



DEVELOPMENT & MANAGEMENT PLAN AVON

SITE # 1257
DOCKET # 373
224 LOVELY STREET
AVON, CT 06067

SITE TYPE: RAW LAND - MONOPOLE



500 ENTERPRISE DRIVE
ROCKY HILL, CT 06067

Hudson
Design Group LLC



1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 2-101
N. ANDOVER, MA 01845

TEL: (978) 557-6563
FAX: (978) 336-6586

SITE INFORMATION:

APPLICANT: NEW CINGULAR WIRELESS PCS, LLC (AT&T MOBILITY)
500 ENTERPRISE DRIVE, SUITE 3A
ROCKY HILL, CT 06067

SITE ADDRESS: 224 LOVELY STREET
AVON, CT 06001

COUNTY: HARTFORD

LATITUDE: N 41° 47' 58.03"

LONGITUDE: W 72° 53' 16.34"

COUNTY: HARTFORD

TAX ID PARCEL NUMBER: MAP 22, BLOCK 1, LOT 8

PROPERTY OWNER: ST. MATTHEWS LUTHERAN CHURCH
224 LOVELY STREET
AVON, CT 06001

ZONING CLASSIFICATION: ZONE R-30

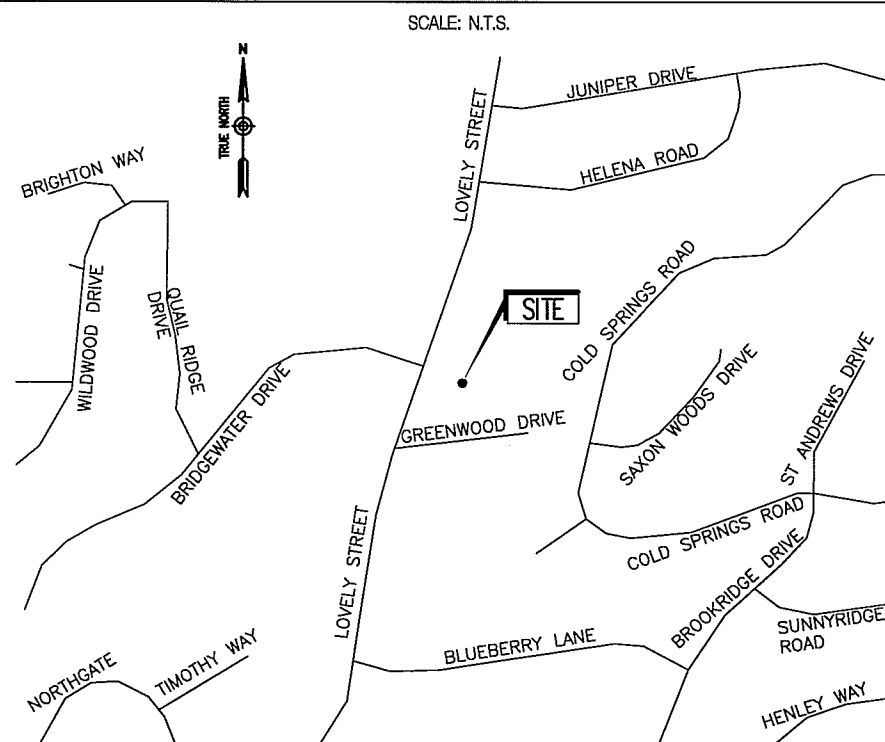
ZONING JURISDICTION: TOWN OF AVON

ARCHITECT / ENGINEER: HUDSON DESIGN GROUP LLC
1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 2-101
N. ANDOVER, MA 01845

SITE SPECIFIC NOTES:

1. TOWER COLOR TO BE A MATTE FINISH WITH THE FINAL PAINT COLOR SELECTION MADE BY THE TOWN PLANNER NO LATER THAN 10 DAYS AFTER THE COUNCIL'S MODIFIED DECISION & ORDER FROM THE COLORS PROVIDED BY AT&T THAT SHALL BE APPROVED TOWER MANUFACTURER PAINTS AND CLOSEST APPROXIMATE DECIDUOUS TREE TRUNK COLORS.
2. NO PERMANENT DIESEL OR GAS GENERATORS PERMITTED.
3. ROUTINE MAINTENANCE BY AT&T, ITS SUBTENANTS AND AGENTS TO BE PERFORMED M-F BETWEEN THE HOURS OF 9-5.
4. TOWER HEIGHT IS LIMITED TO 110' UNLESS THE TOWN OF AVON CONSENTS TO ANY PROPOSED EXPANSION THEREOF IN THE FUTURE IN ITS SOLE DISCRETION AND PRIOR TO ANY REQUEST TO THE SITING COUNCIL INVOLVING A PROPOSED EXPANSION BY THE CERTIFICATE HOLDER.
5. PROPOSED CLEARWIRE & POCKET EQUIPMENT SHALL BE PLACED INSIDE "MINI SHELTERS" TO MATCH AT&T SHELTER (AT CO-LOCATING CARRIERS EXPENSE)

VICINITY MAP



DRIVING DIRECTIONS

START OUT GOING NORTHEAST ON ENTERPRISE DR TOWARD CAPITOL BLVD. 0.4 MI. TURN LEFT ONTO CAPITOL BLVD. 0.3 MI. TURN LEFT ONTO WEST ST. 0.3 MI. MERGE ONTO I-91 S VIA THE RAMP ON THE LEFT TOWARD NEW HAVEN. 1.7 MI MAP. MERGE ONTO CT-9 N VIA EXIT 22N TOWARD NEW BRITAIN. 11.1 MI. MERGE ONTO I-84 W/US-6 W VIA EXIT 32 ON THE LEFT TOWARD WATERBURY. 1.2 MI. MERGE ONTO CT-4 W/FARMINGTON AVE VIA EXIT 39 TOWARD FARMINGTON. 5.8 MI. TURN RIGHT ONTO LOVELY ST/CT-177. 2.9 MI. 224 LOVELY ST IS ON THE RIGHT.

APPROVALS

LANDLORD: _____

FIELD CONST. MGR: _____

RF ENGINEER: _____

SITE ACQUISITION AGENT: _____

ARCHITECT/ENGINEER: _____

SHEET INDEX

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DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

PROJECT DESCRIPTION

1. THIS IS AN UNMANNED AND RESTRICTED ACCESS EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNAL FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.
2. THIS FACILITY WILL CONSUME NO UNRECOVERABLE ENERGY.
3. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
4. NO WASTE WATER WILL BE GENERATED AT THIS LOCATION.
5. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.
6. MAINTENANCE CREW (TYPICALLY ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER VISIT.

ENGINEER/LAND SURVEYOR

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

REVISIONS

REV. #	DATE	DESCRIPTION
3	08/05/10	REVISE ACCESS EASEMENT & COMPOUND
2	04/13/10	REVISE SHELTER DETAILS
1	03/31/10	REVISE EASEMENTS
0	03/09/10	ISSUED FOR REVIEW

PROJECT NO.	DESIGNED BY:	DC	SCALE:
	DRAWN BY:	SB	AS SHOWN
	CHECKED BY:	DPH	

SITE NAME:

1257-AVON

SITE ADDRESS:

224 LOVELY STREET
AVON, CT 06067

DRAWING TITLE:

TITLE SHEET

DRAWING NO:

T-1

GENERAL NOTES

- FIELD SURVEY DATES: 09/09/08, 10/29/09, 06/21/10, 08/04/10
- VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83).
 - CENTER OF: PROPOSED MONOPOLE. LATITUDE: 41°47'58.03" LONGITUDE: 72°53'16.34" GROUND EL = 285 ±
 - OWNER: ST. MATTHEW'S LUTHERAN CHURCH 224 LOVELY STREET AVON, CT 06001
 - SITE NAME: AVON ST. MATTHEW'S LUTHERAN CHURCH
 - SITE NUMBER: 2013
 - SITE ADDRESS: ST. MATTHEW'S LUTHERAN CHURCH 224 LOVELY STREET AVON, CT 06001
 - APPLICANT: AT&T 500 ENTERPRISE DRIVE ROCKY HILL, CT 06067
 - JURISDICTION: TOWN OF AVON HARTFORD COUNTY
 - ZONING: R-30
 - TAX ID: 3060252
 - DEED REFERENCE: BOOK 50 PAGE 329
 - PLAN REFERENCE: BOOK 7 PAGE 47 & UNRECORDED PLAN ENTITLED ZONING LOCATION AND TOPOGRAPHIC SURVEY OF LAND OWNED BY ST. MATTHEW LUTHERAN CHURCH, DATED JULY, 2005, BY HODGE SURVEYING ASSOCIATES, P.C.
 - ELEVATIONS ARE NAVD 88 AS DERIVED FROM STATIC SINGLE FREQUENCY GPS SURVEY POINTS USING CORS CTM1 AND CTG2 FOR POST-PROCESSING.
 - ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL 800 (CALL BEFORE YOU DIG) AT 1-800-922-4459 PRIOR TO PLANNED ACTIVITY.
 - ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY ARE LOCATED IN ZONE X, COMMUNITY PANEL NO.
 - BEARING SYSTEM OF THIS PLAN IS BASED ON MCS NAD 83.
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE MATTERS A TITLE REPORT WOULD DISCLOSE. THE LAND DEPICTED ON THIS PLAN MAY BE SUBJECT TO AND/OR IN BENEFIT OF RIGHTS AND EASEMENTS THAT ARE NOT SHOWN.
 - THIS IS NOT A BOUNDARY SURVEY. LOCUS PROPERTY LINES, ABUTTING PROPERTY LINES, AND ABUTTING STREET LINES ARE COMPILED FROM MULTIPLE SOURCES AND ARE APPROXIMATE ONLY.
 - SOME IMPROVEMENTS SHOWN OUTSIDE THE TOPOGRAPHIC SURVEY, INCLUDING BUT NOT LIMITED TO PAVEMENT AND BUILDINGS, AREA ARE COMPILED FROM PLANS REFERENCED HEREIN.
 - FIELD SURVEY BY BY EDM TOTAL STATION.
 - WETLANDS DELINEATION PERFORMED BY ALEC MCLEOD, ENVIRONMENTAL SCIENTIST, ON SEPTEMBER 2, 2008.

FAA 1A SURVEY CERTIFICATION

I HEREBY CERTIFY THAT THE COORDINATES AND ELEVATIONS PRESENTED HEREON MEET THE REQUIREMENTS OF THE FAA WITH THE FOLLOWING ACCURACIES:

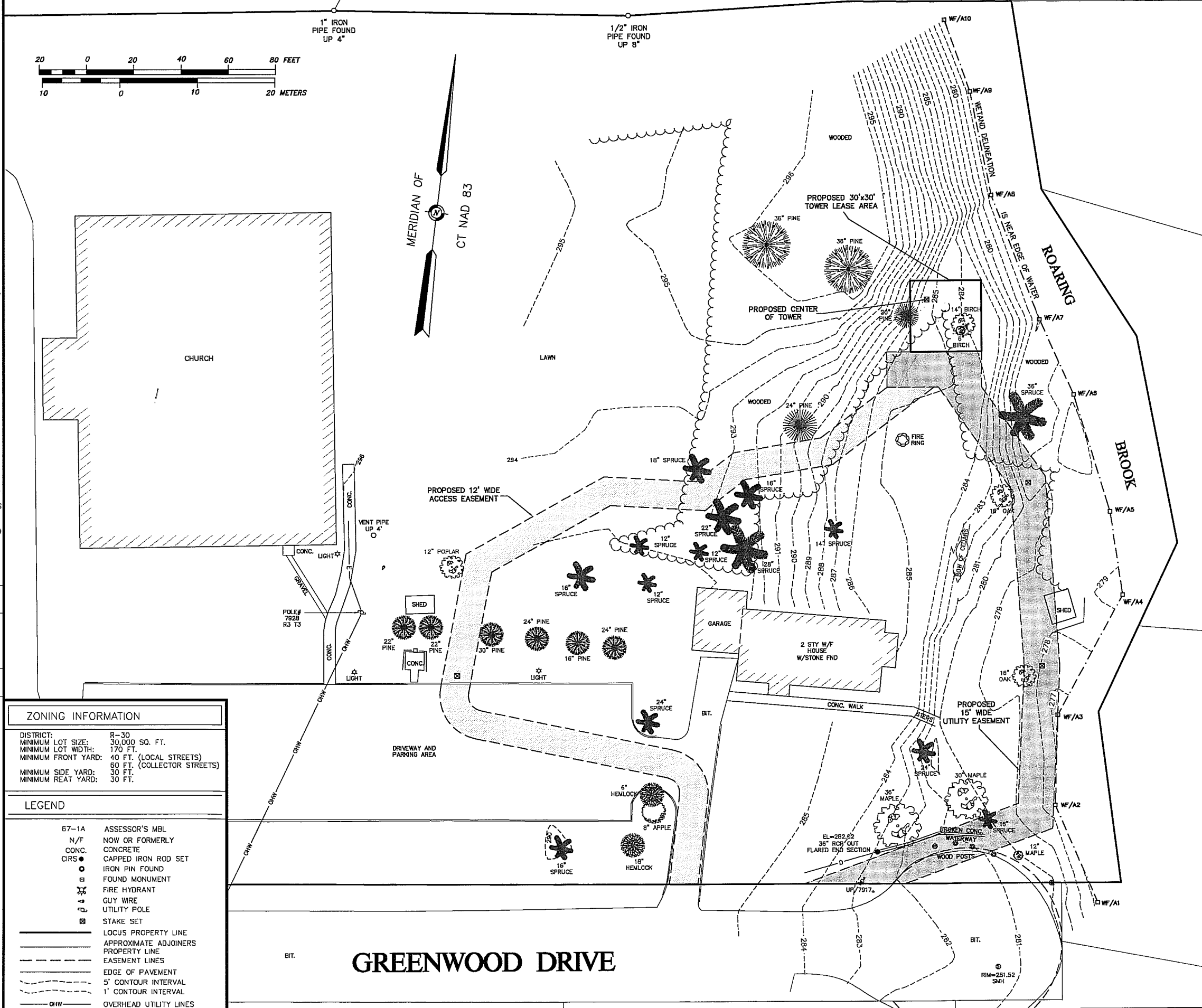
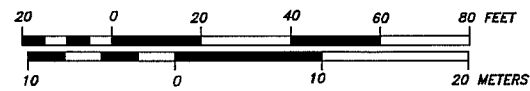
- ± THREE (3) FEET VERTICALLY
- ± FIFTEEN (15) FEET HORIZONTALLY

SURVEY NOTES

- THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1995.
 - TYPE OF SURVEY: DATA ACCUMULATION SURVEY BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY
 - CLASS OF HORIZONTAL ACCURACY: D
 - CLASS OF VERTICAL ACCURACY: 1-2
 - PURPOSE OF SURVEY: PROPOSED CELL TOWER
- THE PROPERTY LINES DEPICTED ON THIS PLAN DO NOT PRESENT THE OPINION OF THE SURVEYOR.
- THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS, AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY BOUNDARY OR LIMITED PROPERTY BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.

2. REPRODUCTIONS OF THIS PLAN ARE INVALID UNLESS THEY BEAR THE EMBOSSED SEAL OF THE UNDERSIGNED LAND SURVEYOR.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



ZONING INFORMATION

DISTRICT: R-30
 MINIMUM LOT SIZE: 30,000 SQ. FT.
 MINIMUM LOT WIDTH: 170 FT.
 MINIMUM FRONT YARD: 40 FT. (LOCAL STREETS)
 60 FT. (COLLECTOR STREETS)
 MINIMUM SIDE YARD: 30 FT.
 MINIMUM REAR YARD: 30 FT.

LEGEND

- 57-1A ASSESSOR'S MBL
- N/F NOW OR FORMERLY
- CONC. CONCRETE
- CIRS CAPPED IRON ROD SET
- IRON PIN FOUND
- FOUND MONUMENT
- ⊕ FIRE HYDRANT
- GUY WIRE
- UTILITY POLE
- ⊗ STAKE SET
- LOCUS PROPERTY LINE
- APPROXIMATE ADJOINERS PROPERTY LINE
- EASEMENT LINES
- EDGE OF PAVEMENT
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL
- OHW OVERHEAD UTILITY LINES

GREENWOOD DRIVE

500 ENTERPRISE DRIVE
ROCKY HILL, CT 06067

1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 2-101 TEL: (978) 557-5533
N. ANDOVER, MA 01845 FAX: (978) 334-5586

116 PLEASANT ST. SUITE 302
P.O. BOX 109
EASTHAMPTON, MA 01027
(413) 203-3144

PROJECT NO: 09-020

DRAWN BY: BCF

CHECKED BY: CGG

SUBMITTALS

3	06/05/10	REVISE EASEMENT
2	08/04/10	REVISE EASEMENT
1	03/31/10	REVISE EASEMENTS
0	01/14/10	SUBMIT FOR REVIEW

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AVON
224 LOVELY STREET
AVON, CT 06067

EXISTING CONDITIONS PLAN

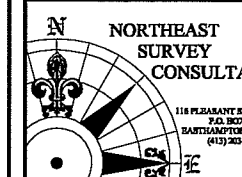
SHEET NUMBER
C-1



500 ENTERPRISE DRIVE
ROCKY HILL, CT 06067



1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 2-101
N. ANDOVER, MA 01845



114 PLAZA ST. SUITE 30
PO BOX 109
BARTHAMPTON, MA 01027
(413) 263-8144

PROJECT NO: 09-020
DRAWN BY: BCF
CHECKED BY: CGG

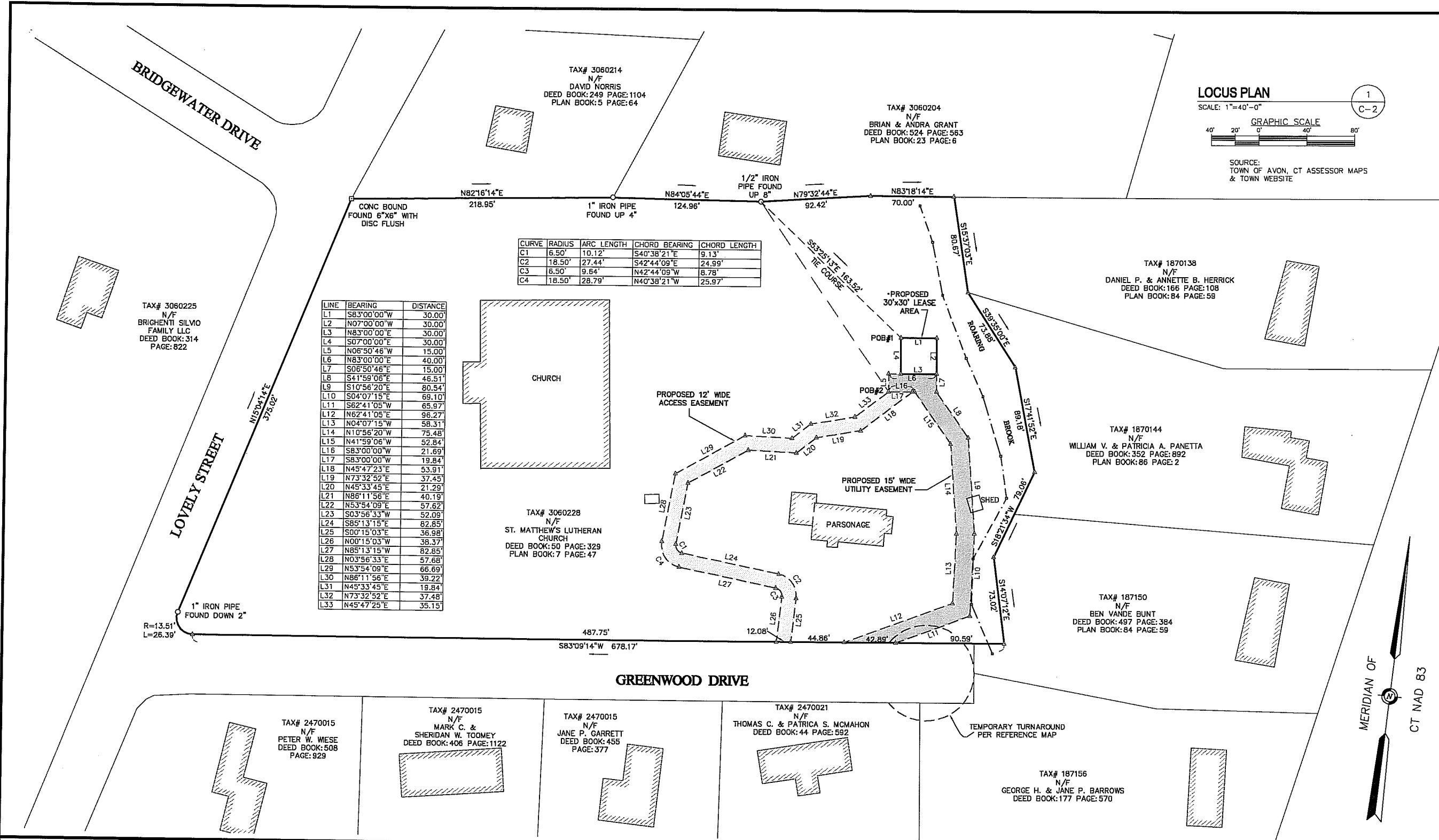
SUBMITTALS	
3	08/05/10 REVISE EASEMENT
2	08/04/10 REVISE EASEMENT
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0	01/14/10 SUBMIT FOR REVIEW

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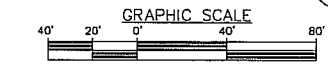
LOCUS & EASEMENT PLAN

SHEET NUMBER
C-2



LOCUS PLAN

SCALE: 1"=40'-0"



SOURCE:
TOWN OF AVON, CT ASSESSOR MAPS
& TOWN WEBSITE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	6.50'	10.12'	S40°38'21"E	9.13'
C2	18.50'	27.44'	S42°44'09"E	24.99'
C3	6.50'	9.64'	N42°44'09"W	8.78'
C4	18.50'	28.79'	N40°38'21"W	25.97'

LINE	BEARING	DISTANCE
L1	S83°00'00"W	30.00'
L2	N07°00'00"W	30.00'
L3	N83°00'00"E	30.00'
L4	S07°00'00"E	30.00'
L5	N06°50'46"W	15.00'
L6	N83°00'00"E	40.00'
L7	S06°50'46"E	15.00'
L8	S41°59'06"E	46.51'
L9	S10°56'20"E	80.54'
L10	S04°07'15"E	69.10'
L11	S62°41'05"W	65.97'
L12	N62°41'05"E	96.27'
L13	N04°07'15"W	58.31'
L14	N10°56'20"W	75.48'
L15	N41°59'06"W	52.84'
L16	S83°00'00"W	21.69'
L17	S83°00'00"W	19.84'
L18	N45°47'23"E	53.91'
L19	N73°32'52"E	37.45'
L20	N45°33'45"E	21.29'
L21	N86°11'56"E	40.19'
L22	N53°54'09"E	57.62'
L23	S03°56'33"W	52.09'
L24	S85°13'15"E	82.85'
L25	S00°15'03"E	36.98'
L26	N00°15'03"W	38.37'
L27	N85°13'15"W	82.85'
L28	N03°56'33"E	57.68'
L29	N53°54'09"E	66.69'
L30	N86°11'56"E	39.22'
L31	N45°33'45"E	19.84'
L32	N73°32'52"E	37.48'
L33	N45°47'25"E	35.15'

15' WIDE UTILITY EASEMENT

BEGINNING AT A POINT SHOWN AS POB#2 THENCE RUNNING:
 S 06°50'46" E A DISTANCE OF 15.00', THENCE;
 S 41°59'06" E A DISTANCE OF 46.51', THENCE;
 S 10°56'20" E A DISTANCE OF 80.54', THENCE;
 S 04°07'15" E A DISTANCE OF 69.10', THENCE;
 S 62°41'05" W A DISTANCE OF 65.97', THENCE;
 S 83°09'14" W A DISTANCE OF 42.89', THENCE;
 N 62°41'05" E A DISTANCE OF 96.27', THENCE;
 N 04°07'15" W A DISTANCE OF 58.31', THENCE;
 N 10°56'20" W A DISTANCE OF 75.48', THENCE;
 N 41°59'06" W A DISTANCE OF 52.84', THENCE;
 S 83°00'00" W A DISTANCE OF 21.69', THENCE;
 N 06°50'46" W A DISTANCE OF 15.00', THENCE;
 N 83°00'00" E A DISTANCE OF 40.00'
 TO THE POINT OF BEGINNING.
 HAVING AN AREA OF 4,688 SQUARE FEET, MORE OR LESS.

15' WIDE ACCESS EASEMENT

BEGINNING AT A POINT SHOWN AS POB#2 THENCE RUNNING:
 N 45°33'45" E A DISTANCE OF 19.84', THENCE;
 N 73°32'52" E A DISTANCE OF 37.48', THENCE;
 N 45°47'25" E A DISTANCE OF 35.15', THENCE;
 N 83°00'00" E A DISTANCE OF 19.84', THENCE;
 S 45°47'23" W A DISTANCE OF 53.91', THENCE;
 S 73°32'52" W A DISTANCE OF 37.45', THENCE;
 S 45°33'45" W A DISTANCE OF 21.29', THENCE;
 S 86°11'56" W A DISTANCE OF 40.19', THENCE;
 S 53°54'09" W A DISTANCE OF 57.62', THENCE;
 S 03°56'33" W A DISTANCE OF 52.09', THENCE;
 ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 10.12' WITH A RADIUS OF 6.50' WITH A CHORD BEARING OF S 40°38'21" E WITH A CHORD LENGTH OF 9.13';
 S 85°13'15" E A DISTANCE OF 82.85', THENCE;

30' X 30' LEASE AREA

ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 27.44' WITH A RADIUS OF 18.50' WITH A CHORD BEARING OF S 42°44'09" E WITH A CHORD LENGTH OF 24.99';
 S 00°15'03" E A DISTANCE OF 36.98', THENCE;
 S 83°09'14" W A DISTANCE OF 12.08', THENCE;
 N 00°15'03" W A DISTANCE OF 38.37', THENCE;
 ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 9.64' WITH A RADIUS OF 6.50' WITH A CHORD BEARING OF N 42°44'09" W WITH A CHORD LENGTH OF 8.78';
 N 85°13'15" W A DISTANCE OF 82.85', THENCE;
 ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 28.79' WITH A RADIUS OF 18.50' WITH A CHORD BEARING OF N 40°38'21" W WITH A CHORD LENGTH OF 25.97';
 N 03°56'33" E A DISTANCE OF 57.68', THENCE;
 N 53°54'09" E A DISTANCE OF 66.69', THENCE;
 N 86°11'56" E A DISTANCE OF 39.22', THENCE;
 TO THE POINT OF BEGINNING.
 HAVING AN AREA OF 5,014 SQUARE FEET, MORE OR LESS.

30' X 30' LEASE AREA

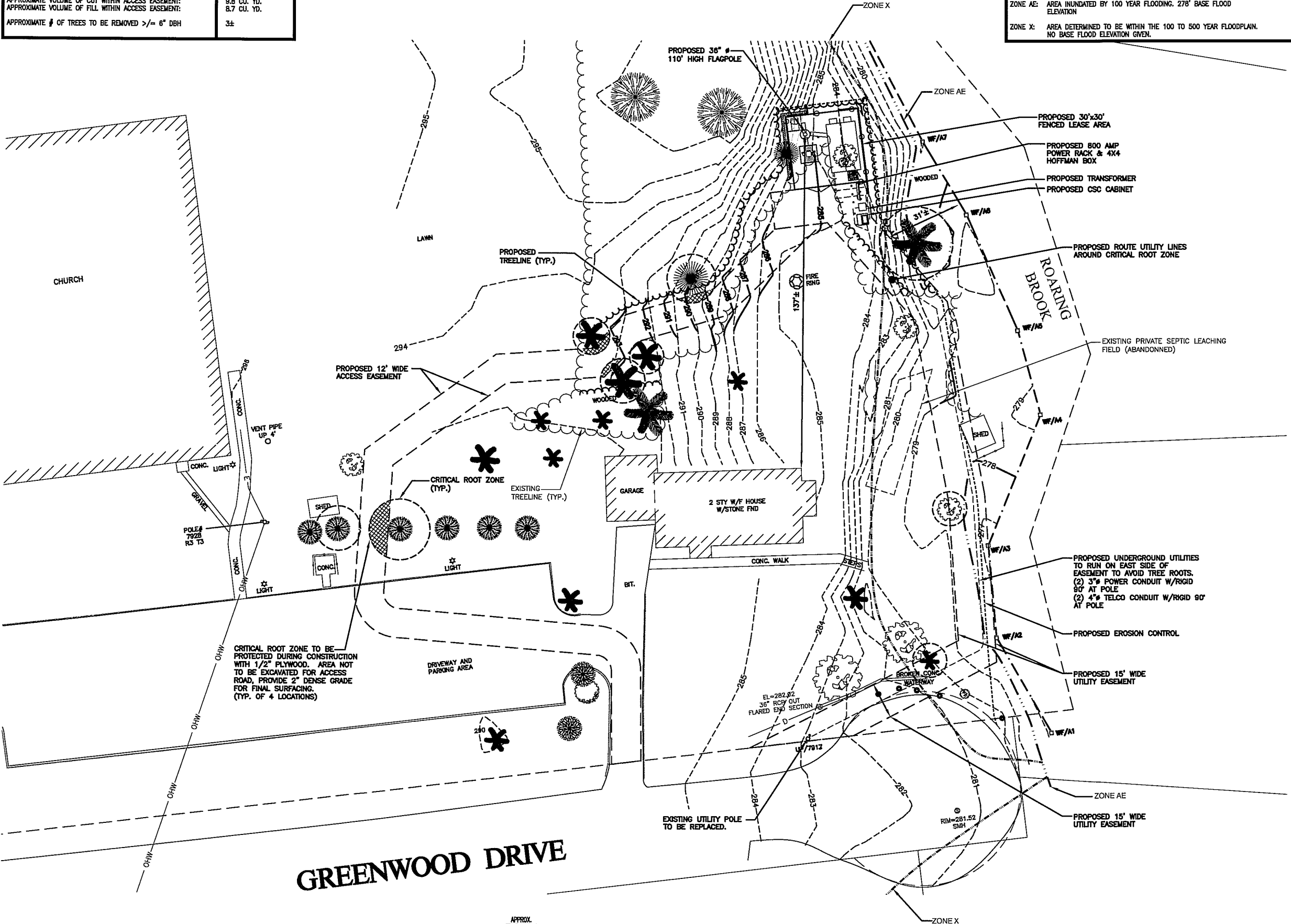
BEGINNING AT A POINT MARKING THE NORTHWEST CORNER OF THE LEASE AREA TO BE DESCRIBED, SAID POINT BEING S53°25'13"E A DISTANCE OF 163.52 FEET FROM AN IRON PIPE MARKING A NORTHERLY CORNER OF LAND NOW OR FORMERLY ST. MATTHEW'S LUTHERAN CHURCH, SAID POINT ALSO BEING SHOWN AS POB#1, THENCE RUNNING:
 S 83°00'00" W A DISTANCE OF 30.00' THENCE;
 N 07°00'00" W A DISTANCE OF 30.00' THENCE;
 N 83°00'00" E A DISTANCE OF 30.00' THENCE;
 S 07°00'00" E A DISTANCE OF 30.00'
 TO THE POINT OF BEGINNING.
 HAVING AN AREA OF 900 SQUARE FEET.

APPROXIMATE VOLUME OF CUT WITHIN COMPOUND:	9.9 CU. YD.
APPROXIMATE VOLUME OF FILL WITHIN COMPOUND:	7.4 CU. YD.
APPROXIMATE VOLUME OF CUT WITHIN ACCESS EASEMENT:	9.8 CU. YD.
APPROXIMATE VOLUME OF FILL WITHIN ACCESS EASEMENT:	8.7 CU. YD.
APPROXIMATE # OF TREES TO BE REMOVED >= 6" DBH	3±

NOTE: FLOOD ZONE & BASE FLOOD ELEVATION DETERMINED FROM FLOOD INSURANCE RATE MAP 317F, DATED 9/26/2008

ZONE AE: AREA INUNDATED BY 100 YEAR FLOODING. 278' BASE FLOOD ELEVATION

ZONE X: AREA DETERMINED TO BE WITHIN THE 100 TO 500 YEAR FLOODPLAIN. NO BASE FLOOD ELEVATION GIVEN.



GREENWOOD DRIVE



SITE PLAN 1
 SCALE: 1"=20'
 C-3



500 ENTERPRISE DRIVE
 ROCKY HILL, CT 06067



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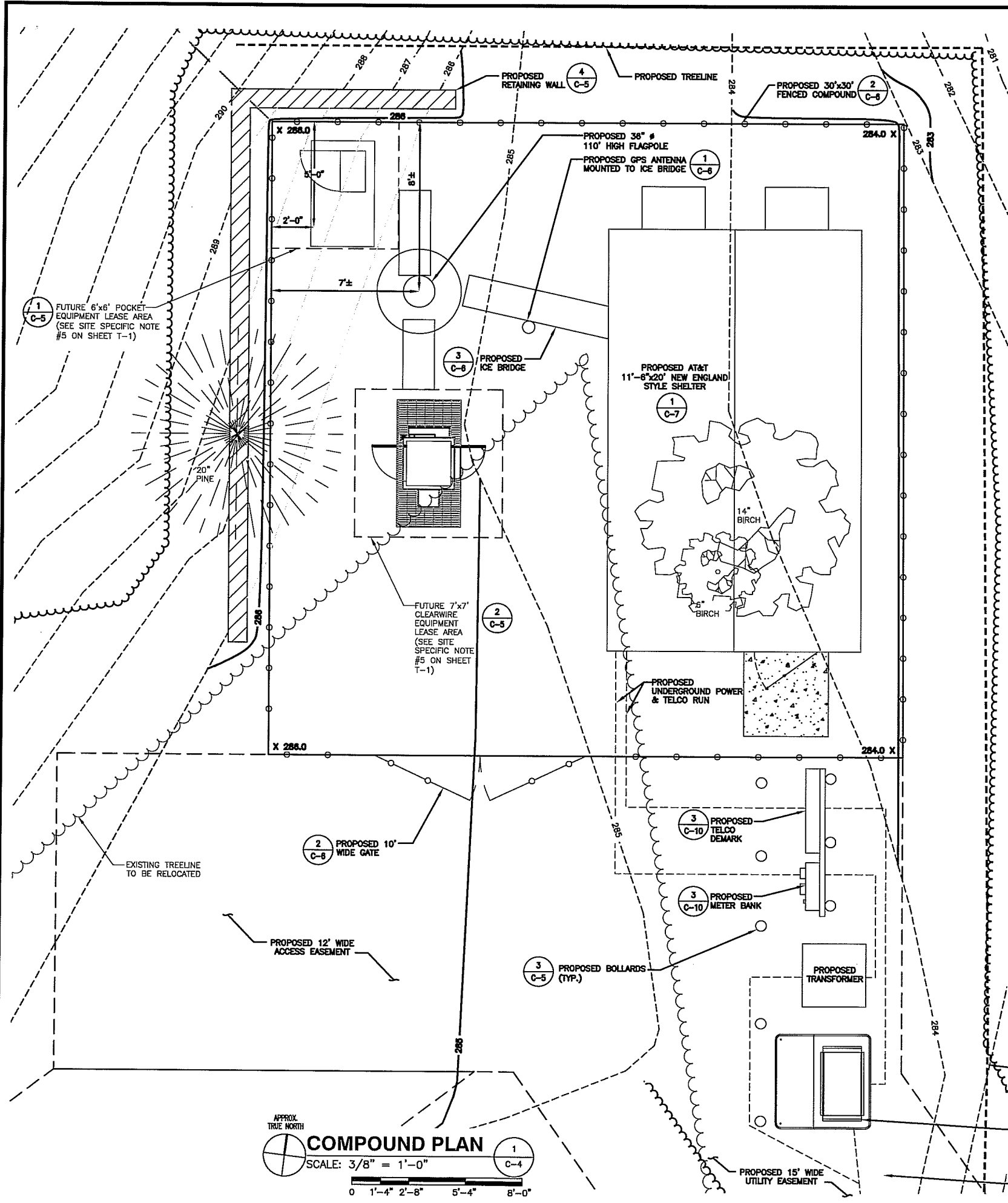
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	DRAWN BY: SB	AS SHOWN
	CHECK'D BY: DPH	

SITE NAME:
1257-AVON

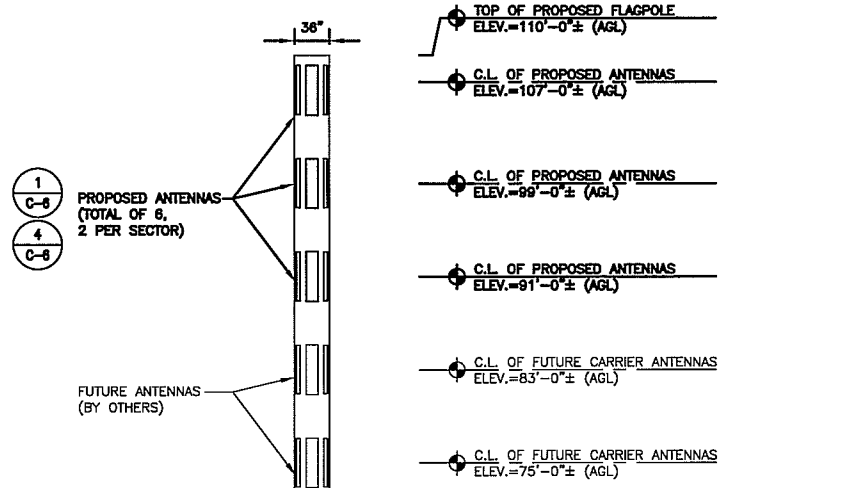
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 224 LOVELY STREET
 AVON, CT 06067

DRAWING TITLE:
 SITE PLAN

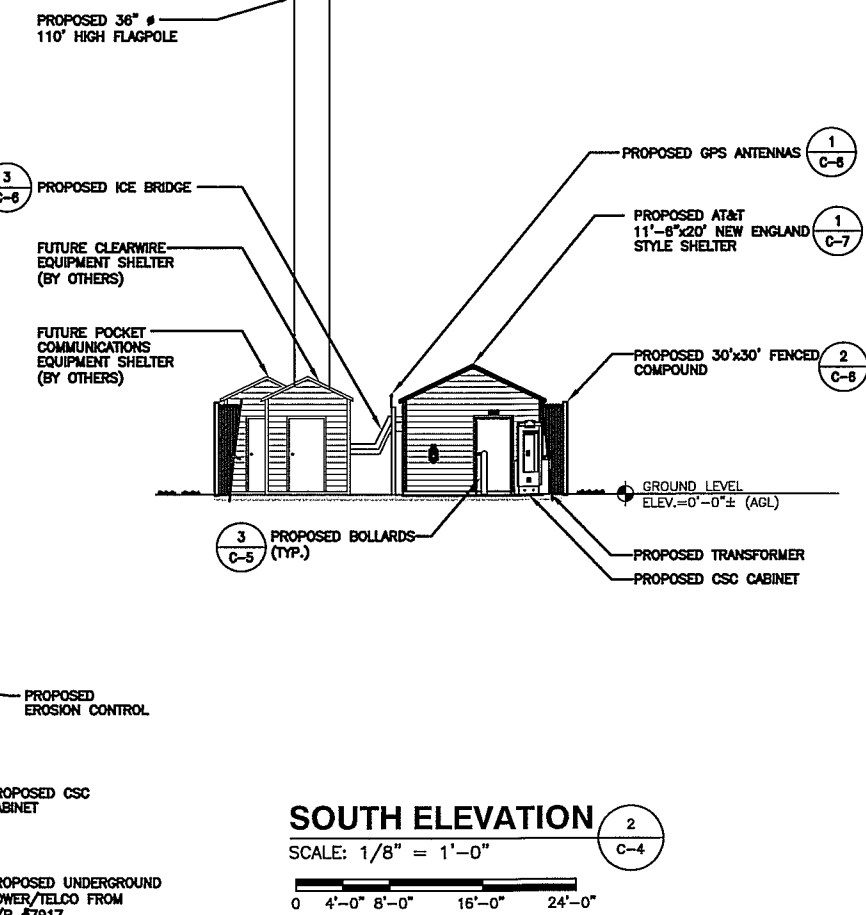
DRAWING NO.:
C-3



NOTE:
PROPOSED LANDSCAPING
SEE PLANS LL-1 & LL-3



NOTE:
TOWER COLOR TO BE A MATTE FINISH
WITH THE FINAL PAINT COLOR SELECTION
MADE BY THE TOWN PLANNER NO LATER
THAN 10 DAYS AFTER THE COUNCIL'S
MODIFIED DECISION & ORDER FROM THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.



APPROX. TRUE NORTH

COMPOUND PLAN 1 C-4

SCALE: 3/8" = 1'-0"

0 1'-4" 2'-8" 5'-4" 8'-0"

SOUTH ELEVATION 2 C-4

SCALE: 1/8" = 1'-0"

0 4'-0" 8'-0" 16'-0" 24'-0"



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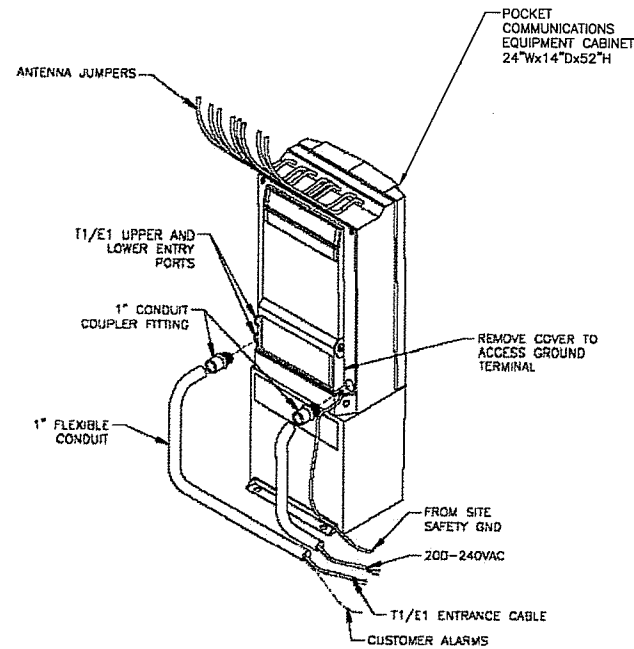
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AVON, CT 06067

DRAWING TITLE:
**COMPOUND PLAN
AND ELEVATION**

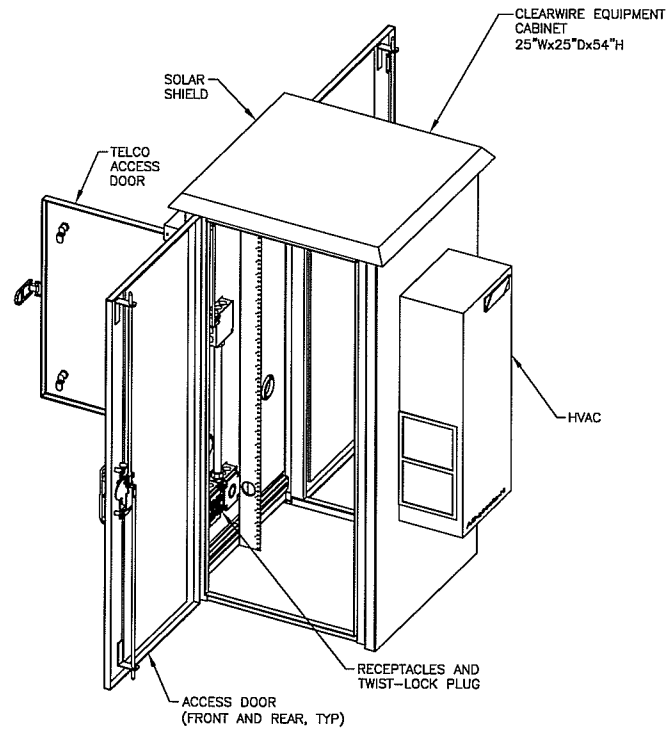
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FUTURE POCKET COMMUNICATIONS EQUIPMENT CABINET

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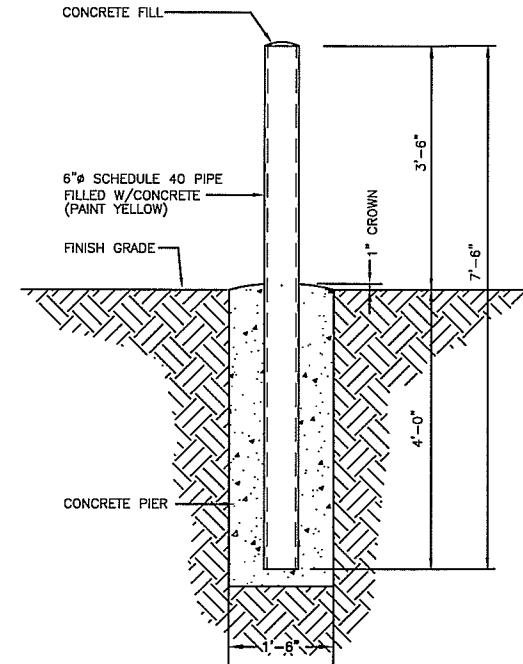
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FUTURE CLEARWIRE EQUIPMENT CABINET

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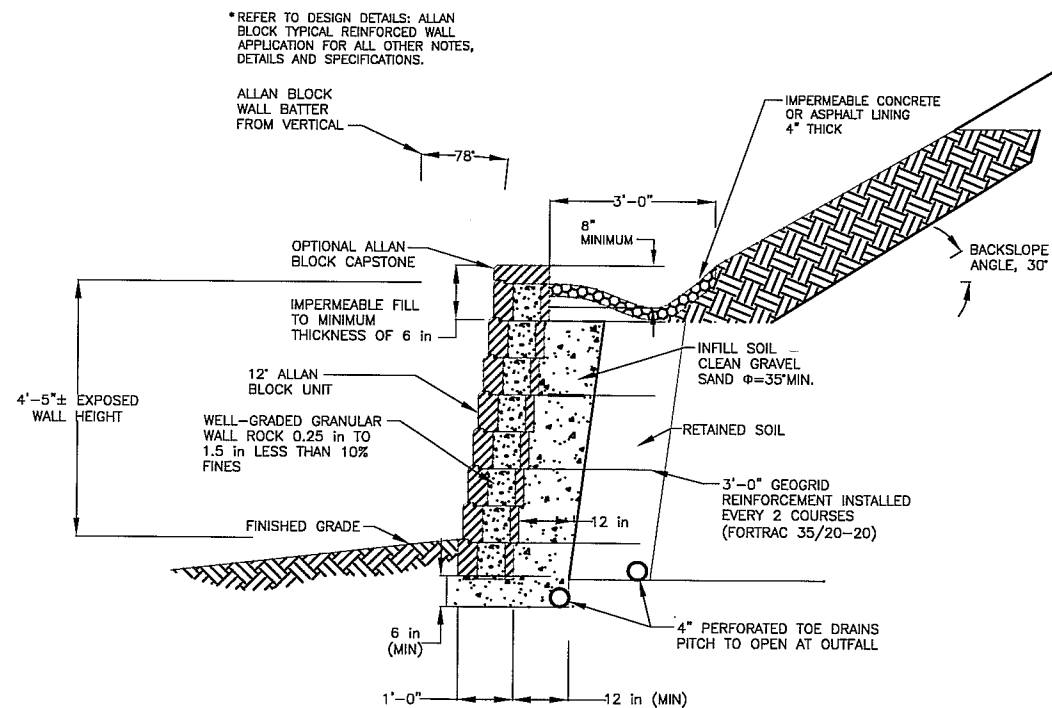
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BOLLARD DETAIL

SCALE: N.T.S.

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C-5



RETAINING WALL DETAIL

SCALE: N.T.S.

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C-5

RETAINING WALL NOTES:

1. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
2. BENCH CUT ALL EXCAVATED SLOPES.
3. DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOIL.
4. SITE SOIL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
5. BASE SHALL CONSIST OF COMPACTED GRAVEL, 6" THICK MIN.
6. CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE UNREINFORCED, 4" THICK.
7. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 2 COURSES OF BLOCK*.
8. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
9. NO. 8 CRUSHED STONE SHALL BE INSTALLED BEHIND THE WALL UP TO 18" FROM THE TOP OF THE WALL. CRUSHED STONE SHALL NOT EXTEND BELOW FINISHED GRADE IN FRONT OF WALL.
10. WHERE DRAIN PIPE IS USED, PROVIDE OUTLETS @ MAX. 40 FT C-C.
11. FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME BACKFILL BEHIND UNITS IS COMPACTED.
12. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE ENGINEER.
13. COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY. (ASTM D-698)
14. SEE SHOP DRAWINGS FOR GEOSYNTHETIC TYPE, LENGTH AND LOCATION REQUIRED.
15. GEOSYNTHETIC SHALL BE THE TYPE AND LENGTH AS SHOWN ON SHOP DRAWINGS. PULL GEOSYNTHETIC TIGHT PRIOR TO BACKFILLING.
16. GEOSYNTHETIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL. FOLLOW GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
17. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING SHOWING THE COMPLETE WALL SYSTEM AND ALL DETAILS BASED ON THE ACTUAL SOILS IN THE FIELD THESE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT
18. IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
19. IF WALL LEVELING PAD REQUIRES FILL IT SHALL BE COMPACTED GRAVEL FROM BOTTOM OF EXCAVATION TO SUITABLE SOIL TO BOTTOM OF WALL.



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REV. #	DATE	DESCRIPTION
3	08/05/10	REVISE ACCESS EASEMENT & COMPOUND
2	04/13/10	REVISE SHELTER DETAILS
1	03/31/10	REVISE EASEMENTS
0	03/09/10	ISSUED FOR REVIEW

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	DRAWN BY:	SB	AS SHOWN
	CHECK'D BY:	DPH	

SITE NAME:

1257-AVON

SITE ADDRESS:

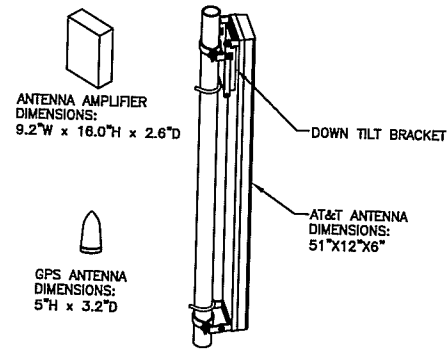
224 LOVELY STREET
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DRAWING TITLE:

DETAILS

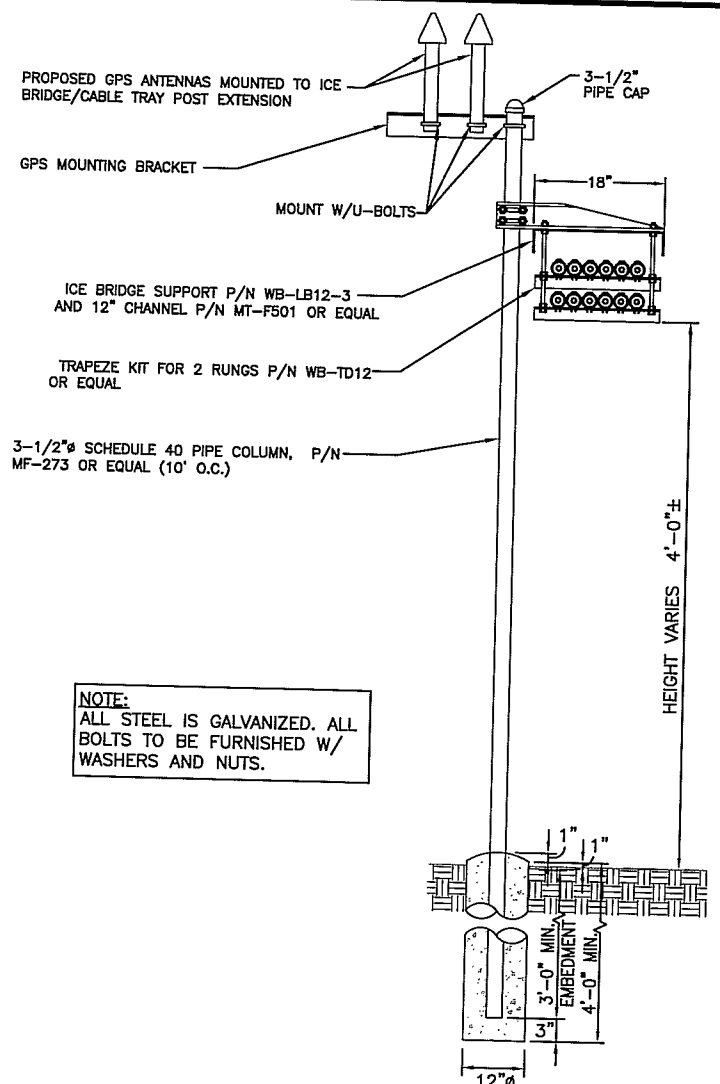
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GPS AND ANTENNA DETAIL
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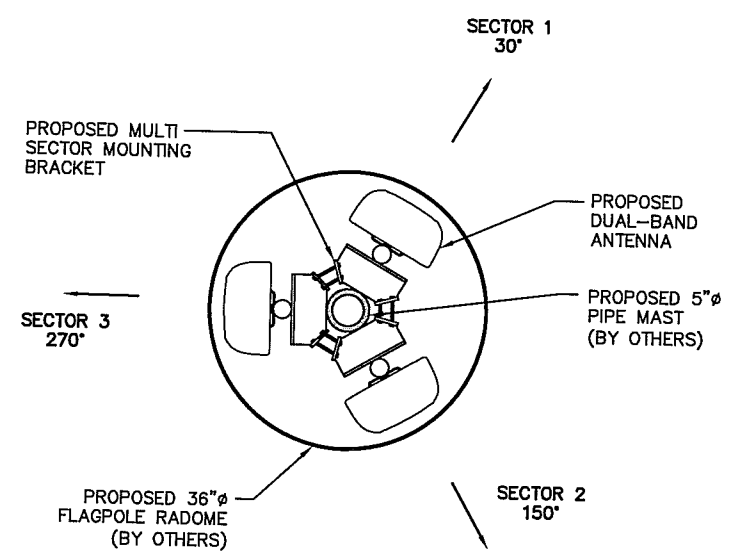
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NOTE:
ALL STEEL IS GALVANIZED. ALL BOLTS TO BE FURNISHED W/ WASHERS AND NUTS.

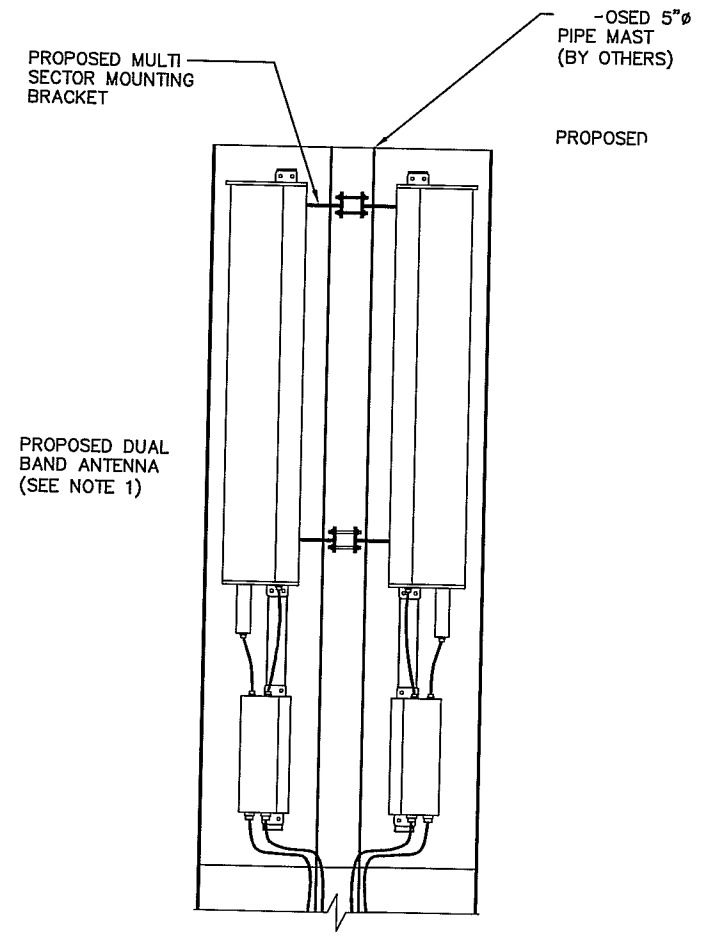
ICE BRIDGE DETAIL
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PROPOSED ANTENNA PLAN
SCALE: N.T.S.

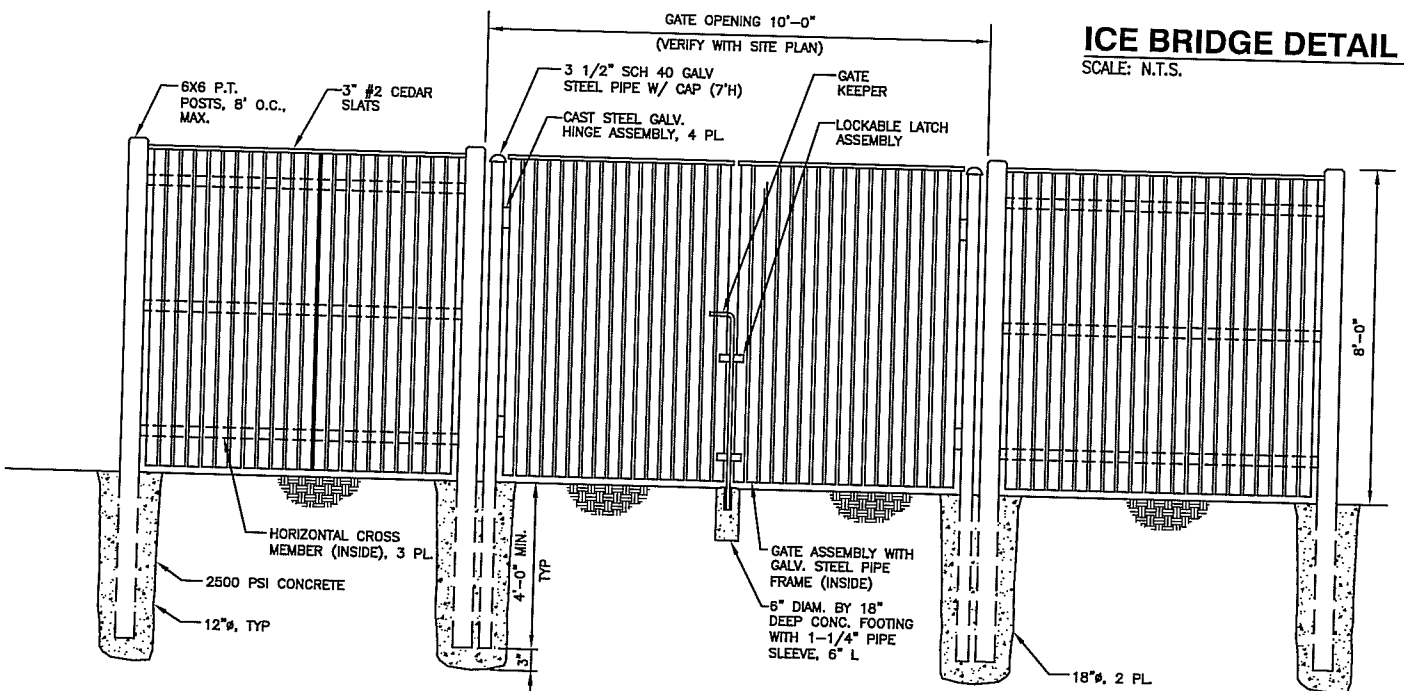
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C-6



NOTES:
1. REFER TO RF CONFIG & SECTOR SCHEMATICS FOR MODEL, TYPE & QUANTITY REQUIRED PER SECTOR

PROPOSED ANTENNA DETAIL
SCALE: N.T.S.

5
C-6



STOCKADE FENCE DETAIL
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2
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NOTE:
STOCKADE FENCE TO BE WALPOLE WOODWORKER SHADOW BOX STYLE, OR APPROVED EQUAL



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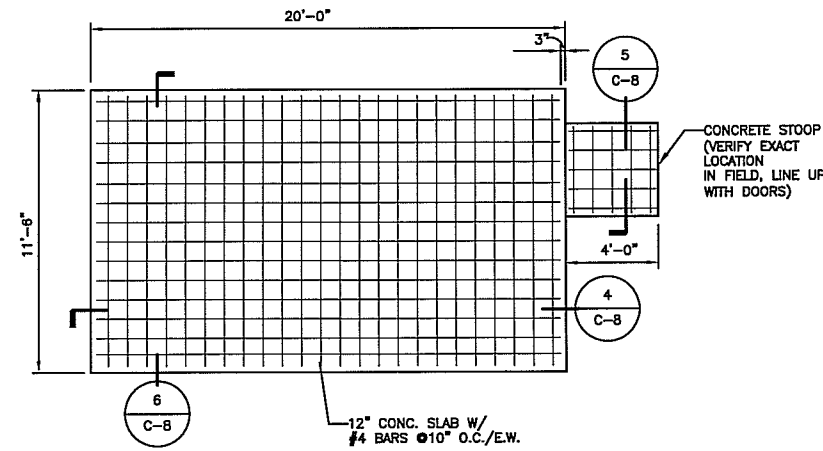
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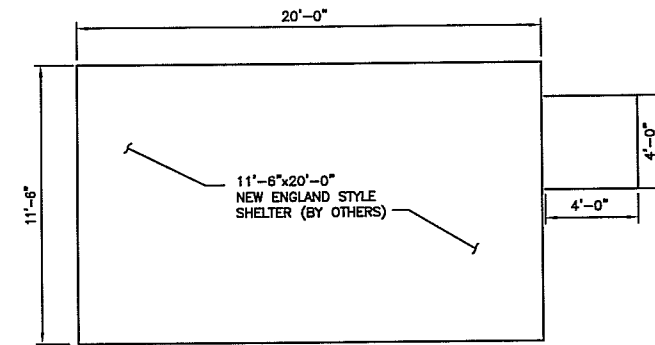
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FOUNDATION NOTES & CONCRETE SPECIFICATIONS

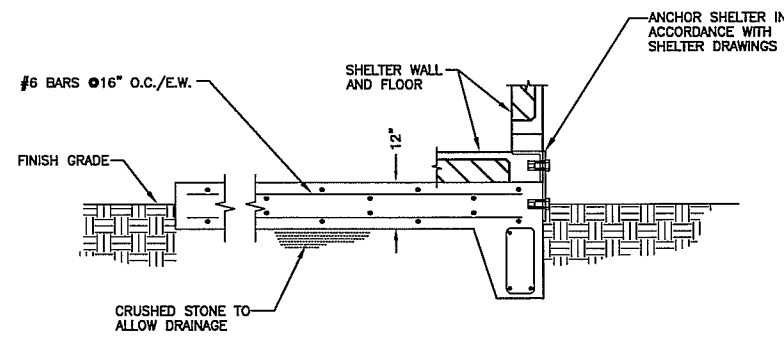
- FOUNDATION AREA SHALL BE EXCAVATED TO THE DEPTH AND DIMENSIONS SHOWN ON THE PLANS. EXISTING LEDGE AND ALL OTHER EXISTING UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE. THE SUBGRADE SHALL BE ROLLED WITH A 1-TON, VIBRATORY, WALK-BEHIND ROLLER AT A SPEED OF LESS THAN 2 FPS, 6 PASSES MINIMUM, TO PROVIDE UNYIELDING SURFACE.
- UNDERCUT SOFT OR "WEAVING" AREAS A MINIMUM OF 12 INCHES DEEP. BACKFILL UNDERCUT AREA WITH FILL MEETING THE SPECIFICATIONS OF STRUCTURAL FILL. (SEE NOTE #3)
- CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH (f'_c)=4000 PSI. CONCRETE TO BE AIR ENTRAINED, DESIRED AIR CONTENT TO BE 6% (PLUS OR MINUS 2%)
- BAR REINFORCING TO BE ASTM A615 GRADE 60.
- WELDED WIRE FABRIC TO CONFORM TO THE REQUIREMENTS OF ASTM A185. WIRES FOR FABRIC TO CONFORM TO THE REQUIREMENTS OF ASTM A82.
- COORDINATE WITH MANUFACTURER OF PREFABRICATED SHELTER FOR LOCATION OF ATTACHMENTS TO BASE SLAB.
- ALL REINFORCING TO HAVE 2" MINIMUM CONCRETE COVER.
- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO LATEST EDITION OF ACI 318 BUILDING CODE AND BOCA NATIONAL BUILDING CODE.



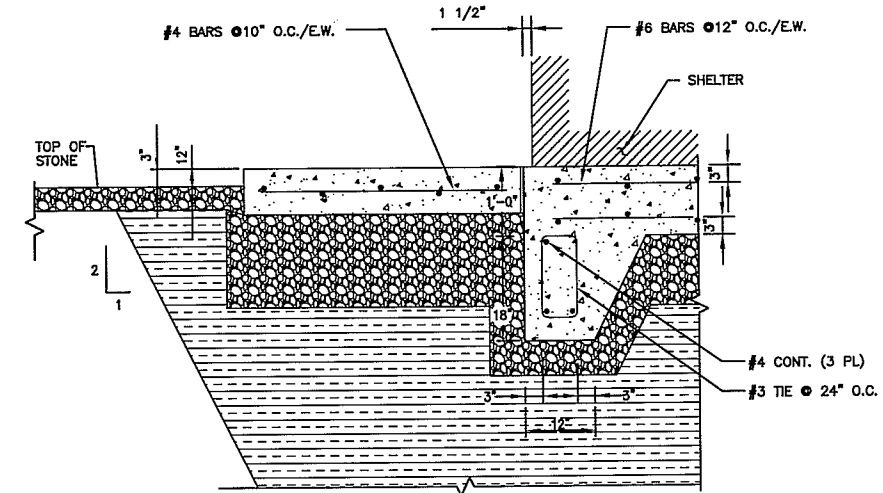
SHELTER FOUNDATION PLAN 1
SCALE: 1/4" = 1'-0" C-8



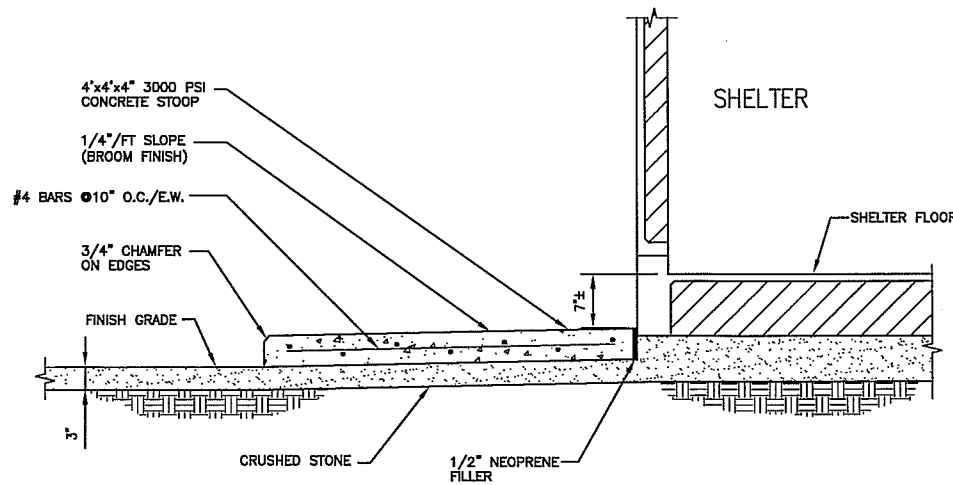
SHELTER PLAN 2
SCALE: 1/4" = 1'-0" C-8



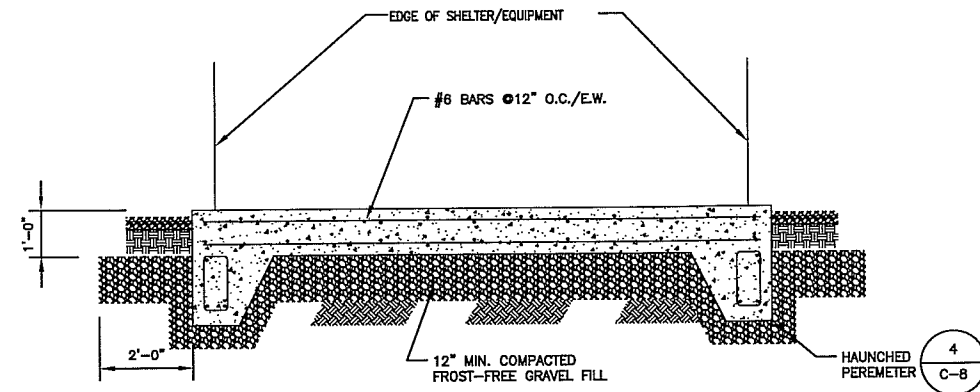
CONCRETE SLAB CONNECTION DETAIL 3
SCALE: N.T.S. C-8



SECTION 4
SCALE: 3/4" = 1'-0" C-8



CONCRETE STOOP 5
SCALE: N.T.S. C-8



SECTION 6
SCALE: 1/2" = 1'-0" C-8



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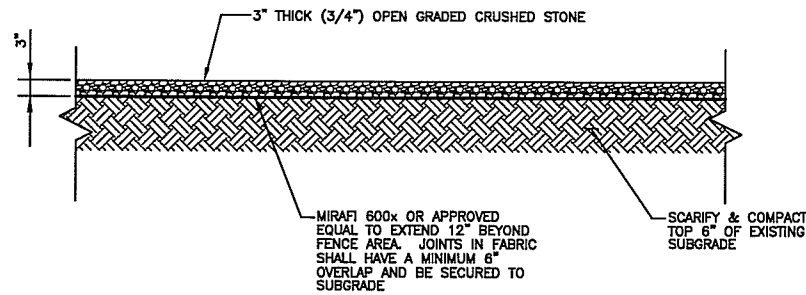
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SHELTER FOUNDATION & PAD DETAILS

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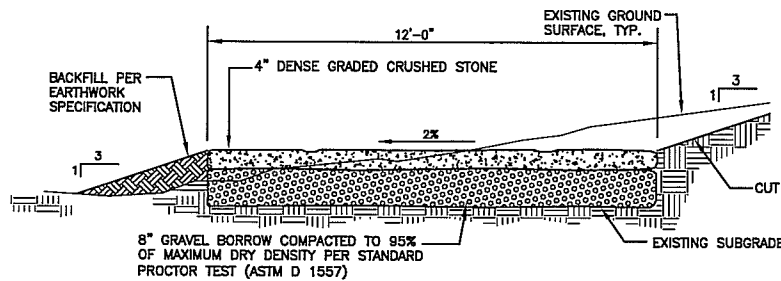
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COMPOUND PAVING DETAIL

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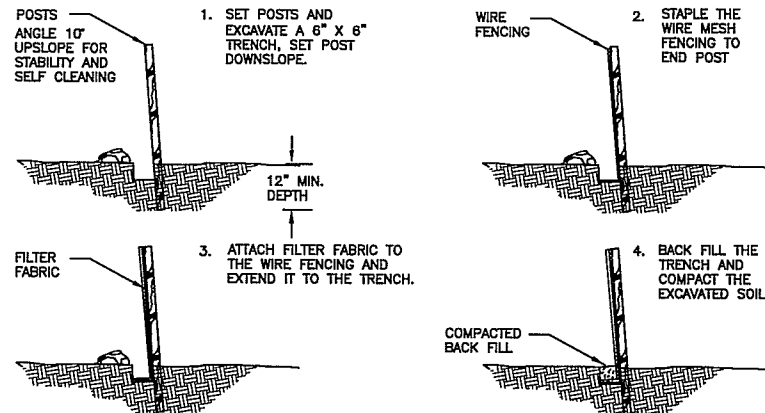
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GRAVEL DRIVE DETAIL

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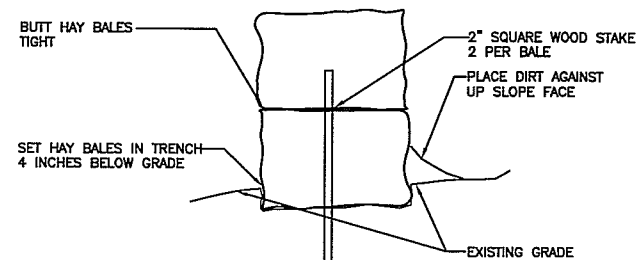
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SEDIMENTATION CONTROL BARRIER

SCALE: N.T.S.

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C-9



HAYBALE EROSION CONTROL BARRIER

SCALE: N.T.S.

4
C-9

EROSION CONTROL

CONSTRUCTION SEQUENCE

- 1) NOTIFY THE TOWN INLAND WETLANDS AGENT AT LEAST ONE WEEK PRIOR TO THE PRE-CONSTRUCTION MEETING.
- 2) COMPLETE A "CALL BEFORE YOU DIG" PRIOR TO ANY ON SITE ACTIVITY. RECALL EVERY 30 DAYS.
- 3) CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- 4) INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- 5) WOOD CHIPS GENERATED FROM CLEARING ACTIVITIES MAY BE USED AS A TEMPORARY STABILIZATION MEASURE IN ADDITION TO SILT FENCING & HAY BALES.
- 6) INSTALL HAY BALES TO "BACK UP" SILTATION FENCE ALONG ALL DOWNGRADIANT WETLANDS BOUNDARIES.
- 7) ESTABLISH ROADWAY CENTERLINE WITH GRADE STAKES AND OFF SETS.
- 8) STOCKPILE EXCAVATED SOILS A MINIMUM OF 75 FEET FROM ANY WETLAND AREA.
- 9) CONSTRUCT CLOSED DRAINAGE SYSTEM. PROTECT CULVERT INLETS WITH SEDIMENTATION BARRIERS.
- 10) ROUGH GRADE DITCH STARTING FROM THE DOWNGRADIANT LOCATION
- 11) INSTALL STONE LINING AND LEVEL SPREADERS AT CULVERT OUTLETS
- 12) STABILIZE GRADED SLOPES.
- 13) CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- 14) EXCAVATE FOR ANY SUBSURFACE UTILITIES.
- 15) STOCKPILE EXCAVATED SOILS A MINIMUM OF 75 FEET FROM ANY WETLAND AREA.
- 16) ESTABLISH SEDIMENT AND EROSION CONTROLS AROUND STOCKPILE SOILS.
- 17) INSTALL UTILITY SERVICES
- 18) INSTALL STORM DRAINAGE STARTING AT THE MOST DOWNGRADIANT LOCATION.
- 19) INSTALL ALL RIP RAP AT OUTLETS FOR STORM DRAINAGE.
- 20) INSTALL HAY BALE PROTECTION TO STORM DRAINAGE INLETS.
- 21) INSTALL ROAD
- 22) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
- 23) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- 24) BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- 25) FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
- 26) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 27) NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGRADED AREAS.
- 28) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

IMPACT OF STORMWATER DURING CONSTRUCTION ACTIVITY

ALL SEDIMENT CONTROLS, INCLUDING SILTATION FENCES AND HAY BALES MUST BE INSPECTED WEEKLY OR IMMEDIATELY AFTER A STORMWATER RUNOFF GENERATING EVENT. ALL SEDIMENT CONTROLS MUST BE MAINTAINED IN AN EFFECTIVE CONDITION.

IN THE EVENT THAT STORMWATER IS FLOWING IN THE EXISTING/PROPOSED DRAINAGE SWALE, THE FOLLOWING MUST BE NOTED:

- 1) BY INSTALLING THE STORM DRAINAGE STARTING AT THE MOST DOWNGRADIANT LOCATION, AND BY CONSTRUCTION THE DITCH STARTING AT THE MOST DOWNGRADIANT LOCATION, STORMWATER FLOW WILL NOT BE IMPOUNDED DURING THE CONSTRUCTION ACTIVITY.
- 2) ADDITIONAL MEASURES MUST BE TAKEN DURING TIMES OF RAIN OR FLOW. THESE INCLUDE THE CESSATION OF ALL CONSTRUCTION ACTIVITY IN THE DRAINAGE SWALES AT TIMES OF "HEAVY RAIN" OR "SIGNIFICANT FLOW" WHICH HAVE THE POTENTIAL TO CAUSE SOIL SCOURING. IN THE ABSENCE OF AN ON SITE AGREEMENT WITH THE TOWN INLAND WETLANDS AGENT.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

- 1) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- 3) WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- 4) FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- 5) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- 6) FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 7) MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- 1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2) IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3) SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 4) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

EROSION CONTROL MEASURES:

THE CONTRACTOR (TO BE NAMED PRIOR TO ANY WORK BEING PERFORMED) IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

- 1) DISTURBED AREAS SHALL BE KEPT TO THE MINIMUM AREA NECESSARY TO CONSTRUCT THE ROADWAYS AND ASSOCIATED DRAINAGE FACILITIES.
- 2) HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3) BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN NON RESTRICTED WETLAND AREAS ON PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6) ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. SLOPES 2:1 OR GREATER TO BE STABILIZED WITH TURF REINFORCEMENT MAT TYPE P300P NORTH AMERICAN GREEN (1-800-772-2040), OR ENGINEER APPROVED EQUAL.
- 7) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

SEED MIX (SLOPES LESS THAN 4:1)	LBS./ACRE
CREeping RED FESCUE	20
TALL FESCUE	20
RED TOP	2
	42

SLOPE MIX (SLOPES GREATER TAN 4:1)	LBS./ACRE
CREeping RED FESCUE	20
TALL FESCUE	20
BIRDSPoot TREEFOIL	8
	48

- 8) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 9) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 10) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
- 11) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12) ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 13) NO DISCHARGE SHALL BE DIRECTED TOWARDS ANY PROPOSED DITCHES, SWALES, OR PONDS UNTIL THEY HAVE BEEN PROPERLY STABILIZED.

CONSTRUCTION SPECIFICATIONS - STRAW OR HAY BALES

- 1) BALES SHALL BE PLACED IN A ROW WITH THE ENDS TIGHTLY ADJOINING.
- 2) EACH BALE SHALL BE EMBEDDED IN THE GROUND A MINIMUM OF 4 INCHES.
- 3) BALES SHALL BE ANCHORED IN PLACE BY AT LEAST TWO STAKES DRIVEN THROUGH THE BALE. THE STAKES SHALL BE DRIVEN AT LEAST 18 INCHES INTO THE GROUND.
- 4) BARRIERS SHALL BE INSPECTED AFTER EVERY RAINFALL AND PROMPTLY REPAIRED FOR REPLACED AS NECESSARY.
- 5) BALES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED OF PROPERLY.

MAINTENANCE - STRAW OR HAY BALES

- 1) STRAW OR HAY BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- 2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, UNDERCUTTING BENEATH THE BALES, AND FLOW AROUND THE END OF THE BALES.
- 3) NECESSARY REPAIRS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
- 4) SEDIMENT DEPOSITS SHOULD BE CHECKED AFTER EACH RAINFALL. THE DEPOSITS SHOULD BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE TABLE.
- 5) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.



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FAX: (978) 336-5586

ENGINEER/LAND SURVEYOR

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

REVISIONS

REV. #	DATE	DESCRIPTION
3	08/05/10	REVISE ACCESS EASEMENT & COMPOUND
2	04/13/10	REVISE SHELTER DETAILS
1	03/31/10	REVISE EASEMENTS
0	03/09/10	ISSUED FOR REVIEW

PROJECT NO.	DESIGNED BY:	DC	SCALE:
	DRAWN BY: <td>SB</td> <td>AS SHOWN</td>	SB	AS SHOWN
	CHECK'D BY: <td>DPH</td> <td></td>	DPH	

SITE NAME:

1257-AVON

SITE ADDRESS:

224 LOVELY STREET
AVON, CT 06067

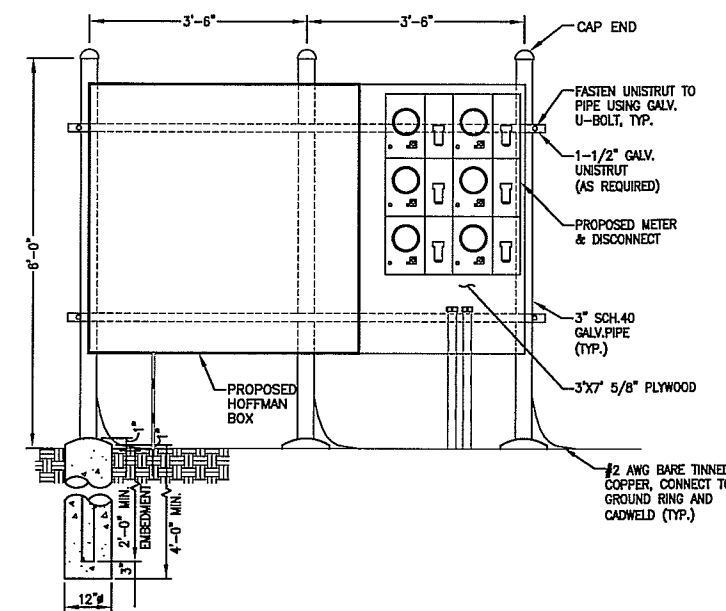
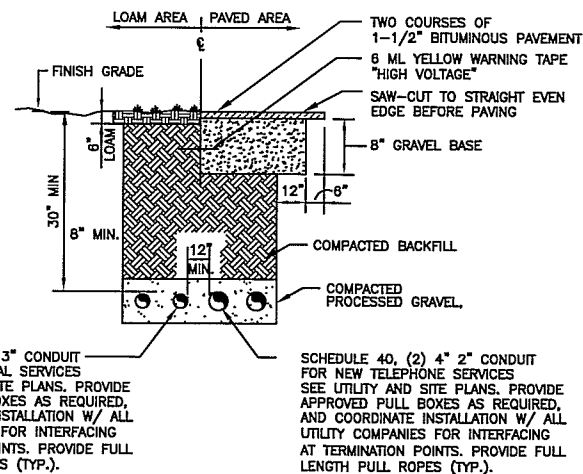
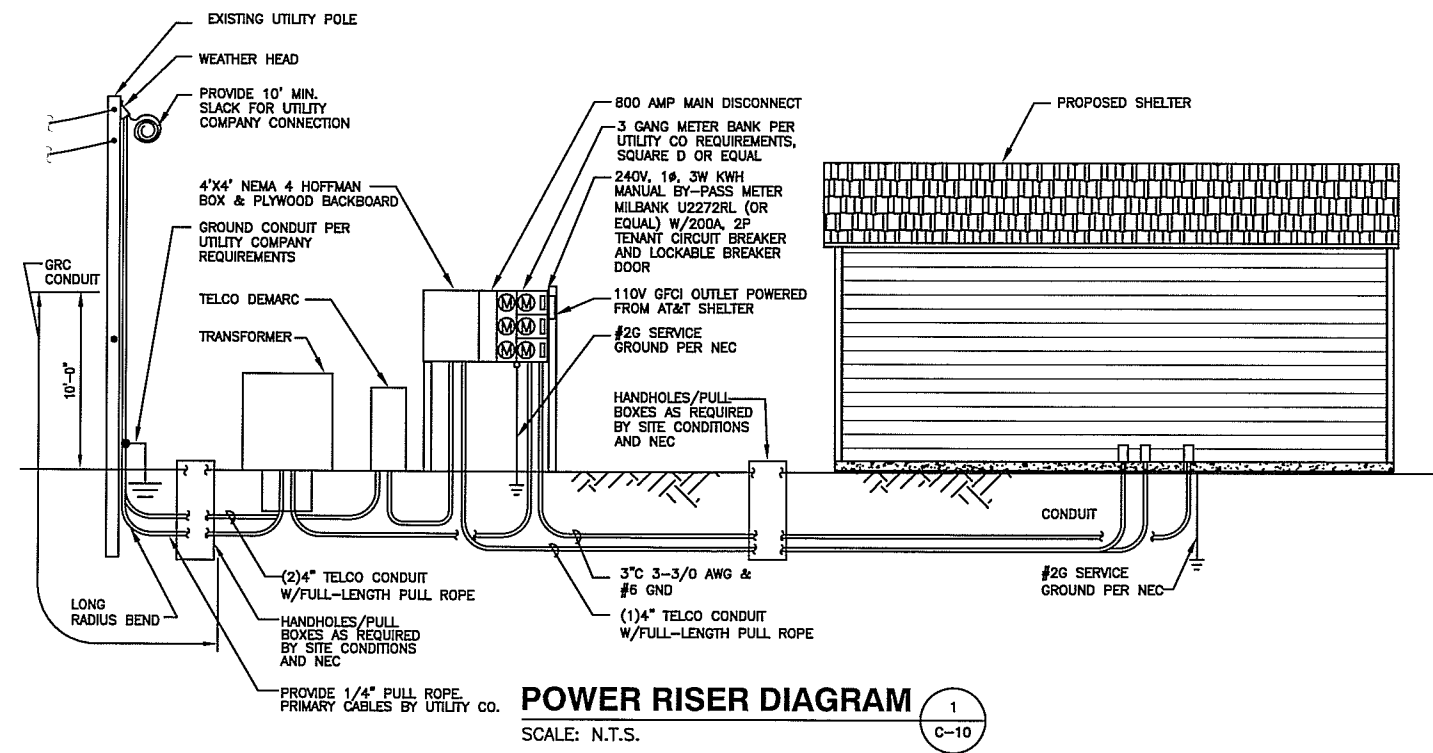
DRAWING TITLE:

ELECTRICAL RISER AND
DETAILS

DRAWING NO.:

C-10

MAKE ALL CONNECTIONS AS PER UTILITY COMPANY'S REQUIREMENTS.



SCHEDULE 40, (2) 3" CONDUIT FOR NEW ELECTRICAL SERVICES SEE UTILITY AND SITE PLANS. PROVIDE APPROVED PULL BOXES AS REQUIRED, AND COORDINATE INSTALLATION W/ ALL UTILITY COMPANIES FOR INTERFACING AT TERMINATION POINTS. PROVIDE FULL LENGTH PULL ROPES (TYP.).

SCHEDULE 40, (2) 4" 2" CONDUIT FOR NEW TELEPHONE SERVICES SEE UTILITY AND SITE PLANS. PROVIDE APPROVED PULL BOXES AS REQUIRED, AND COORDINATE INSTALLATION W/ ALL UTILITY COMPANIES FOR INTERFACING AT TERMINATION POINTS. PROVIDE FULL LENGTH PULL ROPES (TYP.).

NOTE:
DETAIL AS SHOWN IS FOR
SECONDARY ELECTRIC SERVICE.
PRIMARY HIGH VOLTAGE SERVICE
REQUIRES 4" CONCRETE
ENCASEMENT.