

KENT

**38 Maple Street
Kent, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

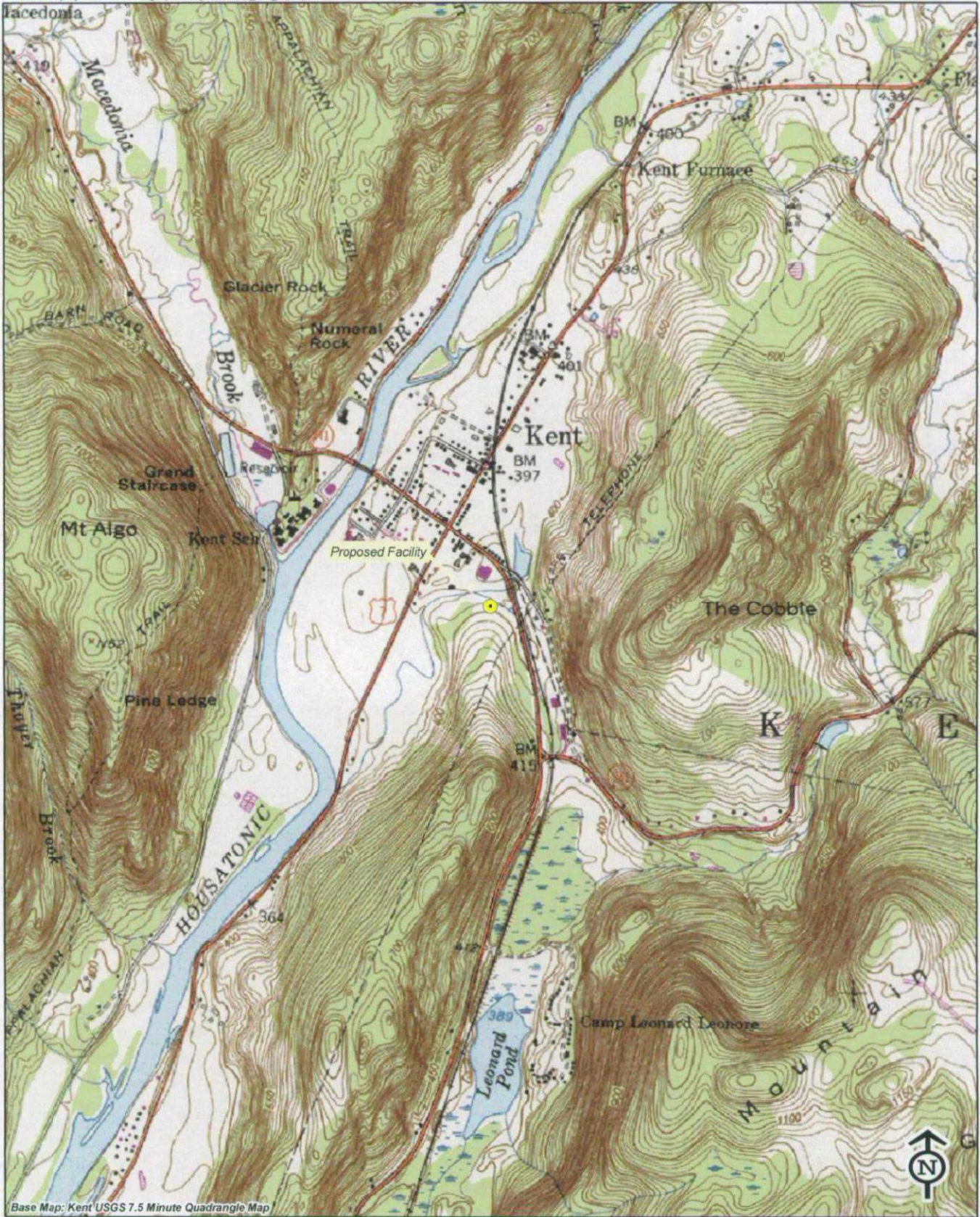
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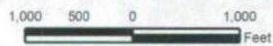
SITE NAME: KENT – 38 Maple Street, Kent, CT

GENERAL CELL SITE DESCRIPTION

The proposed cell site would be located within a 50' x 80' fenced compound and leased area on an approximately 10.19-acre parcel ("Property") owned by the Town of Kent. The Property is located south of Maple Street (Route 341) and is the site of the Town's Department of Public Works ("DPW") maintenance facility and Solid Waste Transfer Station. The Kent Facility would consist of a 150-foot telecommunications tower and a 12' x 30' equipment shelter located near the base of the tower (the "Kent Facility"). Cellco antennas would be mounted at the top of the tower with their centerline at the 150-foot level. The top of the Cellco antennas would extend to an overall height of approximately 153 feet above ground level. Vehicular access to the site would extend from Maple Street over existing paved driveway surfaces to the site compound, a total distance of approximately 220 feet. Utility service would extend from existing service on the Property.



Base Map: Kent USGS 7.5 Minute Quadrangle Map



Quadrangle Location

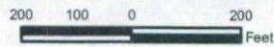
Vanasse Hangen Brustlin, Inc.

Topographic Base Map
 Proposed Verizon Wireless
 Telecommunications Facility
 38 Maple Street
 Kent, Connecticut





Source: 2006 Aerial Photograph



Vanasse Hangen Brustlin, Inc.

Aerial Photograph
 Proposed Verizon Wireless
 Telecommunications Facility
 38 Maple Street
 Kent, Connecticut



Quadrangle Location



SITE EVALUATION REPORT

SITE NAME: KENT – 38 Maple Street, Kent, CT

I. LOCATION

- A. COORDINATES: 41°-43'-18.85" N 73°-28'-29.87" W
- B. GROUND ELEVATION: Approximately 393± feet AMSL
- C. USGS MAP: Kent, CT
- D. SITE ADDRESS: 38 Maple Street, Kent, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is in the Industrial, Rural Residence and Commercial zone districts.

II. DESCRIPTION

- A. SITE SIZE: 50' x 80' Leased Area
- B. LESSOR'S PARCEL: Approximately 10.19-acres
- C. TOWER TYPE/HEIGHT: 150' Monopole Tower
153' to top of antennas
- D. SITE TOPOGRAPHY AND SURFACE: Site topography is generally flat. The Town property lies on the eastern edge of the Housatonic River Valley. The land slopes up to the east of the Town parcel and to the west of the Housatonic River. No clearing and minimal grading of the leased area will be required.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the central portion of an active 10.19-acre parcel, used as the Town's DPW Garage and Solid Waste Transfer Station. No wetland areas exist within the site compound. A small man-made pond is located to the northeast of the tower compound. A man-made drainage channel extends from the pond to the north of the tower compound, then into an existing culvert on the Property. This drainage channel is not impacted by the proposed site development.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The Kent Facility is located on an active 10.19-acre parcel used as the Town's DPW maintenance facility and Solid Waste Transfer Station. The property is surrounded by industrial and vacant land to the north and east, institution and residence land uses to the south and commercial uses to the west. (See Aerial Photograph at p. 2).

III. FACILITIES

- A. POWER COMPANY: Connecticut Light and Power
- B. POWER PROXIMITY TO SITE: On site
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Maple Street (Route 341) over an existing paved driveway to the site compound a total distance of approximately 220 feet.
- F. CLEARING AND FILL REQUIRED: No clearing and minimal grading would be required for construction of the tower and site compound. Detailed construction plans would be developed after approval by the Siting Council.

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: Town of Kent
- C. ADDRESS: 38 Maple Street, Kent CT 06757
- D. DEED ON FILE AT: Town of Kent, CT Land Records

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: KENT- 38 Maple Street, Kent, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the Kent Facility. There is a small man-made pond and discharge channel located on the Property. Neither of these existing features will be impacted by the proposed cell site improvements. The equipment used will not discharge any pollutants to area surface or groundwater systems.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Cellco would obtain this permit prior to installing the generator at the approved cell site.

C. LAND

No clearing and minimal grading of the tower compound will be required. The remaining portion of the Town's Property would remain unchanged by the construction and operation of the Kent Facility.

D. NOISE

The equipment to be in operation at the Kent Facility after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

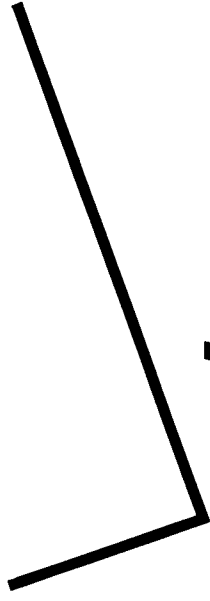
E. POWER DENSITY

The worst-case calculation of power density for Cellco's PCS antennas at the Kent Facility would be 2.46% of the Standard.

F. VISIBILITY

See Visual Resource Evaluation Report included as Attachment 10.

CELLCO PARTNERSHIP DBA



verizon wireless

WIRELESS COMMUNICATIONS FACILITY

KENT

38 MAPLE STREET
KENT, CONNECTICUT 06757

PROJECT SUMMARY

SITE NAME: KENT
SITE ADDRESS: 38 MAPLE STREET
 KENT, CONNECTICUT 06757
CONTACT PERSON: CELLCO PARTNERSHIP DBA
 VERIZON WIRELESS
 SANDY CARTER
 (860) 803-8219
PROPERTY OWNER: TOWN OF KENT
 41 KENT GREEN BOULEVARD
 KENT, CONNECTICUT 06757
LATITUDE: 41°-43'-19.85"
LONGITUDE: 73°-28'-29.87"
GROUND ELEVATION: 393'
ASSESSOR'S PARCEL NO.: MAP 4, BLOCK 12, LOT 4
JURISDICTION: CONNECTICUT SITING COUNCIL
ARCHITECT: URS CORPORATION A.E.S.
 500 ENTERPRISE DRIVE, SUITE 3B
 ROCKY HILL, CT 06067
W/E/P ENGINEER: URS CORPORATION A.E.S.
 500 ENTERPRISE DRIVE, SUITE 3B
 ROCKY HILL, CT 06067
SURVEYOR: URS CORPORATION A.E.S.
 500 ENTERPRISE DRIVE, SUITE 3B
 ROCKY HILL, CT 06067

LEGEND

SYMBOL	DESCRIPTION
	SECTION OR DETAIL NUMBER
	SHEET WHERE DETAIL/SECTION OCCURS
	ELEVATION NUMBER
	SHEET WHERE ELEVATION OCCURS

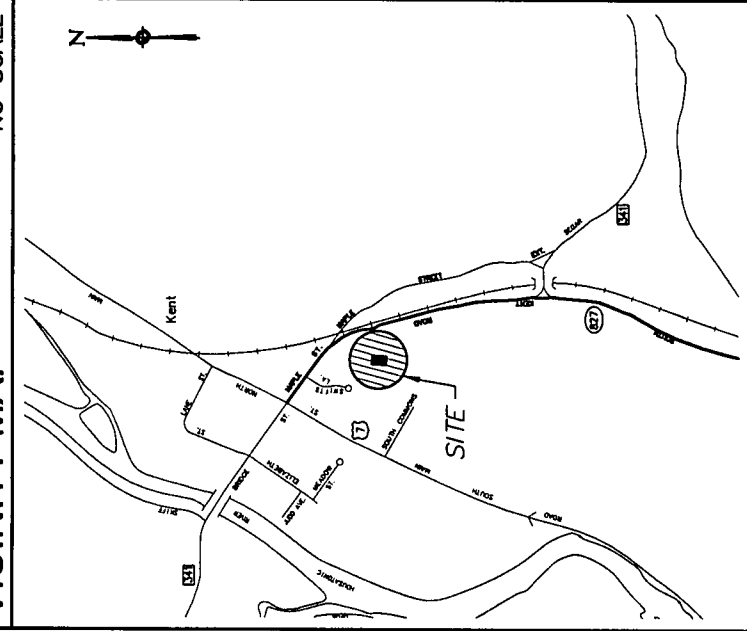
ABBREVIATIONS

MIN.	MINIMUM
V.I.F.	VERIFY IN FIELD
O.C.	ON CENTER
PSF	POUND/SQUARE FOOT
TYP.	TYPICAL
FT.	FEET
SQ.FT.	SQUARE FEET
N/A	NOT APPLICABLE

SHEET INDEX

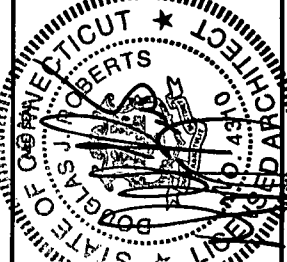
SHT. NO.	DESCRIPTION
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SC-1	SURVEY
SC-2	SITE PLAN
SC-3	COMPOUND PLAN AND TOWER ELEVATION
SC-4	SITE DETAILS AND NOTES
SC-5	EQUIPMENT SHELTER ELEVATIONS, DETAILS AND NOTES
SC-5	ASBUTTERS MAP AND LIST

VICINITY MAP



CELLCO PARTNERSHIP
DBA
verizon wireless

URS CORPORATION
500 ENTERPRISE DRIVE
SUITE 3B
ROCKY HILL, CONNECTICUT
1-(860)-529-8882



PROJECT NO:	36931022
JOB NO:	VZ1-197
DRAWN BY:	JES
CHECKED BY:	
ISSUED FOR	
02-12-07	REVIEW
03-28-07	REVIEW
06-12-07	TOWN REVIEW
06-14-07	FINAL
06-29-07	FINAL REVISED
11-01-07	FINAL REVISED

THE INFORMATION CONTAINED
IN THIS SET OF DOCUMENTS
IS PROPRIETARY BY NATURE.
ANY USE OR DISCLOSURE
OTHER THAN THAT WHICH
RELATES TO VERIZON WIRELESS
IS STRICTLY PROHIBITED.

KENT
38 MAPLE STREET
KENT, CONNECTICUT 06757

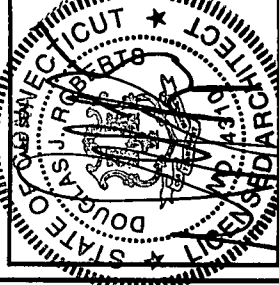
SCALE: AS NOTED

TITLE SHEET
GENERAL NOTES
AND LEGENDS

T-1

CELLCO PARTNERSHIP
DBA
verizon wireless

AS E FIRM
URS CORPORATION
500 ENTERPRISE DRIVE
SUITE 3B
ROCKY HILL, CONNECTICUT
1-860-459-8882



PROJECT NO: 36931022

JOB NO: VZ1-197

DRAWN BY: JES

CHECKED BY:

ISSUED FOR

02-12-07	REVIEW
03-28-07	REVIEW
06-12-07	TOWN REVIEW
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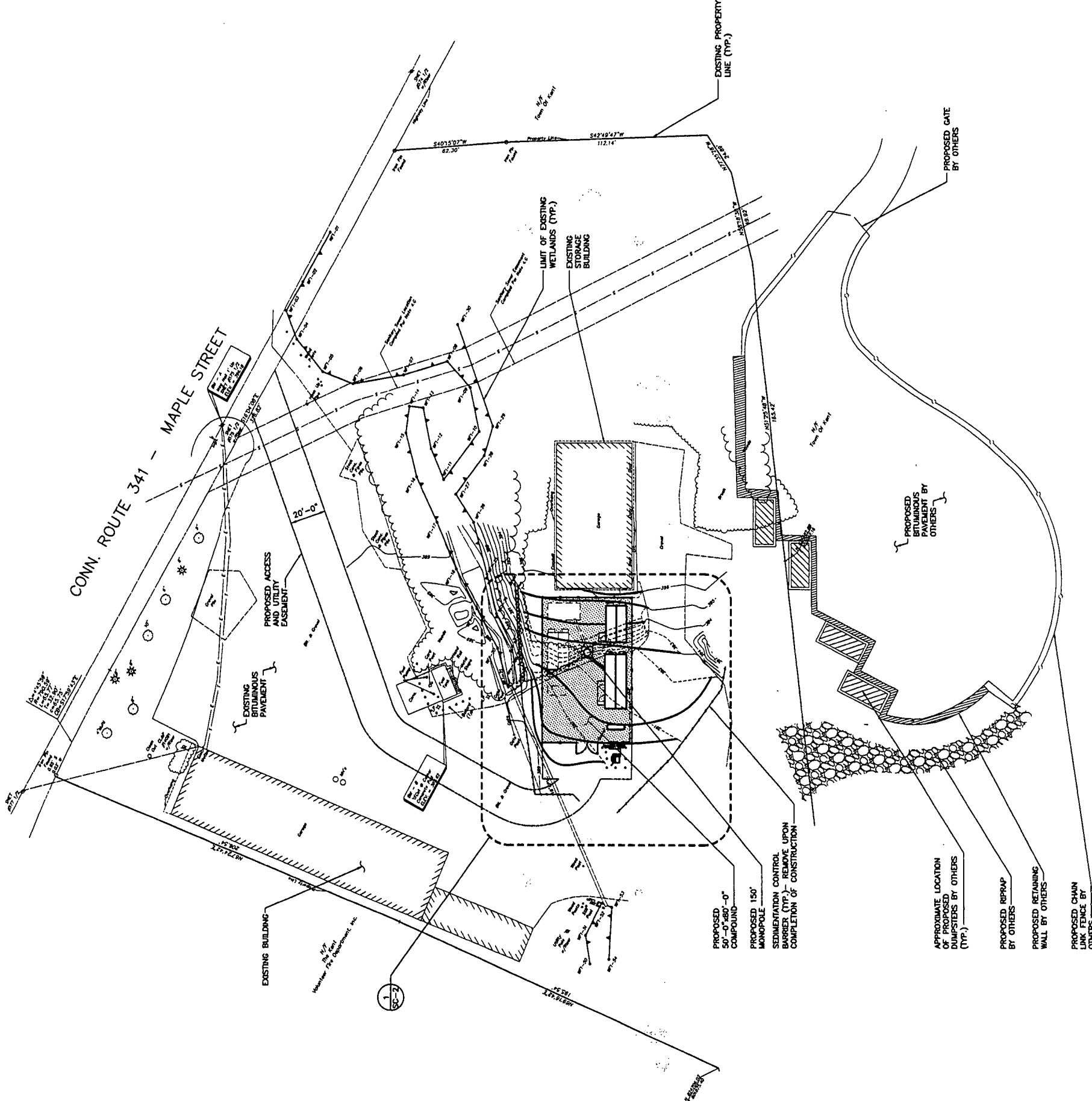
KENT

38 MAPLE STREET
KENT, CONNECTICUT 06757

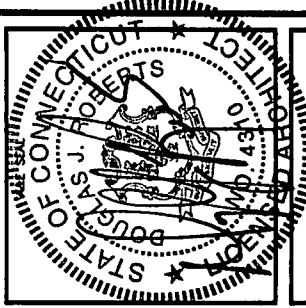
SCALE: AS NOTED

SITE PLAN

SC-1



1 SITE PLAN
SC-1 SCALE: 1" = 30'-0"



PROJECT NO: 36931022

JOB NO: VZ1-197

DRAWN BY: JES

CHECKED BY:

ISSUED FOR	
02-12-07	REVIEW
03-28-07	REVIEW
06-12-07	TOWN REVIEW
06-14-07	FINAL
06-28-07	FINAL REVISED
11-01-07	FINAL REVISED

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KENT
38 MAPLE STREET
KENT, CONNECTICUT 06757

SCALE: AS NOTED

SITE DETAILS
AND NOTES

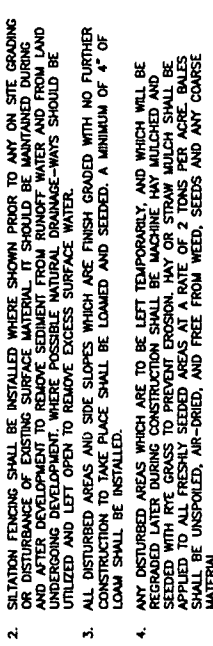
SC-3

SEDIMENTATION CONTROL FENCE SPECIFICATIONS

- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT 15 DAY INTERVALS. PROLONGED RAINFALL ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DEGRADE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION.

- CONSTRUCTION SEQUENCE**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 - WOVEN WIRE FENCES SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION, AND BOTTOM.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
 - FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 12 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY WOODWORK AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

- EROSION CONTROL NOTES**
- DURING CONSTRUCTION AND THEREAFTER EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED, NOT GREATER THAN 80,000 SQ. FT. OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AND SHALL NOT EXCEED 90 DAYS. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
 - SILTATION FENCING SHALL BE INSTALLED WHERE SHOWN PRIOR TO ANY ON SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. IT SHOULD BE MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND SURFACES. FENCING SHALL BE MAINTAINED AND REPAIRS MADE AS NEEDED. FENCING SHALL BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER.
 - ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISH GRADED WITH NO FURTHER CONSTRUCTION TO TAKE PLACE SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED.
 - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE RECONSTRUCTED SHALL BE PROTECTED WITH MULCH. MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDING AREAS AT A RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPOOLED, AIR-DRIED, AND FREE FROM WEED, SEEDS AND ANY COURSE MATERIAL.



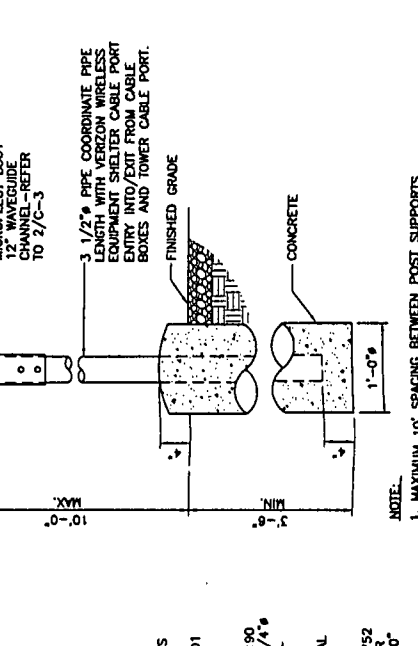
5 GRAVEL COMPOUND DETAIL
SCALE: N.T.S.

NOTE:
THE SHADED AREA WITHIN THE FENCED COMPOUND, 1' MIN. BEYOND THE FENCE AS FOLLOWS:
- ALL EXISTING PAVEMENT, BRUSH, GRASS, TOP SOIL, ROCKS, DEBRIS, ETC. SHALL BE REMOVED TO THE EXISTING FINISH GRADE OR APPROVED EQUAL.
- A 4" WOVEN GEOTEXTILE FABRIC (ASTM D 2020 OR APPROVED EQUAL) SHALL BE PLACED TO A MINIMUM OF 8". THE ACCESS DRIVE SHALL BE TREATED AS NOTED ON DETAIL 8/C-3.



6 TYPICAL FENCE DETAIL
SCALE: 1/2" = 1'-0"

NOTES:
1. FENCE POST SPACING NOT TO EXCEED 10'-0" O.C.
2. TENSION ALL BARBED WIRE TO SNUG TIGHT.
3. FOR FOUNDING REFER TO CONSTRUCTION DRAWINGS.
4. VERIFY ALL DIMENSIONS WITH FENCE MANUFACTURER'S REQUIREMENTS.



7 TYPICAL FENCE DETAIL - SECTION
SCALE: 1/2" = 1'-0"

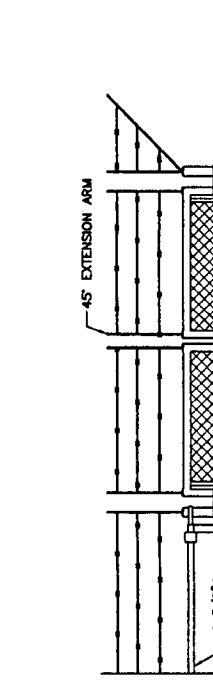
COORDINATE WITH ELECTRICAL AND TELEPHONE REQUIREMENTS.

SEDIMENTATION CONTROL FENCE SPECIFICATIONS

- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT 15 DAY INTERVALS. PROLONGED RAINFALL ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
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- CONSTRUCTION SEQUENCE**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 - WOVEN WIRE FENCES SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION, AND BOTTOM.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
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- EROSION CONTROL NOTES**
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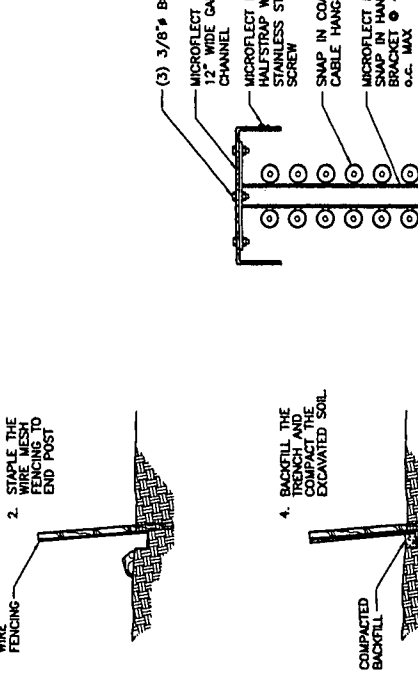
8 GRAVEL ACCESS DRIVE TYPICAL SECTION
SCALE: N.T.S.

NOTE:
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9 TYPICAL UTILITY TRENCH DETAIL
SCALE: N.T.S.

NOTES:
1. THE CLEAN FILL SHALL PASS THROUGH A 3/8" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES. OTHER BACKFILL SHALL NOT CONTAIN ASHES, CHENDERS, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION. THE TRENCH SHALL BE BACKFILLED IMMEDIATELY FOLLOWING PLACEMENT OF THE CONDUITS.
2. WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.



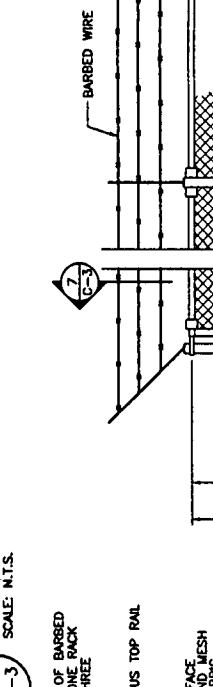
10 TYPICAL BOLLARD
SCALE: 1" = 1'-0"

SEDIMENTATION CONTROL FENCE SPECIFICATIONS

- MAINTENANCE**
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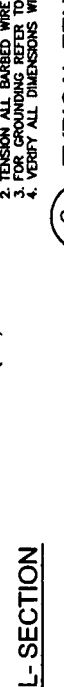
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- EROSION CONTROL NOTES**
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 - SILTATION FENCING SHALL BE INSTALLED WHERE SHOWN PRIOR TO ANY ON SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. IT SHOULD BE MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND SURFACES. FENCING SHALL BE MAINTAINED AND REPAIRS MADE AS NEEDED. FENCING SHALL BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER.
 - ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISH GRADED WITH NO FURTHER CONSTRUCTION TO TAKE PLACE SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED.
 - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE RECONSTRUCTED SHALL BE PROTECTED WITH MULCH. MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDING AREAS AT A RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPOOLED, AIR-DRIED, AND FREE FROM WEED, SEEDS AND ANY COURSE MATERIAL.



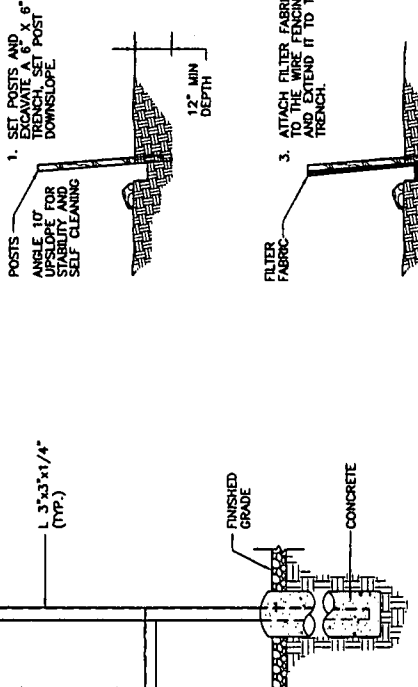
1 ICE BRIDGE DETAIL
SCALE: 1" = 1'-0"

NOTE:
1. MAXIMUM 10' SPACING BETWEEN POST SUPPORTS.
2. 2 POSTS REQUIRED.



2 ICE BRIDGE DETAIL
SCALE: 1/2" = 1'-0"

NOTE:
1. MAXIMUM 10' SPACING BETWEEN POST SUPPORTS.
2. 2 POSTS REQUIRED.



3 SEDIMENTATION CONTROL BARRIER
SCALE: N.T.S.

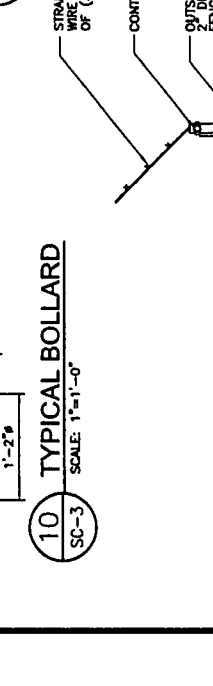
NOTES:
1. SET POSTS AND EXCAVATE TRENCH SET POST DOWN SLOPE.
2. STAPLE THE WIRE MESH TO THE END POST.
3. ATTACH FILTER FABRIC TO THE TRENCH AND EXTEND IT TO THE TRENCH.
4. BACKFILL THE EXCAVATED SOIL AND COMPACT THE EXCAVATED SOIL.

SEDIMENTATION CONTROL FENCE SPECIFICATIONS

- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT 15 DAY INTERVALS. PROLONGED RAINFALL ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DEGRADE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION.

- CONSTRUCTION SEQUENCE**
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 - WOVEN WIRE FENCES SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION, AND BOTTOM.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
 - FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 12 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY WOODWORK AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

- EROSION CONTROL NOTES**
- DURING CONSTRUCTION AND THEREAFTER EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED, NOT GREATER THAN 80,000 SQ. FT. OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AND SHALL NOT EXCEED 90 DAYS. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
 - SILTATION FENCING SHALL BE INSTALLED WHERE SHOWN PRIOR TO ANY ON SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. IT SHOULD BE MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND SURFACES. FENCING SHALL BE MAINTAINED AND REPAIRS MADE AS NEEDED. FENCING SHALL BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER.
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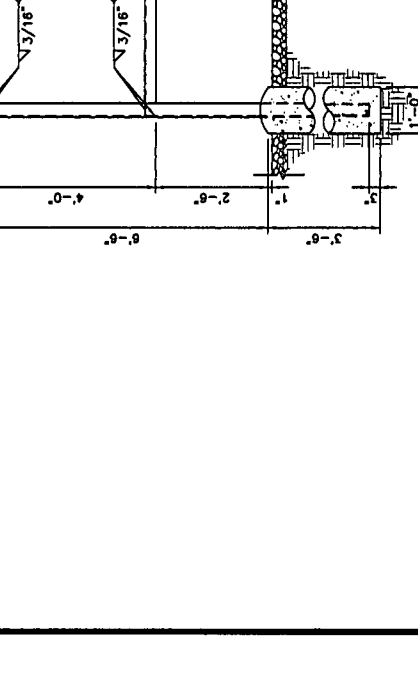
4 ELECTRIC AND TELCO SERVICE FRAME DETAIL
SCALE: 1/2" = 1'-0"

COORDINATE WITH ELECTRICAL AND TELEPHONE REQUIREMENTS.



5 TYPICAL FENCE DETAIL
SCALE: 1/2" = 1'-0"

NOTES:
1. FENCE POST SPACING NOT TO EXCEED 10'-0" O.C.
2. TENSION ALL BARBED WIRE TO SNUG TIGHT.
3. FOR FOUNDING REFER TO CONSTRUCTION DRAWINGS.
4. VERIFY ALL DIMENSIONS WITH FENCE MANUFACTURER'S REQUIREMENTS.

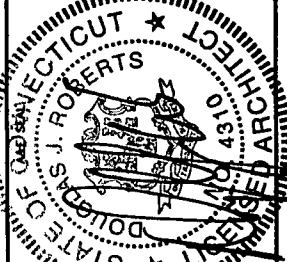


6 TYPICAL FENCE DETAIL
SCALE: 1/2" = 1'-0"

NOTES:
1. FENCE POST SPACING NOT TO EXCEED 10'-0" O.C.
2. TENSION ALL BARBED WIRE TO SNUG TIGHT.
3. FOR FOUNDING REFER TO CONSTRUCTION DRAWINGS.
4. VERIFY ALL DIMENSIONS WITH FENCE MANUFACTURER'S REQUIREMENTS.

CELLCO PARTNERSHIP
DBA
verizon wireless

URS CORPORATION
500 ENTERPRISE DRIVE
ROCKY HILL, CONNECTICUT
1-860-529-8882



PROJECT NO: 36931022
JOB NO: VZ1-197
DRAWN BY: JES
CHECKED BY:

ISSUED FOR
02-12-07 REVIEW
03-28-07 REVIEW
06-12-07 TOWN REVIEW
06-14-07 FINAL
06-29-07 FINAL REVISED
11-01-07 FINAL REVISED

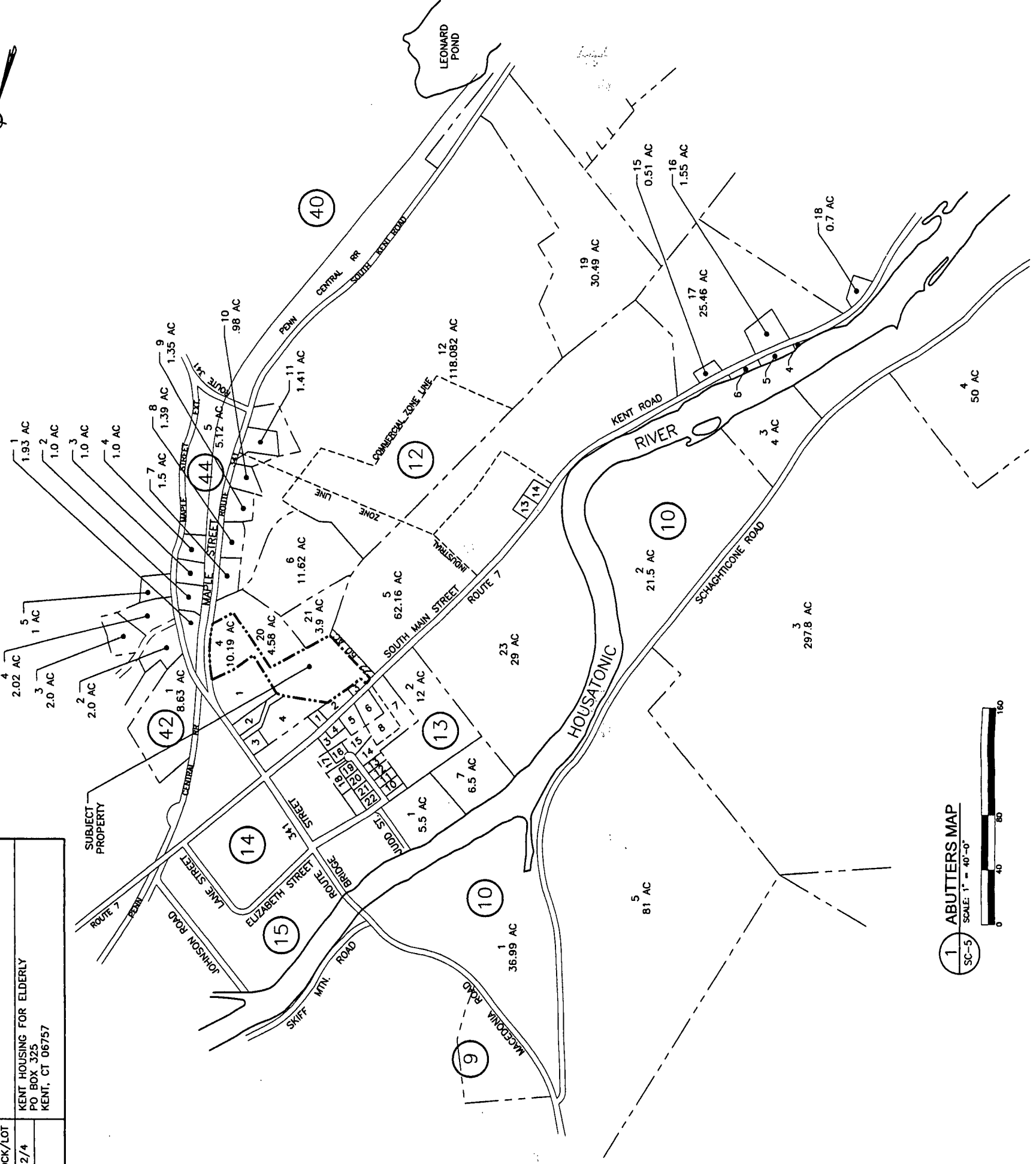
THE INFORMATION CONTAINED
IN THIS SET OF DOCUMENTS
IS PROPRIETARY BY NATURE.
ANY USE OR DISCLOSURE
OTHER THAN THAT WHICH
RELATES TO VERIZON WIRELESS
IS STRICTLY PROHIBITED.

KENT
38 MAPLE STREET
KENT, CONNECTICUT 06757

SCALE: AS NOTED

ABUTTERS MAP
AND LIST

SC-5



MAP/BLOCK/LOT	19/12/3	TOWN OF KENT PO BOX 678 KENT, CT 06757
MAP/BLOCK/LOT	19/12/4	KENT HOUSING FOR ELDERLY PO BOX 325 KENT, CT 06757

ABUTTERS LIST		
MAP/BLOCK/LOT	4/12/20 (4.5 ACRES)	MAPLE STREET TOWN OF KENT 41 KENT STREET PO BOX 678 KENT, CT 06757
MAP/BLOCK/LOT	4/12/21 (3.9 ACRES)	22 SOUTH COMMONS SOUTH COMMON I LIMITED PARTNERSHIP c/o COMMUNITY BUILDERS INC. ATTN: MG LOPEZ 95 BERKLEY STREET, SUITE 500 BOSTON, MA 02116
MAP/BLOCK/LOT	4/12/22 (.60 ACRES)	SOUTH MAIN STREET TOWN OF KENT PO BOX 678 KENT, CT 06757
MAP/BLOCK/LOT	4/12/3 (.18 ACRES)	31 SOUTH MAIN STREET KOLEEN H. AND ROBERT H. INDORF, JR. 69 STUDIO HILL ROAD KENT, CT 06757
MAP/BLOCK/LOT	4/12/2 (.61 ACRES)	25 SOUTH MAIN STREET MARIAN F. PACOCHA 25 SOUTH MAIN STREET KENT, CT 06757
MAP/BLOCK/LOT	4/12/1 (.25 ACRES)	23 SOUTH MAIN STREET WILLIAM PAUL AND BETH HELENE DOLEY 120 FULLER MTN ROAD KENT, CT 06757
MAP/BLOCK/LOT	4/13/6 (.25 ACRES)	30 SOUTH MAIN STREET DEBORAH A. AND BRUCE D. BENNETT 107 CREAM HILL ROAD WEST CORNWALL, CT 06796
MAP/BLOCK/LOT	4/42/1 (8.63 ACRES)	MAPLE STREET EXT. J. E. CASEY TRUST, GE CASEY DONOR JOHN F. CASEY PO BOX 218 KENT, CT 06757
MAP/BLOCK/LOT	4/44/1 (1.9 ACRES)	16 MAPLE STREET EXT. AURORA PROPERTY MANAGEMENT LLC 393 KENT CORNWALL ROAD KENT, CT 06757
MAP/BLOCK/LOT	4/44/2 (1.0 ACRES)	20 MAPLE STREET EXT. KENT MEWS LLC c/o BERNARD LEDERMAN PO BOX 821 KENT, CT 06757
MAP/BLOCK/LOT	4/12/5 (62.16 ACRES)	SOUTH MAIN STREET KENT LAND TRUST INC. PO BOX 66 KENT, CT 06757
MAP/BLOCK/LOT	4/13/2 (62.16 ACRES)	SOUTH MAIN STREET KENT LAND TRUST INC. PO BOX 66 KENT, CT 06757
MAP/BLOCK/LOT	19/12/1	KENT VOLUNTEER FIRE DEPARTMENT PO BOX 355 KENT, CT 06757
MAP/BLOCK/LOT	19/12/2	KENT VOLUNTEER FIRE DEPARTMENT PO BOX 355 KENT, CT 06757