

STATE OF CONNECTICUT  
CONNECTICUT SITING COUNCIL

IN RE: :  
 :  
APPLICATION OF CELLCO PARTNERSHIP : DOCKET NO. 495A  
D/B/A VERIZON WIRELESS FOR A :  
CERTIFICATE OF ENVIRONMENTAL :  
COMPATIBILITY AND PUBLIC NEED FOR :  
THE CONSTRUCTION, MAINTENANCE :  
AND OPERATION OF A WIRELESS :  
TELECOMMUNICATIONS FACILITY AT :  
5151 PARK AVENUE, FAIRFIELD, :  
CONNECTICUT : APRIL 8, 2022

**LATE-FILED EXHIBITS RESPONSES OF  
CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS**

On April 1, 2022, the Connecticut Siting Council (“Council”) asked the Applicant to submit additional information and produce certain modified exhibits as late-filed exhibits (“LFEs”) in the Docket No. 495A proceeding. Below are the Applicant’s responses to the Council’s request.

**LFE 1**

Provide the Council with a revised tower elevation drawing that includes a reduced screening panel height, the elimination of the bell and the Sacred Heart University (“SHU”) logo and a recommended color for the tower after consultation with SHU.

**Response**

Included in Attachment 1 is a revised set of project plans for the Plattsville Relo cell site. These plans show:

1. The reduction in the size of the antenna screening panels from 26 feet in height to 18 feet in height. The attached drawing also illustrates how the panel could be

extended down, if another carrier wanted to install antennas at a height of 57 feet AGL.

2. The removal of the bell and the SHU logo from the bell tower structure.
3. The bell tower will be painted a light gray color. SHU is amenable to this color selection.

All revisions can be found on Plan Sheet A-1.1.

### LFE 2

Submit a revised photo simulation #3 depicting the modified bell tower design.

### Response

The revised photo simulation #3 is included in Attachment 2.

### LFE 3

Discuss with SHU the Council's concern for the shared use of a backup generator, presenting a "single point of failure" if commercial power to the facility is interrupted.

### Response

Cellco has spoken with SHU representatives as requested. SHU will not permit the installation of three separate backup generators adjacent to the equipment shelter. As an option and in an effort to address the Council's concern for establishing a "single point of failure" for backup power to the site, Cellco could install three "cam locks", one for each carrier, on the back side of the equipment shelter. In the unlikely event that both commercial power to the facility is interrupted and the shared-generator fails, the carriers could bring in portable generators to provide backup power.

LFE 4

Submit an aerial photograph that clearly depicts the abutting property lines of the SHU campus parcel showing the proposed bell tower location.

Response

The requested aerial photograph is included in Attachment 3.

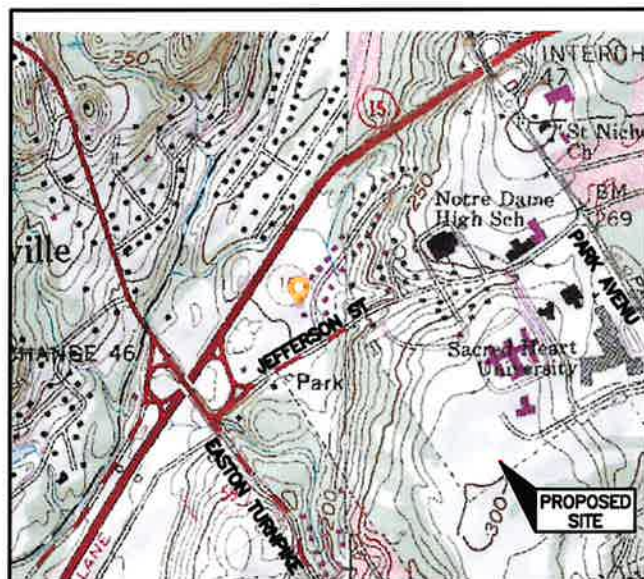
CELLCO PARTNERSHIP

d.b.a. **verizon**

WIRELESS COMMUNICATIONS FACILITY

# PLATTSVILLE RELO CT

5151 PARK AVENUE  
FAIRFIELD, CT 06825



VICINITY MAP

SCALE: 1"=800'-0"

**DIRECTIONS TO SITE:**

FROM VERIZON'S WALLINGFORD CT OFFICE  
GET ON CT-15 S FROM ALEXANDER DR, CT-68 W AND US-5 N/N COLONY RD  
HEAD SOUTH TOWARD ALEXANDER DR  
SLIGHT RIGHT TOWARD ALEXANDER DR  
TURN RIGHT TOWARD ALEXANDER DR  
TURN RIGHT ONTO ALEXANDER DR  
TURN RIGHT ONTO BARNES INDUSTRIAL PARK RD  
TURN LEFT AT THE 1ST CROSS STREET ONTO CT-68 W  
TURN RIGHT ONTO US-5 N/N COLONY RD  
TURN LEFT TO MERGE ONTO CT-15 S TOWARD NEW HAVEN  
FOLLOW CT-15 S TO PARK AVE IN TRUMBULL. TAKE EXIT 47 FROM CT-15 S., MERGE ONTO CT-15 S  
TAKE EXIT 47 FOR PARK AVE., CONTINUE ON PARK AVE TO YOUR DESTINATION IN FAIRFIELD., AT THE TRAFFIC CIRCLE, TAKE THE 2ND EXIT ONTO PARK AVE CONTINUE STRAIGHT TO STAY ON PARK AVE., TURN RIGHT., DESTINATION WILL BE ON THE RIGHT

**CONSULTANT TEAM**

**PROJECT ENGINEER**

HUDSON DESIGN GROUP, LLC  
45 BEECHWOOD DRIVE  
NORTH ANDOVER, MA 01845  
TEL: 1-(978)-557-5553  
FAX: 1-(978)-336-5586

**MEP ENGINEER**

HUDSON DESIGN GROUP, LLC  
45 BEECHWOOD DRIVE  
NORTH ANDOVER, MA 01845  
TEL: 1-(978)-557-5553  
FAX: 1-(978)-336-5586

**PROJECT SUMMARY**

**SITE NAME:** PLATTSVILLE RELO CT  
**SITE ADDRESS:** 5151 PARK AVENUE FAIRFIELD, CT 06825  
**PROPERTY OWNER:** BRIDGEPORT ROMAN CATHOLIC DIOCESAN CORP. 238 JEWETT AVENUE BRIDGEPORT, CT 06606  
**APPLICANT:** ANTHONY BEFERA CELLCO PARTNERSHIP d/b/a VERIZON 20 ALEXANDER DRIVE WALLINGFORD, CT 06108  
**SITE ACQUISITION CONTACT:** BRIAN ROSS STRUCTURE CONSULTING GROUP 20 ALEXANDER DRIVE WALLINGFORD, CT 06492  
**LEGAL/REGULATORY COUNSEL:** KENNETH C. BALDWIN ESQ. ROBINSON + COLE LLP (860)275-8345  
**LATITUDE:** N41°13'08.19"  
**LONGITUDE:** W73°14'41.12"

**SCOPE OF WORK INFO.**

VERIZON WIRELESS IS PROPOSING TO INSTALL THE FOLLOWING IMPROVEMENTS ON PROPOSED TELECOMMUNICATION SITE:

- NEW 1,245 SQ. FT. MULTIUNIT STORAGE SHELTER ON EXISTING PARCEL OF LAND.
- NEW PANEL ANTENNAS: (4) ANTENNAS EACH AT ALPHA, BETA & GAMMA SECTORS, FOR A SUB-TOTAL OF (12)  
(2) ANTENNAS EACH AT DELTA SECTOR, FOR A SUB-TOTAL OF (2)  
TOTAL NUMBER OF PROPOSED ANTENNAS ARE (14)
- NEW RRHs: (4) RRHs EACH AT ALPHA, BETA & GAMMA SECTORS, FOR A TOTAL OF (12) RRHs  
(2) RRHs EACH AT DELTA SECTOR, FOR A SUB-TOTAL OF (2)  
TOTAL NUMBER OF PROPOSED RRHs ARE (14)
- NEW DIPLEXERS: (1) DIPLEXER EACH AT ALPHA, BETA & GAMMA SECTORS, FOR A TOTAL OF (3)
- NEW JUNCTION BOX: (2) JUNCTION BOXES (OVP) TOTAL
- ITEMS LISTED ABOVE TO BE MOUNTED ON PROPOSED TOWER.
- NEW EQUIPMENT CABINETS: (2) CABINETS INSIDE THE EQUIPMENT SHELTER.
- ITEMS LISTED ABOVE TO BE INSTALLED WITHIN THE PROPOSED 1,245 SQ. FT. MULTIUNIT STORAGE SHELTER.
- NEW GENERATOR ON CONCRETE PAD
- NEW TELCO & POWER SERVICES WILL BE ROUTED UNDERGROUND FROM PROPOSED CABLE VAULT & EXISTING TRANSFORMER, RESPECTIVELY TO PROPOSED ELECTRICAL METER AND HOFFMAN BOX ON PROPOSED H-FRAME.
- FINAL UTILITY ROUTING TO BE DETERMINED/VERIFIED BY UTILITY COMPANIES.

**SHEET INDEX**

SHT. NO.	DESCRIPTION
T-1	TITLE SHEET
C-1	ABUTTERS PLAN
C-2	PARTIAL SITE PLAN
C-3	PARTIAL SITE PLAN
A-1	COMPOUND PLAN
A-1.1	ELEVATION AND ANTENNA PLAN
A-2	FLOOR PLANS AND ELEVATION
A-3	EROSION CONTROL NOTES AND DETAILS

PREPARED FOR: CELLCO PARTNERSHIP D.B.A.

**verizon**

**H2G HUDSON Design Group LLC**

45 BEECHWOOD DRIVE N. ANDOVER, MA 01845 TEL: (978) 557-5553 FAX: (978) 336-5586



CHECKED BY: JX

APPROVED BY: DPH

**SUBMITTALS**

REV	DATE	DESCRIPTION	BY
3	4/9/22	REDUCE BILLBOARD, REMOVE BELL & LOGO	SLY
2	2/04/22	ID. T-MOBILE & AT&T EQUIPMENT	SLY
1	1/11/22	INCREASE BILLBOARD, + CABLE VAULT	SLY
0	9/27/21	12/30/21 ISSUED FOR CSC FILING	SLY

SITE NAME:  
**PLATTSVILLE RELO CT**

SITE ADDRESS:  
5151 PARK AVENUE  
FAIRFIELD, CT 06825

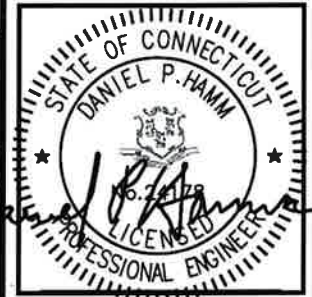
SHEET TITLE  
**TITLE SHEET**

SHEET NUMBER  
**T-1**





45 BEECHWOOD DRIVE TEL: (978) 537-5553  
N. ANDOVER, MA 01845 FAX: (978) 336-5586



CHECKED BY: JX

APPROVED BY: DPH

REV	DATE	DESCRIPTION	BY
3	4/9/22	REDUCE BILLBOARD, REMOVE BELL & LOGO	SLT
2	2/04/22	DL T-MOBILE & AT&T EQUIPMENT	SLT
1	1/11/22	INCREASE BILLBOARD, + CHIEF WALKY	SLT
0	9/27/21	12/30/21 ISSUED FOR CSC FILING	SLT

SITE NAME:  
**PLATTSVILLE  
RELO CT**

SITE ADDRESS:  
5151 PARK AVENUE  
FAIRFIELD, CT 06825

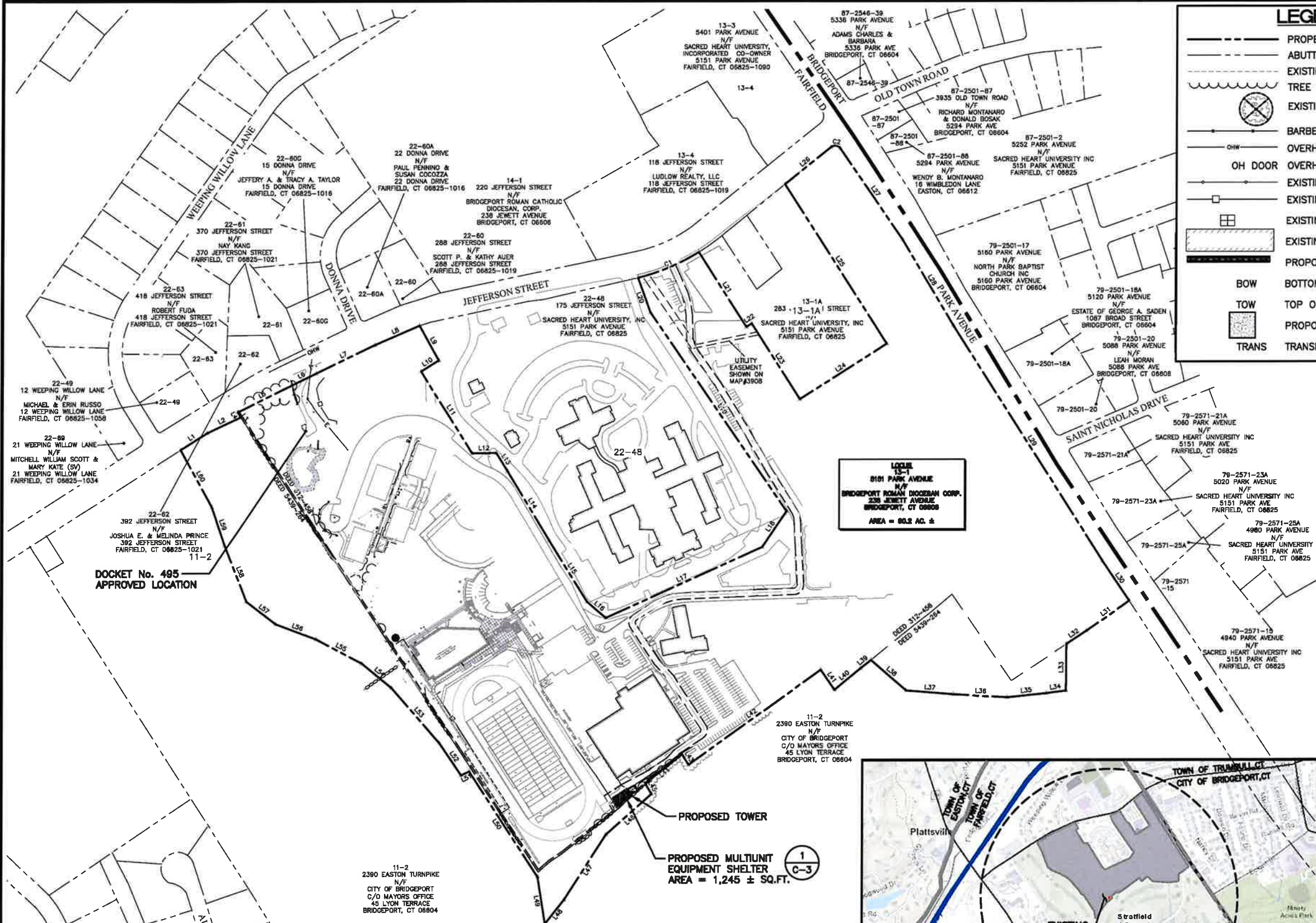
SHEET TITLE  
**ABUTTERS PLAN**

SHEET NUMBER  
**C-1**

### LEGEND

- PROPERTY LINE - SUBJECT PARCEL
- ABUTTERS PROPERTY LINE
- EXISTING CONTOUR LINE
- TREE LINE
- EXISTING TREE TO BE REMOVED
- BARBED WIRE FENCE REMAINS
- OVERHEAD WIRE (TRANSMISSION LINE)
- OH DOOR
- OVERHEAD DOOR
- EXISTING CHAIN LINK FENCE
- EXISTING IRON FENCE
- EXISTING CATCH BASIN
- EXISTING BUILDING
- PROPOSED RETAINING WALL
- BOW
- TOW
- PROPOSED CONCRETE PAD
- TRANS

LINE	BEARING	DISTANCE
L1	N57°14'31"E	97.44'
L2	N64°47'21"E	115.12'
L3	N33°20'19"W	2.46'
L4	N30°20'19"W	15.73'
L5	N63°40'01"E	184.50'
L6	N63°40'01"E	88.00'
L7	N64°11'29"E	202.35'
L8	N66°23'56"E	149.84'
L9	S29°12'59"E	124.73'
L10	S58°01'01"W	65.00'
L11	S31°58'59"E	300.00'
L12	N89°37'31"E	76.32'
L13	S31°58'59"E	66.76'
L14	S31°11'49"E	253.20'
L15	S31°49'09"E	223.36'
L16	S49°05'08"E	77.34'
L17	N65°40'11"E	535.52'
L18	N34°07'02"E	134.21'
L19	N34°36'30"W	752.70'
L20	N19°53'59"W	114.56'
L21	S32°38'09"E	276.96'
L22	N57°21'51"E	20.00'
L23	S32°38'09"E	280.00'
L24	N57°21'51"E	320.00'
L25	N32°38'09"W	590.00'
L26	N50°51'49"E	183.29'
L27	S34°27'13"E	345.41'
L28	S30°50'09"E	311.88'
L29	S32°26'49"E	868.94'
L30	S34°08'48"E	149.59'
L31	S55°07'59"W	162.66'
L32	S56°34'51"W	74.63'
L33	S00°25'36"W	145.03'
L34	S82°28'36"W	61.69'
L35	S83°55'24"W	121.37'
L36	N86°43'47"W	168.76'
L37	N85°19'56"W	147.83'
L38	N49°13'35"W	145.54'
L39	S51°09'01"W	41.01'
L40	S50°28'51"W	105.04'
L41	N34°27'56"W	75.48'
L42	S54°22'31"W	506.07'
L43	N32°15'39"W	39.14'
L44	S51°25'51"W	146.23'
L45	S30°53'55"E	38.14'
L46	S48°18'10"W	189.22'
L47	S32°28'36"W	239.95'
L48	S38°26'32"W	95.97'
L49	N09°02'04"W	148.27'
L50	N33°20'19"W	391.69'
L51	S64°17'19"W	28.00'
L52	N33°59'11"W	121.37'
L53	N40°58'49"W	226.85'
L54	N50°23'31"W	119.51'
L55	N62°10'57"W	161.30'
L56	N69°19'53"W	134.29'
L57	N52°43'31"W	116.02'
L58	N21°08'12"W	187.99'
L59	N18°41'07"W	125.50'
L60	N28°36'53"W	202.95'



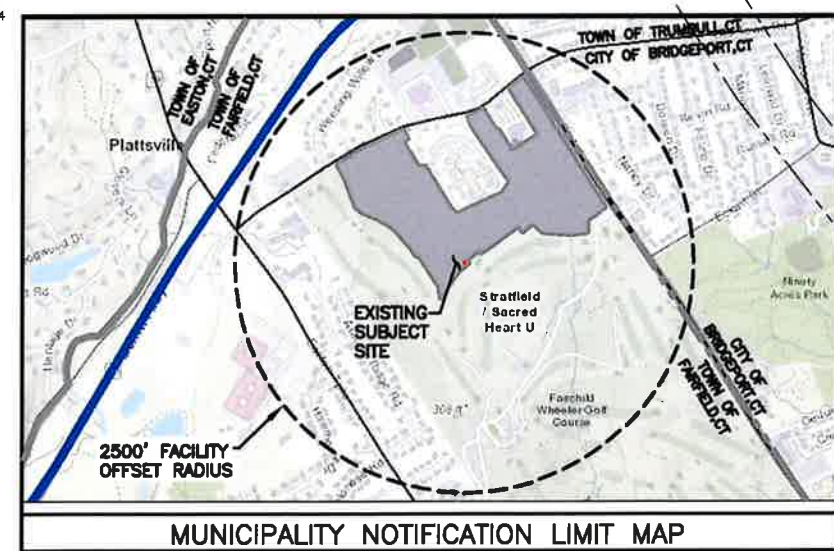
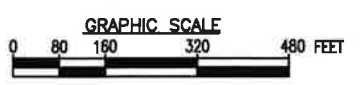
**LOT 13-1**  
0101 PARK AVENUE  
N/F  
BRIDGEPORT ROMAN CATHOLIC CORP.  
238 JEWETT AVENUE  
BRIDGEPORT, CT 06808  
AREA = 80.2 AC. ±

11-2  
2390 EASTON TURNPIKE  
N/F  
CITY OF BRIDGEPORT  
C/O MAYORS OFFICE  
45 LYON TERRACE  
BRIDGEPORT, CT 06804

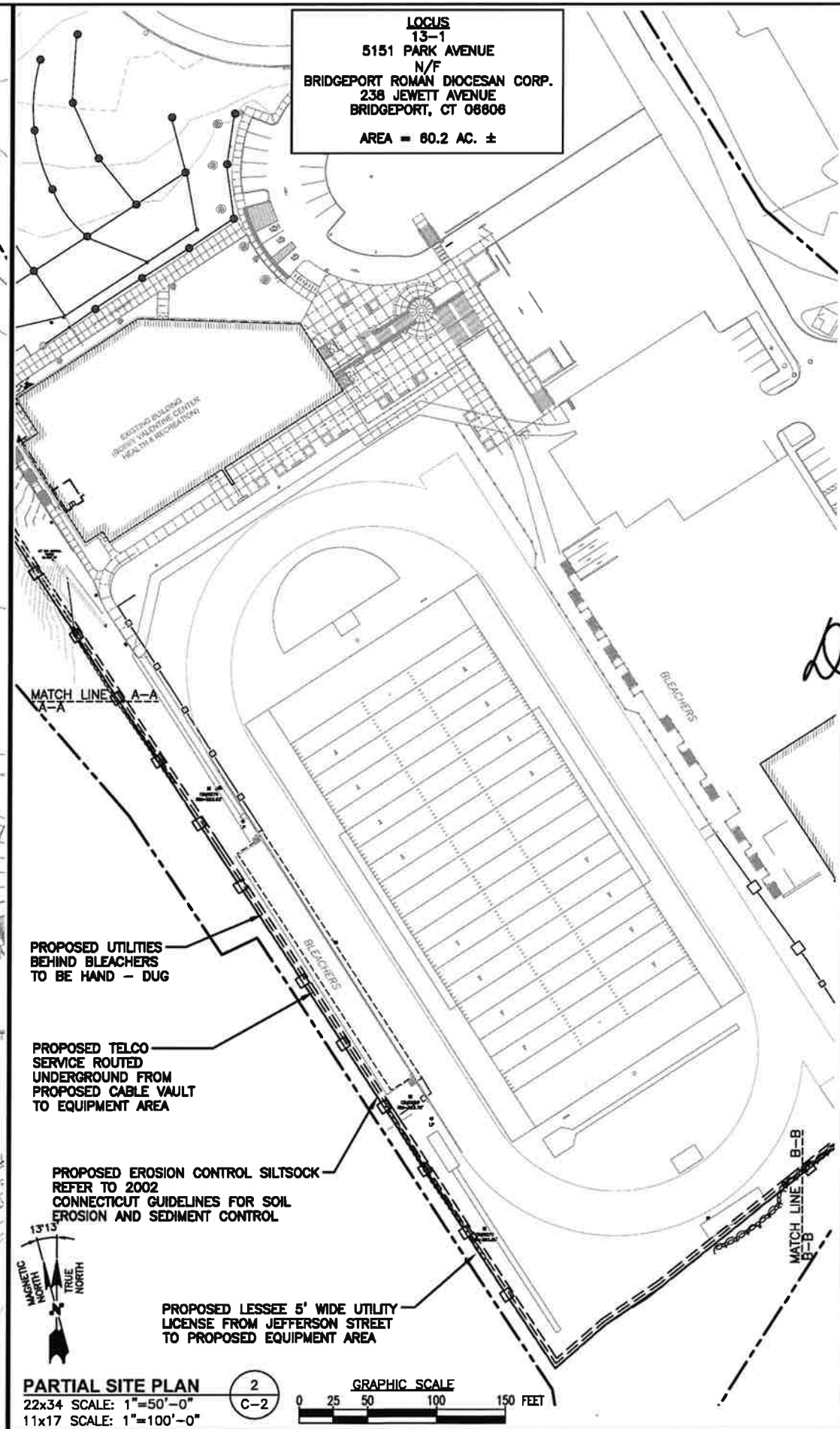
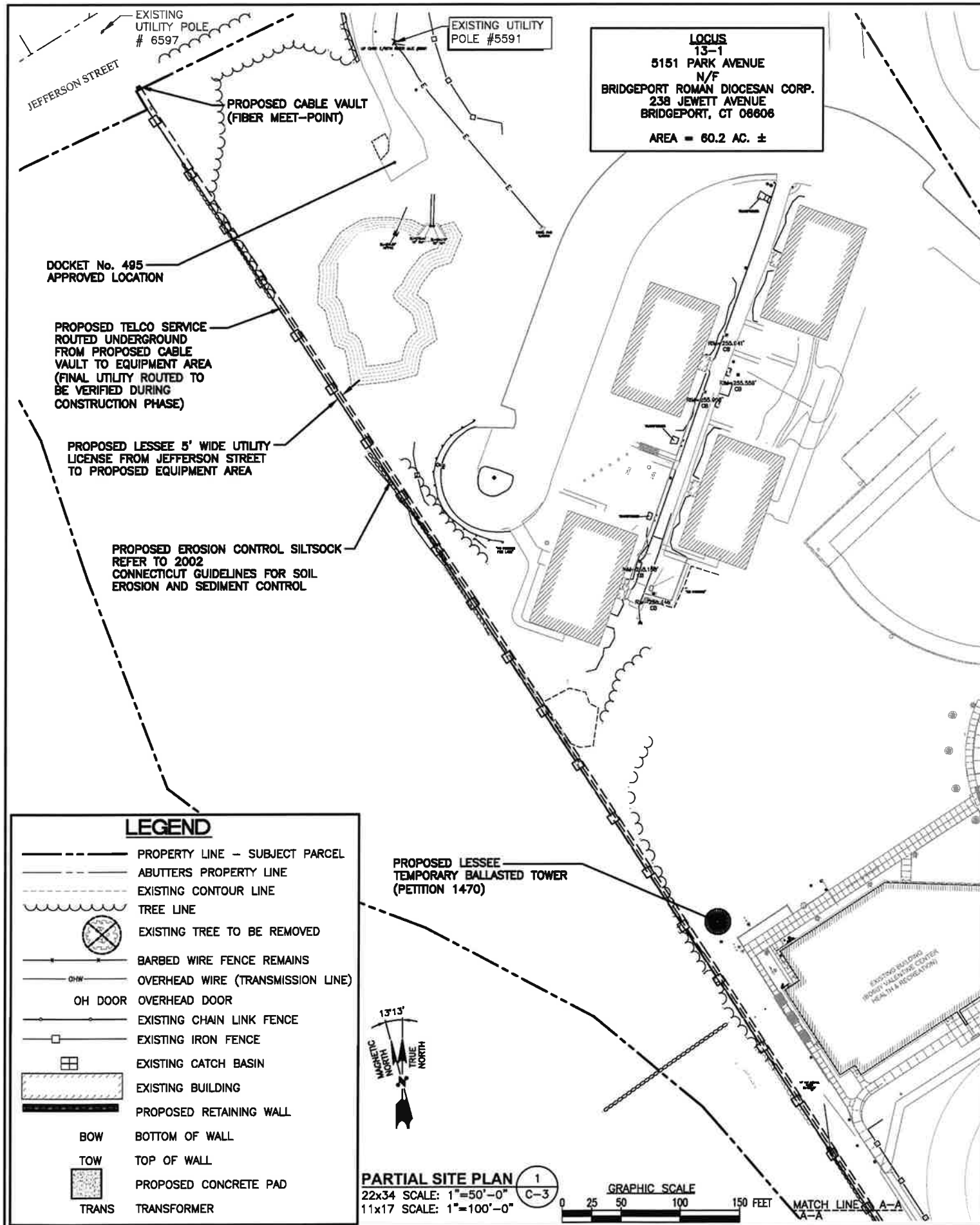
PROPOSED TOWER

PROPOSED MULTIUNIT  
EQUIPMENT SHELTER  
AREA = 1,245 ± SQ.FT.

**ABUTTERS PLAN**  
22x34 SCALE: 1"=160'-0"  
11x17 SCALE: 1"=320'-0"







PREPARED FOR: CELCO PARTNERSHIP D.B.A.

45 BEECHWOOD DRIVE TEL: (978) 557-5533  
N. ANDOVER, MA 01845 FAX: (978) 334-5566

STATE OF CONNECTICUT  
DANIEL P. HAMM  
LICENSED PROFESSIONAL ENGINEER

CHECKED BY: JX  
APPROVED BY: DPH

SUBMITTALS

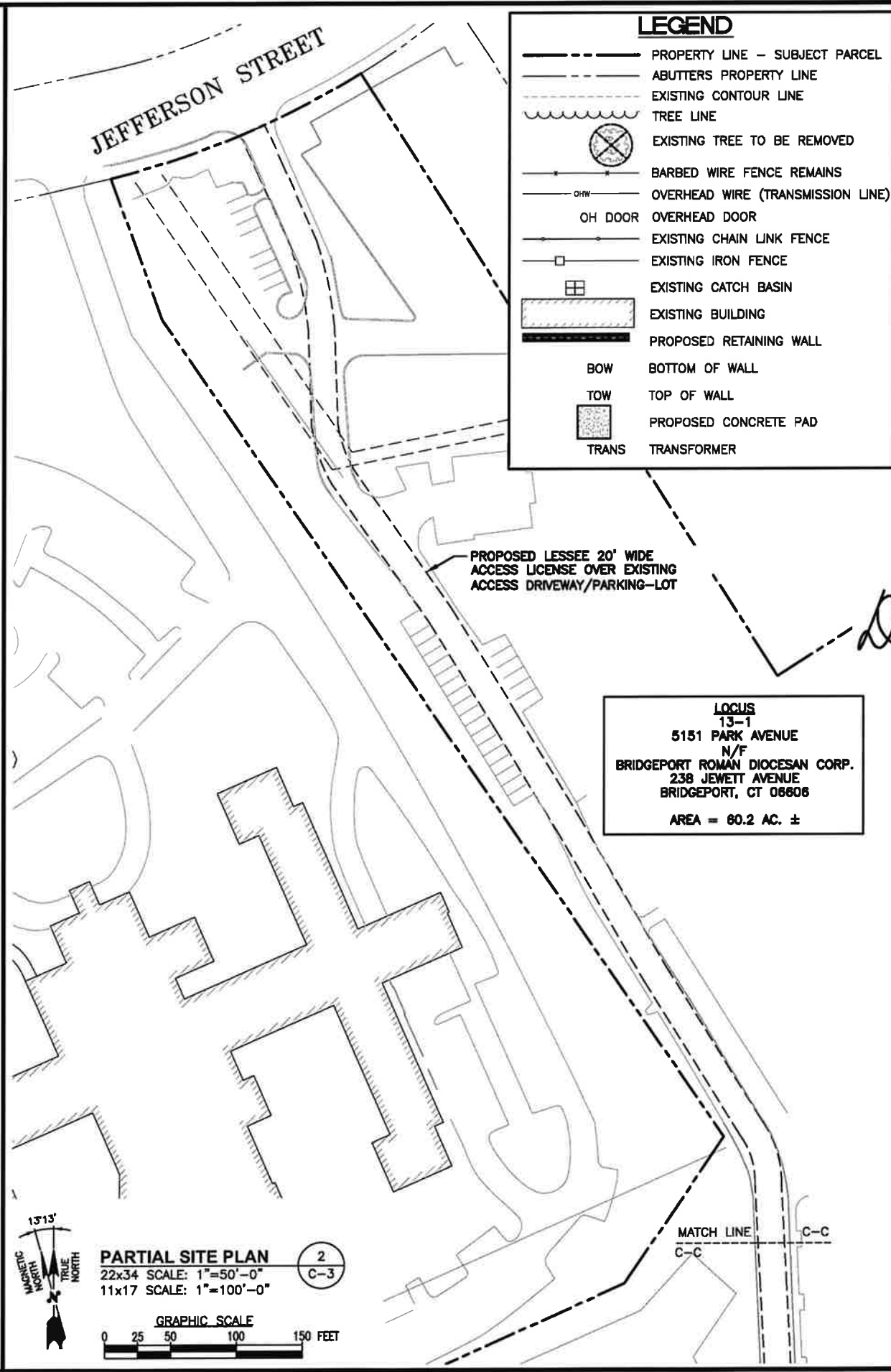
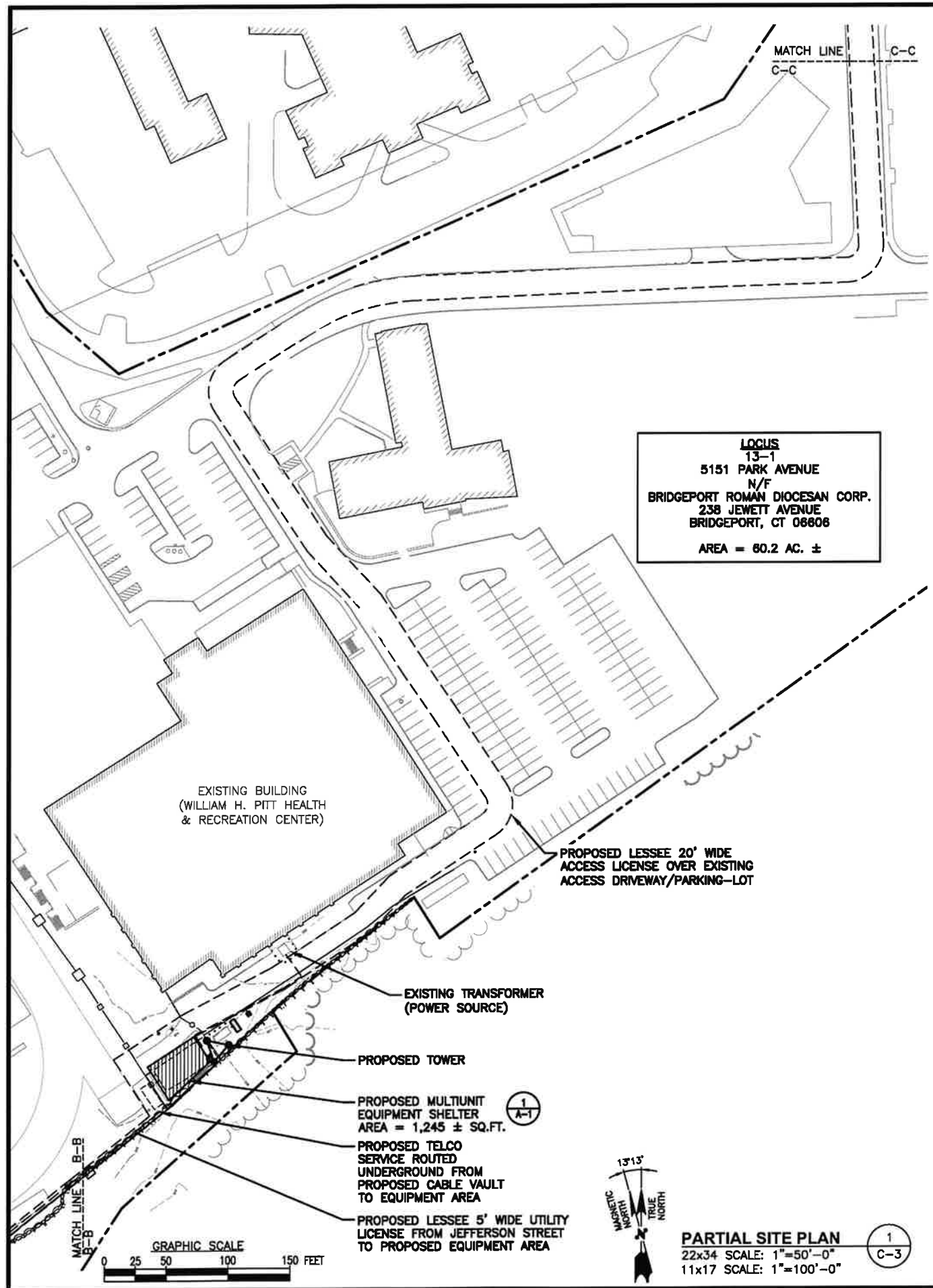
REV	DATE	DESCRIPTION	BY
3	4/5/22	REDUCE BILLBOARD, REMOVE BELL & LOOD	SLY
2	2/04/22	DL T-MOBILE & AT&T EQUIPMENT	SLY
1	1/11/22	INCREASE BILLBOARD, + CABLE VAULT	SLY
0	9/27/21	12/30/21 ISSUED FOR CSC FILING	SLY

SITE NAME:  
**PLATTSVILLE RELO CT**

SITE ADDRESS:  
5151 PARK AVENUE  
FAIRFIELD, CT 06825

SHEET TITLE  
**PARTIAL SITE PLAN**

SHEET NUMBER  
**C-2**



PREPARED FOR: CELCO PARTNERSHIP D.B.A.

**verizon**

**H2G HUDSON Design Group LLC**

45 BEECHWOOD DRIVE TEL: (978) 557-6553  
 N. ANDOVER, MA 01845 FAX: (978) 336-5984

STATE OF CONNECTICUT  
 DANIEL P. HAMM  
 LICENSED PROFESSIONAL ENGINEER

CHECKED BY: JX

APPROVED BY: DPH

**SUBMITTALS**

REV	DATE	DESCRIPTION	BY
3	4/5/22	REDUCE BILLBOARD, REMOVE BELL & LOGO	SLY
2	2/04/22	DL T-MOBILE & AT&T EQUIPMENT	SLY
1	1/11/22	INCREASE BILLBOARD, + CABLE VAULT	SLY
0	9/27/21	12/30/21 ISSUED FOR CSC FILING	SLY

SITE NAME:  
**PLATTSVILLE  
 RELO CT**

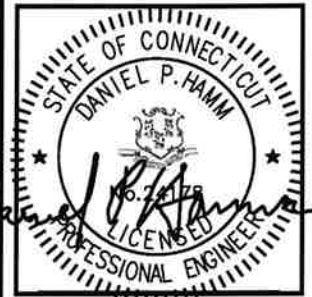
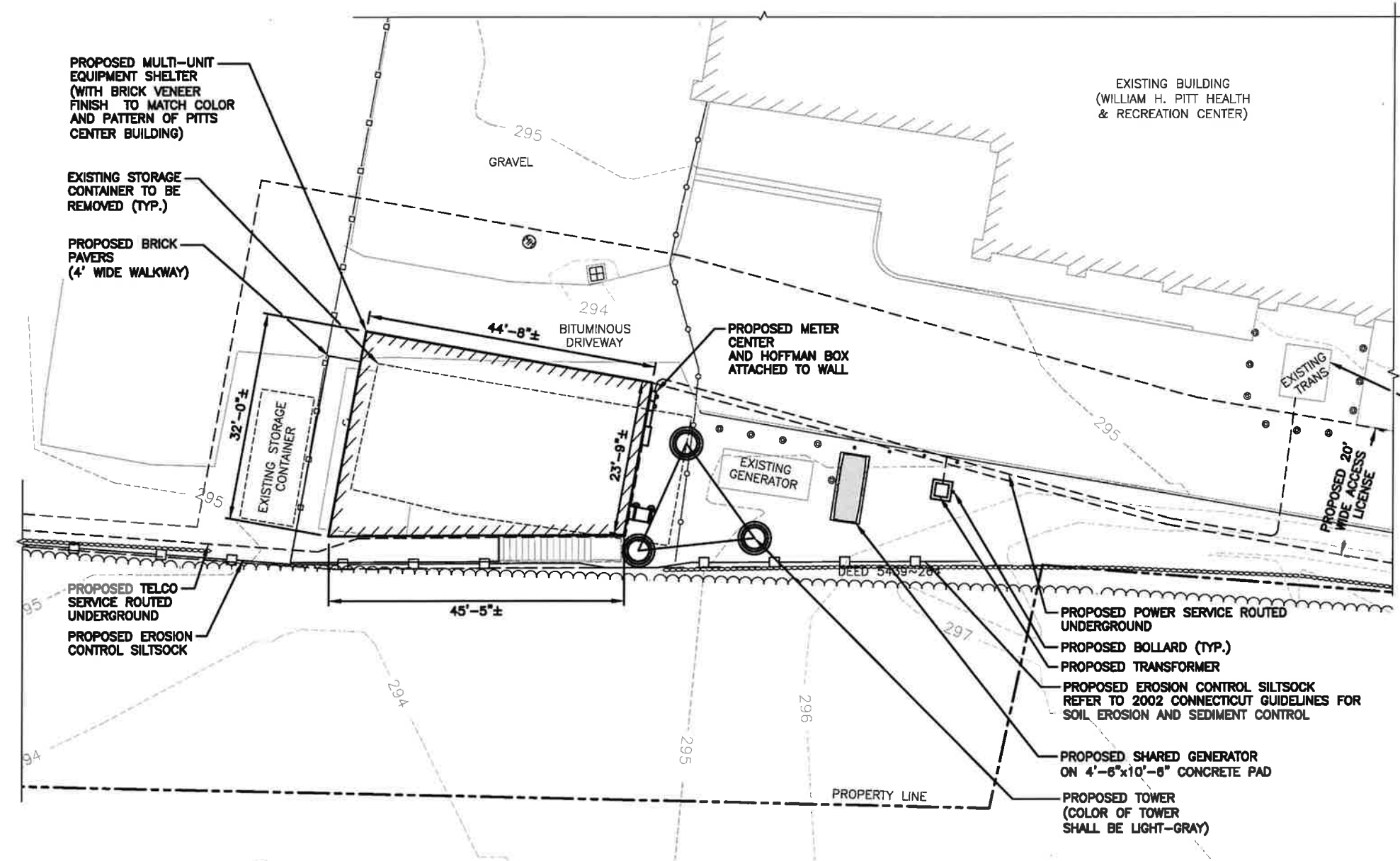
SITE ADDRESS:  
 5151 PARK AVENUE  
 FAIRFIELD, CT 06825

SHEET TITLE  
**PARTIAL SITE PLAN**

SHEET NUMBER  
**C-3**

**LEGEND**

- PROPERTY LINE - SUBJECT PARCEL
- ABUTTERS PROPERTY LINE
- EXISTING CONTOUR LINE
- ~~~~~ TREE LINE
- ⊗ EXISTING TREE TO BE REMOVED
- |— BARBED WIRE FENCE REMAINS
- OH— OVERHEAD WIRE (TRANSMISSION LINE)
- |— OH DOOR OVERHEAD DOOR
- |— EXISTING CHAIN LINK FENCE
- |— EXISTING IRON FENCE
- ⊠ EXISTING CATCH BASIN
- ▨ EXISTING BUILDING
- ▨ PROPOSED RETAINING WALL
- BOW BOTTOM OF WALL
- TOW TOP OF WALL
- PROPOSED CONCRETE PAD
- TRANS TRANSFORMER



CHECKED BY: JX

APPROVED BY: DPH

**SUBMITTALS**

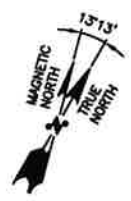
REV#	DATE	DESCRIPTION	BY
3	4/9/22	REDUCE BILLBOARD, REMOVE BELL & LOGO	SLY
2	2/04/22	TD, T-MOBILE & AZAT EQUIPMENT	SLY
1	1/11/22	INCREASE BILLBOARD, + CABLE WALK	SLY
0	0/27/21	12/30/21 ISSUED FOR CSC FILING	SLY

SITE NAME:  
**PLATTSVILLE  
RELO CT**

SITE ADDRESS:  
5151 PARK AVENUE  
FAIRFIELD, CT 06825

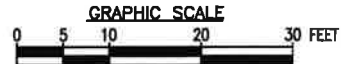
SHEET TITLE  
**COMPOUND PLAN**

SHEET NUMBER  
**A-1**



**COMPOUND PLAN**  
22x34 SCALE: 1"=10'-0"  
11x17 SCALE: 1"=20'-0"

1  
A-1







45 BEECHWOOD DRIVE  
N. ANDOVER, MA 01845  
TEL: (978) 557-5553  
FAX: (978) 336-5586



CHECKED BY: JX

APPROVED BY: DPH

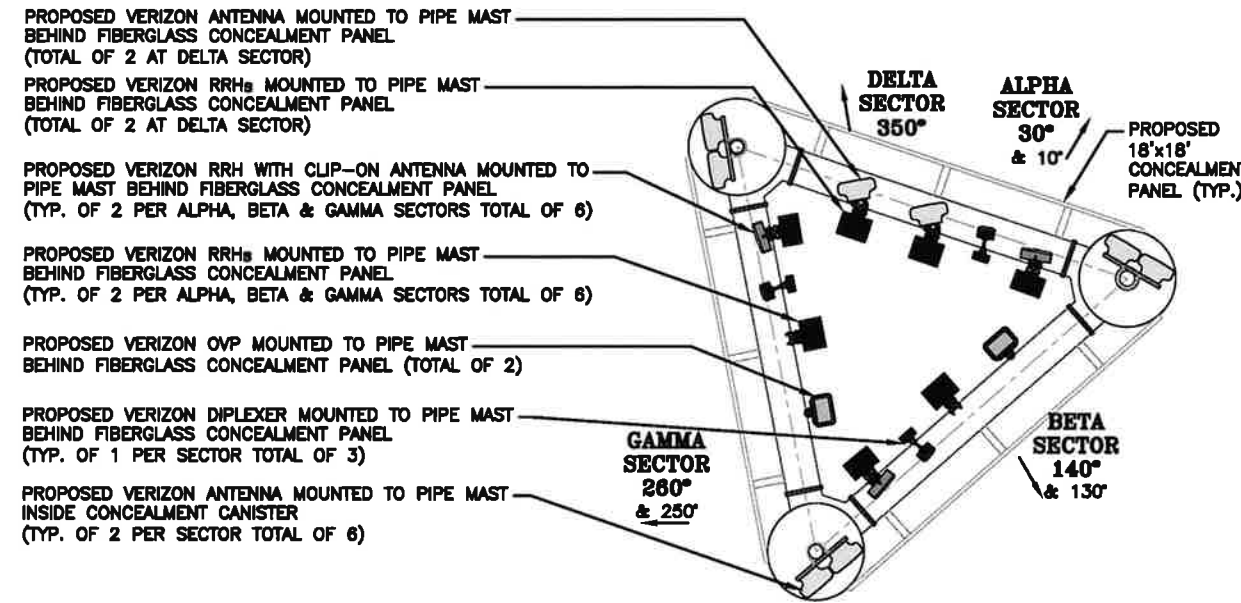
SUBMITTALS			
REV	DATE	DESCRIPTION	BY
3	4/9/22	REDUCE BILLBOARD, REMOVE BELL & LOGO	SLY
2	2/04/22	DI. T-MOBILE & AT&T EQUIPMENT	SLY
1	1/11/22	INCREASE BILLBOARD, + CABLE WALL	SLY
0	9/27/21	12/30/21 ISSUED FOR CSC FILING	SLY

SITE NAME:  
**PLATTSVILLE  
RELO CT**

SITE ADDRESS:  
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FAIRFIELD, CT 06825

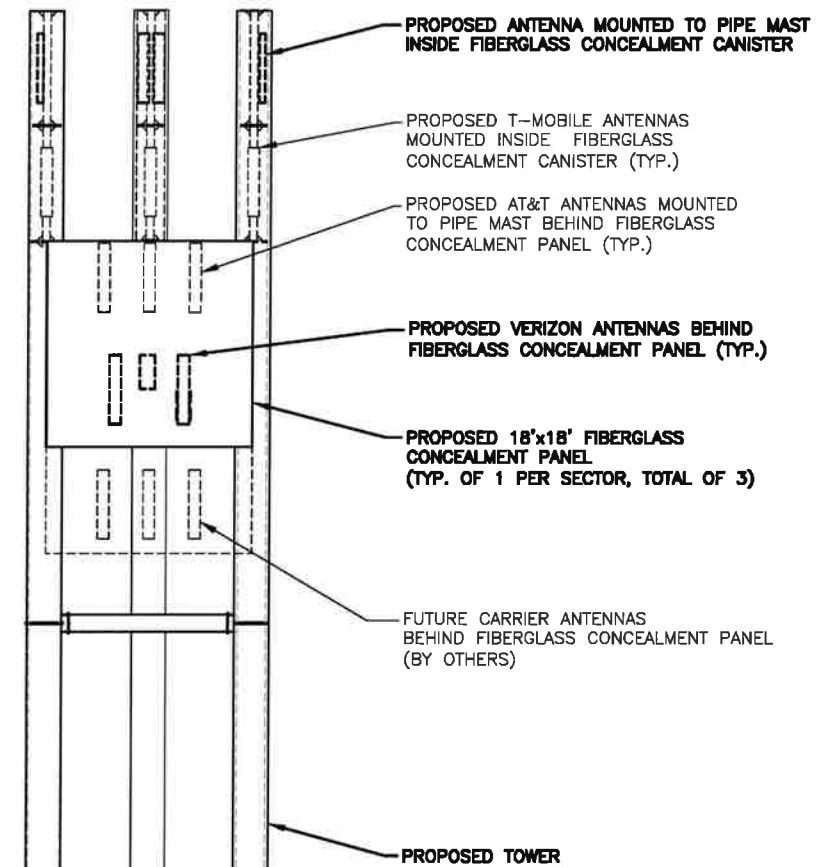
SHEET TITLE  
**ELEVATION AND  
ANTENNA PLAN**

SHEET NUMBER  
**A-1.1**

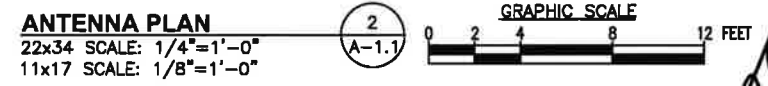


- PROPOSED VERIZON ANTENNA MOUNTED TO PIPE MAST BEHIND FIBERGLASS CONCEALMENT PANEL (TOTAL OF 2 AT DELTA SECTOR)
- PROPOSED VERIZON RRHs MOUNTED TO PIPE MAST BEHIND FIBERGLASS CONCEALMENT PANEL (TOTAL OF 2 AT DELTA SECTOR)
- PROPOSED VERIZON RRH WITH CLIP-ON ANTENNA MOUNTED TO PIPE MAST BEHIND FIBERGLASS CONCEALMENT PANEL (TYP. OF 2 PER ALPHA, BETA & GAMMA SECTORS TOTAL OF 6)
- PROPOSED VERIZON RRHs MOUNTED TO PIPE MAST BEHIND FIBERGLASS CONCEALMENT PANEL (TYP. OF 2 PER ALPHA, BETA & GAMMA SECTORS TOTAL OF 6)
- PROPOSED VERIZON OVP MOUNTED TO PIPE MAST BEHIND FIBERGLASS CONCEALMENT PANEL (TOTAL OF 2)
- PROPOSED VERIZON DIPLEXER MOUNTED TO PIPE MAST BEHIND FIBERGLASS CONCEALMENT PANEL (TYP. OF 1 PER SECTOR TOTAL OF 3)
- PROPOSED VERIZON ANTENNA MOUNTED TO PIPE MAST INSIDE CONCEALMENT CANISTER (TYP. OF 2 PER SECTOR TOTAL OF 6)

- TOP OF PROPOSED TOWER  
ELEV. = 100'-0"± (AGL)  
ELEV. = 395'-0"± (AMSL)
- ☉ OF PROPOSED VERIZON ANTENNAS  
ELEV. = 95'-0"± (AGL)  
ELEV. = 390'-0"± (AMSL)
- ☉ OF PROPOSED T-MOBILE ANTENNAS  
ELEV. = 85'-0"± (AGL)  
ELEV. = 380'-0"± (AMSL)
- TOP OF PROPOSED FIBERGLASS CONCEALMENT PANELS  
ELEV. = 80'-0"± (AGL)  
ELEV. = 375'-0"± (AMSL)
- ☉ OF PROPOSED AT&T ANTENNAS  
ELEV. = 76'-9"± (AGL)  
ELEV. = 371'-9"± (AMSL)
- ☉ OF PROPOSED VERIZON ANTENNAS  
ELEV. = 68'-8"± (AGL)  
ELEV. = 363'-8"± (AMSL)
- ☉ OF PROPOSED VERIZON ANTENNAS  
ELEV. = 67'-0"± (AGL)  
ELEV. = 362'-0"± (AMSL)
- ☉ OF FUTURE ANTENNAS  
ELEV. = 57'-0"± (AGL)  
ELEV. = 352'-0"± (AMSL)



- PROPOSED ANTENNA MOUNTED TO PIPE MAST INSIDE FIBERGLASS CONCEALMENT CANISTER
- PROPOSED T-MOBILE ANTENNAS MOUNTED INSIDE FIBERGLASS CONCEALMENT CANISTER (TYP.)
- PROPOSED AT&T ANTENNAS MOUNTED TO PIPE MAST BEHIND FIBERGLASS CONCEALMENT PANEL (TYP.)
- PROPOSED VERIZON ANTENNAS BEHIND FIBERGLASS CONCEALMENT PANEL (TYP.)
- PROPOSED 18'x18' FIBERGLASS CONCEALMENT PANEL (TYP. OF 1 PER SECTOR, TOTAL OF 3)
- FUTURE CARRIER ANTENNAS BEHIND FIBERGLASS CONCEALMENT PANEL (BY OTHERS)
- PROPOSED TOWER  
(COLOR OF TOWER SHALL BE LIGHT-GRAY)



**ANTENNA PLAN**  
22x34 SCALE: 1/4"=1'-0"  
11x17 SCALE: 1/8"=1'-0"

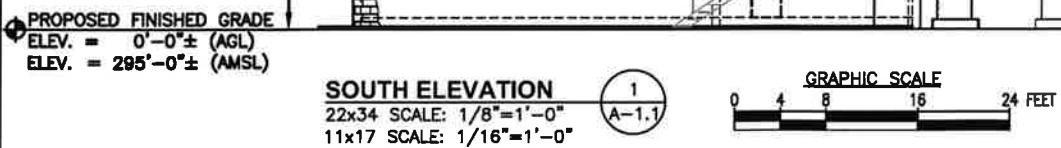
PROPOSED VERIZON EQUIPMENT CABINETS WITHIN SHELTER

PROPOSED MULTIUNIT EQUIPMENT SHELTER (WITH BRICK VENEER EXTERIOR FINISH TO MATCH COLOR AND PATTERN OF PITTS CENTER BUILDING)

- TOWER NOTES:**
- 1.) TOWER ELEVATION IS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO TOWER MANUFACTURER DRAWINGS FOR COMPLETE INSTALLATION AND BILL OF MATERIAL INFORMATION.
  - 2.) TOWER MINIMUM DESIGN SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ANSI/TIA/EIA 222-H "STRUCTURAL STANDARDS FOR SUPPORTING STRUCTURES AND ANTENNAS, REVISION H" AND GOVERNING FEDERAL, STATE, AND LOCAL CODE REQUIREMENTS
  - 3.) TOWER MANUFACTURER SHALL BE RESPONSIBLE FOR DESIGN AND STRUCTURAL COMPONENTS OF THE TOWER.
  - 4.) FINAL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE LOCAL UTILITIES.

**NOTE TO GENERAL CONTRACTOR:**

'RF' DESIGN AND EQUIPMENT IS BASED UPON RFDS ISSUED BY VZW DATED: 1/13/22 REV 1  
THE CONTRACTOR OF RECORD SHALL CONTACT VZW PRIOR TO ANY AND ALL ORDERING/PURCHASING/INSTALLATION OF EQUIPMENT TO VERIFY THAT THE 'RF' LISTED IN THE DRAWING SET IS CURRENT AND UP TO DATE.



**SOUTH ELEVATION**  
22x34 SCALE: 1/8"=1'-0"  
11x17 SCALE: 1/16"=1'-0"

PROPOSED FINISHED GRADE  
ELEV. = 0'-0"± (AGL)  
ELEV. = 295'-0"± (AMSL)



45 BEECHWOOD DRIVE  
N. ANDOVER, MA 01845  
TEL: (978) 557-5553  
FAX: (978) 336-5586



CHECKED BY: JX

APPROVED BY: DPH

**SUBMITTALS**

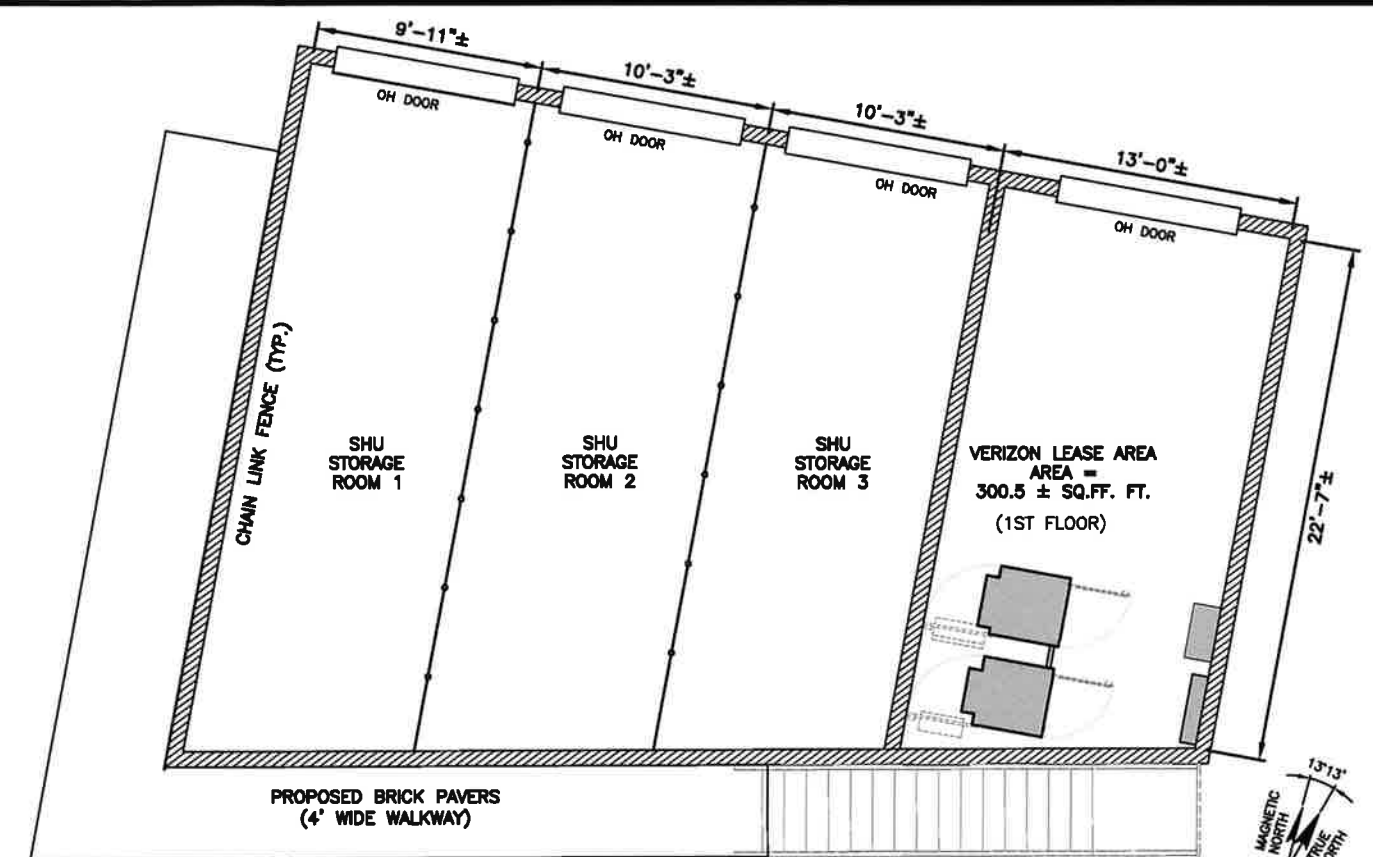
REV	DATE	DESCRIPTION	BY
3	4/5/22	REDUCE BILLBOARD, REMOVE BELL & LOGO	SLY
2	2/24/22	ID. T-MOBILE & AT&T EQUIPMENT	SLY
1	1/11/22	INCREASE BILLBOARD, + CABLE WALK	SLY
0	8/27/21	12/30/21 ISSUED FOR CSC FILING	SLY

**SITE NAME:**  
PLATTSVILLE  
RELO CT

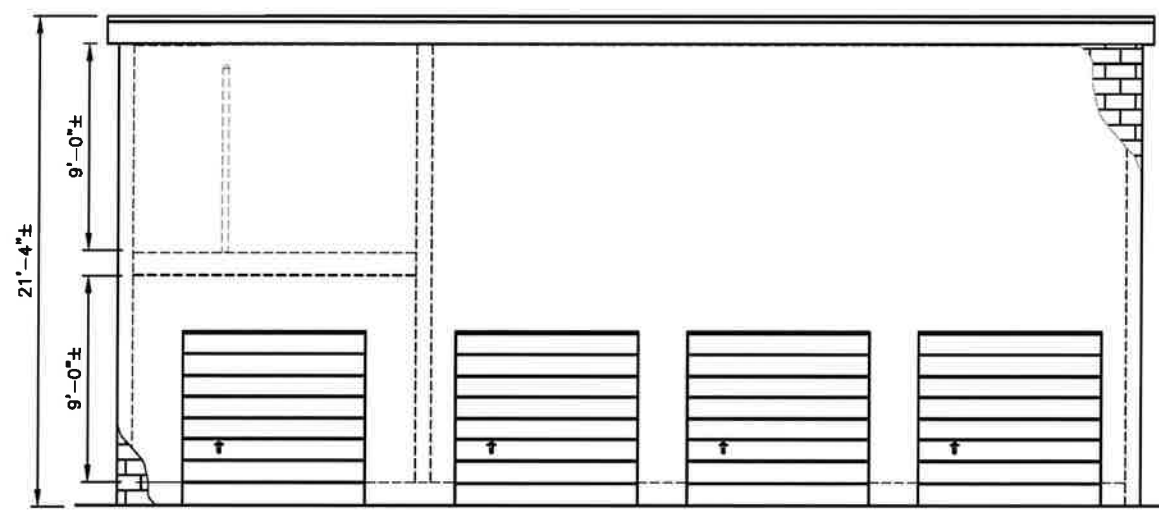
**SITE ADDRESS:**  
5151 PARK AVENUE  
FAIRFIELD, CT 06825

**SHEET TITLE**  
FLOOR PLANS  
AND ELEVATIONS

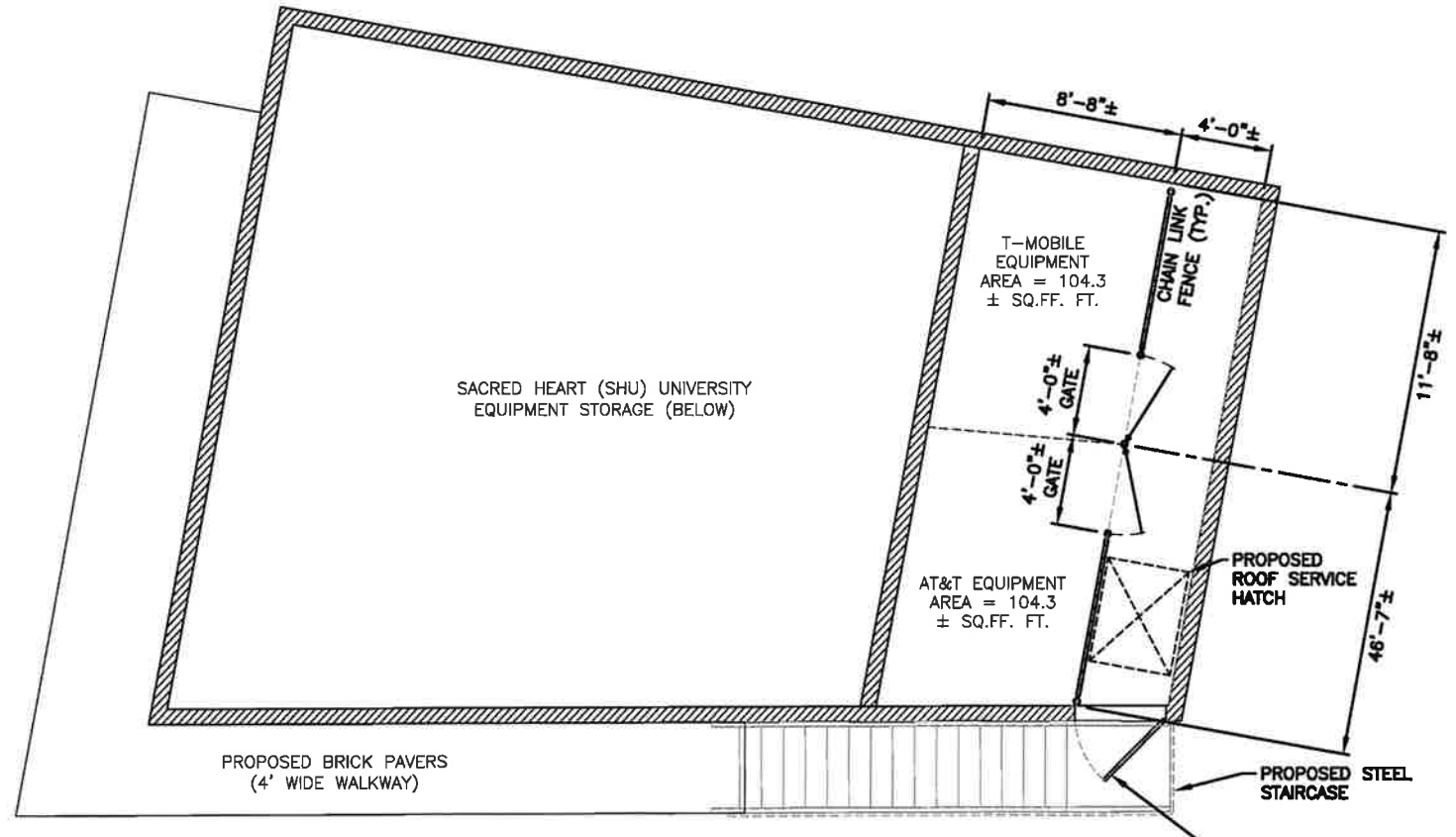
**SHEET NUMBER**  
A-2



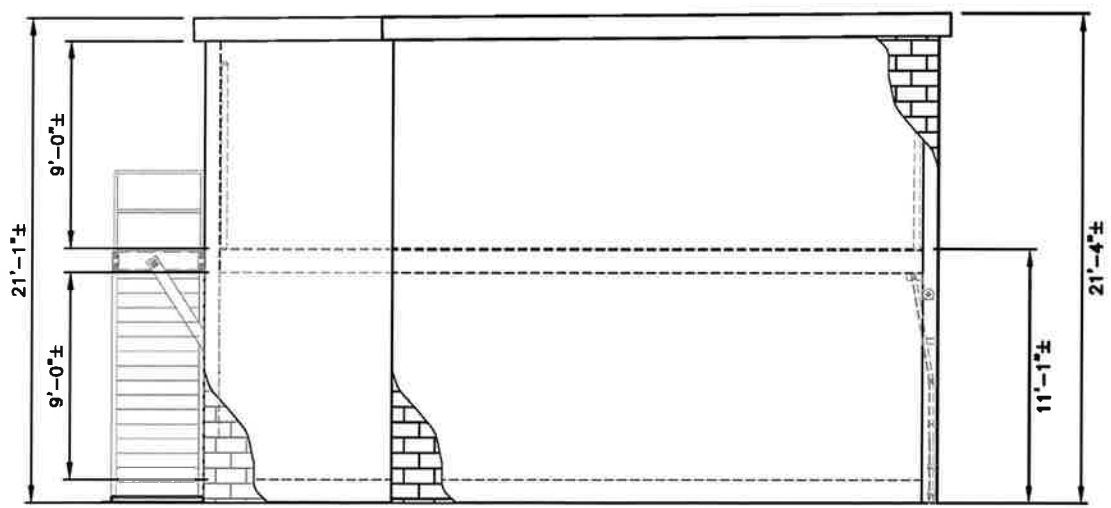
**FIRST FLOOR PLAN**  
22x34 SCALE: 1/4"=1'-0"  
11x17 SCALE: 1/8"=1'-0"  
GRAPHIC SCALE 0 2 4 8 12 FEET



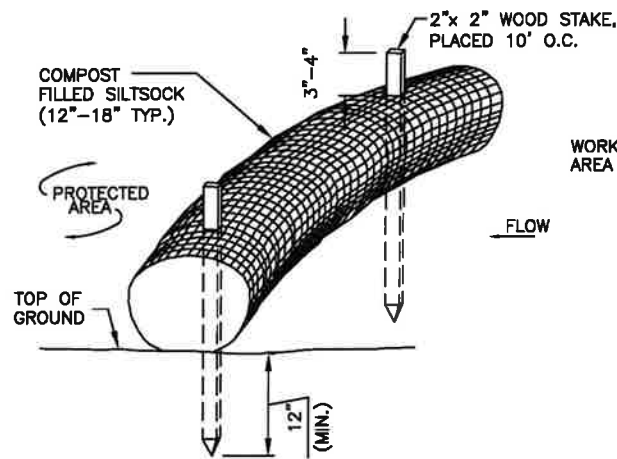
**NORTH ELEVATION**  
22x34 SCALE: 1/4"=1'-0"  
11x17 SCALE: 1/8"=1'-0"  
GRAPHIC SCALE 0 2 4 8 12 FEET



**SECOND FLOOR PLAN**  
22x34 SCALE: 1/4"=1'-0"  
11x17 SCALE: 1/8"=1'-0"  
GRAPHIC SCALE 0 2 4 8 12 FEET



**EAST ELEVATION**  
22x34 SCALE: 1/4"=1'-0"  
11x17 SCALE: 1/8"=1'-0"  
GRAPHIC SCALE 0 2 4 8 12 FEET



1. SILT SOCK SHALL BE FILTREXX SILT SOXX, OR APPROVED EQUAL.
2. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. SEE SPECIFICATIONS FOR SOCK SIZE, AND COMPOST FILL, REQUIREMENTS.

**SILT SOCK DETAIL**

SCALE: N.T.S



REFER TO 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

**GENERAL CONSTRUCTION SEQUENCE:**

THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.

- 1) CLEAR AND GRUB AREAS OF PROPOSED CONSTRUCTION.
- 2) INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- 3) REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
- 4) CONSTRUCT CLOSED DRAINAGE SYSTEM. PROTECT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- 5) CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- 6) INSTALL UNDERGROUND UTILITIES.
- 7) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
- 8) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- 9) BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- 10) FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
- 11) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 12) NO STORM WATER FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGRADED AREAS.
- 13) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**EROSION CONTROL MEASURES:**

- 1) DISTURBED AREAS SHALL BE KEPT TO THE MINIMUM AREA NECESSARY TO CONSTRUCT THE ROADWAYS AND ASSOCIATED DRAINAGE FACILITIES.
- 2) HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3) BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5) STOCKPILED MATERIALS SHALL BE PLACED IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6) ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.

- 7) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

**LIMESTONE:** 75-100 LBS./1,000 SQUARE FEET.  
**FERTILIZER:** RATE RECOMMENDED BY MANUFACTURER.  
**MULCH:** HAY MULCH APPROXIMATELY 3 TONS/ACRE UNLESS EROSION CONTROL MATTING IS USED.

<b>SEED MIX (SLOPES LESS THAN 4:1)</b>	<b>LBS./ACRE</b>
CREeping RED FESCUE	20
TALL FESCUE	20
REDTOP	2
	<hr/>
	42
<b>SLOPE MIX (SLOPES GREATER THAN 4:1)</b>	<b>LBS./ACRE</b>
CREeping RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREFOIL	8
	<hr/>
	48

**TREATMENT SWALE PLANTING SPECIFICATIONS**

TALL FESCUE	20 LBS/ACRE	OR	0.45 LBS/10,000 SF
CREeping RED FESCUE	20 LBS/ACRE	OR	0.45 LBS/10,000 SF
BIRDSFOOT TREFOIL	8 LBS/ACRE	OR	0.20 LBS/10,000 SF

LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT TIME OF SEEDING AND INCORPORATED INTO THE SOIL. THE FOLLOWING RATES ARE RECOMMENDED:

AGRICULTURAL LIMESTONE	2 TONS/ACRE	OR	100 LBS/1,000 SF
NITROGEN (N)	50 LBS/ACRE	OR	1.1 LBS/10,000 SF
PHOSPHATE (P205)	100 LBS/ACRE	OR	2.2 LBS/10,000 SF
POTASH (K20)	100 LBS/ACRE	OR	2.2 LBS/10,000 SF

(THIS IS EQUIVALENT TO 500 LBS/ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS/ACRE OF 5-10-10).

- 8) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 9) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 10) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
- 11) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZE AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12) ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 13) NO DISCHARGE SHALL BE DIRECTED TOWARDS ANY PROPOSED DITCHES, SWALES, OR PONDS UNTIL THEY HAVE BEEN PROPERLY STABILIZED.

PREPARED FOR: CELCO PARTNERSHIP D.B.A.

**verizon**

**H2G HUDSON Design Group LLC**

45 BEECHWOOD DRIVE TEL: (978) 557-5553  
 N. ANDOVER, MA 01845 FAX: (978) 536-6584



CHECKED BY: JX

APPROVED BY: DPH

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
3	4/9/22	REDUCE BILLBOARD, REMOVE BELL & LOGO	SLY
2	2/04/22	ED. T-MOBILE & APT. EQUIPMENT	SLY
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SITE NAME:  
**PLATTSVILLE RELO CT**

SITE ADDRESS:  
5151 PARK AVENUE  
FAIRFIELD, CT 06825

SHEET TITLE  
**EROSION CONTROL NOTES AND DETAILS**

SHEET NUMBER  
**A-3**





PHOTOGRAPHED ON 9/14/2020

**EXISTING**

PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
3	SACRED HEART UNIVERSITY - CAMPUS FIELD	SOUTHEAST	+/- 0.13 MILE	VISIBLE

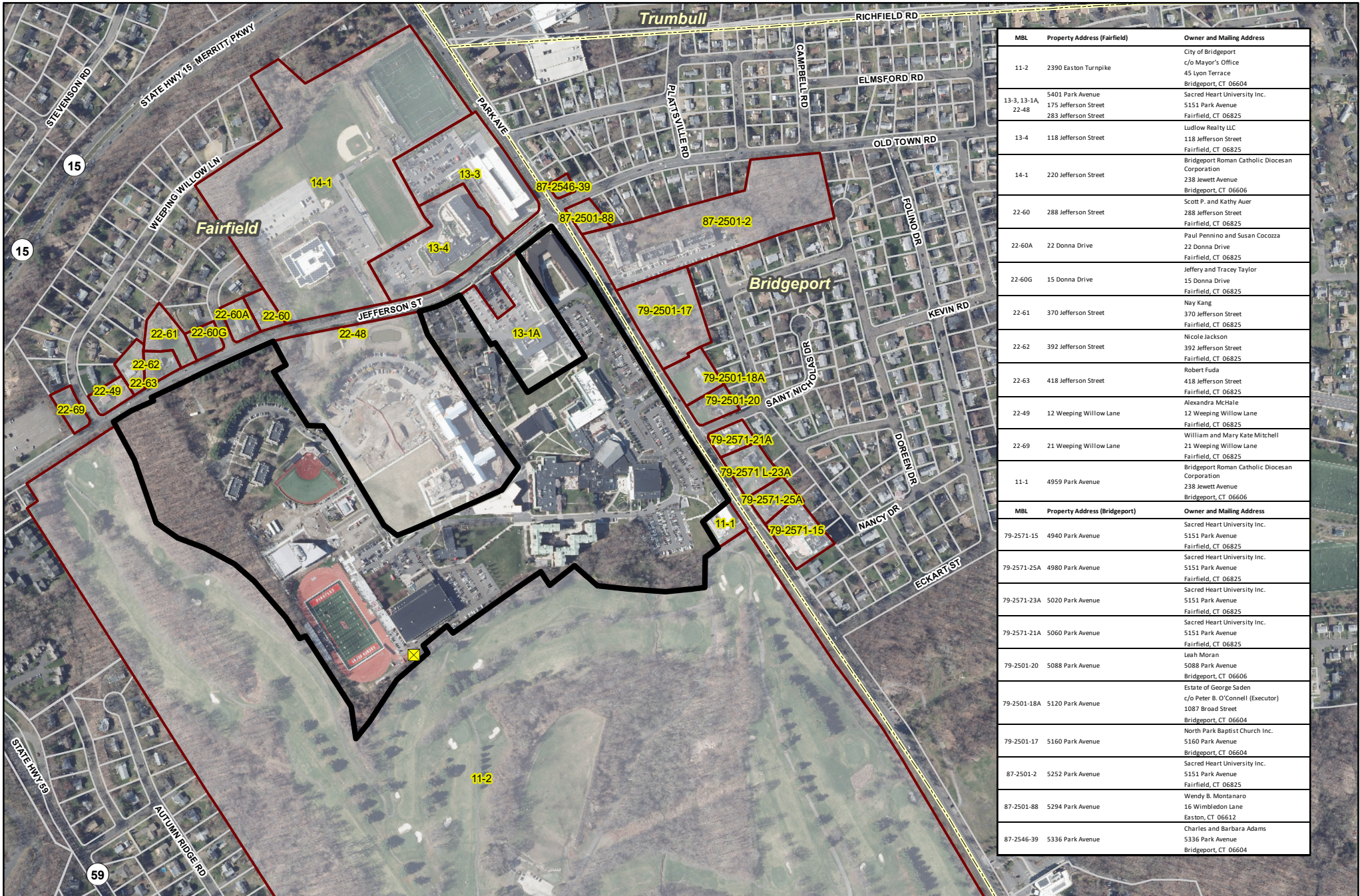




**PROPOSED**

PHOTO	LOCATION	ORIENTATION	DISTANCE TO SITE	VISIBILITY
3	SACRED HEART UNIVERSITY - CAMPUS FIELD	SOUTHEAST	+/- 0.13 MILE	VISIBLE





MBL	Property Address (Fairfield)	Owner and Mailing Address
11-2	2390 Easton Turnpike	City of Bridgeport c/o Mayor's Office 45 Lyon Terrace Bridgeport, CT 06604
13-3, 13-1A, 22-48	5401 Park Avenue 175 Jefferson Street 283 Jefferson Street	Sacred Heart University Inc. 5151 Park Avenue Fairfield, CT 06825
13-4	118 Jefferson Street	Ludlow Realty LLC 118 Jefferson Street Fairfield, CT 06825
14-1	220 Jefferson Street	Bridgeport Roman Catholic Diocesan Corporation 238 Jewett Avenue Bridgeport, CT 06606
22-60	288 Jefferson Street	Scott P. and Kathy Auer 288 Jefferson Street Fairfield, CT 06825
22-60A	22 Donna Drive	Paul Pennino and Susan Cocozza 22 Donna Drive Fairfield, CT 06825
22-60G	15 Donna Drive	Jeffery and Tracey Taylor 15 Donna Drive Fairfield, CT 06825
22-61	370 Jefferson Street	Nay Kang 370 Jefferson Street Fairfield, CT 06825
22-62	392 Jefferson Street	Nicole Jackson 392 Jefferson Street Fairfield, CT 06825
22-63	418 Jefferson Street	Robert Fuda 418 Jefferson Street Fairfield, CT 06825
22-49	12 Weeping Willow Lane	Alexandra McHale 12 Weeping Willow Lane Fairfield, CT 06825
22-69	21 Weeping Willow Lane	William and Mary Kate Mitchell 21 Weeping Willow Lane Fairfield, CT 06825
11-1	4959 Park Avenue	Bridgeport Roman Catholic Diocesan Corporation 238 Jewett Avenue Bridgeport, CT 06606

MBL	Property Address (Bridgeport)	Owner and Mailing Address
79-2571-15	4940 Park Avenue	Sacred Heart University Inc. 5151 Park Avenue Fairfield, CT 06825
79-2571-25A	4980 Park Avenue	Sacred Heart University Inc. 5151 Park Avenue Fairfield, CT 06825
79-2571-23A	5020 Park Avenue	Sacred Heart University Inc. 5151 Park Avenue Fairfield, CT 06825
79-2571-21A	5060 Park Avenue	Sacred Heart University Inc. 5151 Park Avenue Fairfield, CT 06825
79-2501-20	5088 Park Avenue	Leah Moran 5088 Park Avenue Bridgeport, CT 06606
79-2501-18A	5120 Park Avenue	Estate of George Saden c/o Peter B. O'Connell (Executor) 1087 Broad Street Bridgeport, CT 06604
79-2501-17	5160 Park Avenue	North Park Baptist Church Inc. 5160 Park Avenue Bridgeport, CT 06604
87-2501-2	5252 Park Avenue	Sacred Heart University Inc. 5151 Park Avenue Fairfield, CT 06825
87-2501-88	5294 Park Avenue	Wendy B. Montanaro 16 Wimbledon Lane Easton, CT 06612
87-2546-39	5336 Park Avenue	Charles and Barbara Adams 5336 Park Avenue Bridgeport, CT 06604

**Abutting Properties Map**

Connecticut Siting Council Docket No. 495A  
Proposed Wireless  
Telecommunications Facility  
Plattsville RELO CT  
5151 Park Avenue  
Fairfield, Connecticut

**Legend**

- Proposed Site
- Subject Property
- Abutters
- Municipal Boundary
- Approximate Parcel Boundary

