



45 BEECHWOOD DRIVE N. ANDOVER, MA 01845 TEL: (978) 557-5553 FAX: (978) 336-5586



*Daniel P. Haman*

CHECKED BY: JX

APPROVED BY: DPH

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
1	9/22/20	REVISED PER COMMENTS	SLY
0	2/11/20	ISSUED FOR REVIEW	SLY

SITE NAME:  
PLATTSVILLE  
RELO CT

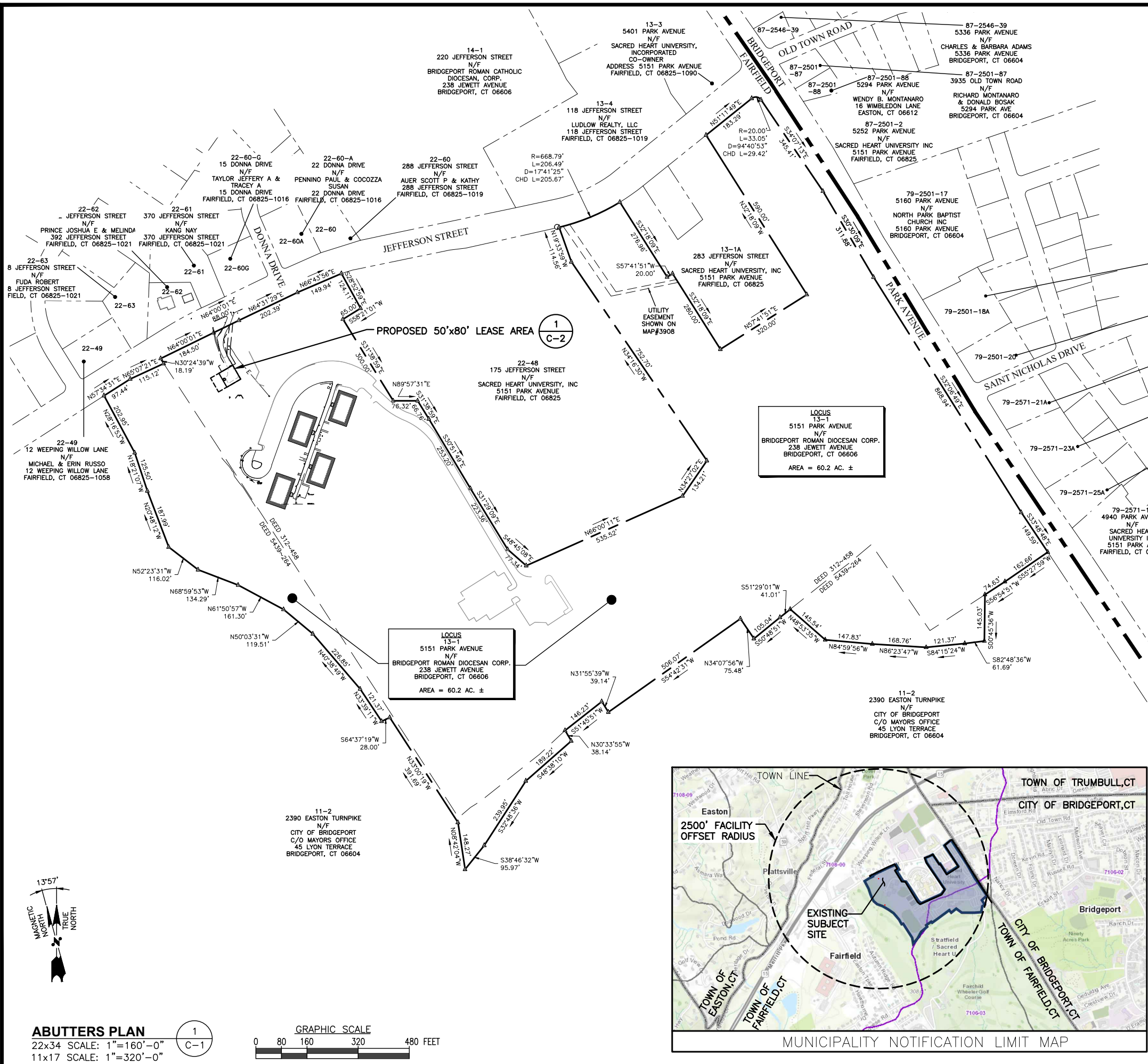
SITE ADDRESS:  
5151 PARK AVENUE  
FAIRFIELD, CT 06825

SHEET TITLE

ABUTTERS PLAN

SHEET NUMBER

C-1

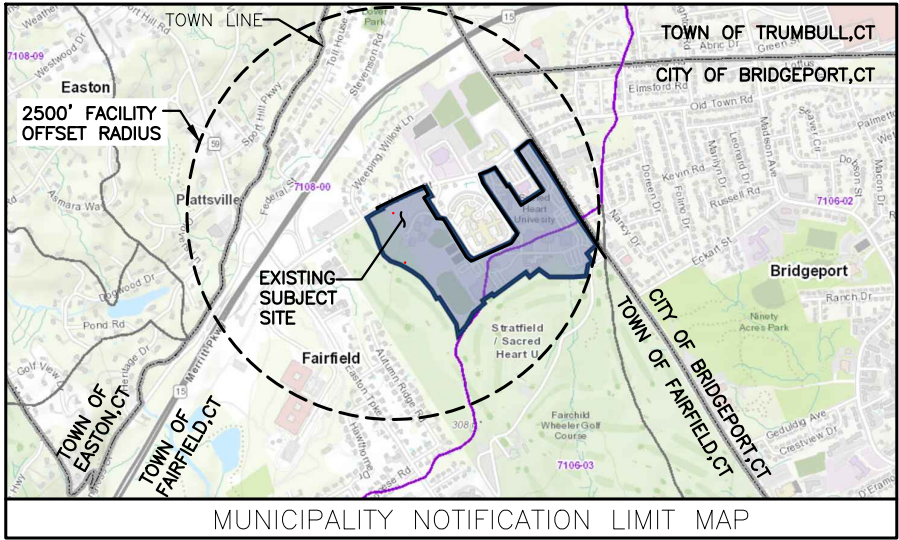


**SOURCE:**

- PLANS CREATED BY NORTHEAST SURVEY CONSULTANTS ENTITLED ABUTTERS PLAN AND EXISTING CONDITIONS PLANT DATED FEBRUARY 4, 2020
- ONLINE GIS MAPS FROM THE TOWN OF FAIRFIELD CT ACCESS ON FEBRUARY 4, 2020

**SITE SPECIFIC NOTES:**

- SITE SURVEY HAS NOT BEEN CONDUCTED BY HUDSON DESIGN GROUP, LLC FOR THIS PROJECT. ALL SETBACKS SHOWN ON THIS PLAN ARE TAKEN FROM CORNERS OF PROPOSED LEASE AREA TO PROPERTY LINES AND ARE APPROXIMATE.
- PROPERTY LINE INFORMATION IS COMPILED FROM ASSESSORS PLAN AND RECORD DOCUMENTS AND IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD BOUNDARY SURVEY, AND IS SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. A FULL BOUNDARY SURVEY WAS NOT PERFORMED.



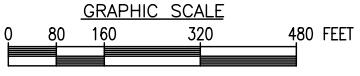
**LEGEND**

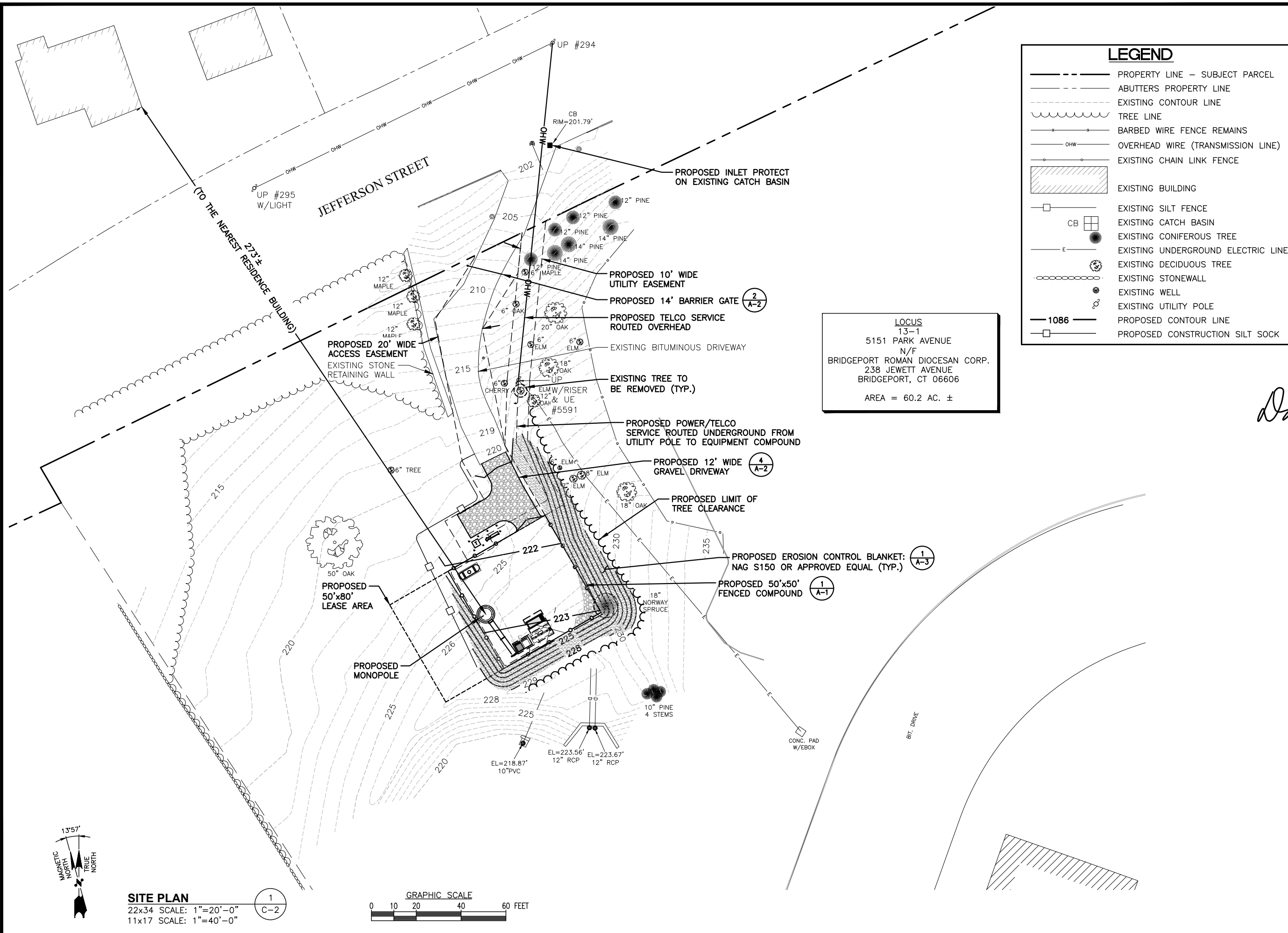
- PROPERTY LINE - SUBJECT PARCEL
- ABUTTERS PROPERTY LINE
- EXISTING CONTOUR LINE
- TREE LINE
- BARBED WIRE FENCE REMAINS
- OHW OVERHEAD WIRE (TRANSMISSION LINE)
- EXISTING CHAIN LINK FENCE
- 1086 PROPOSED CONTOUR LINE
- PROPOSED CONSTRUCTION SILT SOCK
- EXISTING BUILDING

**ABUTTERS PLAN**

22x34 SCALE: 1"=160'-0"

11x17 SCALE: 1"=320'-0"





### LEGEND

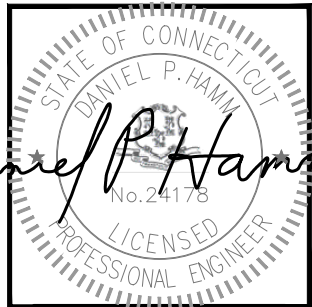
- PROPERTY LINE - SUBJECT PARCEL
- ABUTTERS PROPERTY LINE
- EXISTING CONTOUR LINE
- TREE LINE
- BARBED WIRE FENCE REMAINS
- OVERHEAD WIRE (TRANSMISSION LINE)
- EXISTING CHAIN LINK FENCE
- EXISTING BUILDING
- EXISTING SILT FENCE
- EXISTING CATCH BASIN
- EXISTING CONIFEROUS TREE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING DECIDUOUS TREE
- EXISTING STONEWALL
- EXISTING WELL
- EXISTING UTILITY POLE
- PROPOSED CONTOUR LINE
- PROPOSED CONSTRUCTION SILT SOCK

**LOCUS**  
 13-1  
 5151 PARK AVENUE  
 N/F  
 BRIDGEPORT ROMAN DIOCESAN CORP.  
 238 JEWETT AVENUE  
 BRIDGEPORT, CT 06606  
  
 AREA = 60.2 AC. ±

PREPARED FOR: CELLCO PARTNERSHIP D.B.A.



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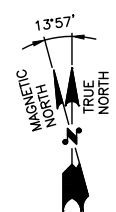
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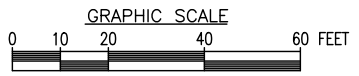
SITE NAME:  
**PLATTSVILLE RELO CT**  
  
 SITE ADDRESS:  
 5151 PARK AVENUE  
 FAIRFIELD, CT 06825

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**C-2**



**SITE PLAN**  
 22x34 SCALE: 1"=20'-0"  
 11x17 SCALE: 1"=40'-0"  
 1  
 C-2





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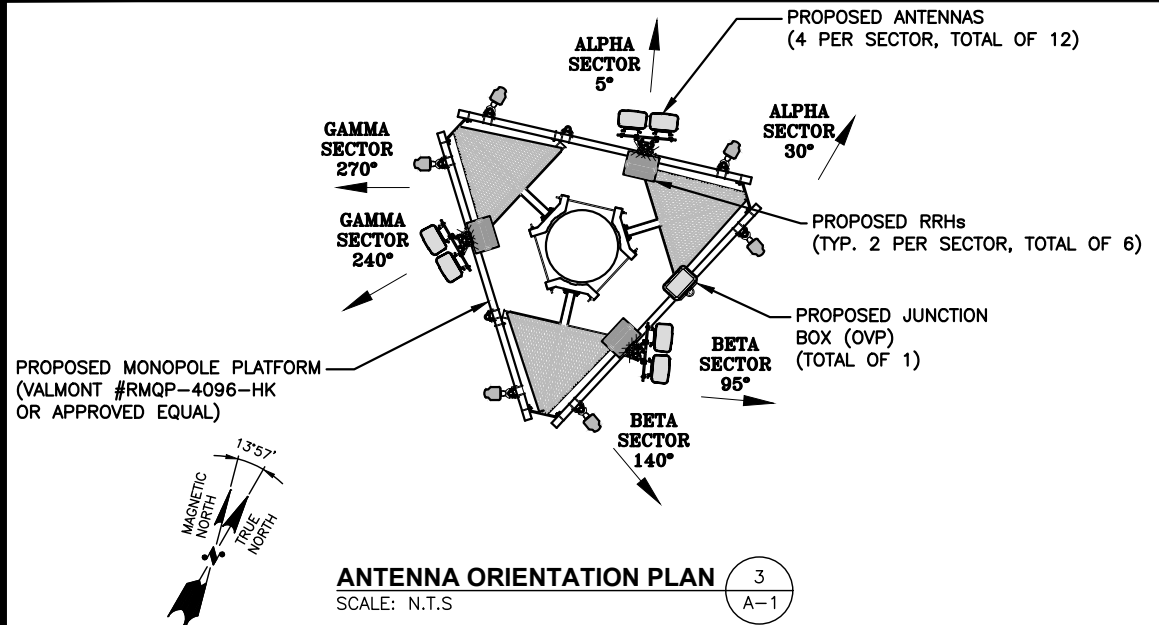
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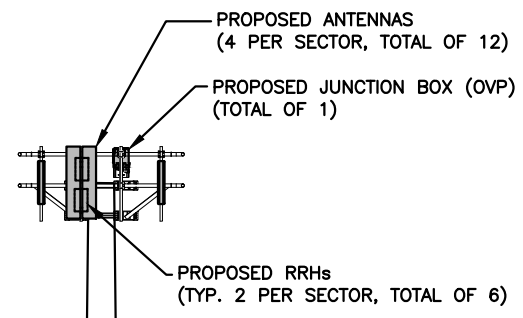
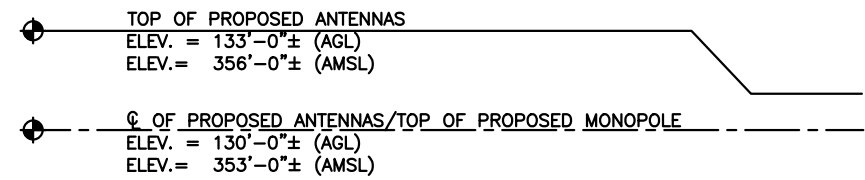
SHEET TITLE  
COMPOUND PLAN  
AND ELEVATION

SHEET NUMBER

A-1



**ANTENNA ORIENTATION PLAN**  
SCALE: N.T.S.

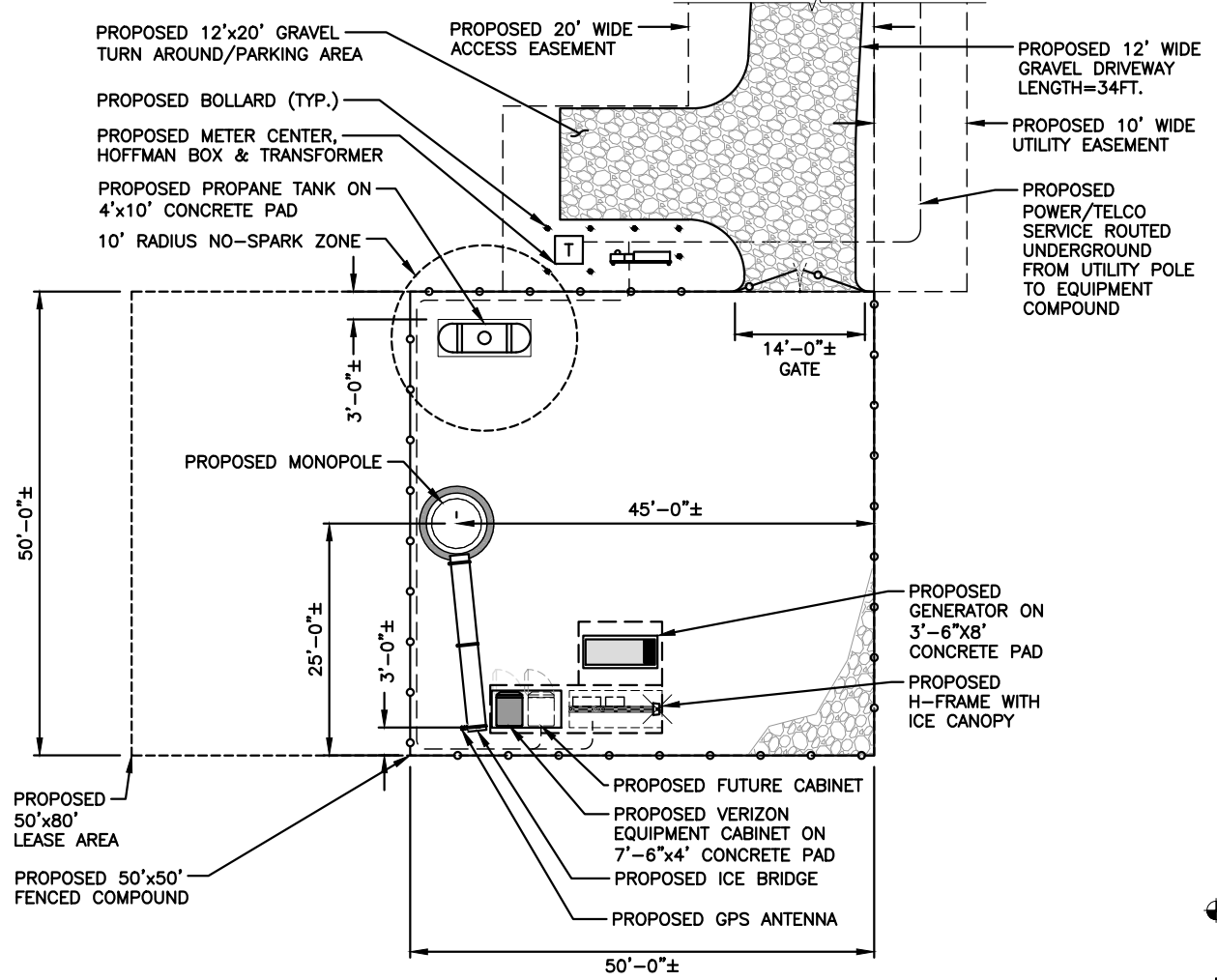


**TOWER NOTES:**

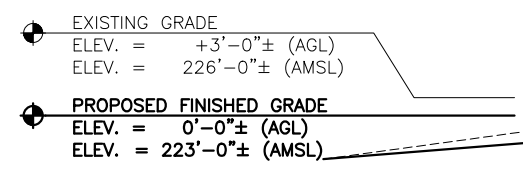
- 1.) TOWER ELEVATION IS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO TOWER MANUFACTURER DRAWINGS FOR COMPLETE INSTALLATION AND BILL OF MATERIAL INFORMATION.
- 2.) TOWER MINIMUM DESIGN SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ANSI/TIA/EIA 222-G "STRUCTURAL STANDARDS FOR SUPPORTING STRUCTURES AND ANTENNAS, REVISION G" AND GOVERNING FEDERAL, STATE, AND LOCAL CODE REQUIREMENTS.
- 3.) TOWER MANUFACTURER SHALL BE RESPONSIBLE FOR DESIGN AND STRUCTURAL COMPONENTS OF THE TOWER.
- 4.) FINAL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE LOCAL UTILITIES.

**NOTE:**

1. PROPOSED NEW TOWER AND FOUNDATION DESIGN BY OTHERS
2. VERIFY AZIMUTHS W/ RF ENGINEER.



**COMPOUND PLAN**  
22x34 SCALE: 1"=10'-0"  
11x17 SCALE: 1"=20'-0"



**WEST ELEVATION**  
22x34 SCALE: 1/8"=1'-0"  
11x17 SCALE: 1/16"=1'-0"

**NOTE:**  
PROPOSED GROUND ITEMS NOT SHOWN FOR CLARITY