s plans to establish a telecommunications facility in Bloomfield. On November 19, 2010 Cellco’s representatives also met with Paul Goldberg, Fire Administrator with the Windsor Volunteer Fire Department as designee for Town Manager Peter Souza. As mentioned above, the North Bloomfield Facility is located within 2,500 feet of the Bloomfield – Windsor town line. Four (4) copies of Cellco’s Technical Report were filed, in bulk, with the Council.

6. Consultations With State and Federal Officials

Attachment 10 and Section III.D. of the Application describe Cellco’s consultations with state and federal officials regarding Cellco’s proposed facility.

a. Federal Communications Commission

The FCC did not review this particular proposal. As discussed above, FCC approval is not required where the authorized service area is not enlarged.

b. Federal Aviation Administration

As it does with all of its tower applications, Cellco conducted separate air-space analysis for the proposed facility to determine if the proposed tower would constitute an obstruction or hazard to air navigation. Due to its proximity to Bradley International Airport, Cellco was required to make a formal filing with the Federal Aviation Administration ("FAA") for the North Bloomfield Facility tower. The FAA aeronautical study confirmed that the proposed tower does not exceed obstruction standards and would not be a hazard to air navigation. Therefore, no obstruction marking or lighting would be required. A copy of the FAA's Determination of No Hazard to Air Navigation is included in Attachment 14.

c. United States Fish and Wildlife Service

According to the USFWS, there are several federally-listed or proposed, threatened or endangered species or critical habitat that may occur in the project area. There is, however, no habitat on the Property that would support any of the identified species. (See Attachment 10).

d. Connecticut Department of Environmental Protection

(1) Environmental and Geographic Information Center

As discussed above, the DEP determined that there are no known extent populations of Federal or State Endangered, Threatened or Special Concern Species that occur at the Property. (See correspondence contained behind Attachment 10).

(2) Bureau of Air Management

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this Application will require the issuance of a permit from the DEP Bureau of Air Management. As proposed, this emergency generator will be run only during the interruption of

utility service to the cell site and periodically as required for maintenance purposes. Cellco will obtain the necessary permit prior to installing the generator at the North Bloomfield Facility.

e. Connecticut State Historic Preservation Officer

As discussed above, Attachment 10 also includes the SHPO's determination that the development of the North Bloomfield Facility will have no effect on the historic character of or on historic properties in the area.

E. Estimated Cost and Schedule

1. Overall Estimated Costs

The total estimated cost of construction for the North Bloomfield Facility is \$840, 000.

This estimate includes:

(1)	Cell site radio equipment of approximately	\$450,000
(2)	Tower, coax and antenna costs of approximately	150,000
(3)	Power systems costs of approximately	20,000
(4)	Equipment building costs of approximately	50,000
(5)	Miscellaneous costs (including site preparation and installation) of approximately	170,000

2. Overall Scheduling

Site preparation and engineering would commence following Council approval of Cellco's Development and Maintenance ("D&M") plan and are expected to be completed within two to four weeks. Due to the delivery schedules of the manufacturers, installation of the building and installation of the tower are expected to take an additional two weeks. Equipment installation is expected to take an additional two weeks after installation of the building and installation of the

tower. Cell site integration and system testing is expected to require two weeks after equipment installation.

IV. CONCLUSION

Based on the facts contained in this Application, Cellco submits that the establishment of the North Bloomfield Facility, will not have any substantial adverse environmental effects. A public need exists for high quality reliable wireless service in the Town of Bloomfield and throughout Hartford County, as determined by the FCC and the United States Congress, and a competitive framework for providing such service has been established by the FCC and the Telecommunications Act of 1996. Cellco submits that the public need far outweighs any possible environmental effects resulting from the construction of the proposed cell site.

WHEREFORE, Cellco respectfully requests that the Council grant this Application for a Certificate of Environmental Compatibility and Public Need for the proposed North Bloomfield Facility.

Respectfully submitted,

CELLCO PARTNERSHIP D/B/A VERIZON
WIRELESS AND MESSAGE CENTER
MANAGEMENT

By: 

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attorneys for the Applicant

NORTH BLOOMFIELD

**Day Hill Road
Bloomfield, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

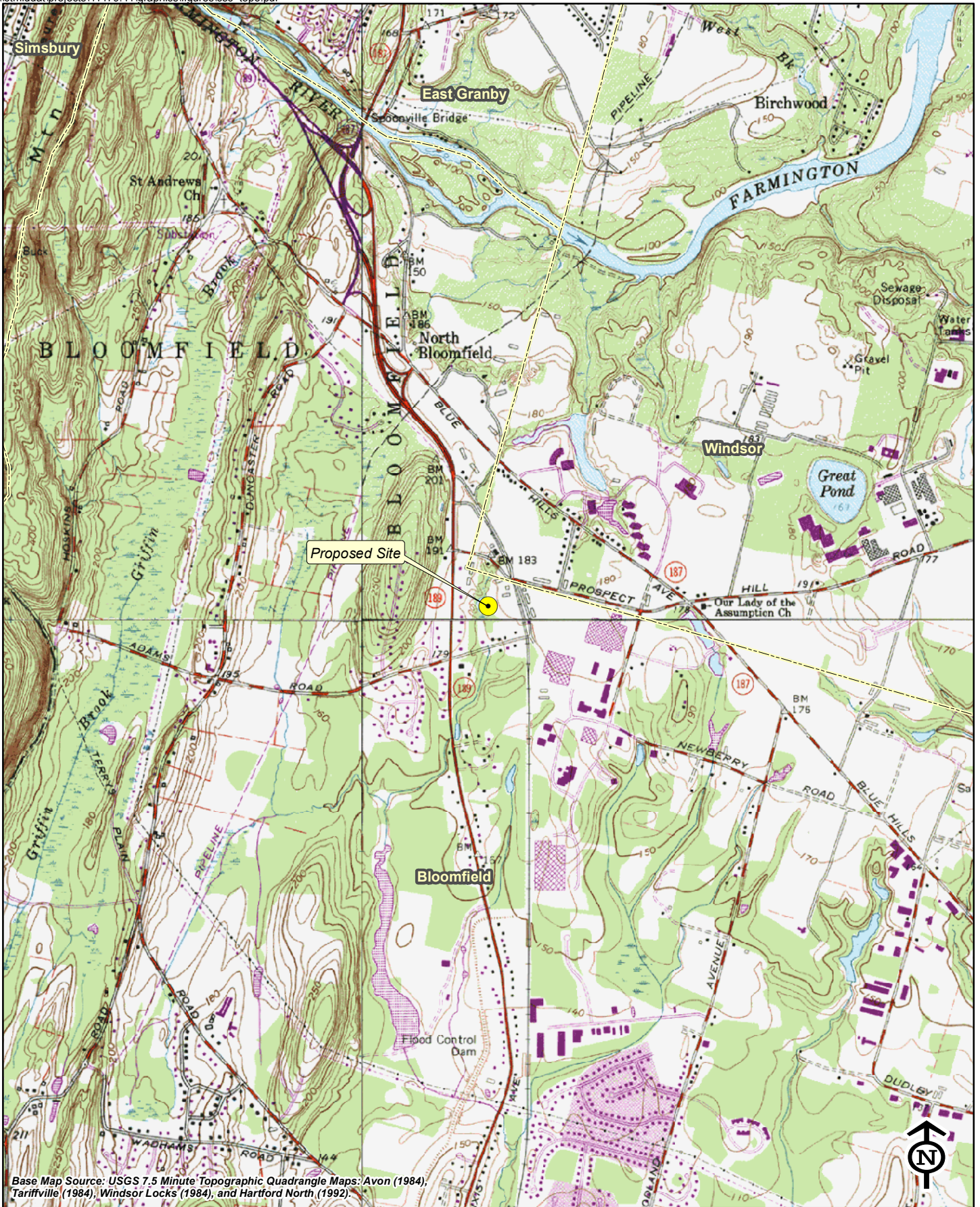
TABLE OF CONTENTS

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GENERAL CELL SITE DESCRIPTION.....	1
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AERIAL PHOTOGRAPH	3
SITE EVALUATION REPORT	4
FACILITIES AND EQUIPMENT SPECIFICATION.....	6
ENVIRONMENTAL ASSESSMENT STATEMENT.....	7

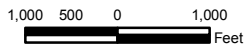
SITE NAME: NORTH BLOOMFIELD – Day Hill Road, Bloomfield, CT

GENERAL CELL SITE DESCRIPTION

The proposed cell site would be located in the southerly portion of an approximately 10.8 acre parcel south of Day Hill Road (“Property”) in the northern portion of the Town of Bloomfield, CT (the “North Bloomfield Facility”). The Property is owned by River Bend Associates, Inc. The North Bloomfield Facility would consist of a 110-foot monopole telecommunications tower and a 12’ x 24’ equipment shelter to house Cellco’s radio equipment and a propane-fueled back-up generator. A 1,000 gallon propane tank would be installed to the west of the equipment shelter. All of the North Bloomfield Facility improvements would be located within a 47’ x 76’ fenced compound. Cellco would install a total of fifteen (15) antennas at centerline height of 110 feet. The top of Cellco’s antennas will extend to an overall height of 113 feet above ground level. Vehicular access to the cell site would extend from Day Hill Road over a portion of the adjacent parcel owned by the Town of Windsor a distance of 1,250 feet. Utility service would extend underground from existing service along Day Hill Road.

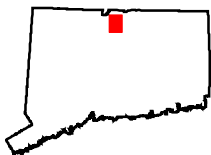


Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps: Avon (1984),
 Tariffville (1984), Windsor Locks (1984), and Hartford North (1992).



Vanasse Hangen Brustlin, Inc.

**USGS Topographic Map
 Proposed Verizon Wireless Facility
 North Bloomfield
 Day Hill Road
 Bloomfield, Connecticut**

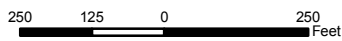


Quadrangle Location



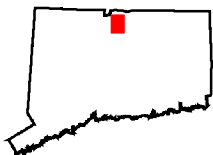


Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
 Proposed Verizon Wireless Facility
 North Bloomfield
 Day Hill Road
 Bloomfield, Connecticut**



Quadrangle Location



SITE EVALUATION REPORT

SITE NAME: NORTH BLOOMFIELD – Day Hill Road, Bloomfield, CT

I. LOCATION

- A. COORDINATES: 41°-52'-32.77" N 72°-44'-31.08" W
- B. GROUND ELEVATION: Approximately 180± feet AMSL
- C. USGS MAP: Hartford North, CT
- D. SITE ADDRESS: Day Hill Road, Bloomfield, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is zoned R-40 Residential in the Town of Bloomfield and Industrial in the Town of Windsor.

II. DESCRIPTION

- A. SITE SIZE: 100' x 100' leased area
47' x 76' fenced compound
- B. LESSOR'S PARCEL: Approximately 10.8 acres
- C. TOWER TYPE/HEIGHT: 110' Monopole Tower
- D. SITE TOPOGRAPHY AND SURFACE: Topography on the Property is generally flat. Minimal clearing and grading to construct the site compound and access driveway will be required.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the south-central portion of the Property. A seasonably saturated wetland area and associated intermittent watercourse flowing with the wetland is located to the west of the site compound. The nearest proposed ground disturbance associated with the site compound is approximately 100 feet east of wetland edge.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The subject parcel was most-recently used for agricultural (greenhouse) purposes. Land use within ¼ mile of the Property is a mix of commercial, residential and industrial uses in the Towns of Bloomfield and Windsor.

III. FACILITIES

- A. POWER COMPANY: CL&P
- B. POWER PROXIMITY TO SITE: Approximately 1,250 feet to the northeast of the cell site.
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Day Hill Road over a new gravel driveway, a distance of approximately 1,250 feet.
- F. CLEARING AND FILL REQUIRED: Minimal clearing and grading will be required for construction of the tower, site compound area and access driveway. Only two (2) trees, greater than 6" diameter at breast height, would need to be removed to construct the access driveway. Detailed construction plans would be developed after approval by the Siting Council.

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: River Bend Associates, Inc.
- C. ADDRESS: 204 West Newberry Road, Bloomfield, CT 06002
- D. DEED ON FILE AT: Town of Bloomfield, CT Land Records
Vol. 737 Page 25
- E. DEED ON FILE AT: Town of Windsor, CT Land Records
Vol. 1254 Page 299

FACILITIES AND EQUIPMENT SPECIFICATION
(NEW TOWER & EQUIPMENT BUILDING)

SITE NAME: NORTH BLOOMFIELD – Day Hill Road, Bloomfield, CT

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: To be determined
- B. TYPE: Self-supporting monopole
- C. TOWER HEIGHT: 110'
- D. TOWER DIMENSIONS: Approx. 55" base
 Approx. 30" top

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

- 1. Antennas (15)
 - Six (6) Model LPA 80063/6CF Cellular (850 MHz) antennas
 - Six (6) Model LPA 185063/12CF PCS (1900 MHz) antennas
 - Three (3) Model BXA-70063/6CF LTE (700 MHz) antennas
- 2. GPS Antenna: Mounted on the top of the equipment shelter
- 3. Transmission Lines:
 - a. MFG/Model: Andrews LDF5-50A
 - b. Size: 1 5/8"

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The tower will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-F "Structural Standards for Steel Antenna Towers and Antenna Support Structures." The foundation design would be based on soil conditions at the site. Details for the tower and foundation design will be provided as a part of the final D&M Plan.

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: NORTH BLOOMFIELD – Day Hill Road, Bloomfield, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive, tower or equipment shelter. The equipment used will not discharge any pollutants to area surface or groundwater systems.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Cellco would obtain this permit prior to installing the generator at the approved cell site.

C. LAND

The Property is relatively flat and occupied by several unoccupied structures. Only two (2) trees (greater than 6" diameter at breast height) will need to be removed and minimal amounts of grading will be required to construct the access driveway and facility compound.

D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's cellular, PCS and LTE antennas at the North Bloomfield Facility would be 29.30% of the Standard. See General Power Density table included in Attachment 11.

F. VISIBILITY

See Visual Resource Evaluation Report included as Attachment 9.

Cellco Partnership

d.b.a. **verizon** wireless

WIRELESS COMMUNICATIONS FACILITY

NORTH BLOOMFIELD DAY HILL ROAD BLOOMFIELD, CT 06002

SITE DIRECTIONS

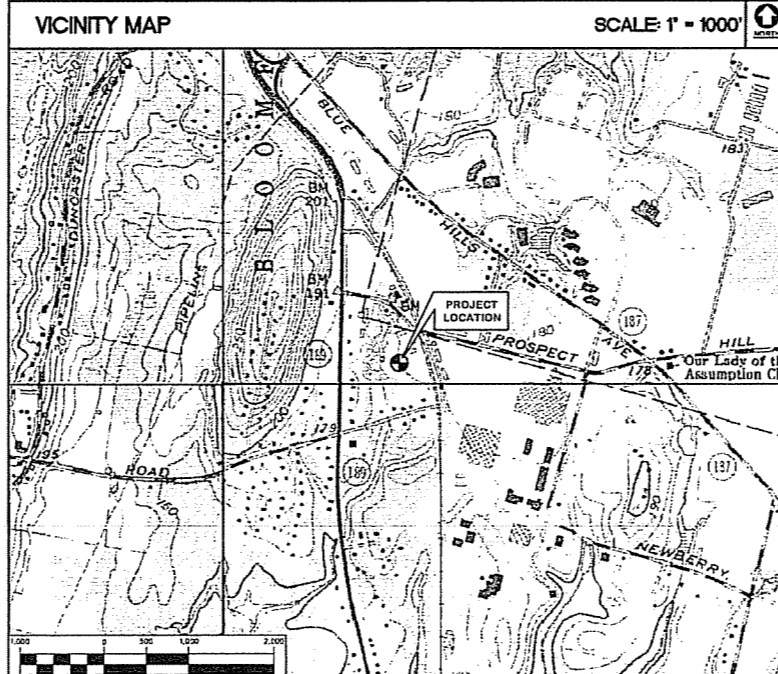
FROM:	TO:	
99 EAST RIVER DRIVE EAST HARTFORD, CONNECTICUT	DAY HILL ROAD BLOOMFIELD, CONNECTICUT	
1. Depart E. RIVER DRIVE toward DARLIN ST		0.2 mi.
2. Turn LEFT to stay on E. RIVER DRIVE		0.1 mi.
3. Turn LEFT onto US-44 / CONNECTICUT BLVD		0.2 mi.
4. Take ramp LEFT for I-84 WEST / US-6 WEST /US-44 WEST		0.4 mi.
5. At Exit 51, take ramp RIGHT for I-91 NORTH toward SPRINGFIELD		7.6 mi.
6. At Exit 38, take ramp RIGHT for SR-75 TOWARD POQUONOCK		0.4 mi.
7. Turn RIGHT onto SR-75 N / POQUONOCK AVE		0.4 mi.
8. Take ramp RIGHT for DAY HILL ROAD		3.8 mi.
9. Keep LEFT to stay on DAY HILL ROAD		0.7 mi.
10. End at DAY HILL ROAD, on the left.		0.0 mi.

GENERAL NOTES

1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION

- THE SCOPE OF WORK SHALL INCLUDE:
1. THE CONSTRUCTION OF A 47'X76' FENCED WIRELESS COMMUNICATIONS COMPOUND WITHIN A PROPOSED 100'X100' LEASE AREA.
 2. A TOTAL OF UP TO FIFTEEN (15) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 110'± AGL ON A 110'± PROPOSED STEEL MONOPOLE TOWER.
 3. TOTAL ACCESS DRIVE LENGTH IS 1,250'± OFF OF DAY HILL ROAD.
 4. POWER AND TELCO UTILITIES SHALL BE ROUTED UNDERGROUND FROM EXISTING RESPECTIVE DEMARCS TO THE PROPOSED UTILITY BACKBOARD LOCATED ADJACENT TO THE PROPOSED FENCED COMPOUND. FINAL DEMARC LOCATION AND UTILITY ROUTING TO PROPOSED BACKBOARD WILL BE VERIFIED/DETERMINED BY LOCAL UTILITY COMPANIES. UTILITIES WILL BE ROUTED UNDERGROUND FROM UTILITY BACKBOARD TO THE PROPOSED NOMINAL 12'X24' WIRELESS EQUIPMENT SHELTER LOCATED WITHIN FENCED COMPOUND AREA.
 5. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE D&M PLANS.
 6. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2009 CONNECTICUT SUPPLEMENT.
 7. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
 8. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.

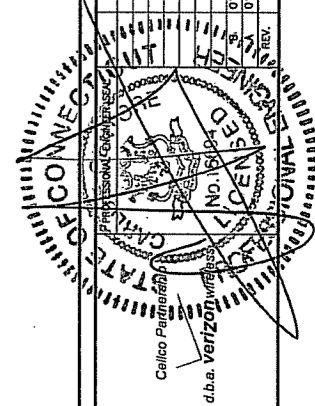


PROJECT SUMMARY

SITE NAME:	NORTH BLOOMFIELD
SITE ADDRESS:	DAY HILL ROAD BLOOMFIELD, CT 06002
PROPERTY OWNER:	RIVER BEND ASSOCIATES, INC.
LESSEE:	CELLCO PARTNERSHIP d.b.a. VERIZON WIRELESS 99 EAST RIVER DRIVE EAST HARTFORD, CT 06108
CONTACT PERSON:	SANDY CARTER CELLCO PARTNERSHIP d.b.a. VERIZON WIRELESS 99 EAST RIVER DRIVE EAST HARTFORD, CT 06108
TOWER COORDINATES:	LATITUDE 41°52'-32.773" LONGITUDE 72°-44'-31.075" GROUND ELEVATION: 180.03'± A.M.S.L. COORDINATES AND GROUND ELEVATION BASED ON FAA 2C SURVEY CERTIFICATION PREPARED BY CENTEK ENGINEERING, INC. DATED AUGUST 15, 2010.

SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	B
C-1.0	ABUTTERS MAP	B
C-1.1	PARTIAL SITE / SITE SURVEY PLAN	B
C-1.2	PARTIAL SITE / SITE SURVEY PLAN	B
C-2	COMPOUND PLAN AND ELEVATION	B
C-3	SITE DETAILS AND NOTES	B
C-4	SITE DETAILS AND SHELTER ELEVATIONS	B
C-5	SHELTER FOUNDATION PLAN, DETAILS AND NOTES	B



DESIGNED BY: CFC
DRAWN BY: TSP
CHK'D BY: DMQ

DATE	REV.	DESCRIPTION
07/26/10	CFC	ISSUED FOR CT SITING COUNCIL
07/19/11	DMQ	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
	DMQ	DRAWN BY CHK'D BY

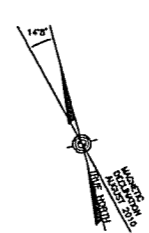
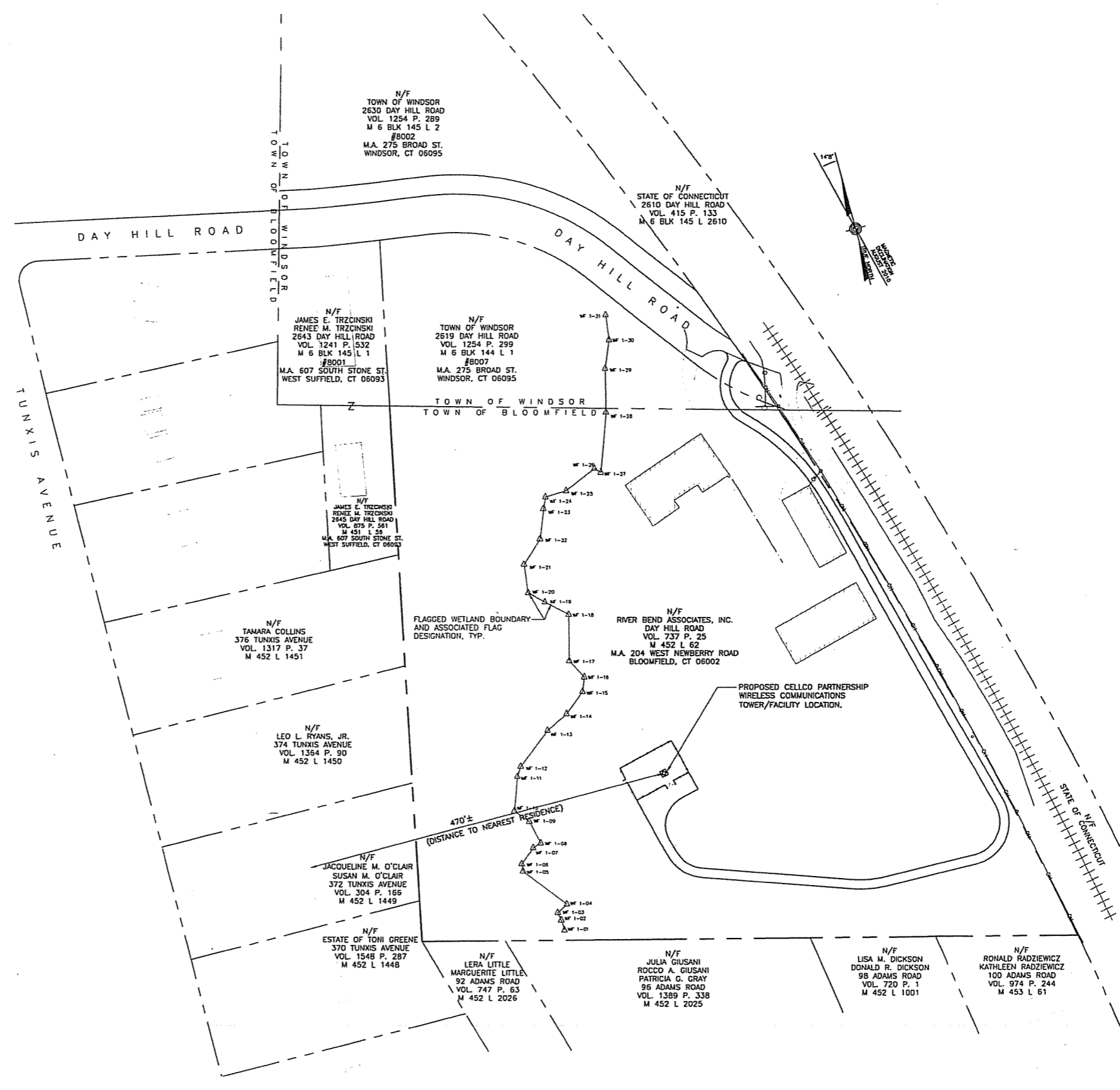
CENTEK engineering
CENTEK ENGINEERING, INC.
PO BOX 488
1201 W. 88th St.
Bloomfield, CT 06002
www.CentekEng.com

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
NORTH BLOOMFIELD
DAY HILL ROAD
BLOOMFIELD, CT 06002

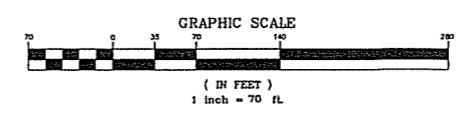
DATE: 07/26/10
SCALE: AS NOTED
JOB NO. 09053

TITLE SHEET

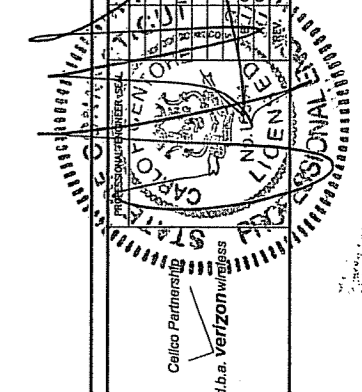
T-1
Sheet No. 1 of 8



1 **ABUTTERS MAP**
C-1.0 SCALE: 1"=70'



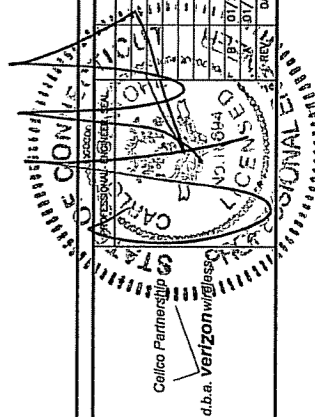
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DRAWN BY: TSP
CHK'D BY: DMD
ISSUED FOR CT SITING COUNCIL
ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
ISSUED FOR CT SITING COUNCIL - DESCRIPTION
DATE: 07/26/10
SCALE: AS NOTED
JOB NO. 09053
ABUTTERS MAP
C-1.0
Sheet No. 2 of 8



Center engineering
Certified in Software
2031 68 0520
(203) 498 8807 Fax
452 North Hartford Road
Hartford, CT 06105
www.CenterEng.com

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
NORTH BLOOMFIELD
DAY HILL ROAD
BLOOMFIELD, CT 06002

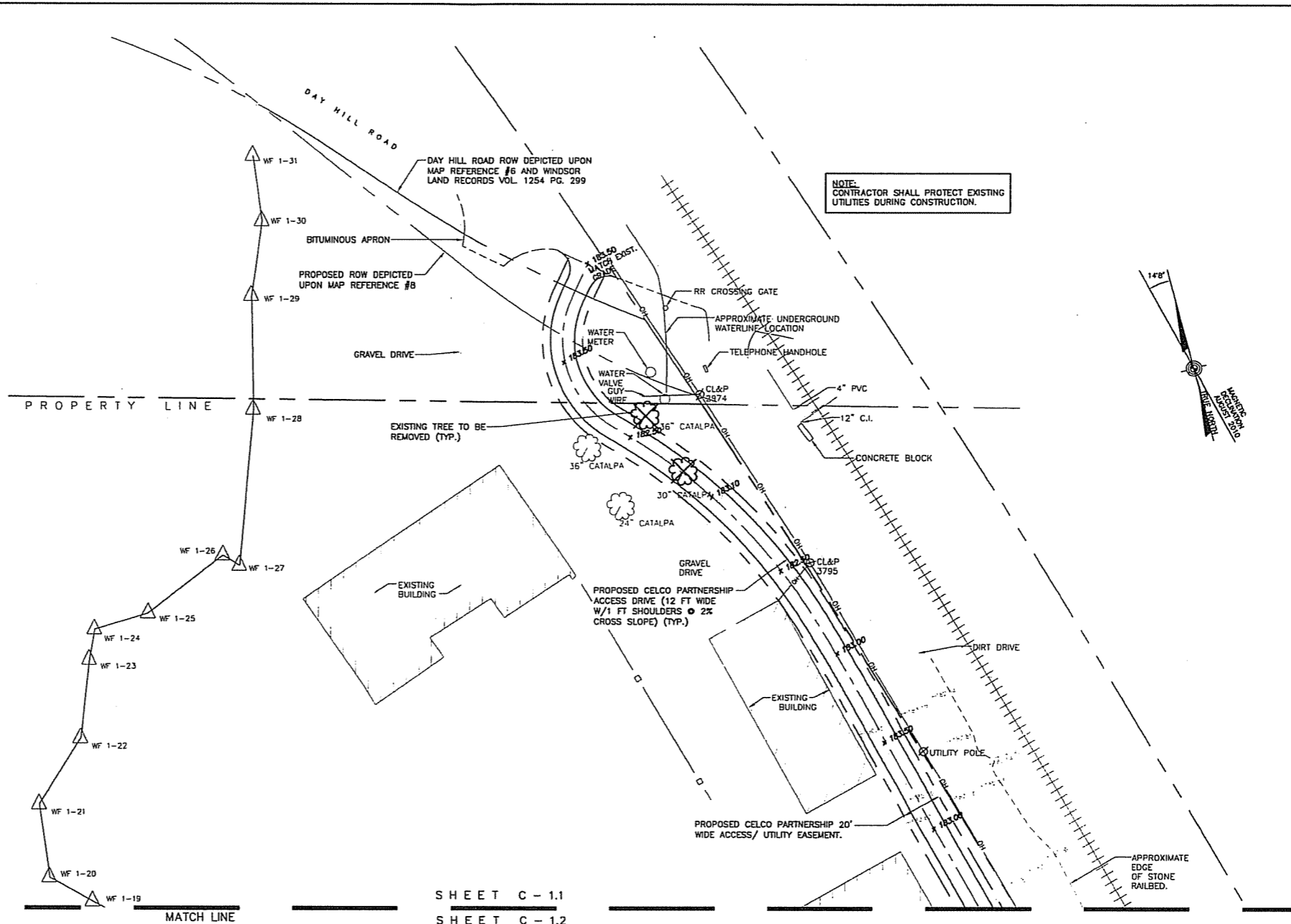
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DRAWN BY:	TSP
CHK'D BY:	DMD
DATE:	07/26/10
SCALE:	AS NOTED
JOB NO.:	09033
DESCRIPTION:	PARTIAL SITE / SITE SURVEY PLAN



CENTER engineering
 CONSULTING
 0303 488-6550
 (203) 488-6337 fax
 43-2 North Branford Road
 Branford, CT 06405
 www.CenterEng.com

Cellco Partnership d/b/a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
NORTH BLOOMFIELD
 DAY HILL ROAD
 BLOOMFIELD, CT 06002

DATE: 07/26/10
 SCALE: AS NOTED
 JOB NO. 09033
 PARTIAL SITE / SITE SURVEY PLAN
C-11
 Sheet No. 3 of 8



NOTE: CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION.

SURVEY NOTES:

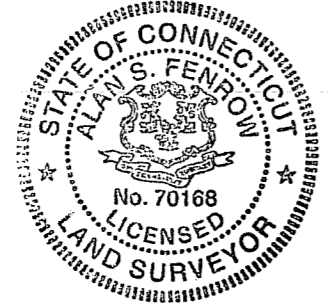
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
2. THIS SURVEY DEPICTS EXISTING CONDITIONS FOR A PROPOSED TELECOMMUNICATIONS SITE.
3. THE BOUNDARY LINES DEPICTED HEREON ARE COMPILED FROM OTHER MAPS, DEEDS, AND A LIMITED FIELD SURVEY. THESE LINES ARE NOT TO BE CONSTRUED AS A BOUNDARY OPINION AND ARE SUBJECT TO CHANGE BASED UPON A COMPLETE BOUNDARY SURVEY. PROPERTY MAY BE SUBJECT TO ENCUMBRANCES, EASEMENTS, RIGHTS OF WAY AS A TITLE SEARCH MAY DISCLOSE.
4. THIS SURVEY CONFORMS TO CLASS D HORIZONTAL ACCURACY STANDARDS AND CLASS T-2 TOPOGRAPHIC ACCURACY STANDARDS.
5. COORDINATES DEPICTED HEREON REFER TO THE CONNECTICUT COORDINATE SYSTEM (NAD 83) ESTABLISHED WITH GPS UNDER THE GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON JUNE 26, 2008.
6. ELEVATIONS DEPICTED HEREON ARE BASED UPON CONNECTICUT GEODETIC SURVEY STATION 2842 NGVD 29 DATUM WITH ELEVATION = 129.632 FEET.
7. SUBJECT PARCEL IS DEPICTED AS LOT 62 ON BLOOMFIELD ASSESSORS MAP 452.
8. SUBJECT PARCEL IS CURRENTLY OWNED BY RIVER BEND ASSOCIATES, INC.
9. SUBJECT PARCEL IS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ON A FIRM FLOOD INSURANCE RATE MAP HARTFORD COUNTY, CONNECTICUT PANEL 213 OF 675 MAP NUMBER 09003C0213F, EFFECTIVE DATE SEPTEMBER 26, 2008.
10. SUBJECT PARCEL AREA IS ±10.8 ACRES.

MAP REFERENCES:

1. "FINAL SUBDIVISION PLAN THE MCCORMICK PLACE 2 PREPARED FOR DEREKSETH CORPORATION TUNKIS AVE., ADAMS RD. & GRIFFIN RD. BLOOMFIELD, CONN.," SCALE: 1"=40' DATED: JAN 12, 1982, LAST REVISED MARCH 30, 1982, ALFORD ASSOCIATES, WINDSOR, CONNECTICUT BY WILSON M ALFORD, LS. TC MAP #2263 & 2264.
2. "MAP PREPARED FOR DEREKSETH CORPORATION TUNKIS AVENUE & ADAMS ROAD BLOOMFIELD, CONN.," SCALE: 1"=100' DATED: AUGUST 12, 1981, ALFORD ASSOCIATES, WINDSOR, CONNECTICUT BY WILSON M. ALFORD, LS. TC MAP #12-2287.
3. "THE AMERICAN SUMATRA TOBACCO CO. GRIFFIN PLANT HOME FARM-PEASE FARM-TAYLOR FARM WINDSOR AND BLOOMFIELD, CONN.," SCALE: 1"=200' DATED: SEP. 29, 1957, W.M. ALFORD CIVIL ENGINEER, WINDSOR, CONNECTICUT BY W. M. ALFORD, LS. TC MAP #1591.
4. "SURVEY BAILEY LOT EAST ADAMS ROAD BLOOMFIELD, CONN.," SCALE: 1"=50' DATED: 1-9-61, HAROLD R. SANDERSON, CE & LS. BLOOMFIELD, CONN. TC MAP #1154.
5. "RESUBDIVISION MAP OF PROPERTY OWNED BY ROCCO GIUSANI #96 ADAMS ROAD BLOOMFIELD, CONNECTICUT," SCALE: 1"=40' DATED: 8-7-84, F.A. HESKETH & ASSOCIATES, INC., BLOOMFIELD, CT BY PETER FLYNN, LS. TC MAP #2548.
6. "PLAN TO SHOW PARCELS FOR TRANSFER OF NON-RESIDENTIAL COVERAGE PREPARED FOR GRIFFIN CENTER DEVELOPMENT I, LLC BLUE HILLS AVENUE EXTENSION, DAY HILL ROAD AND GRIFFIN ROAD SOUTH, WINDSOR, CONN.," SCALE: 1"=100' DATED: JULY 6, 2000 LAST REVISED 1-11-01, ALFORD ASSOCIATES, WINDSOR, CONNECTICUT BY WILSON M. ALFORD, LS. TC MAP #4833.
7. "PROPERTY/LIMITED TOPOGRAPHIC SURVEY PROPERTY OF RIVER BEND ASSOCIATES, INC. ADAMS ROAD, BLOOMFIELD, CONNECTICUT," SCALE: 1"=40' DATED 7-31-09 LAST REVISED 8-19-09, F.A. HESKETH & ASSOCIATES, INC., EAST GRANBY, CONNECTICUT BY TODD HESKETH, LS. SHEET #1.
8. "ROADWAY RECONSTRUCTION PLAN PREPARED FOR TOWN OF WINDSOR DAY HILL ROAD, WINDSOR, CONNECTICUT," SCALE: 1"=40' DATED: 2-13-01 LAST REVISED 5-22-01, F.A. HESKETH & ASSOCIATES, INC., EAST GRANBY, CONNECTICUT. SHEET #RW-2.
9. "RIGHT OF WAY AND TRACK MAP HARTFORD AND CONNECTICUT WESTERN R.R. CO. OPERATED BY CENTRAL NEW ENGLAND RAILWAY CO. FROM HARTFORD TO N.Y. STATE LINE STATION 422+40 TO STATION 475+20 TOWN OF BLOOMFIELD, WINDSOR STATE OF CONNECTICUT," SCALE: 1"=100' DATED JUNE 30, 1925, OFFICE OF VALUATION ENGINEER, VALUATION # 59-60-9, SHEET 9 OF 70.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
 THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

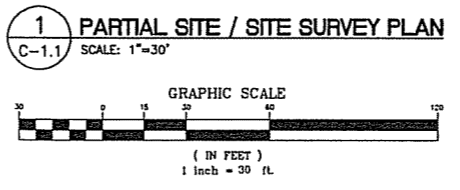
 ALAN S. FENROW LS #70168 DATE 1/27/2011



Symbol and Line Type Legend

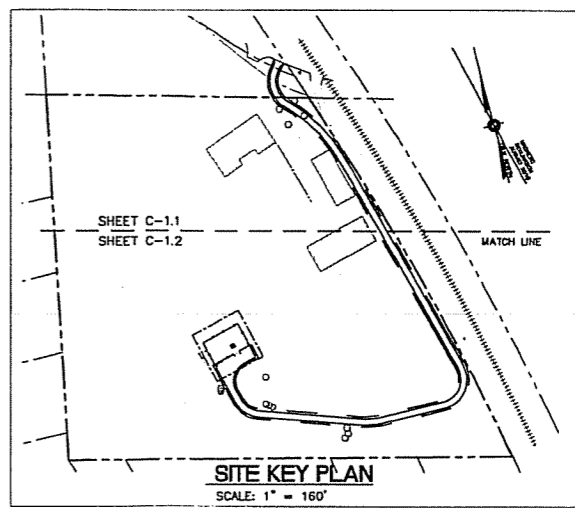
---	PROPERTY LINE
- - - -	EASEMENT LINE (PROPOSED)
---	LEASE AREA LINE (PROPOSED)
---	CONTOUR LINE
---	GRADING LINE
---	FENCE (PROPOSED)
+	SPOT ELEVATIONS (EXISTING)
o	SPOT ELEVATIONS (PROPOSED)
o	ANGLE POINT IN PROPERTY LINE
o	IRON PIN / IRON PIPE FOUND
o	CONCRETE MONUMENT / CHD FOUND
o	EXIST'G UTILITY POLE
o	FLAGGED WETLAND BOUNDARY
o	DECIDUOUS TREE
o	EVERGREEN TREE
o	EXISTING DECIDUOUS TREE TO BE REMOVED
o	EXISTING CONIFEROUS TREE TO BE REMOVED
o	GRAVEL ACCESS DRIVE (PROPOSED)
o	SILTATION FENCE
o	SILTATION/HAYBALE FENCE

SHEET C - 1.1
 SHEET C - 1.2



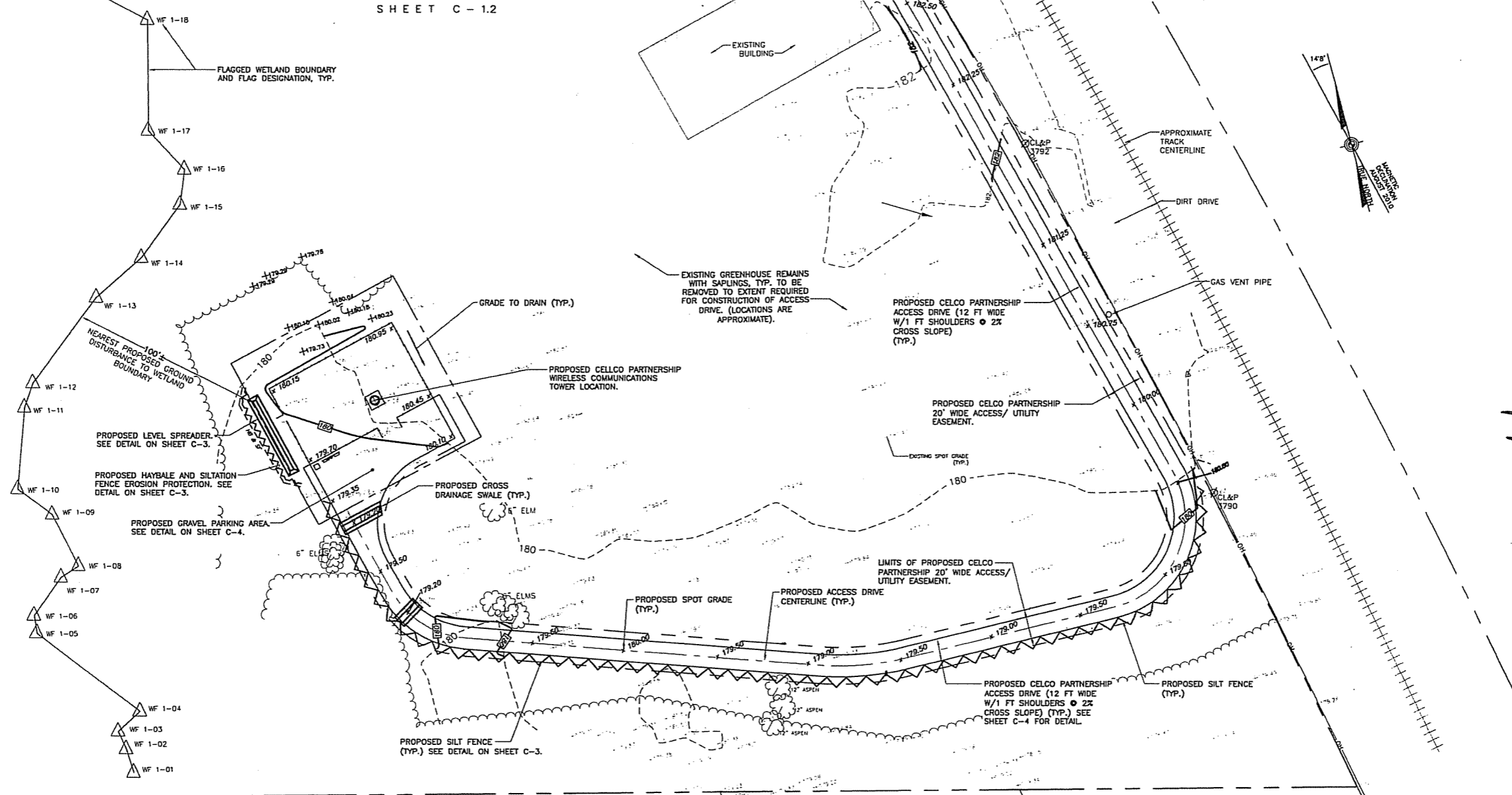
TREE REMOVAL SUMMARY

TREES PROPOSED TO BE REMOVED IN PROXIMITY OF PROPOSED CELCO PARTNERSHIP 20' WIDE ACCESS EASEMENT	= 2
TREES PROPOSED TO BE REMOVED WITHIN AND ADJACENT TO PROPOSED CELCO PARTNERSHIP LEASE AREA	= 0
TOTAL TREES PROPOSED TO BE REMOVED	= 2



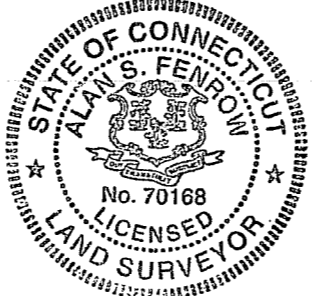
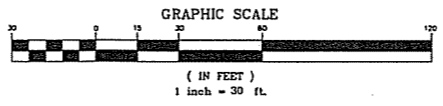
MATCH LINE

SHEET C-1.1
SHEET C-1.2



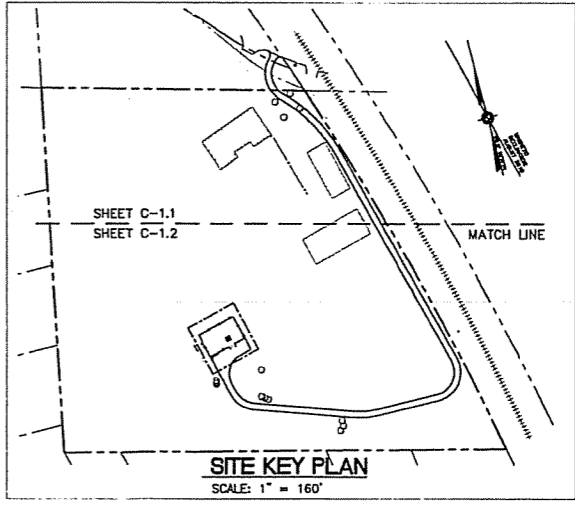
Symbol and Line Type Legend	
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- - -	EASEMENT LINE (PROPOSED)
- - -	LEASE AREA LINE (PROPOSED)
---550---	CONTOUR LINE
1420	GRADING LINE
---	FENCE (PROPOSED)
+183.17	SPOT ELEVATIONS (EXISTING)
x100.0	SPOT ELEVATIONS (PROPOSED)
o	ANGLE POINT IN PROPERTY LINE
o	IRON PIN / IRON PIPE FOUND
■	CONCRETE MONUMENT / CHD FOUND
o	EXIST'G UTILITY POLE
WF	FLAGGED WETLAND BOUNDARY
o	DECIDUOUS TREE
★	EVERGREEN TREE
o	EXISTING DECIDUOUS TREE TO BE REMOVED
★	EXISTING CONIFEROUS TREE TO BE REMOVED
---	GRAVEL ACCESS DRIVE (PROPOSED)
~ ~ ~	SILTATION FENCE
~ ~ ~	SILTATION/HAYBALE FENCE

1 PARTIAL SITE / SITE SURVEY PLAN
C-1.2 SCALE: 1"=30'



SURVEY NOTE:
THE SURVEY NOTES ON SHEET C-1.1 ARE APPLICABLE TO THIS PARTIAL SITE/SITE SURVEY SHEET C-1.2.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL
Alan S. Fenrow 1/27/2011
ALAN S. FENROW LS #70168 DATE



DESIGNED BY: CFC
DRAWN BY: TSP
CHK'D BY: DMD

REV	DATE	DESCRIPTION
1	07/26/10	ISSUED FOR CT SINGS COUNCIL
2	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
3	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
4	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
5	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
6	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
7	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
8	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
9	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
10	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
11	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
12	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
13	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
14	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
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16	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
17	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
18	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
19	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
20	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
21	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
22	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
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28	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
29	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW
30	07/26/10	ISSUED FOR CT SINGS COUNCIL - CLIENT REVIEW

Professional Engineer Seal: Alan S. Fenrow, No. 70168, State of Connecticut, License No. 6684.

Celco Partnership
d.b.a. Verizon Wireless

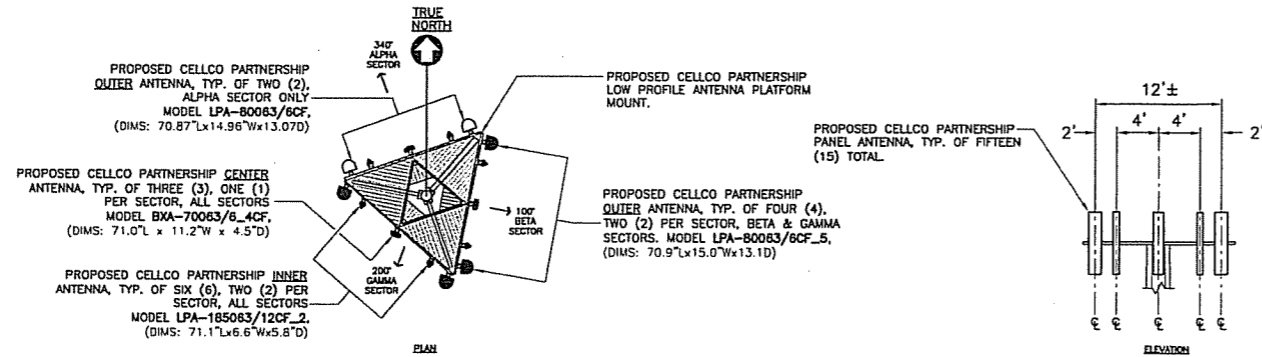
CENEX engineering
Continental Parkway
(203) 488-0580
(203) 488-8587 Fax
622 North Bedford Road
Bloomfield, CT 06002
www.Cenex.com

Celco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
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DAY HILL ROAD
BLOOMFIELD, CT 06002

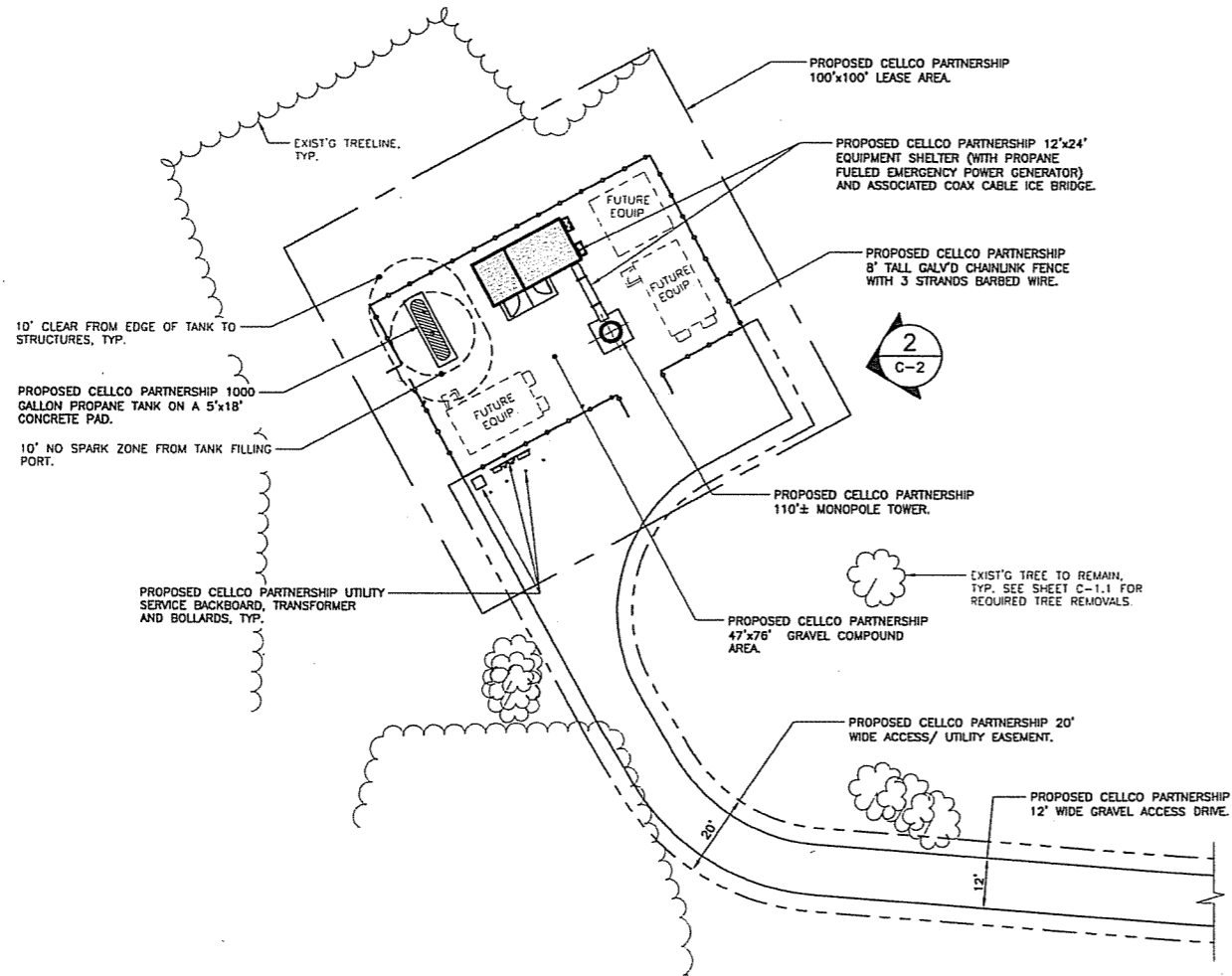
DATE: 07/26/10
SCALE: AS NOTED
JOB NO. 09053

PARTIAL SITE / SITE SURVEY PLAN

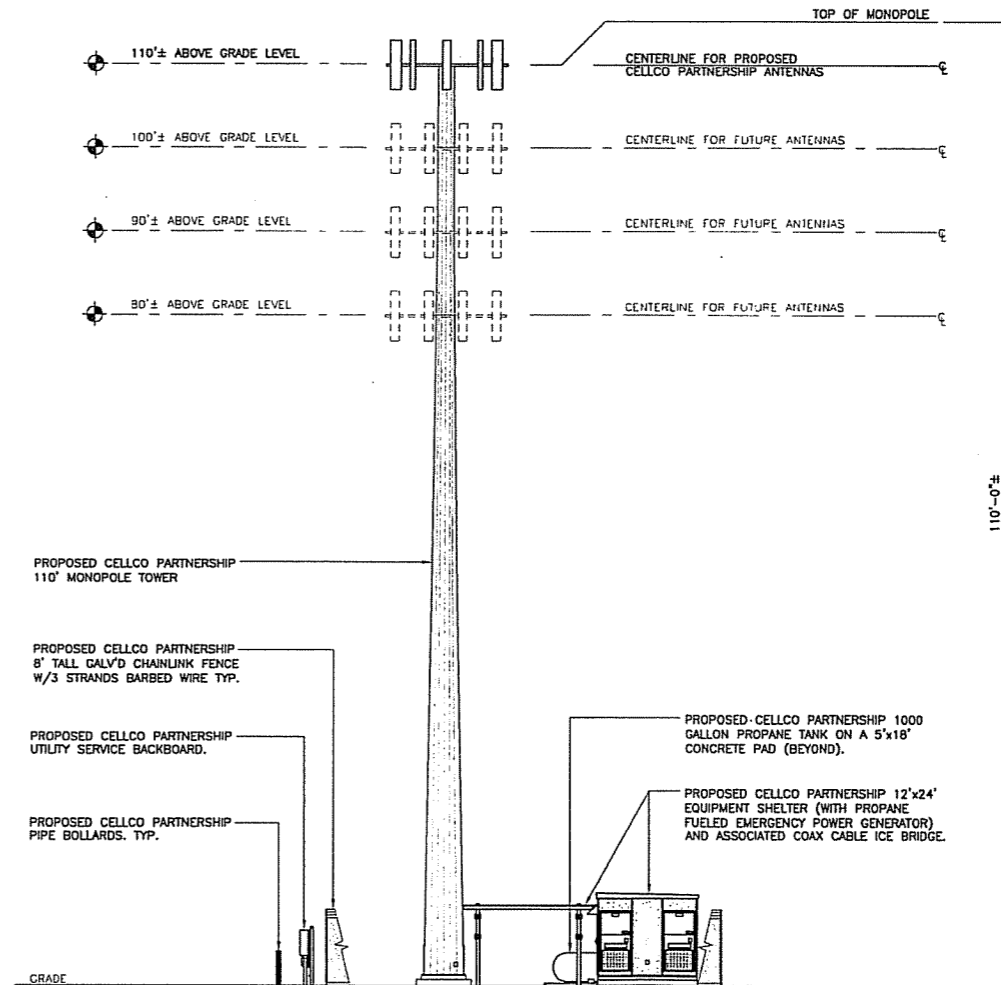
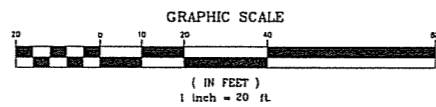
C-1.2
Sheet No. 1 of 2



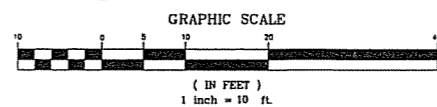
3 ANTENNA MOUNTING CONFIGURATION
C-2 NOT TO SCALE



1 COMPOUND PLAN
C-2 SCALE: 1" = 20'-0"

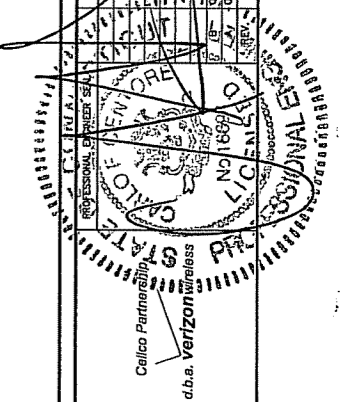


2 EASTERN ELEVATION
C-2 SCALE: 1" = 10'-0"



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CHK'D BY: DMD

NO.	DATE	BY	DESCRIPTION
	07/25/11	CFC	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
	07/25/11	DMD	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
	07/19/11	DMD	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
			DRAWN BY/CHK'D BY



CENTEK engineering
Continued on Station:

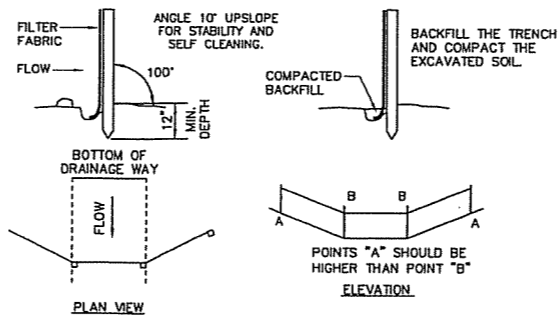
(203) 488-6580
(203) 488-8597 Fax
43-2 North Branch Road
Bloomfield, CT 06002
www.CentekEng.com

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
NORTH BLOOMFIELD
DAY HILL ROAD
BLOOMFIELD, CT 06002

DATE: 07/26/10
SCALE: AS NOTED
JOB NO. 09053

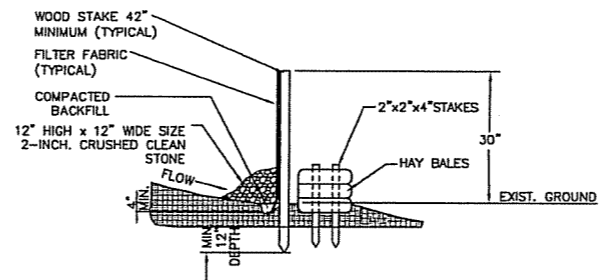
COMPOUND
PLAN AND
ELEVATION

C-2
Sheet No. 5 of 8

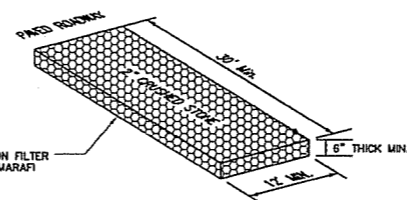


SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT

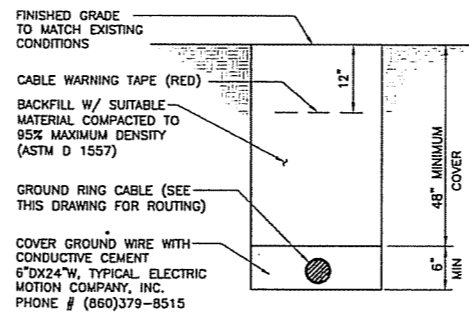
1 PLACEMENT AND CONSTRUCTION SILTATION FENCE
C-3 NOT TO SCALE



1A TYP. SILTATION FENCE/HAYBALE EROSION CONTROL DETAIL
C-3 NOT TO SCALE

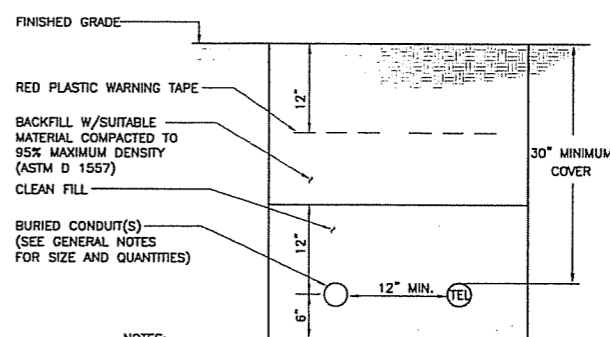


3 CONSTRUCTION ENTRANCE
C-3 NOT TO SCALE



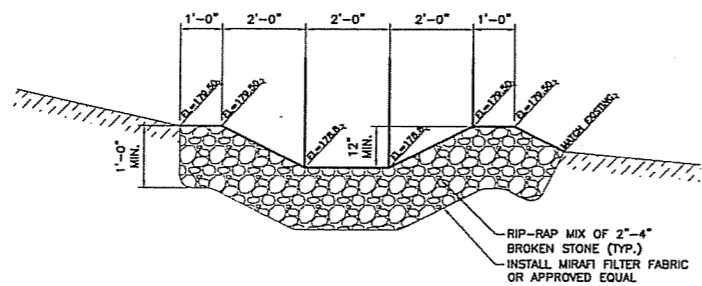
- NOTES:**
- BACK FILL SHALL NOT CONTAIN ASHES, CINDERS, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION.
 - WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.

6 TYPICAL BURIAL GROUND CABLE DETAIL
C-3 NOT TO SCALE

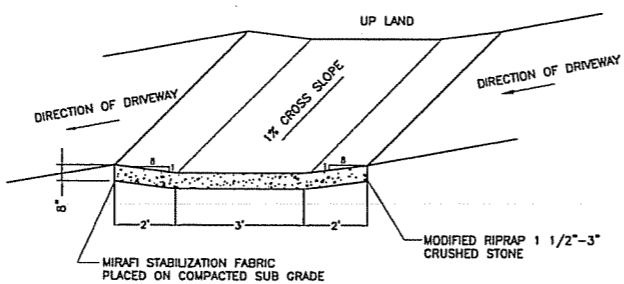


- NOTES:**
- THE CLEAN FILL SHALL PASS THROUGH A 3/8" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES. OTHER BACKFILL SHALL NOT CONTAIN ASHES, CINDERS, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION.
 - WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.

7 TYPICAL ELECTRICAL/TEL TRENCH DETAIL
C-3 NOT TO SCALE



4 TYPICAL LEVEL SPREADER (SECTION)
C-3 NOT TO SCALE



5 TYPICAL CROSS DRAINAGE SWALE
C-3 NOT TO SCALE

EROSION CONTROL

GENERAL CONSTRUCTION SEQUENCE

- THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.
- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
 - INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
 - REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
 - CONSTRUCT CLOSED DRAINAGE SYSTEM. PRECEPT CULVERTLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
 - CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
 - INSTALL UNDERGROUND UTILITIES.
 - BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
 - DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
 - BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
 - FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
 - COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 - NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
 - AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

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DRAWN BY: TSP
CHK'D BY: DMD

DESIGNED BY: CFC
DRAWN BY: DMD
CHK'D BY: CFC

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ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
DATE

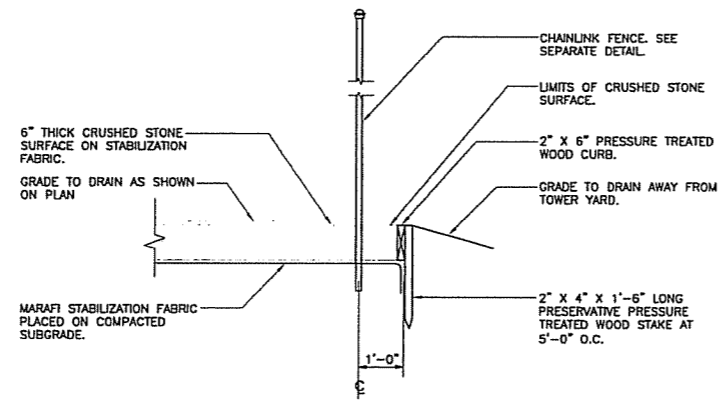
Cellco Partnership
d/b/a Verizon Wireless

CENTER engineering
2031 688-6590
2031 688-6597 Fax
43-21 North Branford Road
Branford, CT 06405
www.CenterEng.com

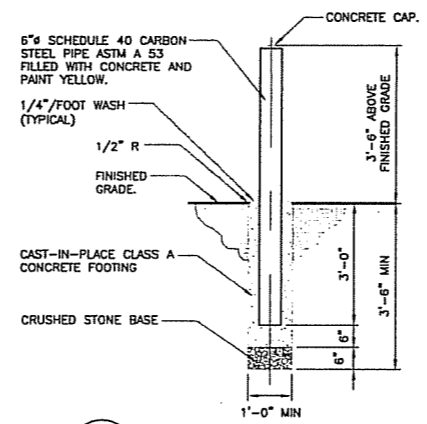
Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
NORTH BLOOMFIELD
DAY HILL ROAD
BLOOMFIELD, CT 06002

DATE: 07/26/10
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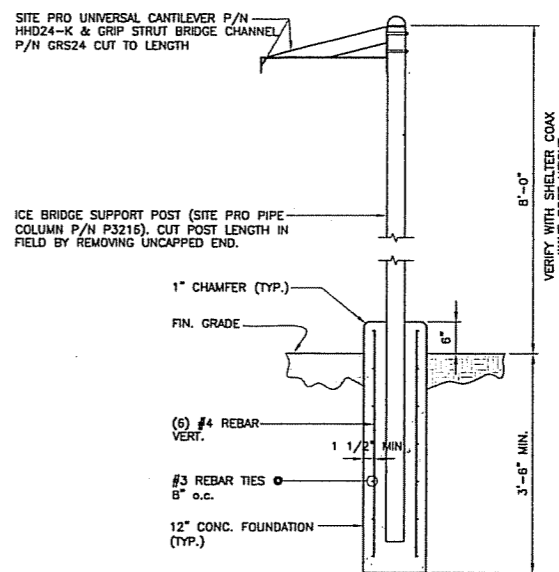
SITE DETAILS AND NOTES
C-3
Sheet No. 5 of 8



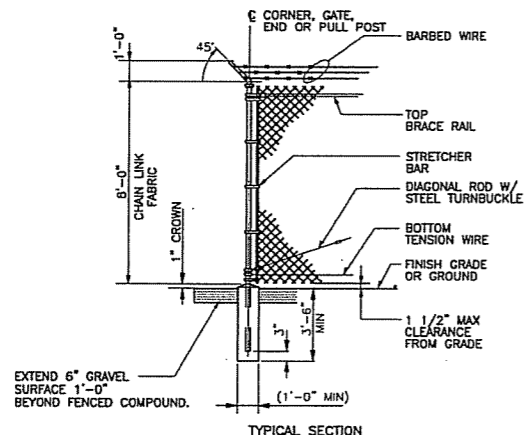
1 COMPOUND SURFACING DETAIL
C-4 NOT TO SCALE



2 BOLLARD DETAIL
C-4 NOT TO SCALE

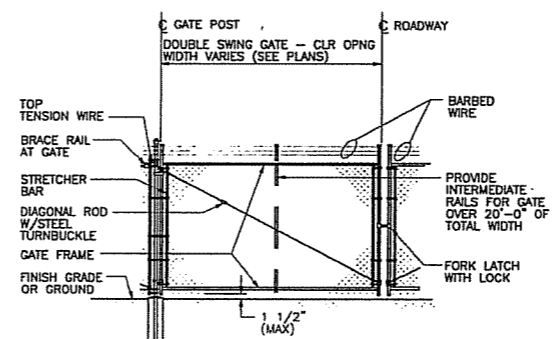


3 COAX CABLE CANOPY DETAIL
C-4 NOT TO SCALE

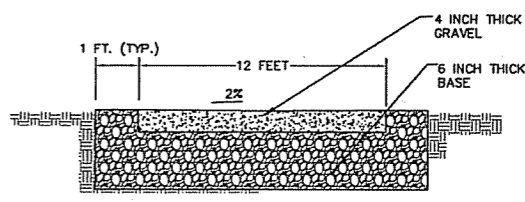


4 WOVEN WIRE FENCE DETAIL
C-4 NOT TO SCALE

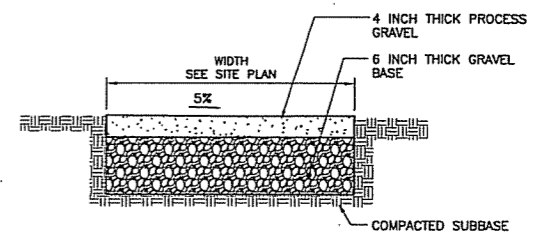
- WOVEN WIRE FENCE NOTES**
- GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2" SCHEDULE 40 FOR GATE WIDTHS UP THRU 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
 - LINE POST: 2" SCHEDULE 40 PIPE PER ASTM-F1083.
 - GATE FRAME: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
 - TOP RAIL & BRACE RAIL: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
 - FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
 - TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX 24" INTERVALS.
 - TENSION WIRE: 7 GA. GALVANIZED STEEL.
 - TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX 24" INTERVALS.
 - BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA. 4 PT. BARBS SPACED ON APPROXIMATELY 6" CENTERS.
 - GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYED ALIKE FOR ALL SITES IN A GIVEN MTA.
 - LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED WITH IF REQUIRED.
 - HEIGHT = 8' VERTICAL + 1' BARBED WIRE VERTICAL DIMENSION.



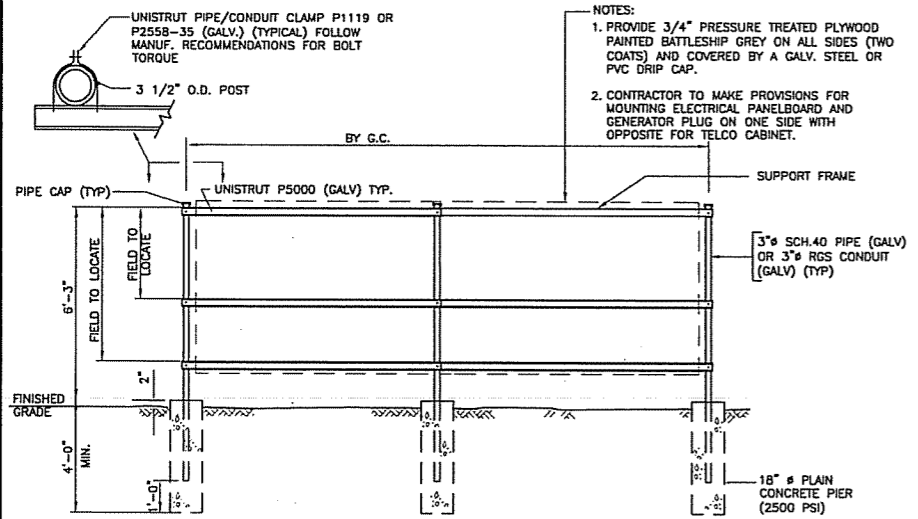
4A WOVEN WIRE SWING GATE-DOUBLE
C-4 NOT TO SCALE



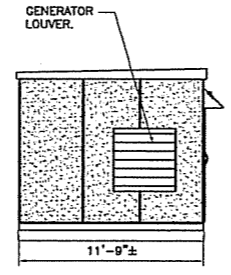
5 TYP. GRAVEL ACCESS DRIVE DETAIL
C-4 NOT TO SCALE



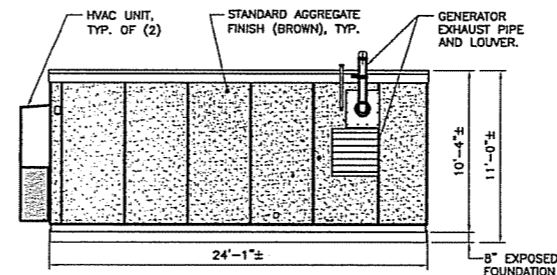
5A GRAVEL PARKING SURFACE
C-4 NOT TO SCALE



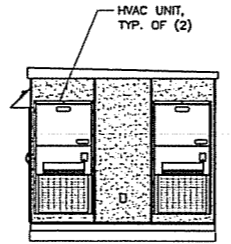
6 UTILITY SUPPORT FRAME (TYP)
C-4 NOT TO SCALE



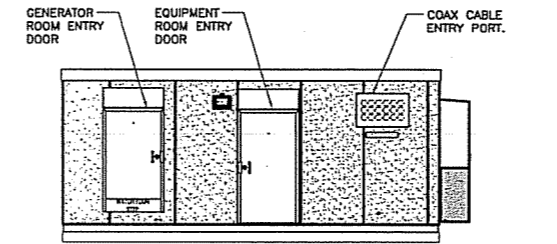
7 WEST SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



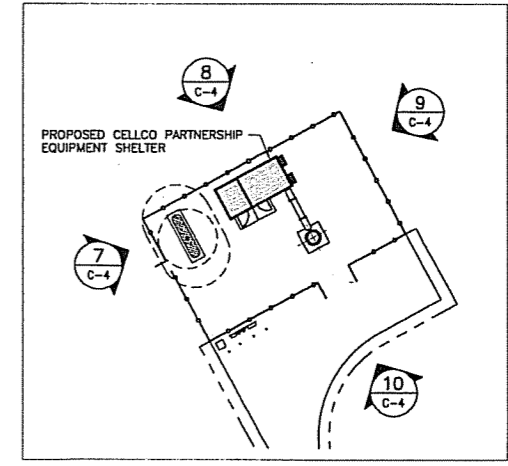
8 NORTH SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



9 EAST SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



10 SOUTH SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



SHELTER ELEVATION KEY PLAN
NOT TO SCALE

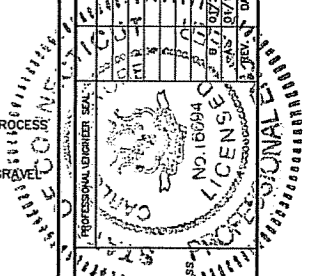
DESIGNED BY:	CFC	CFC
DRAWN BY:	TSP	DMD
CHK'D BY:	DMD	CFC

DATE	07/26/10
SCALE	AS NOTED
JOB NO.	09053

SITE DETAILS AND SHELTER ELEVATIONS

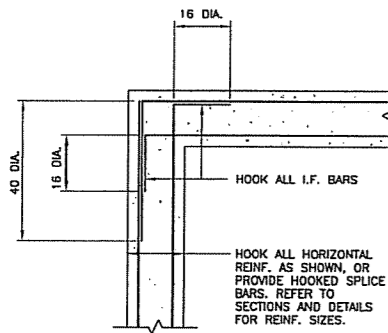
C-4

Sheet No. 1 of 8

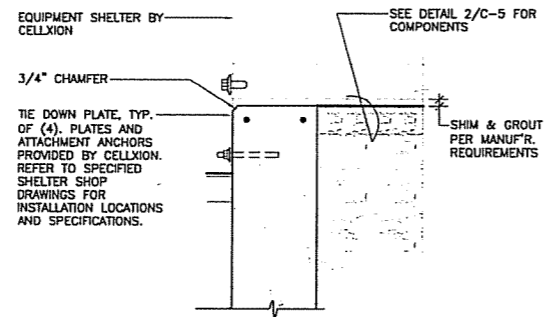


CENITEK engineering
2031 488-8590
2031 488-8387 Fax
452 North Fairfield Road
Bloomfield, CT 06465
www.CenitekEng.com

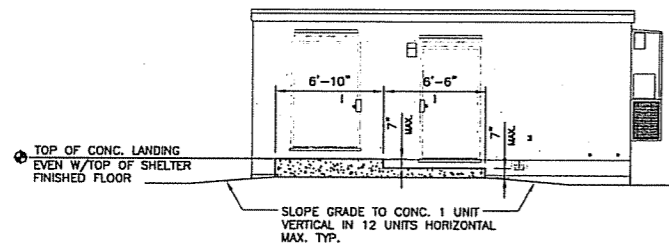
Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
NORTH BLOOMFIELD
DAY HILL ROAD
BLOOMFIELD, CT 06002



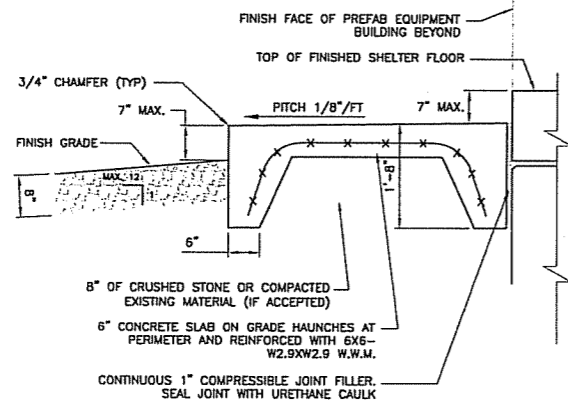
3 PLAN DETAIL
C-5 NOT TO SCALE



4 BUILDING TIE DOWN
C-5 SCALE: 1"=1'-0"

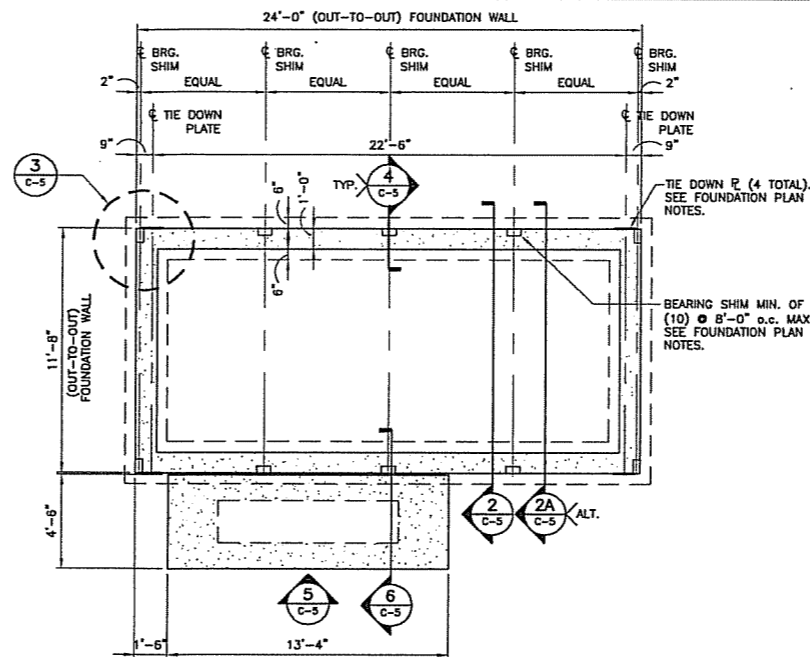


5 ENTRY STOOP DETAIL - ELEVATION
C-5 SCALE: 3/16"=1'-0"

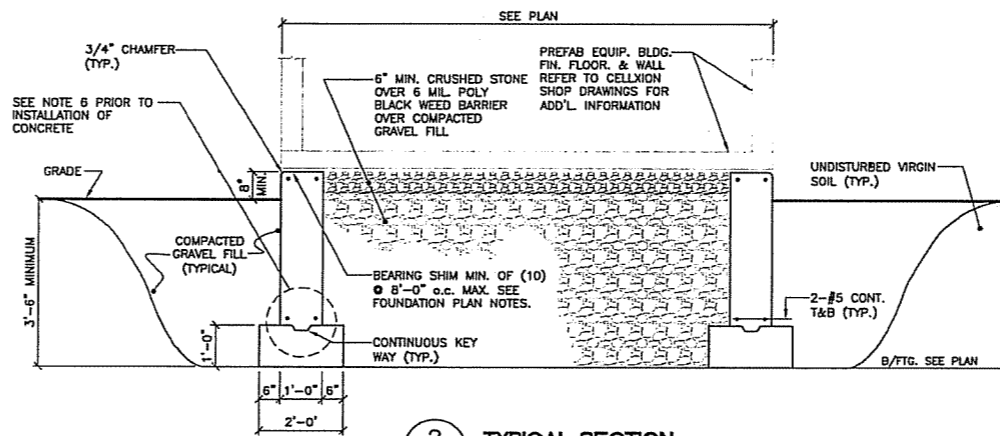


6 ENTRY STOOP DETAIL - SECTION
C-5 SCALE: 3/16"=1'-0"

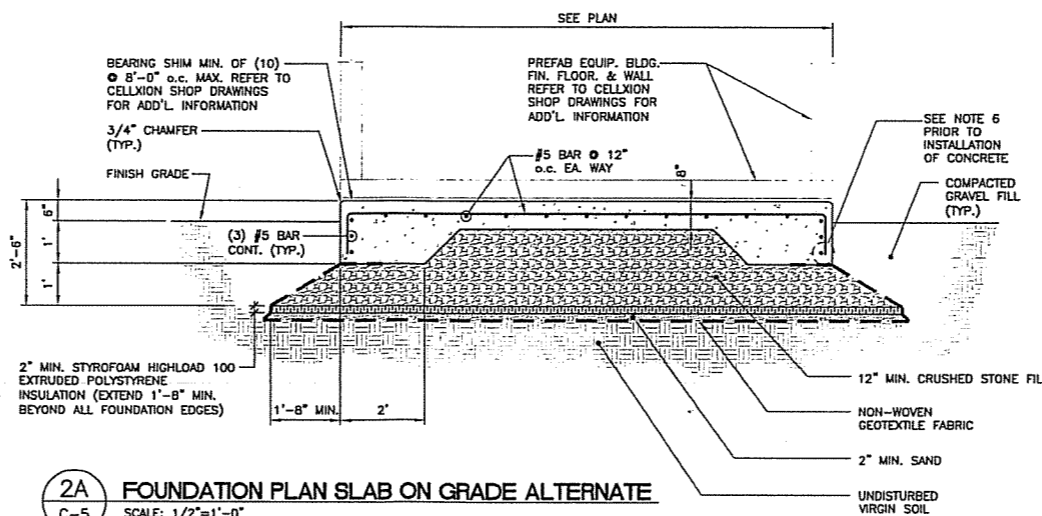
EQUIPMENT SHELTER BY CELLXION. VERIFY ALL SHELTER DIMENSIONS, EQUIPMENT DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.



1 FOUNDATION PLAN
C-5 SCALE: 1/4"=1'-0" APPROXIMATE NORTH



2 TYPICAL SECTION
C-5 SCALE: 1/2"=1'-0"



2A FOUNDATION PLAN SLAB ON GRADE ALTERNATE
C-5 SCALE: 1/2"=1'-0"

FOUNDATION NOTES:

- IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
- DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.
- REFER TO DRAWING T1 FOR ADDITIONAL NOTES AND REQUIREMENTS.

SITE NOTES:

- THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ACTIVE EXISTING UTILITIES, WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY, PRIOR TO PROCEEDING, SHOULD ANY UNCOVERED EXISTING UTILITY PRECLUDE COMPLETION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ALL RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED OFF SITE AND BE LEGALLY DISPOSED, AT NO ADDITIONAL COST.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREAS OF THE COMPOUND DISTURBED BY THE WORK SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL PROCEED WITH AFFECTED WORK AFTER CONFLICT IS SATISFACTORILY RESOLVED.
- DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

COMPACTED GRAVEL FILL:

- COMPACTED GRAVEL FILL SHALL BE FURNISHED AND PLACED AS A FOUNDATION FOR STRUCTURES, WHERE SHOWN ON THE CONTRACT DRAWINGS OR DIRECTED BY THE ENGINEER.
- GRAVEL SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE M.02.02 OF THE CONNECTICUT D.O.T. STANDARD SPECIFICATIONS. ADMIXTURES AND SURFACE PROTECTIVE MATERIALS USED TO PREVENT THE GRAVEL FROM FREEZING MUST MEET THE APPROVAL OF THE ENGINEER. THE LARGEST STONE SIZE SHALL BE 3-1/2 INCHES.
- SAMPLES OF THE MATERIAL TO BE USED SHALL BE DELIVERED TO THE JOB SITE 5 DAYS PRIOR TO ITS INTENDED USE SO IT MAY BE TESTED FOR APPROVAL.
- AFTER ALL EXCAVATION HAS BEEN COMPLETED, GRAVEL SHALL BE DEPOSITED IN LAYERS NOT EXCEEDING EIGHT (8) INCHES IN DEPTH OVER THE AREAS. IN EXCEPTIONAL CASES, THE ENGINEER MAY PERMIT THE FIRST LAYER TO BE THICKER THAN EIGHT (8) INCHES. EACH LAYER SHALL BE LEVELED OFF BY SUITABLE EQUIPMENT. THE ENTIRE AREA OF EACH LAYER SHALL BE COMPACTED BY USE OF APPROVED VIBRATORY, PNEUMATIC-TIRED OR TREAD-TYPE COMPACTION EQUIPMENT. COMPACTION SHALL BE CONTINUED UNTIL THE DRY DENSITY OVER THE ENTIRE AREA OF EACH LAYER IS NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY ACHIEVED BY AASHTO T-99 METHOD C. THE MOISTURE CONTENT OF THE GRAVEL SHALL NOT VARY BY MORE THAN 3% FROM ITS OPTIMUM MOISTURE CONTENT. NO SUBSEQUENT LAYER SHALL BE DEPOSITED UNTIL THE SPECIFIED COMPACTION IS ACHIEVED FOR THE PREVIOUS LAYER. IF NECESSARY TO OBTAIN THE REQUIRED COMPACTION, WATER SHALL BE ADDED AND GENTLE PUDDLING PERFORMED IF AUTHORIZED. COMPACTED GRAVEL FILL SHALL BE PREVENTED FROM FREEZING BY USE OF APPROVED ADMIXTURES OR BY USE OF APPROVED PROTECTIVE MATERIALS ON THE SURFACE, OR BOTH.

CONCRETE AND REINFORCING STEEL NOTES:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318.
- ALL CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED WITH A MAXIMUM SLUMP OF 4", AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS OTHERWISE INDICATED.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON THE DRAWINGS:
CONCRETE CAST AGAINST EARTH.....3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 AND LARGER.....2 IN.
#5 AND SMALLER & WWF.....1 1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
SLAB AND WALL.....3/4 IN.
BEAMS AND COLUMNS.....1 1/2 IN.
- ALL EXPOSED EDGES OF CONCRETE TO RECEIVE A 3/4" CHAMFER IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- CONCRETE EQUIPMENT PAD TO RECEIVE A BRUSHED FINISH.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT DURING DRILLING WITHOUT PRIOR REVIEW BY THE ENGINEER.

DESIGNED BY: CFC CFC
DRAWN BY: TSP DMD
CHK'D BY: DMD CFC

ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
DATE: 10/26/10
ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
DATE: 10/26/10
ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW
DATE: 10/26/10

PROFESSIONAL ENGINEER
C. F. CROFT
1000 WESTERN AVENUE
SUITE 100
BLOOMFIELD, CT 06002
TEL: 860-241-1111
FAX: 860-241-1112
WWW.CFCENGINEERING.COM

CELLCO PARTNERSHIP d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
NORTH BLOOMFIELD
DAY HILL ROAD
BLOOMFIELD, CT 06002

DATE: 07/26/10
SCALE: AS NOTED
JOB NO. 09053

SHELTER FOUND. PLAN, DETAILS AND NOTES

C-5
Sheet No. 8 of 8

CERTIFICATION OF SERVICE

I hereby certify that on this 11th day of February, 2011, copies of the Application and attachments were sent certified mail, return receipt requested, to the following:

STATE OFFICIALS:

The Honorable George C. Jepsen
Attorney General
Office of the Attorney General
55 Elm Street
Hartford, CT 06106

Peter J. Boynton, Commissioner
Department of Emergency Management and Homeland Security
25 Sigourney Street, 6th Floor
Hartford, CT 06106-5042

Amey Marrella, Commissioner
Connecticut Department of Environmental Protection
79 Elm Street
Hartford, CT 06106

Jewel Mullen, M.D., M.P.H., M.P.A., Commissioner
Department of Public Health and Addiction Services
410 Capitol Avenue
P.O. Box 340308, MS 13COM
Hartford, CT 06134-0308

Karl J. Wagener, Executive Director
Council on Environmental Quality
79 Elm Street
P.O. Box 5066
Hartford, CT 06106

Kevin M. DelGobbo, Chairman
Department of Public Utility Control
Ten Franklin Square
New Britain, CT 06051

Benjamin Barnes, Secretary
Office of Policy and Management
450 Capitol Avenue
Hartford, CT 06134-1441

Ronald F. Angelo, Deputy Commissioner
Department of Economic and Community Development
505 Hudson Street
Hartford, CT 06106

Jeffrey A. Parker, Commissioner
Department of Transportation
P.O. Box 317546
2800 Berlin Turnpike
Newington, CT 06131-7546

Karen Senich, Executive Director
Deputy State Historic Preservation Officer
Connecticut Commission on Culture & Tourism
Historic Preservation and Museum Division
One Constitution Plaza, 2nd Floor
Hartford, CT 06103

BLOOMFIELD TOWN OFFICIALS:

Louie Chapman, Jr.
Town Manager
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

The Honorable Beth Bye
Senator
Legislative Office Building
Room 3100
Hartford, CT 06106-1591

The Honorable David Baram
Representative – 15th District
Legislative Office Building
Room 5006
Hartford, CT 06106-1591

Marguerite Phillips
Town Clerk
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

Barry Berson, Chair
Plan and Zoning Commission
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

Nicholas Panke, Chair
Inland Wetlands Commission
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

Thom Hooper, Director
Planning and Zoning
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

Jackie Isaacson, Chair
Zoning Board of Appeals
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

WINDSOR TOWN OFFICIALS:

Peter Souza
Town Manager
Town of Windsor
275 Broad Street
Windsor, CT 06095

The Honorable Eric D. Coleman
Senator
Legislative Office Building
Room 2500
Hartford, CT 06106-1591

The Honorable David Baram
Representative – 15th District
Legislative Office Building
Room 5006
Hartford, CT 06106-1591

Agnes Pier
Town Clerk
Town of Windsor
275 Broad Street
Windsor, CT 06095

Anita Mips, Chair
Town Planning and Zoning Commission
Town of Windsor
275 Broad Street
Windsor, CT 06095

Linnea Gilbert, Chair
Inland Wetlands and Watercourses Commission
Town of Windsor
275 Broad Street
Windsor, CT 06095

Eric Barz, Town Planner
Town of Windsor
275 Broad Street
Windsor, CT 06095

Fran Rothenberg, Chair
Zoning Board of Appeals
Town of Windsor
275 Broad Street
Windsor, CT 06095

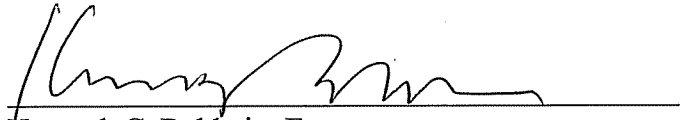
FEDERAL OFFICIALS:

The Honorable Richard Blumenthal
United States Senator
G55 Dirksen Senate Office Building
Washington, DC 20510

The Honorable Joseph Lieberman
United States Senator
706 Hart Senate Office Building
Washington, DC 20510

The Honorable John Larson
Representative
106 Cannon HOB
Washington, DC 20515

Federal Communications Commission
445 12th Street SW
Washington, DC 20554



Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103
Telephone: (860) 275-8200
Attorneys for Cellco Partnership d/b/a Verizon Wireless

LEGAL NOTICE

Notice is hereby given, pursuant to Section 16-50(b) of the Connecticut General Statutes and Regulations pertaining thereto, of an Application to be submitted to the Connecticut Siting Council ("Council") on or about February 11, 2011, by Cellco Partnership d/b/a Verizon Wireless ("Cellco" or the "Applicant"). The Application proposes the installation of a wireless telecommunications facility on an approximately 10.8 acre parcel south of Day Hill Road in Bloomfield, Connecticut. At this site, Cellco proposes to construct a 110-foot monopole telecommunications tower. Access to the site will extend from Day Hill Road over a new gravel driveway a distance of approximately 1,250 feet to the cell site. Cellco will also install a 12' x 24' shelter near the base of the tower to house its radio equipment and a propane-fueled back-up generator. The tower, equipment shelter and 1,000 gallon propane tank will all be installed inside a 47' x 76' fenced compound. The location and other features of the proposed facility are subject to change under provisions of Connecticut General Statutes § 16-50g et. seq.

On the day of the Siting Council public hearing on this proposal, Cellco will fly a balloon at the height of the proposed tower described above. Interested parties and residents of the Towns of Bloomfield and Windsor are invited to review the Application on or after February 14, 2011, during normal business hours at any of the following offices:

Connecticut Siting Council
10 Franklin Square
New Britain, CT 06051

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

Town Clerk
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

Town Manager
Town of Bloomfield
800 Bloomfield Avenue
Bloomfield, CT 06002

Town Clerk
Town of Windsor
275 Broad Street
Windsor, CT 06095

Town Manager
Town of Windsor
275 Broad Street
Windsor, CT 06095

or the offices of the undersigned. All inquiries should be addressed to the Connecticut Siting Council or to the undersigned.

CELLCO PARTNERSHIP d/b/a VERIZON
WIRELESS

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103-3597
(860) 275-8200
Its Attorneys

KENNETH C. BALDWIN

280 Trumbull Street
Hartford, CT 06103-3597
Main (860) 275-8200
Fax (860) 275-8299
kbaldwin@rc.com
Direct (860) 275-8345

February 9, 2011

Via Certified Mail Return Receipt Requested

«Name_and_Address»

**Re: Cellco Partnership d/b/a Verizon Wireless
Proposed Telecommunications Facility
Day Hill Road, Bloomfield, Connecticut**

Dear «Salutation»:

Cellco Partnership d/b/a Verizon Wireless ("Cellco") will be submitting an application to the Connecticut Siting Council ("Council") on or about February 11, 2011, for approval of the construction of a telecommunications facility in Bloomfield, Connecticut.

The proposed facility location would consist of a new 110-foot telecommunications tower and a 12' x 24' equipment shelter located on an 10.8 acre parcel located south of Day Hill Road and the Bloomfield/Windsor town line. This parcel is owned by River Bend Associates, Inc. Cellco's radio equipment and a propane-fueled backup generator would be installed inside a secured equipment room inside the shelter. The tower, shelter and 1,000 gallon propane tank will be installed within a 47' x 76' fenced compound. Access to the facility would extend from Day Hill Road over a new gravel access driveway a distance of 1,250 feet to the cell site. A set of the project plans for the Cellco proposal are attached for your review.

The location and other features of the proposed facility are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq.

February 9, 2011
Page 2

State law provides that owners of record of property which abuts a parcel on which the proposed facility may be located must receive notice of the submission of this application. This notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

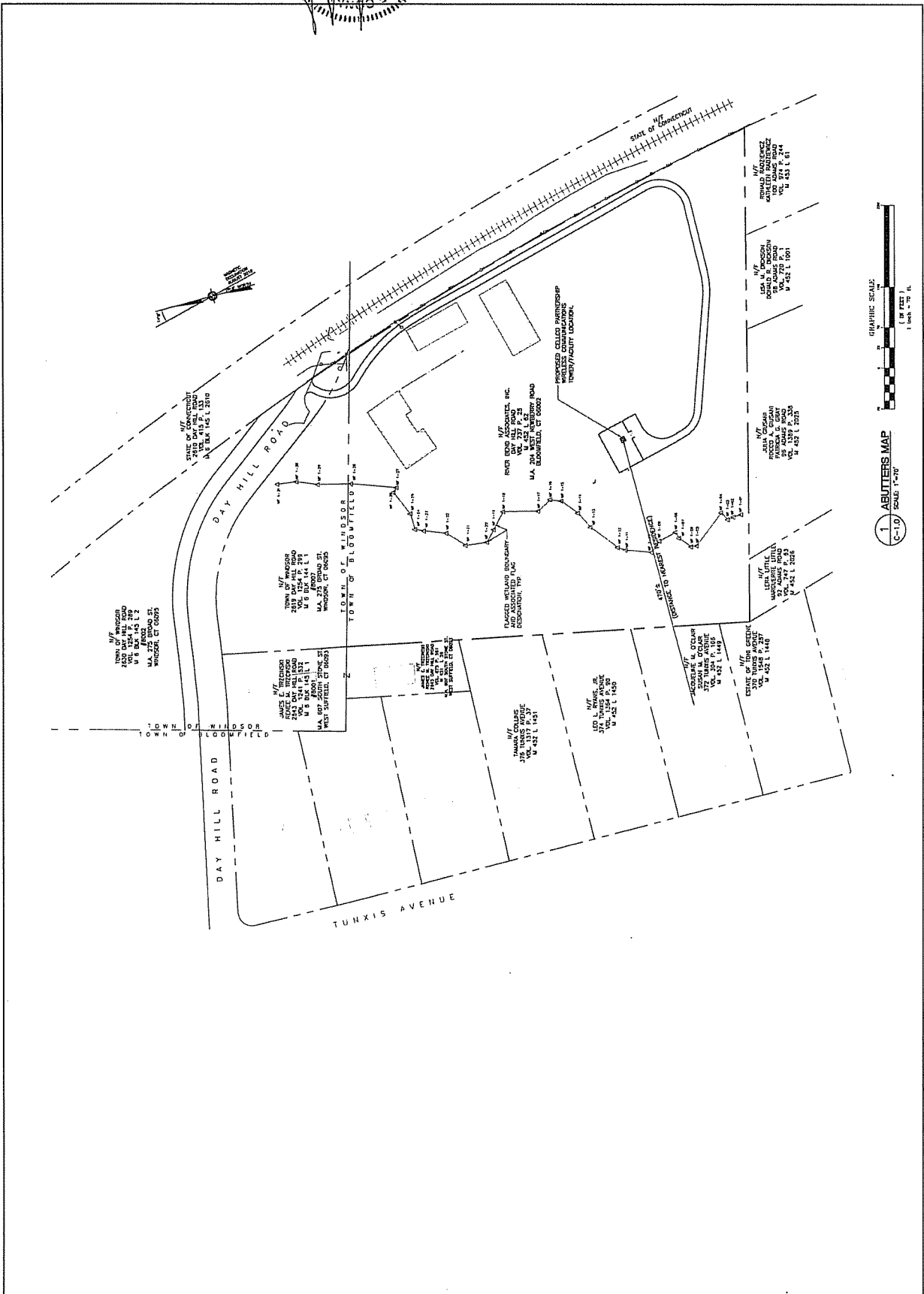
If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,

A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin". The signature is fluid and cursive, with a long horizontal stroke at the end.

Kenneth C. Baldwin

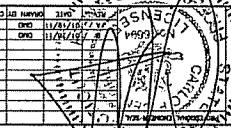
KCB/kmd
Attachment



ABUTTERS MAP
C-10
 SCALE 1"=100'
 GRAPHIC SCALE
 1 INCH = 75 FEET

RECORDED BY: CT
 DRAWN BY: JAC
 CHECK BY: JAC

DATE	BY	DESCRIPTION
08/11/11	JAC	DESIGN FOR 4" SINK CURB
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION
08/11/11	JAC	DESIGN FOR 4" SINK CURB - CHART REVISION



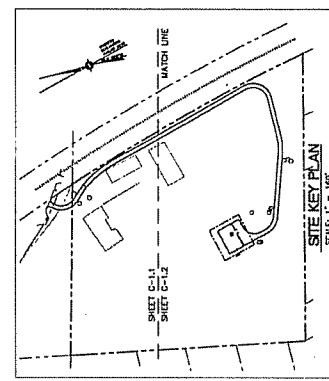
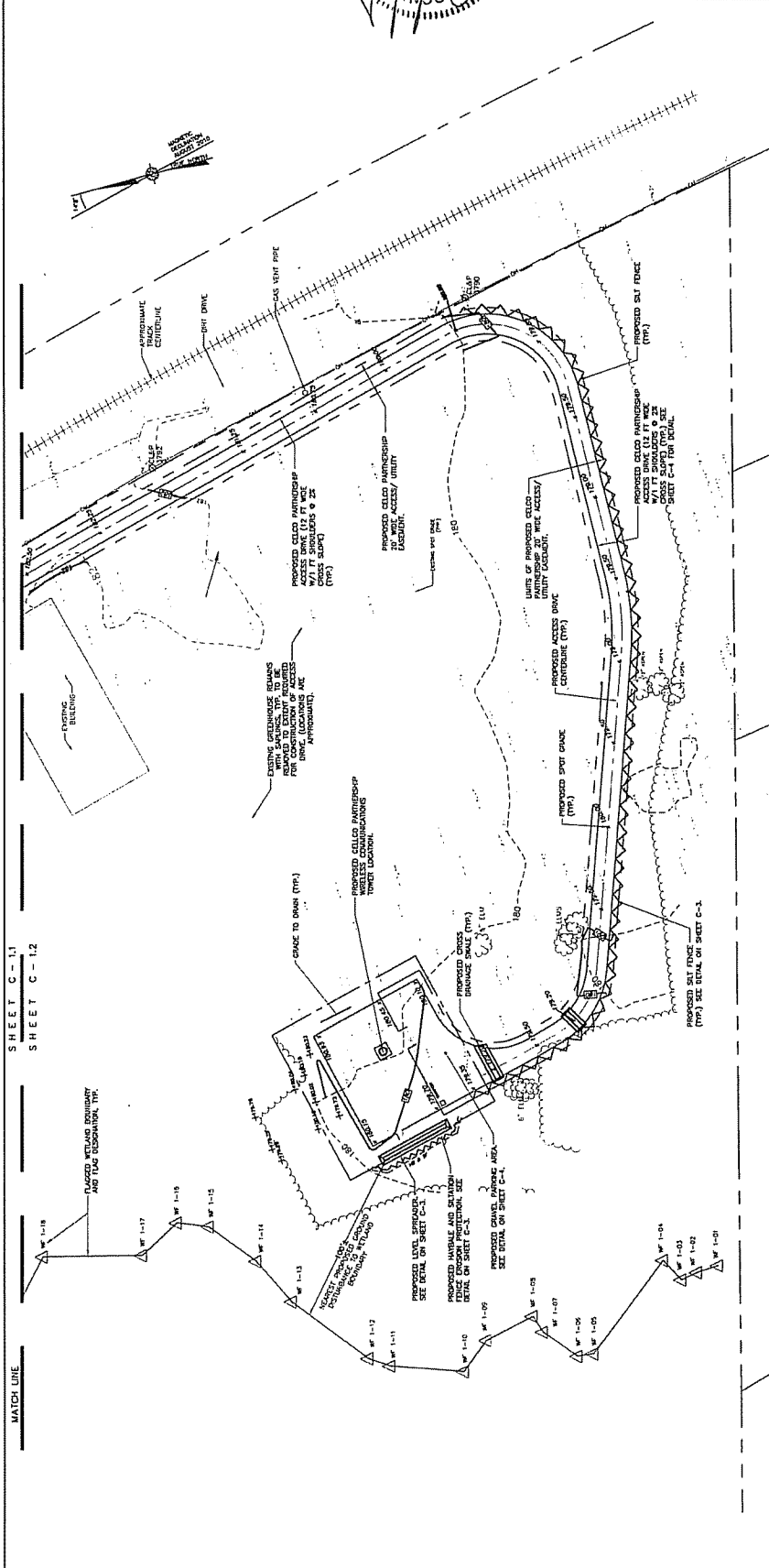
Center
 1234 Main Street
 Bloomfield, CT 06002
 (860) 880-1234
 www.Center.com

Cellco Partnership d/b/a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
 NORTH BLOOMFIELD
 DAY HILL ROAD
 BLOOMFIELD, CT 06002

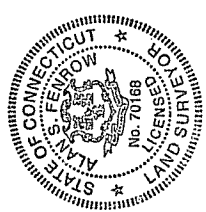
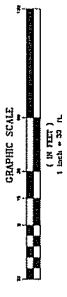
DATE: 12/27/11
 SCALE: AS SHOWN
 SHEET NO.: 06003

PARTIAL SITE /
 SITE SURVEY PLAN
 C-12

SHEET NO. 1 OF 1



1 PARTIAL SITE / SITE SURVEY PLAN
 C-12 SCALE 1"=30'



Symbol and Line Type Legend

---	PROPERTY LINE
- - - -	EASEMENT LINE (PROPOSED)
- · - · -	LEASE AREA LINE (PROPOSED)
- · - · -	EXISTING EASEMENT LINE
- · - · -	EXISTING LEASE AREA LINE
- · - · -	EXISTING FENCE
- · - · -	FENCE (PROPOSED)
- · - · -	SPOT ELEVATIONS (EXISTING)
- · - · -	SPOT ELEVATIONS (PROPOSED)
- · - · -	ANGLE POINT IN PROPERTY LINE
- · - · -	IRON PIPE / IRON PIPE FOUND
- · - · -	CONCRETE MOUND / CH FOUND
- · - · -	EXISTING UTILITY POLE
- · - · -	FLAGGED WETLAND BOUNDARY
- · - · -	DEBRUSHED TREE
- · - · -	EXISTING TREE
- · - · -	EXISTING CONCRETE TREE
- · - · -	EXISTING CONCRETE DRIVE
- · - · -	GRAVEL ACCESS DRIVE (PROPOSED)
- · - · -	SULATION FENCE
- · - · -	SULATION/VARIABLE FENCE

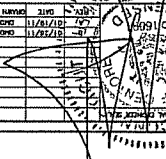
GENERAL NOTE:
 ALL DATA ON SHEET C-11 ARE APPLICABLE
 TO THIS PARTIAL SURVEY SHEET C-12.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS
 SUBSTANTIALLY CORRECT AS NOTED HERETO.
 THIS MAP IS NOT VALID WITHOUT A LICENSE AND SEAL.
 Alan S. Fodor 12/27/2011
 DATE

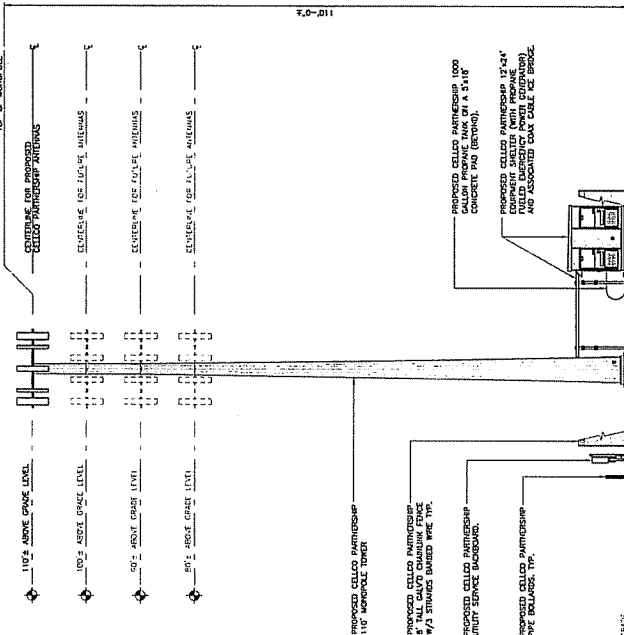
Cellco Partnership d/b/a Verizon Wireless
NORTH BLOOMFIELD
WIRELESS COMMUNICATIONS FACILITY
DAY HILL ROAD
BLOOMFIELD, CT 06002

Contract No. 10-055
100.00
100.00
100.00

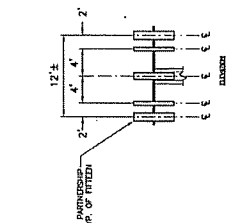
Central Electric



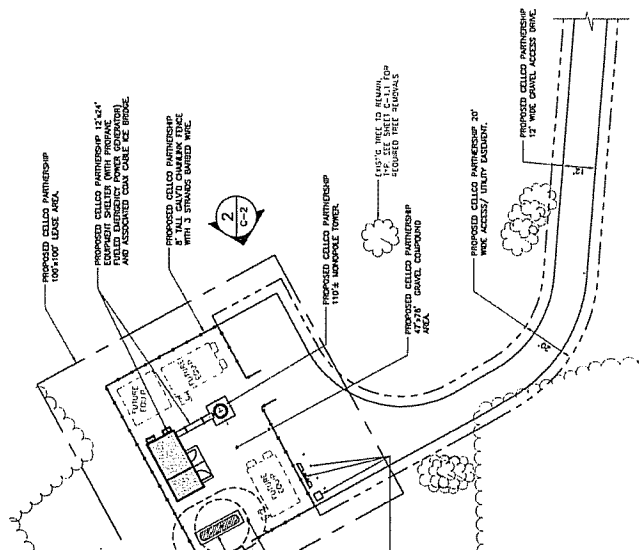
DATE	REVISION	BY	DESCRIPTION
07/24/10	1	AS	ISSUE FOR PERMIT REVIEW
07/24/10	2	AS	ISSUE FOR PERMIT REVIEW



2 EASTERN ELEVATION
SCALE: 1" = 10'-0"



3 ANTENNA MOUNTING CONFIGURATION
NOT TO SCALE



1 COMPOUND PLAN
SCALE: 1" = 30'-0"



PROPOSED CELLCO PARTNERSHIP 119' MONOPOLE TOWER
MODEL: LPA-10004/AC2,
(HQS: 75.87x11.95x11.07)

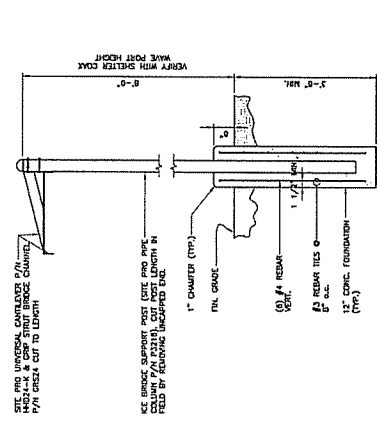
PROPOSED CELLCO PARTNERSHIP 100' CALUMI PRORANG TANK ON A 5'x18' CONCRETE PAD
MODEL: DPX-220/AL/AC2,
(HQS: 71.67' x 11.78' x 5.57)

PROPOSED CELLCO PARTNERSHIP 15'x4' EQUIPMENT SKID
MODEL: LPA-10004/AC2,
(HQS: 71.13' x 6.76' x 6.57)

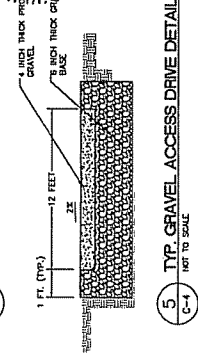
PROPOSED CELLCO PARTNERSHIP UNIT SERVICE BACKBOARD AND SOLAR/BATTERY BANK
MODEL: DPX-220/AL/AC2,
(HQS: 71.13' x 6.76' x 6.57)

PROPOSED CELLCO PARTNERSHIP 15'x4' EQUIPMENT SKID WITH PRORANG COMPONENT SKID
MODEL: DPX-220/AL/AC2,
(HQS: 75.87x11.95x11.07)

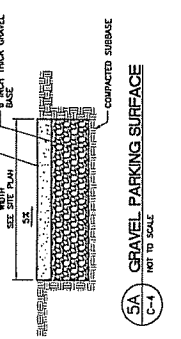
PROPOSED CELLCO PARTNERSHIP 20' W/3 STRANDS BARBED WIRE TYP.
MODEL: LPA-10004/AC2,
(HQS: 75.87x11.95x11.07)



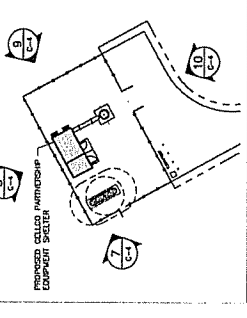
3 COAX CABLE CANOPY DETAIL
 C-4 NOT TO SCALE



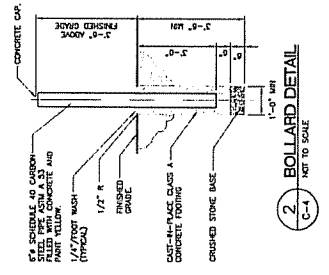
5 TYP. GRAVEL ACCESS DRIVE DETAIL
 C-4 NOT TO SCALE



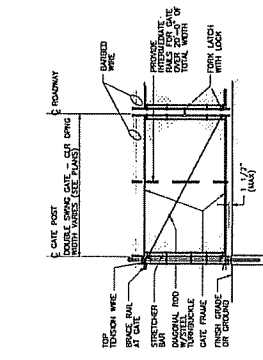
5A GRAVEL PARKING SURFACE
 C-4 NOT TO SCALE



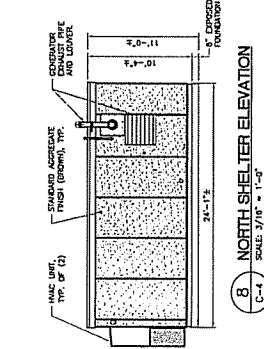
SHELTER ELEVATION KEY PLAN
 SHEET NO. 1 OF 3



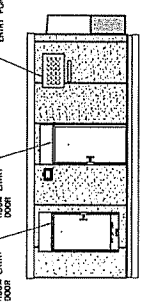
2 BOLLARD DETAIL
 C-4 NOT TO SCALE



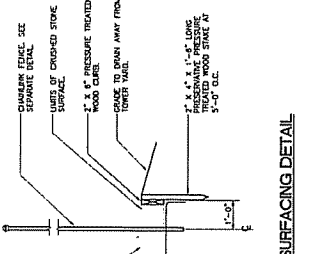
4A WOVEN WIRE SWING GATE-DOUBLE
 C-4 NOT TO SCALE



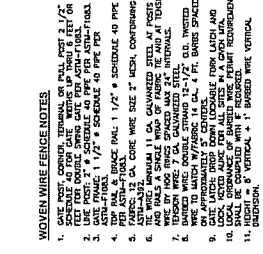
8 NORTH SHELTER ELEVATION
 C-4 SCALE: 3/16\"/>



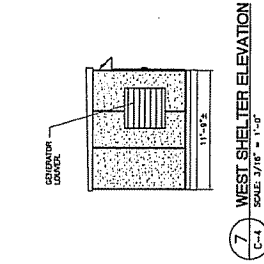
10 SOUTH SHELTER ELEVATION
 C-4 SCALE: 3/16\"/>



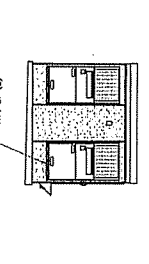
1 COMPOUND SURFACING DETAIL
 C-4 NOT TO SCALE



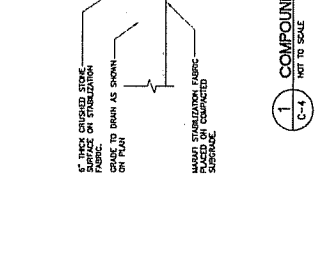
4 WOVEN WIRE FENCE DETAIL
 C-4 NOT TO SCALE



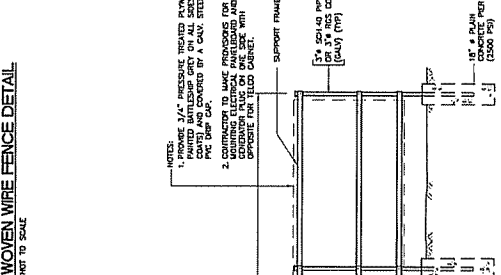
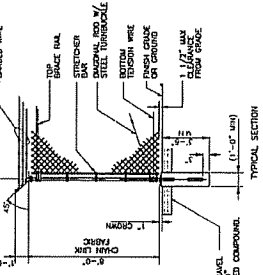
7 WEST SHELTER ELEVATION
 C-4 SCALE: 3/16\"/>



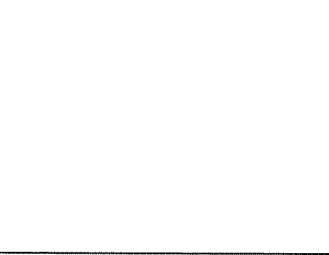
9 EAST SHELTER ELEVATION
 C-4 SCALE: 3/16\"/>



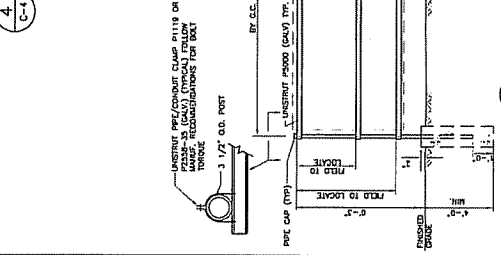
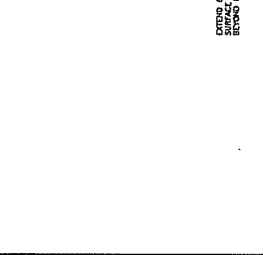
6 UTILITY SUPPORT FRAME (TYP)
 C-4 NOT TO SCALE



6 UTILITY SUPPORT FRAME (TYP)
 C-4 NOT TO SCALE



4 WOVEN WIRE FENCE DETAIL
 C-4 NOT TO SCALE



6 UTILITY SUPPORT FRAME (TYP)
 C-4 NOT TO SCALE

DATE: 07/24/10
SCALE: AS NOTED
SHEET NO. 0003

CONCRETE FOUNDATION PLAN DETAILS AND NOTES
C-5

Project No. 10-01

Collico Partnership d/b/a Verizon Wireless
NORTH BLOOMFIELD
BLOOMFIELD, CT 06002

www.Collico.com
1501 North Main Street
Bloomfield, CT 06002

Collico Partnership d/b/a Verizon Wireless

DATE: 07/24/10
SCALE: AS NOTED
SHEET NO. 0003

CONCRETE FOUNDATION PLAN DETAILS AND NOTES
C-5

Project No. 10-01

Collico Partnership d/b/a Verizon Wireless
NORTH BLOOMFIELD
BLOOMFIELD, CT 06002

www.Collico.com
1501 North Main Street
Bloomfield, CT 06002

Collico Partnership d/b/a Verizon Wireless

DATE: 07/24/10
SCALE: AS NOTED
SHEET NO. 0003

CONCRETE FOUNDATION PLAN DETAILS AND NOTES
C-5

Project No. 10-01

Collico Partnership d/b/a Verizon Wireless
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BLOOMFIELD, CT 06002

www.Collico.com
1501 North Main Street
Bloomfield, CT 06002

Collico Partnership d/b/a Verizon Wireless

NO.	DATE	BY	DESCRIPTION
1	07/24/10	JL	ISSUED FOR SHOP DRAWINGS
2	07/24/10	JL	ISSUED FOR SHOP DRAWINGS

FOUNDATION NOTES

1. ANY FIELD CONCRETE CAST WITH PRELIMINARY COMPLIANCE WITH THE ABOVE SHALL NOT PROCEED UNTIL THE STRUCTURE IS COMPLETE AND SHALL NOT PROCEED UNTIL ALL AFFECTED WORK IS COMPLETED.
2. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRELIMINARY CONSTRUCTION DRAWINGS AND SHOP DRAWINGS.
3. LOCATION OF ALL REINFORCING, BARS AND ANCHORS SHALL BE INDICATED BY ALL TRADES.
4. REFER TO DRAWING 11 FOR ADDITIONAL NOTES AND REQUIREMENTS.

SITE NOTES

1. THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. ACTIVE EXISTING UTILITIES, WHOSE LOCATIONS IN THE WORK SHALL BE INDICATED BY THE CONTRACTOR, SHALL BE PROTECTED BY THE CONTRACTOR'S OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, STAKES, STAINS AND OTHER ADJACENT UTILITIES, STAKES, STAINS AND OTHER ADJACENT UTILITIES.
3. THE SITE SHALL BE GRADED TO DRAIN SURFACE WATER TO FLOW AWAY FROM THE FOUNDATION AND TOWER AREAS.
4. NO FILL OR DRAINAGE MATERIAL SHALL BE PLACED ON FRESH CONCRETE SURFACES UNTIL THE SURFACE HAS CURED TO A SMOOTH FINISH.
5. THE SURFACE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH FINISH.
6. THE SLOPE OF THE EXISTING CONCRETE SHALL BE RETURNED TO ITS ORIGINAL CONDITION.
7. CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION.
8. CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION.
10. MANUFACTURED EQUIPMENT FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL REGULATIONS FOR DESIGN AND SEISMIC CONTROL.
11. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL TRUCKS.

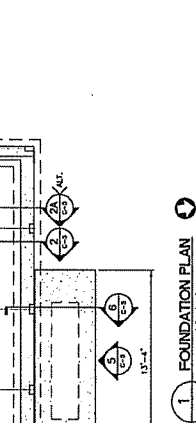
COMPACTED GRAVEL FILL

1. COMPACTED GRAVEL FILL SHALL BE DEPOSITED AND PLACED AS A FOUNDATION FOR STRUCTURES, WHERE SHOWN ON THE CONTRACT DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION.
3. SAMPLES OF THE MATERIAL TO BE USED SHALL BE REQUIRED BY THE ENGINEER FOR APPROVAL.
4. AFTER ALL DRAINAGE HAS BEEN COMPLETED, GRAVEL SHALL BE DEPOSITED TO THE SURFACE OF THE EXISTING GRAVEL FILL TO A DEPTH OF 12 INCHES OVER THE AREA OF EXISTING GRAVEL FILL. THE DRAINAGE MATERIAL SHALL BE DEPOSITED TO A DEPTH OF 12 INCHES OVER THE AREA OF EXISTING GRAVEL FILL.
5. THE GRAVEL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY.
6. THE GRAVEL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY.
7. THE GRAVEL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY.
8. THE GRAVEL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY.
9. THE GRAVEL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY.
10. THE GRAVEL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY.
11. THE GRAVEL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM DRY WEIGHT DENSITY.

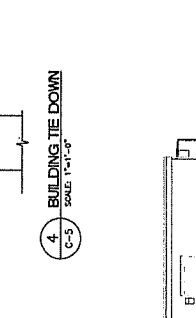
CONCRETE AND REINFORCING STEEL NOTES

1. THE CONCRETE SHALL BE IN ACCORDANCE WITH THE AC 308.1 AND AC 308.2.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT, AS ENHANCED WITH A MINIMUM OF 10% AIR ENTRAINMENT.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. ALL REINFORCING STEEL SHALL BE WELDED UNLESS OTHERWISE NOTED.
4. REINFORCING STEEL SHALL BE WELDED UNLESS OTHERWISE NOTED.

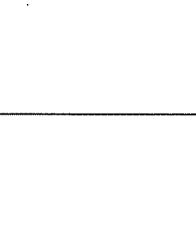
FOUNDATION PLAN



TYPICAL SECTION



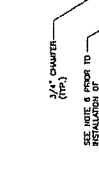
FOUNDATION PLAN SLAB ON GRADE ALTERNATE



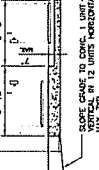
EQUIPMENT SHELTER BY CELLULOSE VERMITECH



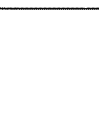
BUILDING TIE DOWN



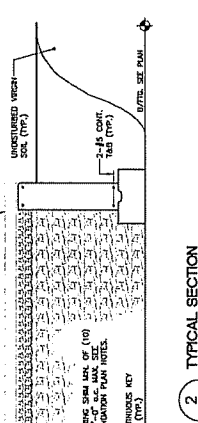
PLAN DETAIL



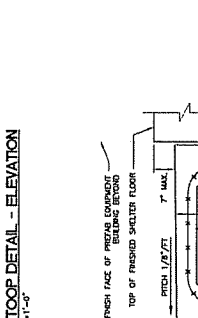
ENTRY STOOP DETAIL - ELEVATION



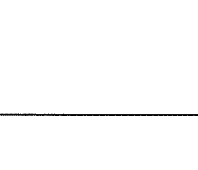
ENTRY STOOP DETAIL - SECTION



EQUIPMENT SHELTER BY CELLULOSE VERMITECH

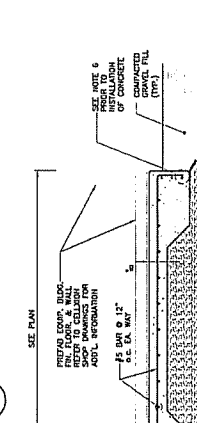


BUILDING TIE DOWN

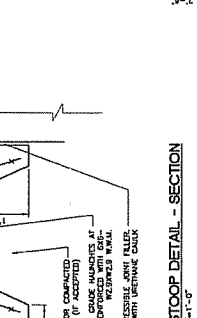


PLAN DETAIL

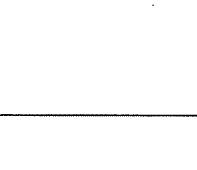
ENTRY STOOP DETAIL - SECTION



EQUIPMENT SHELTER BY CELLULOSE VERMITECH

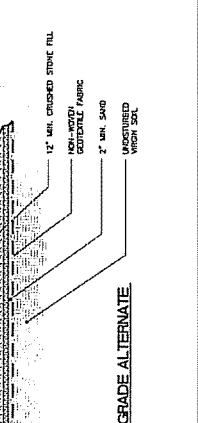


BUILDING TIE DOWN

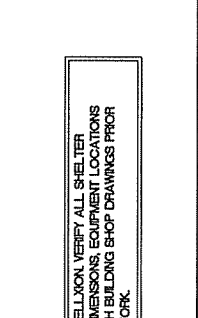


PLAN DETAIL

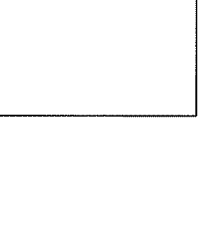
EQUIPMENT SHELTER BY CELLULOSE VERMITECH



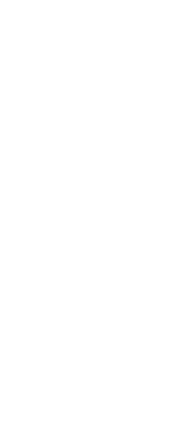
BUILDING TIE DOWN



PLAN DETAIL



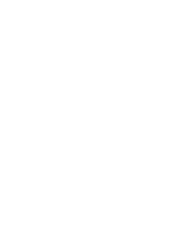
EQUIPMENT SHELTER BY CELLULOSE VERMITECH



BUILDING TIE DOWN



PLAN DETAIL



EQUIPMENT SHELTER BY CELLULOSE VERMITECH. DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.

ADJACENT PROPERTY OWNERS

SITE NAME: NORTH BLOOMFIELD

OWNER NAME: RIVER BEND ASSOCIATES INC.

OWNER ADDRESS: DAY HILL ROAD, BLOOMFIELD, CONNECTICUT 06002

ASSESSOR'S REFERENCE: MAP: 453 LOT: 62

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF BLOOMFIELD TOWN HALL, BLOOMFIELD, CONNECTICUT AND WINDSOR TOWN HALL, WINDSOR, CONNECTICUT. THE INFORMATION IS CURRENT AS OF JANUARY 11, 2011.

BLOOMFIELD

	<u>Map/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
1.	541/56	2645 Day Hill Road	James E. and Renee M. Trzcinski 607 South Stone Street Suffield, CT 06078
2.	452/1451	376 Tunxis Avenue	Tamara B. Collins 376 Tunxis Avenue Bloomfield, CT 06002
3.	452/1450	374 Tunxis Avenue	Leo Ryans, Jr. 374 Tunxis Avenue Bloomfield, CT 06002
4.	452/1449	372 Tunxis Avenue	Susan and Jacqueline M. Oclair 372 Tunxis Avenue Bloomfield, CT 06002
5.	452/1448	370 Tunxis Avenue	Estate of Toni Green c/o Rae Greene 370 Tunxis Avenue Bloomfield, CT 06002
6.	452/2026	92 Adams Road	Lera A. and Marguerite Little 92 Adams Road Bloomfield, CT 06002
7.	452/2025	96 Adams Road	Rocco and Julia Giusani and Patricia Gray 96 Adams Road Bloomfield, CT 06002

	<u>Map/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
8.	452/1001	98 Adams Road	Donald and Lisa Dickson 98 Adams Road Bloomfield, CT 06002
9.	453/61	100 Adams Road	Ronald E. and Kathleen M. Radziewicz 100 Adams Road Bloomfield, CT 06002
10.	Railroad	Day Hill Road	State of CT DOT 2800 Berlin Turnpike Newington, CT 06111

WINDSOR

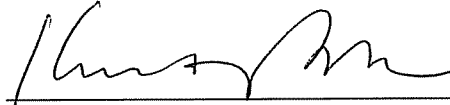
	<u>Map/Block/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
1.	6/145/1	2643 Day Hill Road	James E. and Renee M. Trzcinski 607 South Stone Street West Suffield, CT 06093
2.	6/144/1	2619 Day Hill Road	Town of Windsor 275 Broad Street Windsor, CT 06095
3.	6/145/2610	2610 Day Hill Road (Railroad)	State of CT DOT 2800 Berlin Turnpike Newington, CT 06111

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached lists of abutting landowners.

February 8, 2011

Date



Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

Attorneys for CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS

ULS License

Cellular License - KNKA404 - Cellco Partnership

Call Sign	KNKA404	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

Market

Market	CMA032 - Hartford-New Britain-Bristol, CT	Channel Block	A
Submarket	0	Phase	2

Dates

Grant	02/05/2008	Expiration	01/22/2018
Effective	02/08/2008	Cancellation	

Five Year Buildout Date

10/16/1992

Control Points

1 500 W. Dove Rd., TARRANT, Southlake, TX
P: (800)264-6620

Licensee

FRN	0003290673	Type	General Partnership
-----	------------	------	---------------------

Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASAS5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
--	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy #150 GASAS5REG Alpharetta, GA 30004 ATTN Network Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	No
Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or	Yes

representative thereof, or by any corporation organized under the laws of a foreign country?

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application? **Yes**

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

Race

Ethnicity

Gender

ULS License

Cellular License - KNKA404 - Cellco Partnership - Frequencies

Call Sign KNKA404

Radio Service CL - Cellular

▶ [Return to Main](#)

A Block

824.04 - 834.99 paired with 869.04 - 879.99

845.01 - 846.48 paired with 890.01 - 891.48

ULS License

PCS Broadband License - KNLH251 - Cellco Partnership

Call Sign	KNLH251	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

Market

Market	BTA184 - Hartford, CT	Channel Block	F
Submarket	0	Associated Frequencies (MHz)	001890.00000000-001895.00000000-001970.00000000-001975.00000000

Dates

Grant	07/23/2007	Expiration	06/27/2017
Effective	07/23/2007	Cancellation	

Buildout Deadlines

1st	06/27/2002	2nd	
-----	------------	-----	--

Notification Dates

1st	05/17/2002	2nd	
-----	------------	-----	--

Licensee

FRN	0003290673	Type	Joint Venture
-----	------------	------	---------------

Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Ownership and Qualifications

Radio Service Type Mobile

Regulatory Status	Common Carrier	Interconnected	Yes
-------------------	----------------	----------------	-----

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of	No

the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?

Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country? **Yes**

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Tribal Land Bidding Credits

This license did not have tribal land bidding credits.

Demographics

Race

Ethnicity

Gender

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission
Wireless Telecommunications Bureau**

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
1120 SANCTUARY PKWY #150 - G/ASA5REG
ALPHARETTA, GA 30004

Call Sign WQJQ689	File Number 0003382444
Radio Service WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number REA001	Channel Block	Sub-Market Designator 0	
Market Name Northeast			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls> and select "License Search". Follow the instructions on how to search for license information.

REFERENCE COPY

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**Federal Communications Commission
Wireless Telecommunications Bureau**

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
1120 SANCTUARY PKWY #150 - GASA5REG
ALPHARETTA, GA 30004

Call Sign WQJQ696	File Number 0003382435
Radio Service WY - 700 MHz Lower Band (Blocks A, B, E)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number BEA010	Channel Block		Sub-Market Designator 0
Market Name New York-New Jer.-Long Isl			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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