

FARMINGTON NORTH 2

**199 Town Farm Road
Farmington, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

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SITE NAME: FARMINGTON NORTH 2 – 199 Town Farm Road, Farmington, CT

GENERAL CELL SITE DESCRIPTION

The proposed cell site would be located within a 60' x 60' fenced compound within a 100' x 100' leased area in the southeasterly portion of an approximately 9.9-acre parcel ("Property") owned by the Town of Farmington. The Property is known as the Simmons Family Farm and is located at 199 Town Farm Road in Farmington (the "Farmington North 2 Facility"). The Farmington North 2 Facility would consist of a 110-foot telecommunications tower. The Town has requested that Cellco construct a stealth tower. If deemed appropriate by the Council, Cellco would construct a stealth "monopine" tree tower with simulated branches that would extend an additional seven feet from the top of the tower for an overall structure height of 117-feet. Cellco would install a 1,000 gallon propane tank and a 12' x 30' equipment shelter located near the base of the tower. Cellco's back-up generator would be fueled by propane. Cellco antennas would be mounted at the top of the tower with their centerline at the 110-foot level. Utility and vehicular access to the site would extend from Town Farm Road over a new gravel driveway a distance of approximately 580 feet to the site compound.



Vanasse Hangen Brustlin, Inc.

USGS Topographic Map
 Proposed Verizon Wireless
 Telecommunications Facility
 The Simmons Family Farm
 199 Town Farm Road
 Farmington, Connecticut



Quadrangle Location





Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Quadrangle Location

Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
 Proposed Verizon Wireless
 Telecommunications Facility
 The Simmons Family Farm
 199 Town Farm Road
 Farmington, Connecticut**



SITE EVALUATION REPORT

SITE NAME: FARMINGTON NORTH 2 – 199 Town Farm Road, Farmington, CT

I. LOCATION

- A. COORDINATES: 41°-45'-27.99" N 72°-49'-47.75" W
- B. GROUND ELEVATION: Approximately 189± feet AMSL
- C. USGS MAP: Avon, CT
- D. SITE ADDRESS: 199 Town Farm Road, Farmington, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is in the Residential zone designation.

II. DESCRIPTION

- A. SITE SIZE: 100' x 100' Leased Area
- B. LESSOR'S PARCEL: Approximately 9.9-acres
- C. TOWER TYPE/HEIGHT: 110' Monopole Tower
117' overall structure height for "monopine" design
- D. SITE TOPOGRAPHY AND SURFACE: Topography in the general area of the site slopes down to the south, west and east. To the north, the topography is relatively flat before sloping down further to the north. Clearing and grading of the leased area and access driveway will be required. The site has been situated so as to minimize, to the extent possible, the clearing of substantial trees.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the northerly portion of a partially wooded 9.9-acre parcel. No wetland areas exist within or near the site compound or access driveway.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The Facility is located on an approximately 9.9-acre partially wooded property. The property is surrounded by farm land and residential land uses. (See Aerial Photograph at p. ii).

III. FACILITIES

- A. POWER COMPANY: The Connecticut Light and Power Company
- B. POWER PROXIMITY TO SITE: Approximately 580 feet to the east of the cell site.
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Town Farm Road over a new 12-foot wide gravel driveway to the site compound a total distance of approximately 580 feet.
- F. CLEARING AND FILL REQUIRED: Clearing and grading would be required for construction of the tower, site compound and for improving the access drive. Detailed construction plans would be developed after approval by the Siting Council.

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: Town of Farmington
- C. ADDRESS: 199 Town Farm Road, Farmington, CT 06032
- D. DEED ON FILE AT: Town of Farmington, CT Land Records

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FACILITIES AND EQUIPMENT SPECIFICATIONS
(NEW TOWER & EQUIPMENT BUILDING)

SITE NAME: FARMINGTON NORTH 2 – 199 Town Farm Road, Farmington, CT

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: To be determined
- B. TYPE: Self-supporting monopole
- C. TOWER HEIGHT: 110' DIMENSIONS: Approx. 48" base
"MONOPINE" HEIGHT: 117' Approx. 30" top

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

- 1. Antennas (12)
Six (6) Model LPA-80063/4CF (47.4" x 15.2" x 13.2") Cellular
Six (6) Model LPA-185063/8CF_2 (47.2" x 6.6" x 5.8) PCS antennas
Antenna Centerline 110' AGL
- 2. GPS Antenna: Mounted on the top of the equipment shelter
- 3. Transmission Lines:
 - a. MFG/Model: Andrews LDF5-50A
 - b. Size: 1 5/8"

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The tower will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-E "Structural Standards for Steel Antenna Towers and Antenna Support Structures." The foundation designs would be based on soil conditions at the site. Details for the towers and foundation designs will be provided as a part of the final D&M Plan.

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: FARMINGTON NORTH 2 – 199 Town Farm Road, Farmington, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive, tower or equipment shelter. The equipment used will not discharge any pollutants to area surface or groundwater systems.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Cellco would obtain this permit prior to installing the generator at the approved cell site.

C. LAND

Clearing and grading of the tower compound and access drive will be required. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator that would be run during power outages and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's Cellular and PCS antennas at the Farmington North 2 Facility would be 14.01% of the Standard.

F. VISIBILITY

See Visual Resource Evaluation Report included as Attachment 9.

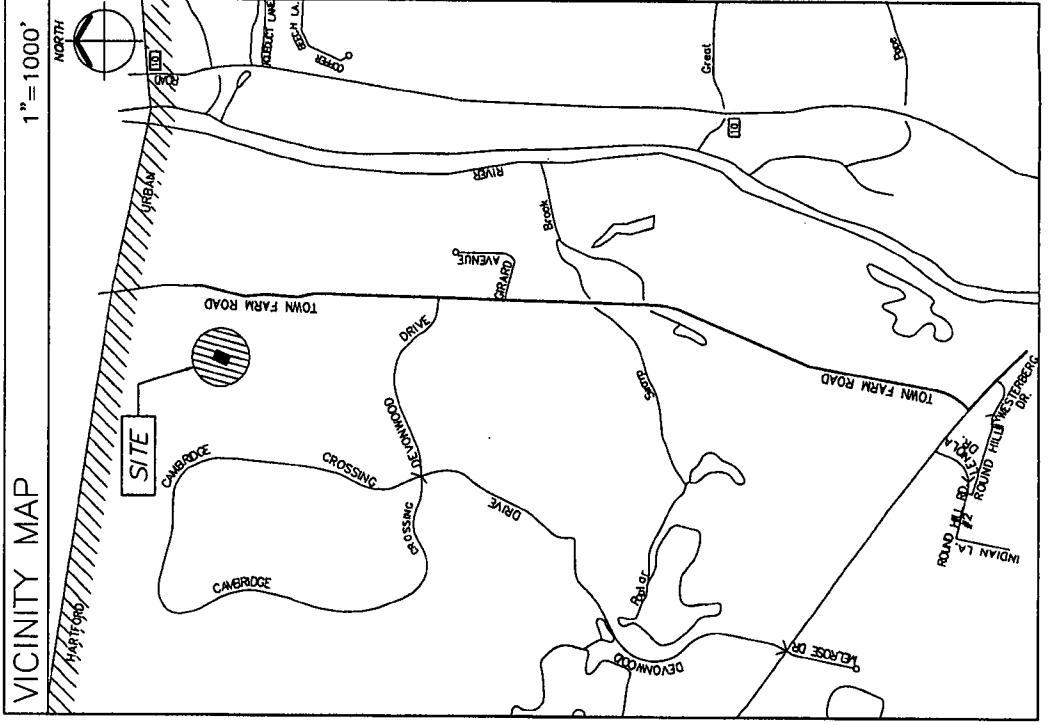
CELLCO PARTNERSHIP

DBA



FARMINGTON NORTH 2

199 TOWN FARM ROAD
FARMINGTON, CONNECTICUT 06032



SITE DIRECTIONS
FROM EAST HARTFORD: TAKE I-84 W / US-6 W VIA THE RAMP ON THE LEFT TOWARD WATERBURY. MERGE ONTO CT-4 W / FARMINGTON AVENUE VIA EXIT 39 TOWARD FARMINGTON. TURN RIGHT ONTO TOWN FARM ROAD.

PROJECT DESCRIPTION
THE SCOPE OF THIS PROJECT INCLUDES THE INSTALLATION OF AN UNMANNED 12'-0" x 30'-0" WIRELESS COMMUNICATIONS EQUIPMENT SHELTER LOCATED WITHIN A NEW 60'-0" x 60'-0" GRAVEL COMPOUND, WITH WIRELESS COMMUNICATIONS EQUIPMENT BACKUP GENERATOR AND THE INSTALLATION OF TWELVE (12) VERIZON WIRELESS PANEL ANTENNAS MOUNTED TO A NEW 117' MONOPINE.

PROJECT SUMMARY

SITE NAME: FARMINGTON NORTH 2
SITE ADDRESS: 199 TOWN FARM ROAD, FARMINGTON, CONNECTICUT 06032
CONTACT PERSON: CELLCO PARTNERSHIP DBA, VERIZON WIRELESS, SANDY CARTER (860) 803-8219
COVERING CODE: CONNECTICUT STATE BUILDING AND LIFE SAFETY CODE
APPLICANT: CELLCO PARTNERSHIP DBA, VERIZON WIRELESS, EAST HARTFORD, CT 06108
ARCHITECT: URS CORPORATION A.E.S., 500 ENTERPRISE DRIVE, SUITE 3B, ROCKY HILL, CT 06067
W/E/P ENGINEER: URS CORPORATION A.E.S., 500 ENTERPRISE DRIVE, SUITE 3B, ROCKY HILL, CT 06067

LEGEND

SYMBOL	DESCRIPTION
	SECTION OR DETAIL NUMBER
	SHEET WHERE DETAIL/SECTION OCCURS
	ELEVATION NUMBER
	SHEET WHERE ELEVATION OCCURS

ABBREVIATIONS

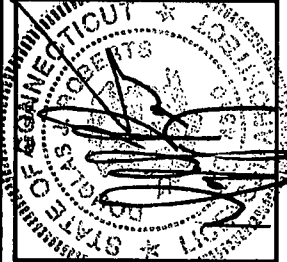
MIN.	MINIMUM
V.I.F.	VERIFY IN FIELD
O.C.	ON CENTER
PSF	POUND/SQUARE FOOT
TYP.	TYPICAL
TOC	TOP OF CONCRETE
TOW	TOP OF WALL

SHEET INDEX

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AB-1	ABUTTERS MAP
SC-1	PARTIAL SITE PLAN, NOTES AND DETAIL
SC-2	COMPOUND PLAN, TOWER ELEVATION, AND ANTENNA ORIENTATION PLAN
SC-3	SITE DETAILS AND NOTES
SC-4	EQUIPMENT SHELTER FOUNDATION PLAN, ELEVATIONS, DETAILS AND NOTES



URS CORPORATION A.E.S.
500 ENTERPRISE DRIVE, SUITE 3B
ROCKY HILL, CONNECTICUT
1-(860)-529-8882



PROJECT NO: 36931054.00002
 JOB NO: VZ1 229
 DRAWN BY: KAP
 CHECKED BY:

ISSUED FOR

0	01-03-08	SITING COUNCIL
1	01-18-08	REVIEW

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

FARMINGTON NORTH 2
 199 TOWN FARM ROAD
 FARMINGTON, CONNECTICUT 06032

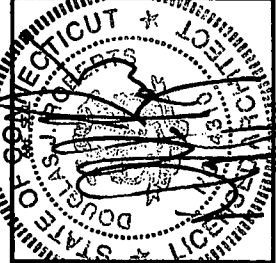
SCALE: AS NOTED

TITLE SHEET - GENERAL NOTES AND LEGENDS

T-1



URS CORPORATION A/E, P/E
 500 ENTERPRISE DRIVE, SUITE 3B
 ROCKY HILL, CONNECTICUT
 1-860-529-8822



PROJECT NO: 36931054.00002

JOB NO: VZ1 229

DRAWN BY: KAP

CHECKED BY:

ISSUED FOR	
0	01-03-08 SITING COUNCIL
1	01-18-08 REVIEW

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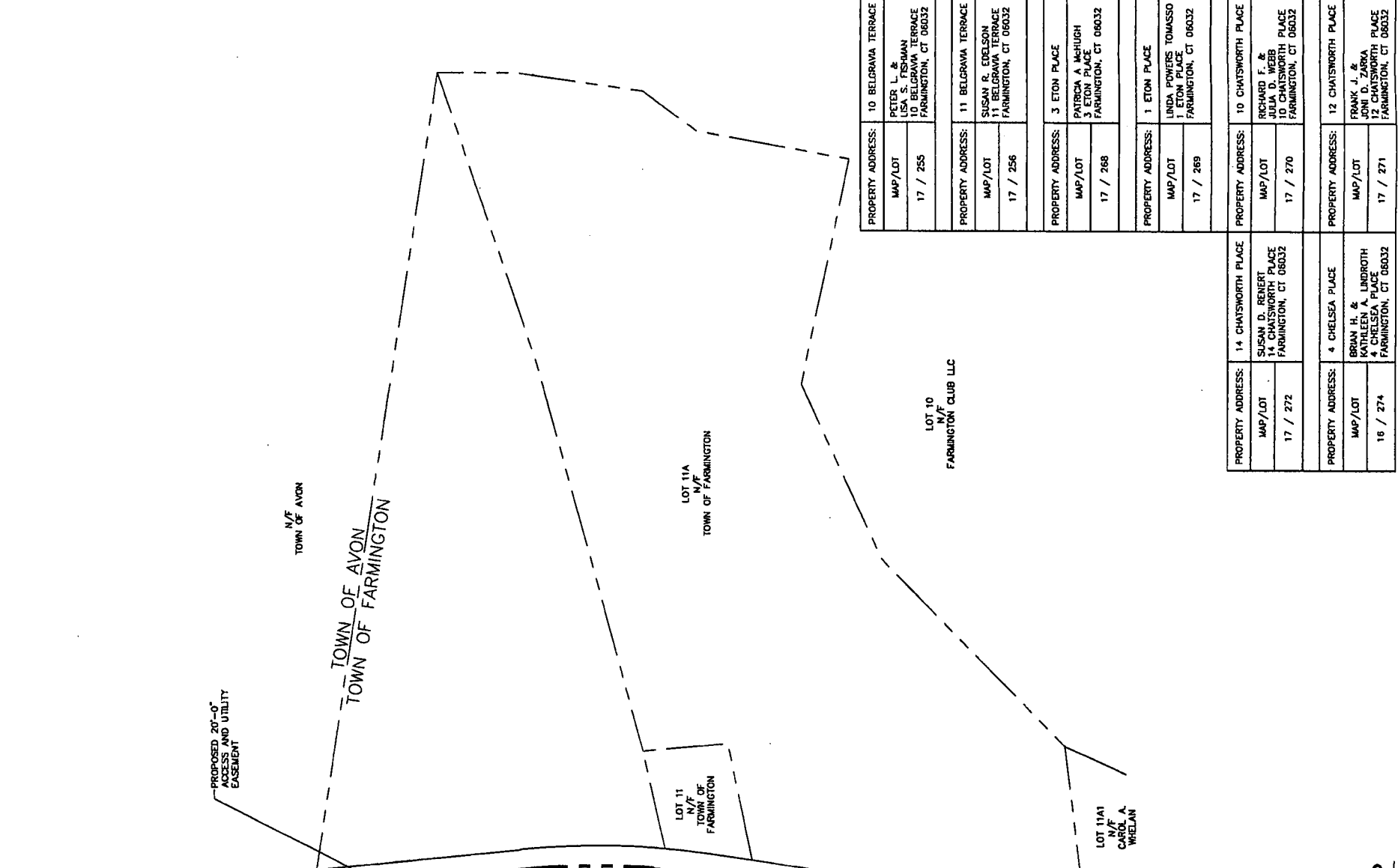
FARMINGTON
 NORTH 2
 199 TOWN FARM ROAD
 FARMINGTON, CONNECTICUT
 06032

SCALE: AS NOTED

ABUTTERS MAP
 AND LIST

AB-1

ABUTTERS LIST	
PROPERTY ADDRESS:	184 TOWN FARM ROAD
MAP/LOT	TOWN OF FARMINGTON 1 MONTEITH DRIVE FARMINGTON, CT 06032
17 / 11	
PROPERTY ADDRESS:	184 TOWN FARM ROAD
MAP/LOT	TOWN OF FARMINGTON 1 MONTEITH DRIVE FARMINGTON, CT 06032
17 / 11A	
PROPERTY ADDRESS:	184 TOWN FARM ROAD
MAP/LOT	TOWN OF FARMINGTON MONTEITH DRIVE FARMINGTON, CT 06032
17 / 27	
PROPERTY ADDRESS:	158 TOWN FARM ROAD
MAP/LOT	CAROL A WHELAN 158 TOWN FARM ROAD FARMINGTON, CT 06032
28 / 11A1	
PROPERTY ADDRESS:	157 TOWN FARM ROAD
MAP/LOT	WENDY M. CHASE 157 TOWN FARM ROAD FARMINGTON, CT 06032
28 / 2	
PROPERTY ADDRESS:	FARMINGTON CLUBS
MAP/LOT	FARMINGTON CLUBS FARMINGTON, CT 06032
28 / 10	
PROPERTY ADDRESS:	155 TOWN FARM ROAD
MAP/LOT	SUSAN R. CREAMER 155 TOWN FARM ROAD FARMINGTON, CT 06032
28 / 1	
PROPERTY ADDRESS:	7 ASHFORD COURT
MAP/LOT	MERWOOD M. & BONITA JONES 7 ASHFORD COURT FARMINGTON, CT 06032
28 / 185	
PROPERTY ADDRESS:	3 ASHFORD COURT
MAP/LOT	FREDERICK R. & LARLYN S. HATFIELD 3 ASHFORD COURT FARMINGTON, CT 06032
28 / 186	
PROPERTY ADDRESS:	4 NORFOLK GARDENS
MAP/LOT	DAVID W. & MICKY HARRIS 4 NORFOLK GARDENS FARMINGTON, CT 06032
28 / 189	
PROPERTY ADDRESS:	6 NORFOLK GARDENS
MAP/LOT	JAMES D. & DOROTHY L. CAVALIS 6 NORFOLK GARDENS FARMINGTON, CT 06032
28 / 190	
PROPERTY ADDRESS:	6 EXETER PARK
MAP/LOT	PETER J. & LEANDRA L. BAKAJ 6 EXETER PARK FARMINGTON, CT 06032
28 / 233	
PROPERTY ADDRESS:	8 EXETER PARK
MAP/LOT	ROGER S. & LYNN SANDERS TRUSTEES 8 EXETER PARK FARMINGTON, CT 06032
28 / 234	
PROPERTY ADDRESS:	7 EXETER PARK
MAP/LOT	GREGORY A. & HEATHER WILSON 7 EXETER PARK FARMINGTON, CT 06032
17 / 235	
PROPERTY ADDRESS:	5 EXETER PARK
MAP/LOT	KATRINE DOANE GOLDFARB 5 EXETER PARK FARMINGTON, CT 06032
17 / 236	



PROPERTY ADDRESS:	10 BELGRAVA TERRACE
MAP/LOT	PETER L. & SARAH LESLIE S. FISMAN 10 BELGRAVA TERRACE FARMINGTON, CT 06032
17 / 255	
PROPERTY ADDRESS:	11 BELGRAVA TERRACE
MAP/LOT	SUSAN R. EDELSON 11 BELGRAVA TERRACE FARMINGTON, CT 06032
17 / 256	
PROPERTY ADDRESS:	3 ETON PLACE
MAP/LOT	PATRICIA A. McHUGH 3 ETON PLACE FARMINGTON, CT 06032
17 / 268	
PROPERTY ADDRESS:	1 ETON PLACE
MAP/LOT	LINDA POWERS TOMASSO 1 ETON PLACE FARMINGTON, CT 06032
17 / 269	
PROPERTY ADDRESS:	10 CHATSWORTH PLACE
MAP/LOT	RICHARD F. & JULIA D. ZARKA 10 CHATSWORTH PLACE FARMINGTON, CT 06032
17 / 270	
PROPERTY ADDRESS:	4 CHELSEA PLACE
MAP/LOT	BRIAN H. & KATHLEEN A. LINDROTH 4 CHELSEA PLACE FARMINGTON, CT 06032
16 / 274	
PROPERTY ADDRESS:	12 CHATSWORTH PLACE
MAP/LOT	FRANK J. & JONI D. ZARKA 12 CHATSWORTH PLACE FARMINGTON, CT 06032
17 / 271	

GRAPHIC SCALE
 SCALE IN FEET
 0 150

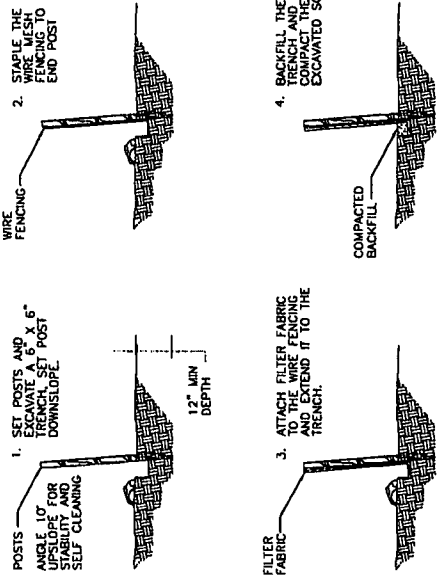
1 ABUTTERS MAP
 AB-1
 SCALE: 1" = 150'-0"

**SEDIMENTATION CONTROL FENCE SPECIFICATIONS
MAINTENANCE**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE HEIGHT OF THE FABRIC SHOULD BE MAINTAINED AT APPROXIMATELY ONE-HALF THE HEIGHT OF THE FABRIC.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REPLACED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION.
- CONSTRUCTION Sequence**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 - WOODEN WIRE FENCES SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOODEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION, AND BOTTOM.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
 - FENCE POSTS SHALL BE MINIMUM OF 35 INCHES LONG AND DRIVEN A MINIMUM OF 12 INCHES INTO THE GROUND. WOODEN AND POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

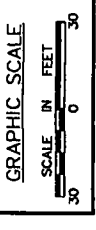
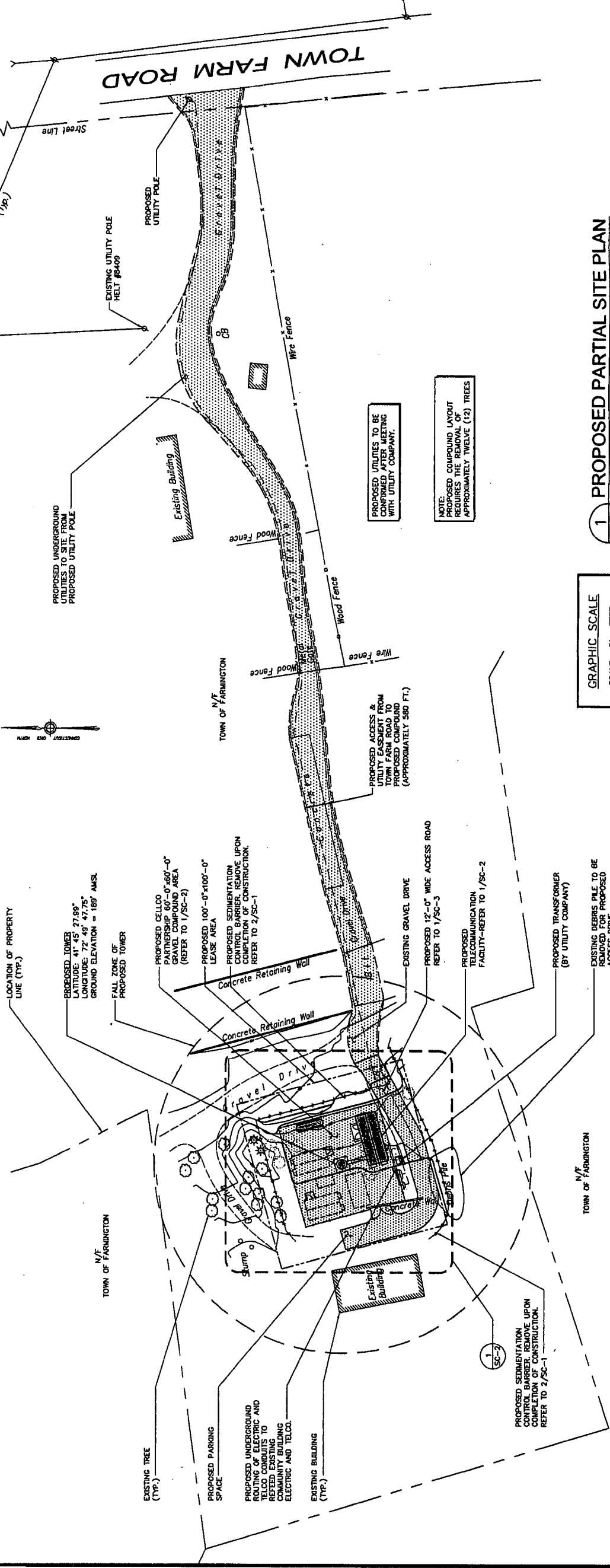
EROSION CONTROL NOTES

- DURING CONSTRUCTION AND THEREAFTER EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. NOT GREATER THAN 80,000 SQ. FT. OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AND MAINTAINED SHALL NOT EXCEED 90 DAYS. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
- SELECTION FENCING SHALL BE INSTALLED WHERE SHOWN PRIOR TO ANY ON SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. IT SHOULD BE MAINTAINED THROUGH AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE NATURAL DRAINAGE-WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER.
- ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISH GRADED WITH NO FURTHER CONSTRUCTION TO TAKE PLACE SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHED AND MULCHED AND SEEDING WITH THE SEEDS SPECIFIED ON THE DRAWING. SEEDS SHALL BE SHOWN AS BEING SEEDS THAT ARE UNDEGRADED, AIR-DRIED, AND FREE FROM WEED, SEEDS AND ANY COARSE MATERIAL.



2 SEDIMENTATION CONTROL BARRIER

SCALE: N.T.S.

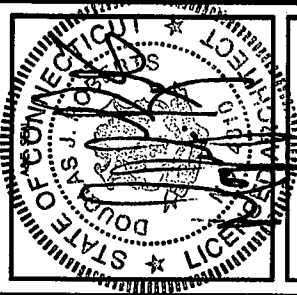


1 PROPOSED PARTIAL SITE PLAN

SCALE: 1" = 30'-0"



URS CORPORATION AES
500 ENTERPRISE DRIVE, SUITE 3B
ROCKY HILL, CONNECTICUT
1-(860)-529-8882



PROJECT NO: 36931054.00002
JOB NO: VZ1 229
DRAWN BY: KAP
CHECKED BY:

ISSUED FOR	
0	01-05-08 STRING COUNCIL
1	01-18-08 REVIEW

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FARMINGTON NORTH 2
199 TOWN FARM ROAD
FARMINGTON, CONNECTICUT 06032

SCALE: AS NOTED

PARTIAL SITE PLAN, NOTES AND DETAIL

SC-1

SITE NOTES

- THE FOLLOWING STANDARD SPECIFICATIONS ARE INCORPORATED INTO THIS CONTRACT UNLESS SUPERSEDED BY LOCAL (FARMINGTON) REGULATIONS:
 - STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INFRASTRUCTURE CONSTRUCTION FORM 816 ENGLISH & METRIC FORM 816 ORIGINAL
 - CONCRETE CONSTRUCTION FORM 816 ENGLISH & METRIC
 - FORM 816 SUMMARY OF CHANGES
 - SUPPLEMENT FORM 816 JANUARY 2005
 - SUPPLEMENT FORM 816 JULY 2005
- DEP BULLETIN 34, CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, DATED 2002.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY EXCAVATION AND MAINTAIN THEM THROUGHOUT THE PROJECT. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO INSPECTION AND MONITORING BY THE TOWN.
- ALL AREAS DISTURBED BY THE CONSTRUCTION OF IMPROVEMENTS SHOWN HEREON SHALL BE RESTORED TO EXISTING CONDITIONS. COORDINATION, LAYOUT AND FURNISHING OF CONDUIT, CABLE AND ALL TELECOMMUNICATION SERVICES SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT SHELTER FOUNDATION SIZE AND SHELTER FLOOR PENETRATIONS FOR UTILITIES SHALL BE CONFIRMED WITH THE SHELTER SPECIFICATIONS AND PLANS PRIOR TO LAYOUT.
- ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.
- IF ANY FIELD CONDITIONS PRECLUDE COMPLIANCE WITH THE DRAWINGS AND/OR CONDITIONS SPECIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE TOWN ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
- THE CONTRACTOR SHALL STABILIZE ALL UTILITY LINE TRENCHES WITHIN FIVE WORKING DAYS AFTER EXCAVATION UNLESS OTHERWISE APPROVED BY THIS CELLULAR CARRIER.

- CONCRETE**
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318 AND THE SPECIFICATION CAST-IN-PLACE CONCRETE.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSF AT 28 DAYS UNLESS NOTED OTHERWISE. CONCRETE SHALL BE AIR ENHANCED TO (4% TO 8%) AND SLUMP OF 3" TO 5".
 - REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED BARS. ALL WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
 - THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST EARTH.....3 IN.
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #5 AND LARGER.....2 IN.
 - #3 AND SMALLER & W/F.....1 1/2 IN.
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 - SLAB AND WALL.....3/4 IN.
 - BEAMS AND COLUMNS.....1 1/2 IN.
 - A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
 - INSTALLATION OF CONCRETE EXPANSION/JUNCTION ANCHORS SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT OR BENT PRIOR TO ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
 - COLD WEATHER CONCRETE PLACING SHALL BE IN ACCORDANCE WITH ACI-306.
 - NO FOOTING SHALL BE PLACED ON FROZEN GROUND. UNCURED CONCRETE SHALL BE PROTECTED AGAINST FROST.
 - APPLY NON-SLIP BROOM FINISH IMMEDIATELY AFTER TROWEL FINISHING.

- SOIL**
- SOIL BEARING CAPACITY OF 3,000 PSF USED FOR FOUNDATION DESIGN. GENERAL CONTRACTOR RESPONSIBLE FOR VERIFYING BEARING CAPACITIES.
 - ALL SURFACES MUST BE FREE OF STANDING WATER PRIOR TO PLACING CONCRETE.
 - COMPACT GRANULAR FILL PER CONNECTICUT DOT STANDARD SPEC FORM 814A 1995, SECTION 2.14.01 THROUGH 2.14.03.
 - CONTACT THE ENGINEER IF GROUND WATER IS ENCOUNTERED AND DOWATERING IS REQUIRED.

1. ISSUED FOR 0 01-03-08 SITING COUNCIL 1 01-18-08 REVIEW

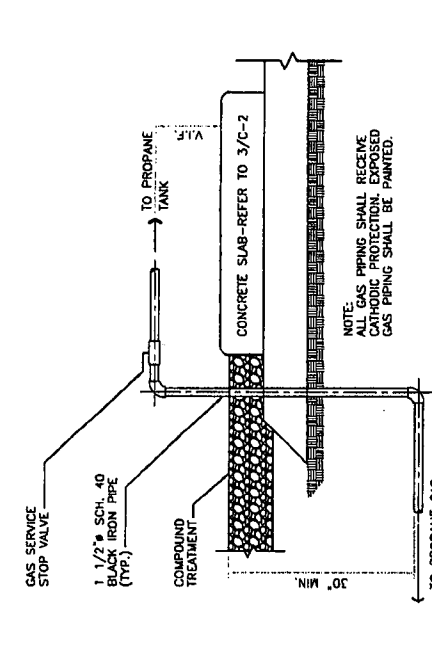
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 JOB NO: VZ1 229
 DRAWN BY: KAP
 CHECKED BY:

FARMINGTON NORTH 2
 199 TOWN FARM ROAD
 FARMINGTON, CONNECTICUT 06032

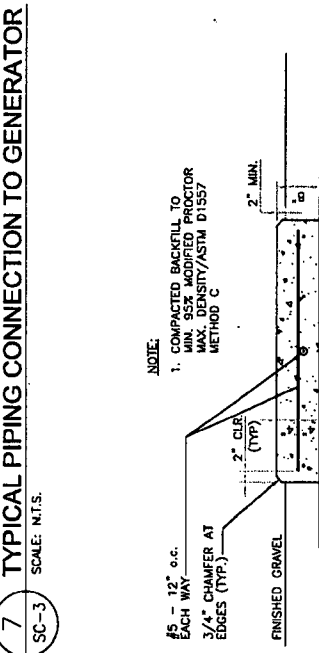
SCALE: AS NOTED

SITE DETAILS AND NOTES

SC-3



- 7 TYPICAL PIPING CONNECTION TO GENERATOR**
 SCALE: N.T.S.
- SCHEDULE 40 BLACK STEEL UNDERGROUND PIPING W/CATHODIC PROTECTION (TYP.). REFER TO DETAIL ABOVE FOR TRENCHING AND PIPING DETAILS.
 - PROPANE TANK SHALL CONFORM WITH ASME CODE FOR PRESSURE VESSELS (SECTION III DIVISION 1). MANUFACTURER SHALL X-RAY TEST THE TANK AS REQUIRED BY ASME CODE. FURNISH AND INSTALL ALL ACCESSORIES SUCH AS PRIMARY AND SECONDARY PRESSURE REGULATORS, PRESSURE GAUGES, PROPANE APPROVED CARBURIZER (FURNISHED WITH GENERATOR), GAS LEAK DETECTOR, SHUT-OFF VALVES, AND ALL OTHER ACCESSORIES AS REQUIRED BY THE CONTRACTOR TO PROVIDE A FLEXIBLE CONNECTION AT GENERATOR. GENERATOR COMES EQUIPPED WITH FUEL REGULATOR, FLEXIBLE HOSE AND FUEL SOLENOID.

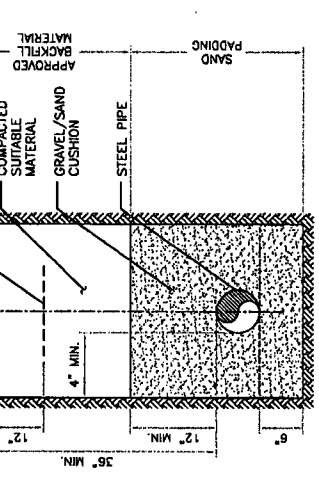


- 6 CONCRETE SLAB DETAIL (PROPANE TANK)**
 SCALE: 3/4"=1'-0"
- NOTE: 1. COMPACTED BACKFILL TO BE PLACED TO MINIMUM MAX. DENSITY (ASTM D 1557) METHOD C

SC-3



- 9 TYPICAL BURIED GAS LINE DETAIL**
 SCALE: 3/4"=1'-0"
- NOTE: 1. WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.



- 8 TYPICAL UTILITY TRENCH DETAIL**
 SCALE: N.T.S.
- NOTE: 1. THE CLEAN FILL SHALL PASS THROUGH A 3/8" WESH SCREEN AND SHALL NOT CONTAIN SHARP STONES. OTHER BACKFILL SHALL NOT CONTAIN LARGES CHANGES, SHELLS, FROZEN MATERIAL, LARGE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION. THE TRENCH SHALL BE BACKFILLED IMMEDIATELY FOLLOWING PLACEMENT OF THE CONDUITS.
2. WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.

SC-3



- 1 GRAVEL ACCESS DRIVE TYPICAL SECTION**
 SCALE: N.T.S.



- 4 GRAVEL COMPOUND DETAIL**
 SCALE: 1/2"=1'-0"

SC-3



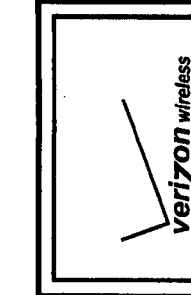
- 2 ICE BRIDGE DETAIL**
 SCALE: 1"=1'-0"
- NOTE: 1. MAXIMUM 10' SPACING BETWEEN POST SUPPORTS
 2. 3 POSTS REQUIRED

SC-3

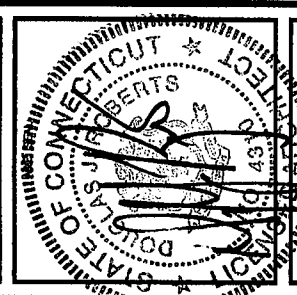


- 3 ICE BRIDGE DETAIL**
 SCALE: 1 1/2"=1'-0"

SC-3



URS CORPORATION AES
 500 ENTERPRISE DRIVE, SUITE 3B
 ROCKY HILL, CONNECTICUT
 1-860-529-8882



PROJECT NO: 36931054.00002
 JOB NO: VZ1 229
 DRAWN BY: KAP
 CHECKED BY:

ISSUED FOR 0 01-03-08 SITING COUNCIL 1 01-18-08 REVIEW

FARMINGTON NORTH 2
 199 TOWN FARM ROAD
 FARMINGTON, CONNECTICUT 06032

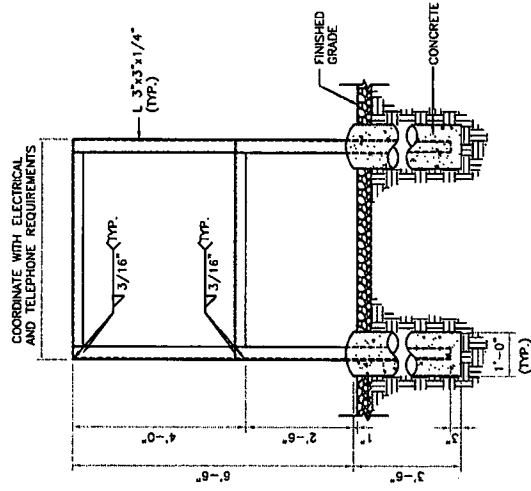
SCALE: AS NOTED

SITE DETAILS AND NOTES

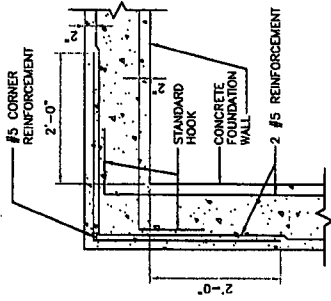
SC-3

STRUCTURAL NOTES

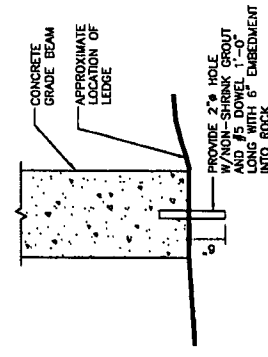
1. A PRESUMPTIVE SOIL BEARING CAPACITY OF 3000 PSF WAS USED FOR THE FOUNDATION DESIGN. THE GENERAL CONTRACTOR IS TO CONFIRM THE SPECIFIED SOIL BEARING PRESSURE.
2. ALL FOOTINGS SHALL BEAR ON EXISTING UNDISTURBED ORGANIC FREE SOIL. ALL UNSUITABLE SOIL SHALL BE REMOVED AS DIRECTED BY THE ENGINEER AND REPLACED WITH COMPACTED GRAVEL PLACED IN 8" LAYERS AND COMPACTED TO 95% OF MODIFIED OPTIMUM DENSITY.
3. ALL FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW FINISH GRADE UNLESS FOUNDATION TO ROCK EXCEPT WHERE ROCK OR LEDGE OCCURS, PW.
4. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHORS SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.



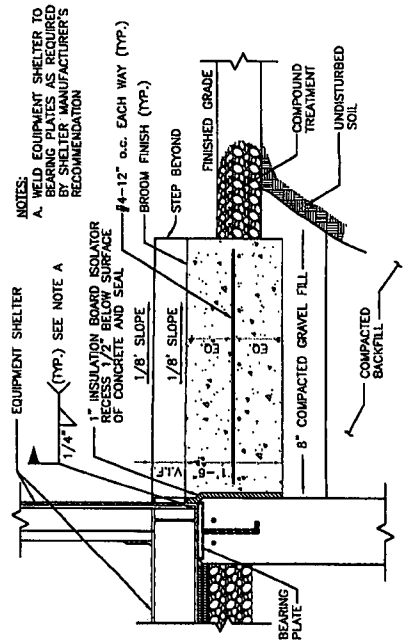
11 ELECTRIC-TELCO SERVICE FRAME DETAIL
SCALE: N.T.S.



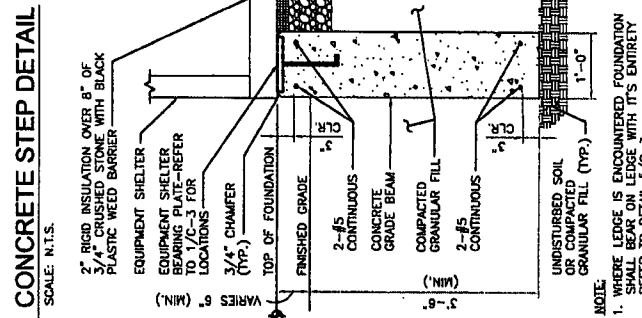
4 FOUNDATION CORNER
SCALE: 3/4\" = 1'-0\"



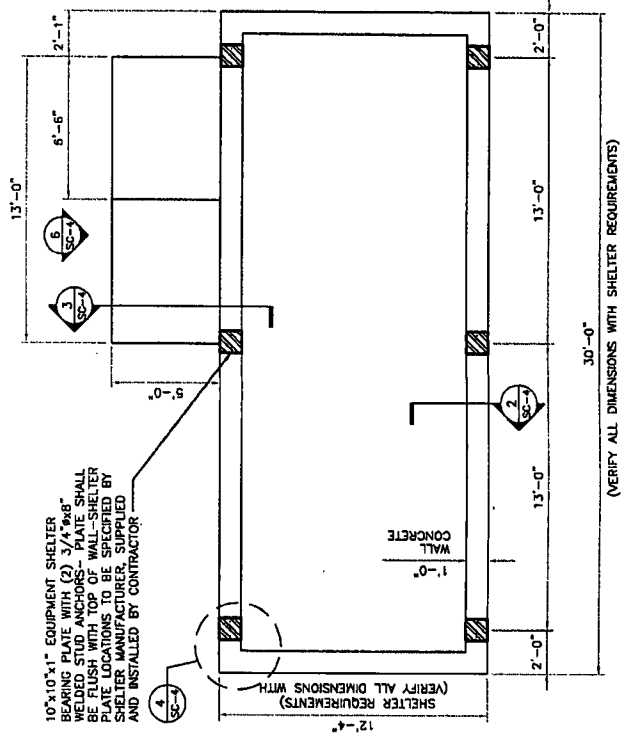
5 PINNED FOUNDATION
SCALE: 3/4\" = 1'-0\"



3 CONCRETE STEP DETAIL
SCALE: 3/4\" = 1'-0\"

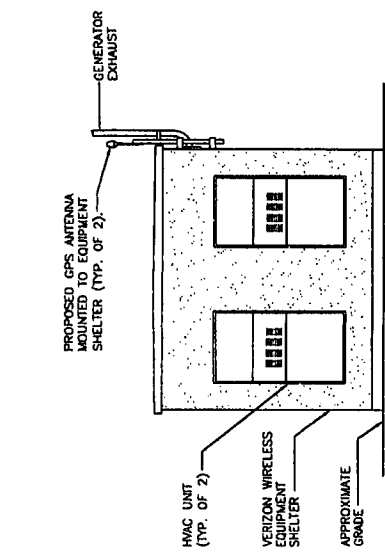


6 CONCRETE STEP DETAIL
SCALE: N.T.S.

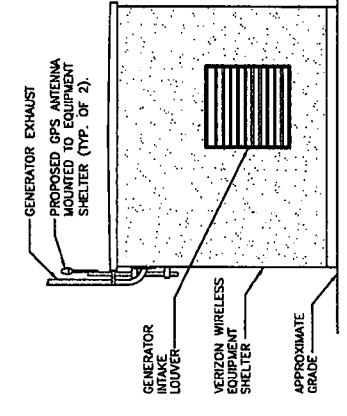


1 FOUNDATION PLAN
SCALE: 1/4\" = 1'-0\"

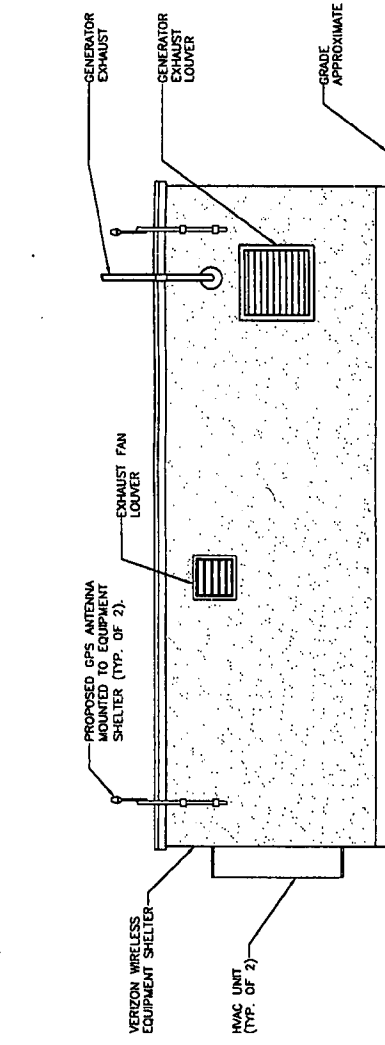
2 FOUNDATION SECTION
SCALE: 3/4\" = 1'-0\"



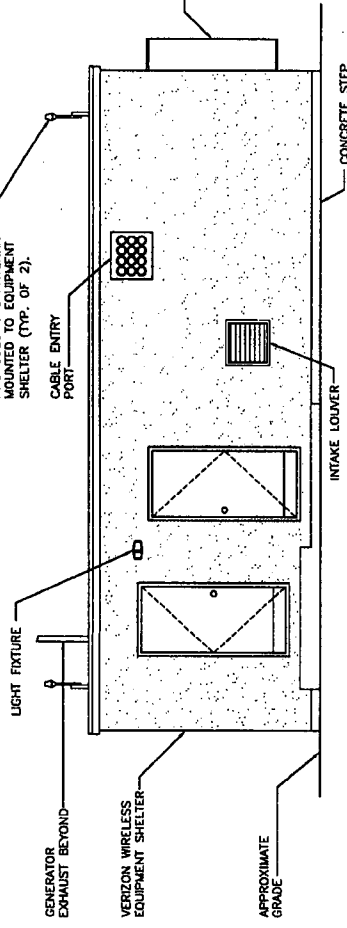
10 WEST ELEVATION
SCALE: 1/4\" = 1'-0\"



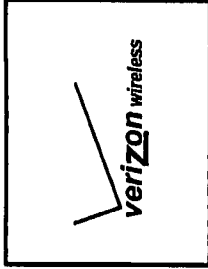
8 EAST ELEVATION
SCALE: 1/4\" = 1'-0\"



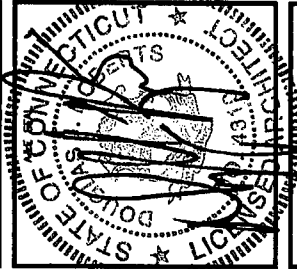
9 SOUTH ELEVATION
SCALE: 1/4\" = 1'-0\"



7 NORTH ELEVATION
SCALE: 1/4\" = 1'-0\"



AGE FROM
URS CORPORATION AES
500 ENTERPRISE DRIVE, SUITE 3B
ROCKY HILL, CONNECTICUT
1-(860)-528-8882



PROJECT NO: 36931054.00002
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DRAWN BY: KAP
CHECKED BY:

ISSUED FOR	
0	01-03-08 STING COUNCIL
1	01-18-08 REVISION

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FARMINGTON, CONNECTICUT 06032

SCALE: **AS NOTED**

EQUIPMENT SHELTER FOUNDATION PLAN, ELEVATIONS, DETAILS AND NOTES

SC-4