

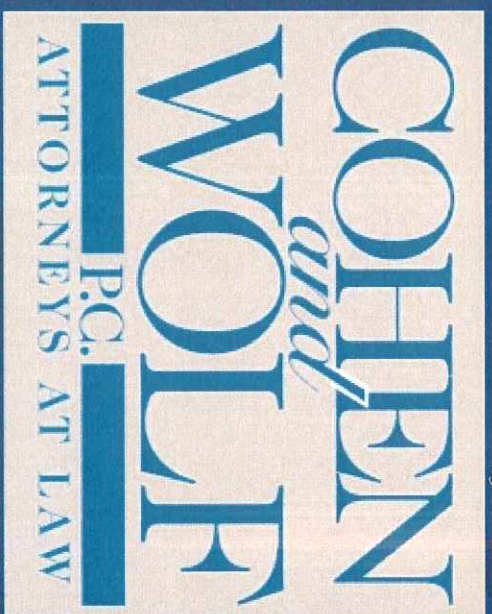
RECEIVED
DEC - 1 2009
CONNECTICUT
SITING COUNCIL

Phoenix Partnership

Docket No. 384

50 Devine Street
North Haven, Connecticut

Presented by:





Aerial Photograph – 50 Devine Street, North Haven, CT

Located at
50 Devine
Street

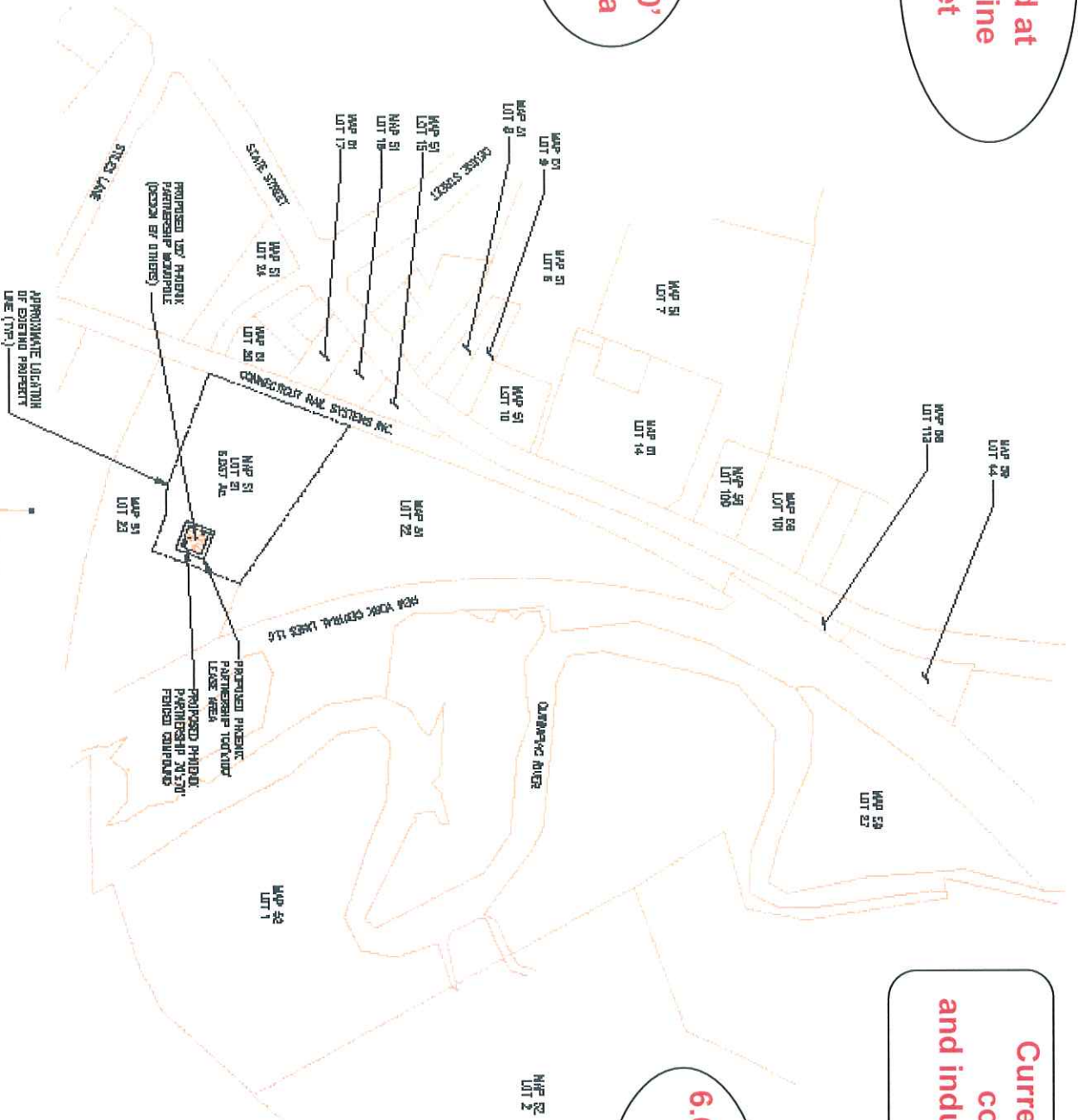
100' x 100'
lease area

Currently used for
commercial
and industrial purposes

6.037 acre parcel

Zoned for
general
industrial
use (IG-80)

BOUNDARIES PREPARED FROM INFORMATION
PROVIDED BY RECORDS TOGETHER PARTNERS
AND DOES NOT REPRESENT AN ACTUAL
FIELD SURVEY BY INVESTED ENGINEERS.



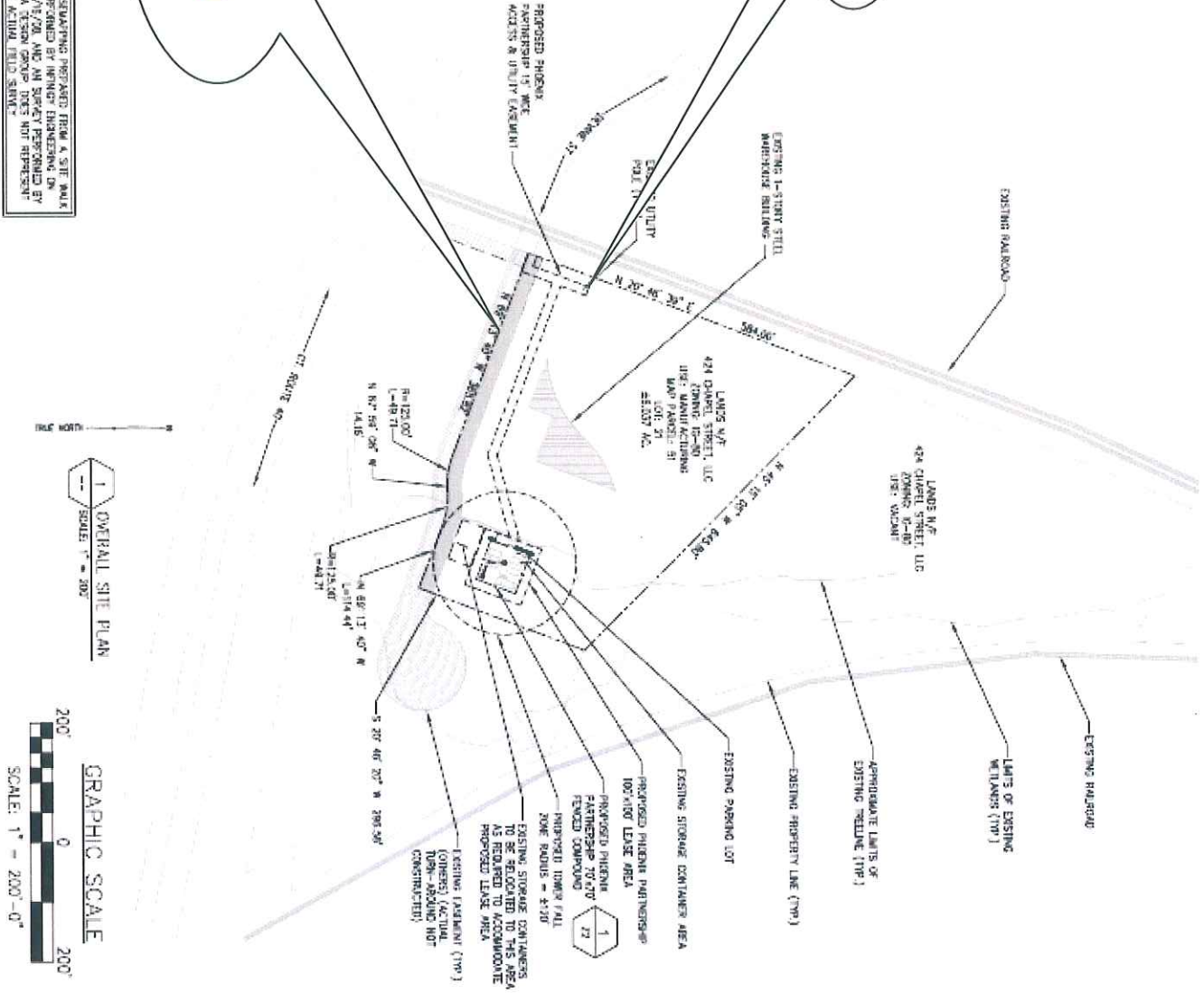
1
ABUTTERS MAP
SCALE: 1" = 400'



Existing utility pole

Access over existing paved parking lot

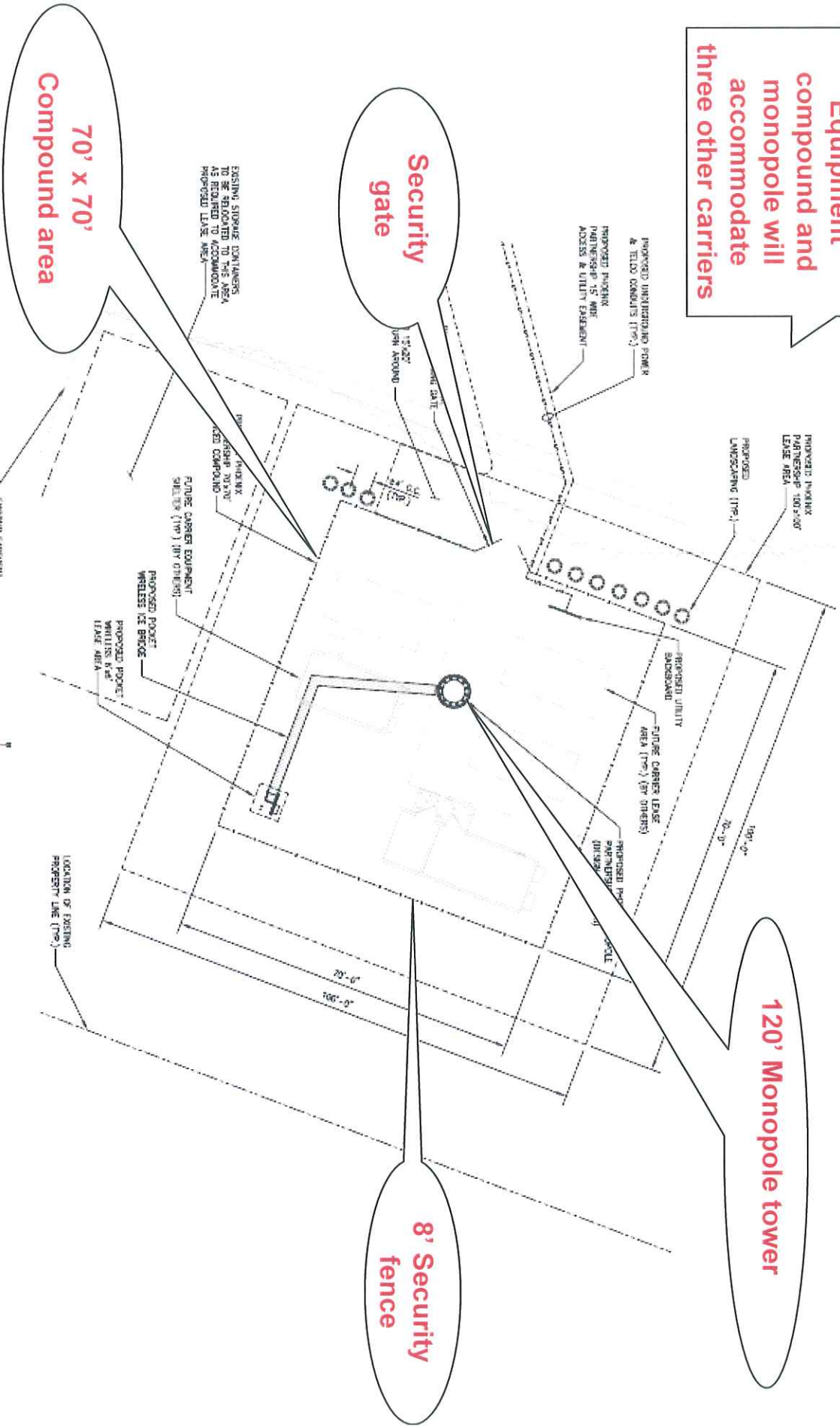
BLASPHAMING PREPARED FROM A SITE WALK PERFORMED BY HENNING ENGINEERING ON 12/16/2014 AND AN SURVEY PERFORMED BY TPA DESIGN GROUP DOES NOT REPRESENT AN ACTUAL FIELD SURVEY



OVERALL SITE PLAN
SCALE: 1" = 300'

GRAPHIC SCALE
SCALE: 1" = 200'-0"

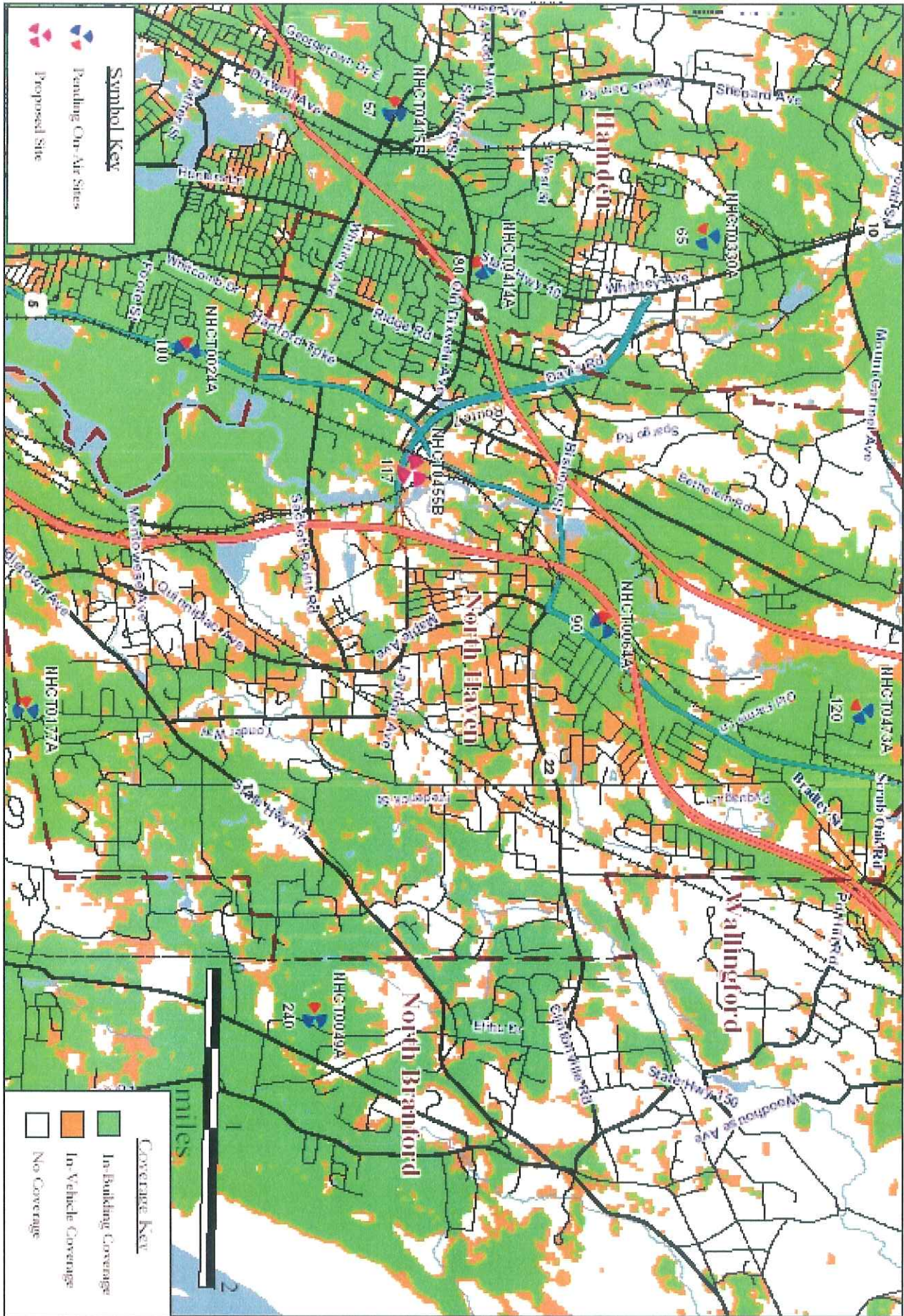
Equipment compound and monopole will accommodate three other carriers



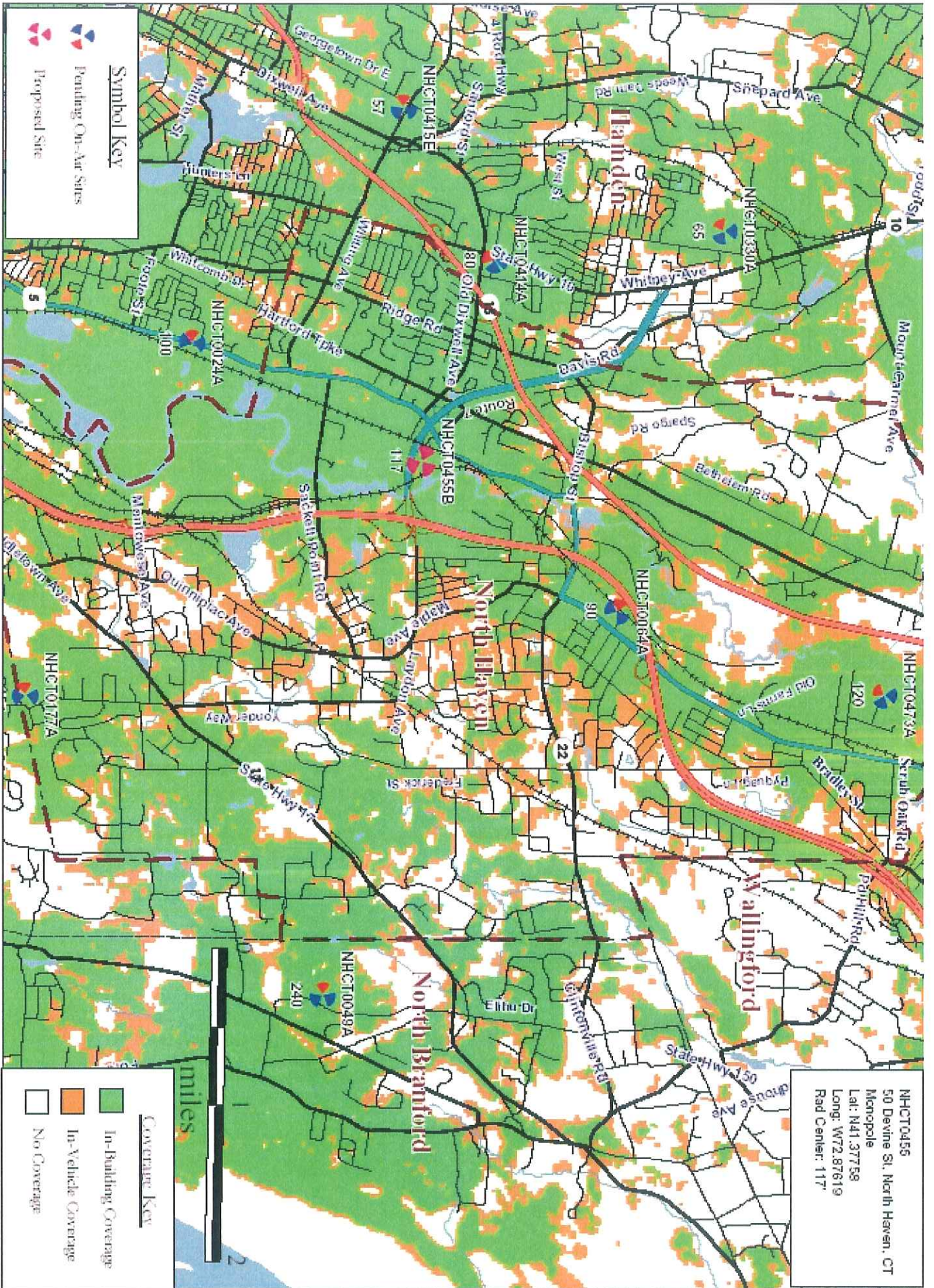
SEPARATING FIREWALLS FROM A SITE WALK
 CONDUCTED FROM EAST TO WEST
 TO THE SOUTH AND NEARBY SHEDS BY
 A 100' WIDE DRIVE AND A 100' WIDE DRIVE
 AN ACTUAL FIELD SURVEY

1 ENLARGED SITE LAYOUT
 SCALE: 1" = 20'





Existing Pocket Coverage without Proposed Site



Symbol Key

- Pending On-Air Sites
- Proposed Site

Coverage Key

- In-Building Coverage
- In-Vehicle Coverage
- No Coverage

NHCT0455
 50 Devine St, North Haven, CT
 Monopole
 Lat: N41.37759
 Long: W72.87819
 Rad Center: 117'

Pocket Coverage with Proposed Site

**11 ACRES
SUB DIVIDABLE**

pg THE
PROTO
GROUP

Commercial Real Estate Service

203-234-6371
www.theprologroup.com

**15,000 SF
WAREHOUSE SPACE**

PUBLIC NOTICE

Phoenix Partnership, LLC has filed an application with the Connecticut Siting Council ("Council") for the construction of a telecommunications facility on this site. The maximum height of this facility shall not exceed 120 feet. The Council will hold a public hearing on December 1, 2009 at Library Community Room 17 Elm St. North Haven, CT at 3:00 p.m. and 7:00 p.m. A copy of the application can be reviewed at the town hall or at the offices of the Council in New Britain, CT. For more information, please contact the Council by telephone at 860-827-2935, electronically at siting.council@ct.gov, or by mail at 10 Franklin Square, New Britain, Connecticut, 06051

NOV/12/2009



Looking east at proposed lease compound area.



Looking west onto Devine Street.



Looking east along access drive.

No Adverse Environmental Impact

- ❖ There are no wetlands on 50 Devine Street, North Haven. The closest wetland system is 233 feet from the tower and construction mitigation efforts proposed will result in no direct or indirect impact to the wetlands.
- ❖ No species of concern on Site.
- ❖ The Site is not located in a designated wilderness or wildlife preserve area.
- ❖ No listed species or designate critical habitats occur on or near the Site.
- ❖ No adverse impact on cultural resources, including historic areas, according to the State Historic Preservation Office.
- ❖ The Site is not located on lands belonging to any federally recognized Indian tribe in Connecticut.
- ❖ The Site is located within the 100 year flood zone, and Phoenix shall implement standard construction mitigation and implement floodplain management.
- ❖ The tower will not be lit.



Connecticut Commission on Culture & Tourism

March 12, 2009

The State Historic Preservation Office expects that the proposed undertaking will have no effect on historic, architectural, or archaeological resources listed on or eligible for the National Register of Historic Places.

The State Historic Preservation Office has reviewed the above-named project. This office expects that the proposed undertaking will have no effect on historic, architectural, or archaeological resources listed on or eligible for the National Register of Historic Places.

This office appreciates the opportunity to have reviewed and commented upon the proposed undertaking.

This comment is provided in accordance with the National Historic Preservation Act and the Connecticut Environmental Policy Act.

For further information, please contact Dr. David A. Porter, Staff Archaeologist.

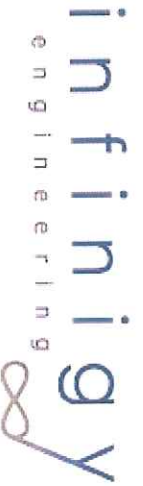
Sincerely,

David Bahaman
Deputy State Historic Preservation Officer

CONNECTICUT

www.ct.gov/cct

An American Access
Historical Society Initiative



New York Office
11 Herbart Drive,
Latham, NY 12110
(518) 650-0790 Office
(518) 690-0793 Fax

August 14, 2009

Kathy Coppens
Phoenix Partnership
110 Washington Ave

Based on the proposed site improvements associated with the project, as shown on Z2 of the Zoning Drawings, the proposed project will not have the potential for any adverse impact on wetland habitat or other navigable waterways. It has been concluded that there will be no direct impact to federal regulated wetlands, or other waters of the US associated with proposed construction activities. **No significant changes to surface features (e.g., wetland fill, deforestation, or water diversion) will result in connection with the proposed telecommunications project.**

facility to an area approximately seventy feet (70') to the northwest of the original site location. Upon review, the new project area is located further from existing, delineated wetland boundaries. Therefore, no impacts are anticipated by the proposed re-orientation of the site.

Based on the proposed site improvements associated with the project, as shown on Z2 of the Zoning Drawings, the proposed project will not have the potential for any adverse impact on wetland habitat or other navigable waterways. It has been concluded that there will be no direct impact to federal regulated wetlands, or other waters of the US associated with proposed construction activities. **No significant changes to surface features (e.g., wetland fill, deforestation, or water diversion) will result in connection with the proposed telecommunications project.**

Sincerely,

Daniel Schweigard, Wetland Specialist / Environmental Scientist
Infinigy Engineering and Surveying, PLLC

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