

ADJACENT PROPERTY OWNERS

SITE NAME: ROBERT WALL

OWNER NAME: RICHARD ANDERSON

PROPERTY ADDRESS: LAKEVIEW STREET, EAST HAMPTON, CT

PARCEL IDENTIFICATION: 26-85-25

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TOWN'S ONLINE GIS AND TAX ASSESSOR'S RECORDS ON AUGUST 18, 2020.

THE PARCEL IS ZONED R-1 (Residential)

	<u>Property Address</u>	<u>Owner and Mailing Address</u>
1.	2 Old Marlborough Road	Joseph D. Carey, Jr. 40 Spaulding Circle East Hartford, CT 06118
2.	58 East High Street	Richard J. Erlandson, Jr. 30 Cove Road Moodus, CT 06469
3.	22 Lakeview Street	Jiaqi Gong 89 Hawthorne Mead Glastonbury, CT 06033
4.	20 Lakeview Street	Antonio Colon 207 del Parque Street, Fl 1 AM Tower San Juan, PR 912
5.	16 Lakeview Street	Rick Lavender 16 Lakeview Street East Hampton, CT 06424
6.	14 Lakeview Street	Thomas W. Engel 14 Lakeview Street East Hampton, CT 06424
7.	12 Lakeview Street	Kelly Turning 12 Lakeview Street East Hampton, CT 06424

	<u>Property Address</u>	<u>Owner and Mailing Address</u>
8.	8.5 Lakeview Street	Richard & Christine Anderson 8 ½ Lakeview Street Rear East Hampton, CT 06424
9.	11 Lakeview Street	Jonathan & Carmina Herron 11 Lakeview Street East Hampton, CT 06424
10.	8 Lakeview Street	Michael C. Philhower 8 Lakeview Street, Apt. 2 East Hampton, CT 06424
11.	6A Lakeview Street	Matthew & Patricia Vanbourgondien 6 A Lakeview Street East Hampton, CT 06424
12.	6 Lakeview Street	Patrick Leenders 6 Lakeview Street East Hampton, CT 0624
13.	15 Flanders Road	Kathryn M. Parker 15 Flanders Road East Hampton, CT 06424
14.	19 Flanders Road	Jill K. and Karin J. Bromley 19 Flanders Road East Hampton, CT 06424
15.	72 East High Street	T and O Enterprises, LLC 80 East High Street East Hampton, CT 06424
16.	94 East High Street	Pauls & Sandys Too, Inc. 93 East High Street East Hampton, CT 06424
17.	4 Old Marlborough Road	Timothy J. Day 4 Old Marlborough Road East Hampton, CT 06424
18.	6 Old Marlborough Road	Royale P. Gauthier 6 Old Marlborough Road East Hampton, CT 06424

	<u>Property Address</u>	<u>Owner and Mailing Address</u>
19.	East High Street	State of Connecticut Department of Transportation 2800 Berlin Turnpike Newington, CT 06131

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached list of abutting landowners.

August 20, 2020

Date



Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

Attorneys for Cellco Partnership d/b/a Verizon
Wireless

KENNETH C. BALDWIN

280 Trumbull Street
Hartford, CT 06103-3597
Main (860) 275-8200
Fax (860) 275-8299
kbaldwin@rc.com
Direct (860) 275-8345

Also admitted in Massachusetts
and New York

August 20, 2020

Via Certified Mail Return Receipt Requested

«Owner_and_Mailing_Address»

Re: **Proposed Telecommunications Facility off Lakeview Street, East Hampton,
Connecticut**

Dear «Salutation»:

Global Signal Acquisitions IV LLC and Crown Castle Towers 06-02 LLC (“Crown”) will be submitting an application to the Connecticut Siting Council (“Council”) on or about August 26, 2020, for the relocation of an existing telecommunications facility from the property at 94 East High Street to a 17.37-acre parcel off Lakeview Street in East Hampton, Connecticut. The Lakeview Street parcel is owned by Richard Anderson (the “Lakeview Street Parcel”).

The proposed relocated telecommunications facility would consist of a 250-foot monopole tower in the central portion of the Lakeview Street Parcel. The new tower would support antennas owned and operated by Sprint, Verizon Wireless, AT&T and T-Mobile. Equipment and backup power systems for each of the wireless carriers would be installed within a 75’ x 75’ fenced compound near the base of the tower. Access to the facility would extend from East High Street along a new gravel driveway over an adjacent parcel also owned by Mr. Anderson. Site plan drawings for the proposed facility are attached for your review.

The location and other features of the proposed facility, including tower height, are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq. and 47 U.S.C. § 1455e.

State law provides that owners of record of property which abuts a parcel on which a facility is proposed to be located must receive notice of the submission of this application. This

August 20, 2020

Page 2

notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,

A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin", with a long horizontal flourish extending to the right.

Kenneth C. Baldwin

KCB/kmd
Attachment

SITE OVERVIEW	
TYPE OF OCCUPANCY:	TELECOMMUNICATIONS
SITE TYPE:	RAWLAND
TOWER TYPE:	MONOPOLE
TOWER HEIGHT:	250-FT +/-
TOWER LATITUDE:	41° 34' 56.92" N (41.58248°)
TOWER LONGITUDE:	72° 29' 35.29" W (72.49314°)
COUNTY:	MIDDLESEX
DEED BOOK & PAGE:	349; 358
PARCEL ID:	26-85-25
PARCEL AREA:	17.37 ACRES
DISTURBED AREA:	0.80 ACRES (34,700 SF)
POWER COMPANY:	EVERSOURCE
TELCO/FIBER COMPANY:	FRONTIER

PROJECT CONTACT DIRECTORY	
LAND OWNER:	RICHARD ANDERSON 8 1/2 LAKEVIEW STREET EAST HAMPTON, CT 06424 (860) 301-4884
APPLICANT:	CROWN CASTLE USA, INC. 2000 CORPORATE DRIVE CANONSBURG, PA 15317 (724) 416-2000
SITE ENGINEER:	DELTA OAKS GROUP 4904 PROFESSIONAL COURT, 2ND FLOOR RALEIGH, NC 27609 CONTACT: BRANDON WALLER, PE (919) 342-8247

CODE COMPLIANCE	
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:	
1. UNIFORM CONSTRUCTION CODE (UCC)	7. 2015 INTERNATIONAL FIRE CODE
2. ANSI/TIA/EIA-222-E	8. 2015 INTERNATIONAL PLUMBING CODE
3. LOCAL BUILDING CODE	9. 2015 INTERNATIONAL MECHANICAL CODE
4. CITY/COUNTY ORDINANCES	10. 2015 INTERNATIONAL FUEL GAS CODE
5. 2015 INTERNATIONAL RESIDENTIAL CODE	11. 2015 INTERNATIONAL ENERGY CONSERVATION CODE
6. 2015 INTERNATIONAL BUILDING CODE	12. 2017 NATIONAL ELECTRICAL CODE

GENERAL NOTES
<ul style="list-style-type: none"> THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. THEREFORE HANDICAP ACCESS IS NOT REQUIRED. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE APPROX. ONE TRIP PER MONTH. THE PROJECT WILL NOT RESULT IN A SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED. NO COMMERCIAL SIGNAGE IS PROPOSED.

SHEET INDEX			
SHEET NO.	DESCRIPTION	SHEET NO.	DESCRIPTION
T-1	TITLE SHEET	--	--
C-1.1	OVERALL SITE PLAN	--	--
C-1.2	SITE PLAN	--	--
C-2.1	GRADING & EROSION CONTROL PLAN	--	--
C-2.2	GRADING & EROSION CONTROL PLAN	--	--
C-2.3	GRADING & EROSION CONTROL PLAN	--	--
C-3	TOWER PROFILE & COMPOUND LAYOUT	--	--
C-4	CIVIL DETAILS	--	--
C-5	CIVIL DETAILS	--	--
C-6	CIVIL DETAILS	--	--
C-7	CIVIL DETAILS	--	--
C-8	CIVIL DETAILS	--	--
C-9	CIVIL DETAILS	--	--
GN-1	GENERAL NOTES	--	--
--	--	--	--
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--	--	--	--
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RELOCATION PROJECT DRAWINGS

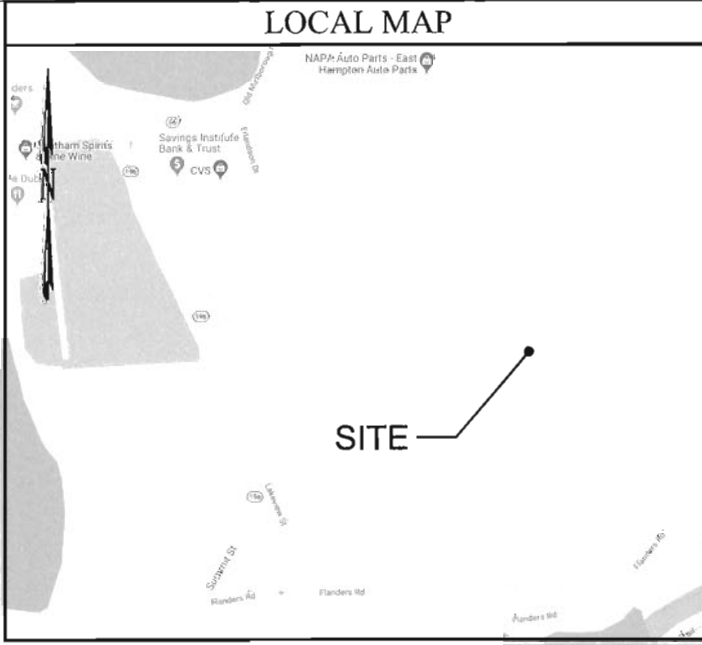
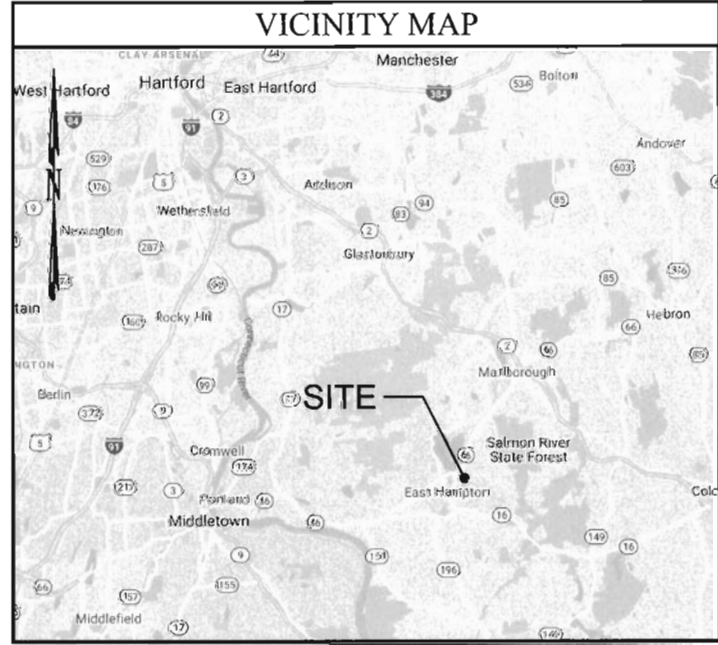
PROPOSED 250-FT MONOPOLE

SITE NAME
RICHARD WALL

SITE ID
BU# 876352

SITE COORDINATES
41° 34' 56.92" N, 72° 29' 35.29" W

SITE ADDRESS
8 1/2 LAKEVIEW STREET
EAST HAMPTON, CT 06424



DIRECTIONS
FROM THE BRADLEY INTERNATIONAL AIRPORT, WINDSOR LOCKS, CT

HEAD SOUTHWEST AND TAKE THE RAMP TO BRADLEY INTERNATIONAL AIRPORT CON (0.3 MILES). CONTINUE ONTO BRADLEY INTERNATIONAL AIRPORT CON (1.2 MILES). CONTINUE ONTO CT-20 E/BRADLEY INTERNATIONAL AIRPORT CON (2.6 MILES). USE THE RIGHT 2 LANES TO MERGE ONTO I-91 S TOWARD HARTFORD (9.8 MILES). USE THE LEFT LANE TO TAKE EXIT 30 FOR INTERSTATE 84 E TOWARD CT-2/EAST HAMPTON/NEW LONDON (0.2 MILES). MERGE ONTO I-84 E (0.5 MILES). TAKE EXIT 55 FOR CT-2 E TOWARD NORWICH/NEW LONDON/I-84 E (0.4 MILES). CONTINUE ONTO CT-2 E (14.3 MILES). TAKE EXIT 13 FOR CT-66 TOWARD WILLIMANTIC/MARIBOROUGH (0.2 MILES). SLIGHT RIGHT ONTO CT-66 W (4.1 MILES). TURN LEFT ONTO CT-196 S (0.3 MILES). THE SITE WILL BE ON LEFT AT APPROX. COORDINATES 41° 34' 56.92" N, 72° 29' 35.29" W.

PREPARED FOR:

CROWN CASTLE
CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 416-2000

PREPARED BY:

DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27609
PHONE: (919) 342-8247

JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317
04/07/20

DRAWN BY:	BJW
CHECKED BY:	WRB
APPROVED:	BJW
PROJECT NO.:	180728

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
11-30-19	PRELIM ZDS	0	BJW
12-16-19	FINAL ZDS	1	BJW
04-07-20	FINAL ZDS	2	BJW

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR CAUSING TO BE REPRODUCED THE WHOLE OR ANY PART OF THESE DRAWINGS WITHOUT THE PERMISSION OF THE DELTA OAKS GROUP, LLC IS PROHIBITED.

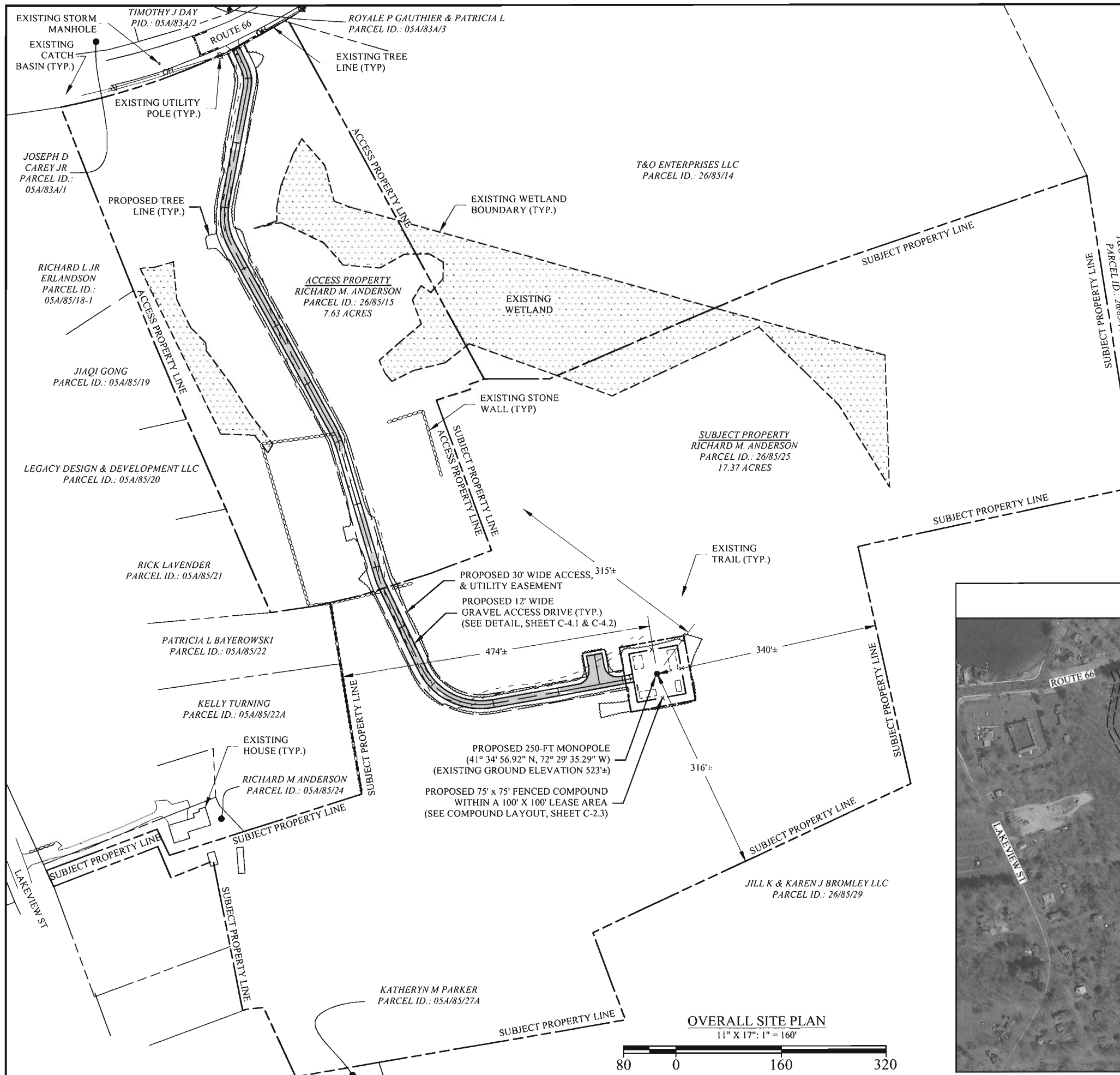
SITE NAME:
RICHARD WALL

SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

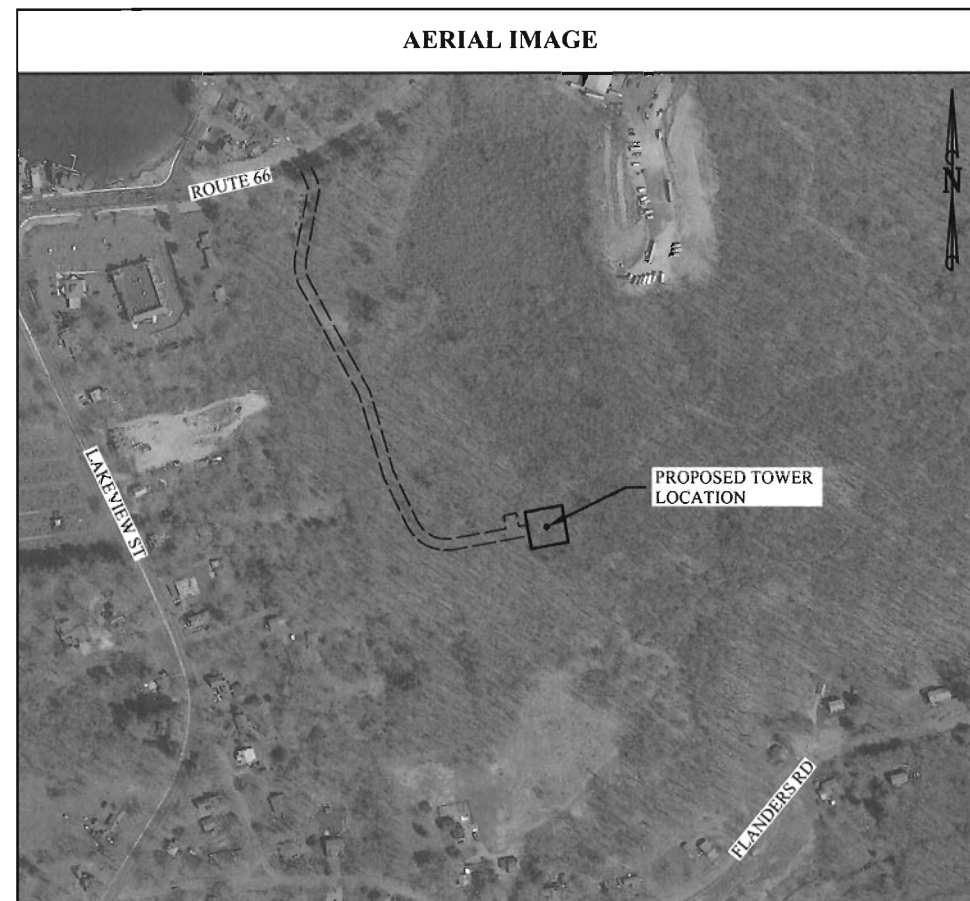


LEGEND

---	PROPERTY LINE/ROW
---	PROPOSED EASEMENT
---	PROPOSED LEASE AREA
-x-x-	EXISTING FENCE
-x-x-	PROPOSED FENCE
---	ROADWAY CENTERLINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
UE	UNDERGROUND ELECTRIC LINE

SITE PLAN NOTES:

1. SEE GENERAL NOTES SHEET GN-1.
2. EXISTING TOPOGRAPHIC, UTILITY PLANIMETRIC AND BOUNDARY INFORMATION IS TAKEN FROM ALTA SURVEY DRAWING ENTITLED "RICHARD WALL", BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING.
3. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE PROPOSED EQUIP. & TOWER AREA.
4. VEGETATED AREAS DISTURBED BY THE WORK OF THIS PROJECT SHALL BE GRADED TO UNIFORM SLOPE, FERTILIZED, SEED, AND STABILIZED AS SPECIFIED.
5. AUTHORIZATION FOR WORK WITHIN PUBLIC R.O.W. SHALL BE OBTAINED BY THE CONTRACTOR.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONFORMANCE WITH CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
7. THE PROPOSED PROJECT WILL NOT RESULT IN A SIGNIFICANT AREA OF DISTURBANCE AND WILL NOT SIGNIFICANTLY INCREASE STORM WATER RUNOFF.
8. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
9. THE SITE WILL GENERATE APPROX. 4 TRIPS PER MONTH BY TECHNICIANS PERFORMING ROUTINE MAINTENANCE.
10. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION. THERE IS NO HANDICAP ACCESS REQUIRED.
11. THE FACILITY DOES NOT REQUIRE WATER OR SANITARY SEWER SERVICE.
12. WETLAND BOUNDARY SHOWN BASED ON DELINEATION AND SURVEY PROVIDED BY ALL-POINTS TECHNOLOGY CORPORATION.
13. THE PROPOSED TOWER LEASE AREA IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FIRM#09007C0155G WITH EFFECTIVE DATE OF AUGUST 28, 2008.

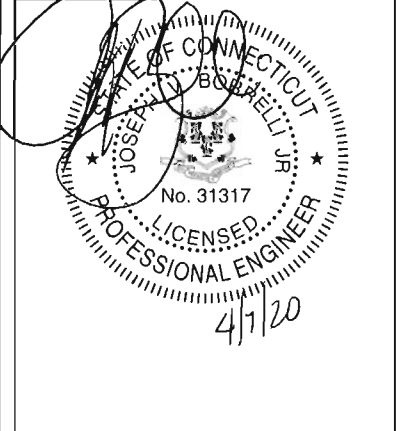


PREPARED FOR:

CROWN CASTLE
 CROWN CASTLE USA, INC.
 2000 CORPORATE DRIVE
 CANONSBURG, PA 15317
 PHONE: (724) 416-2000

PREPARED BY:

DELTA OAKS GROUP
 4904 PROFESSIONAL COURT, 2ND FLOOR
 RALEIGH, NC 27609
 PHONE: (919) 342-8247



JOSEPH V. BORRELLI JR., P.E.
 CONNECTICUT LICENSE NO. 31317

DRAWN BY: BJW
 CHECKED BY: WRB
 APP'D: MLL
 PROJECT NO: 15-03255

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
11-20-19	PRELIM ZDS	0	BJW
12-16-19	FINAL ZDS	1	BJW
04-07-20	FINAL ZDS	2	BJW

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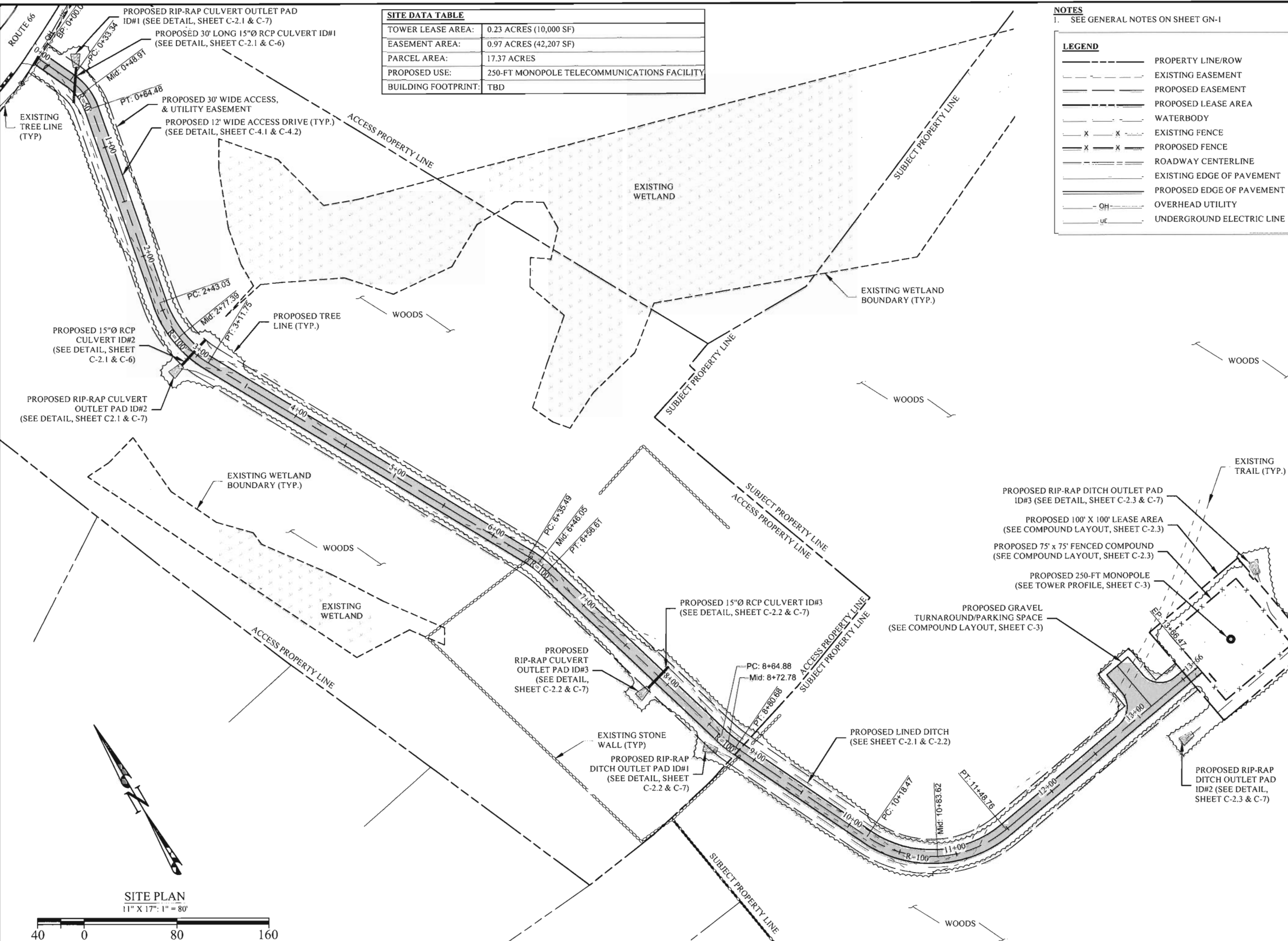
SITE NAME:
 RICHARD WALL

SITE ADDRESS:
 8 1/2 LAKEVIEW ST.
 EAST HAMPTON, CT 06424

SITE ID:
 BU# 876352

SHEET TITLE
 OVERALL SITE PLAN
 (NEW LOCATION)

SHEET NUMBER
 C-1.1



SITE DATA TABLE	
TOWER LEASE AREA:	0.23 ACRES (10,000 SF)
EASEMENT AREA:	0.97 ACRES (42,207 SF)
PARCEL AREA:	17.37 ACRES
PROPOSED USE:	250-FT MONOPOLE TELECOMMUNICATIONS FACILITY
BUILDING FOOTPRINT:	TBD

NOTES
1. SEE GENERAL NOTES ON SHEET GN-1

LEGEND

- PROPERTY LINE/ROW
- - - - - EXISTING EASEMENT
- - - - - PROPOSED EASEMENT
- - - - - PROPOSED LEASE AREA
- WATERBODY
- x - x - EXISTING FENCE
- x - x - PROPOSED FENCE
- ROADWAY CENTERLINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- OH - OVERHEAD UTILITY
- UE - UNDERGROUND ELECTRIC LINE

PREPARED FOR:

CROWN CASTLE
CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 416-2000

PREPARED BY:

DELTA OAKS
DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27609
PHONE: (919) 342-8247

JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

4/1/20

04/07/20

JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

DRAWN BY: BJW
CHECKED BY: WJG
APPROVED: SJL
PROJECT NO: 18-03258

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
12-16-19	FINAL ZD	1	BJW
04-07-20	FINAL ZD	2	BJW

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SITE NAME:
RICHARD WALL

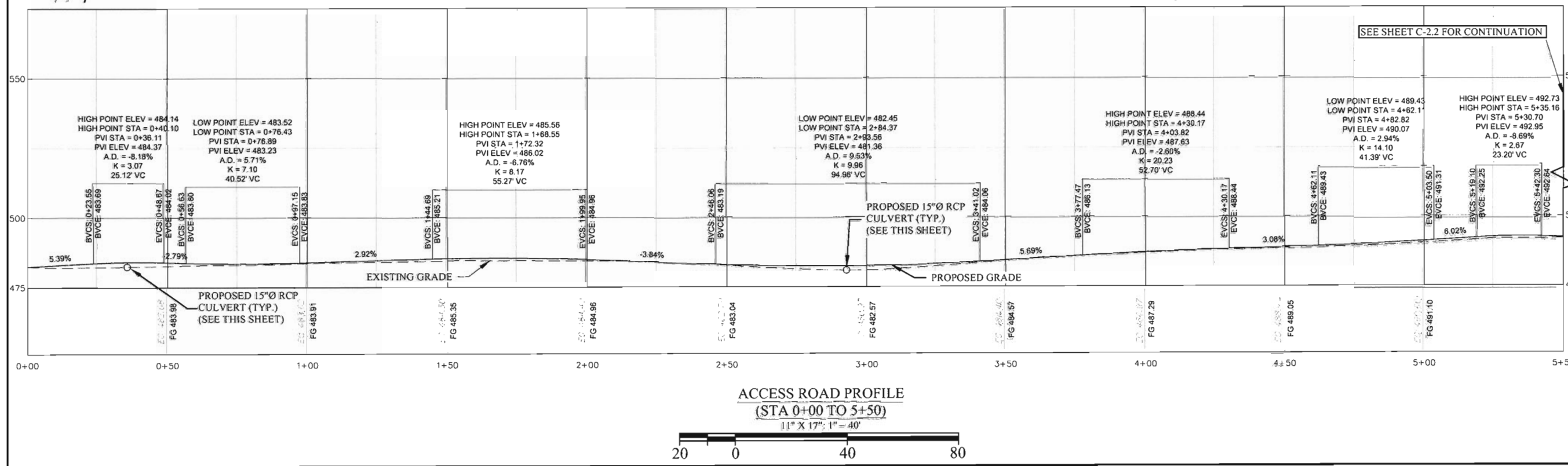
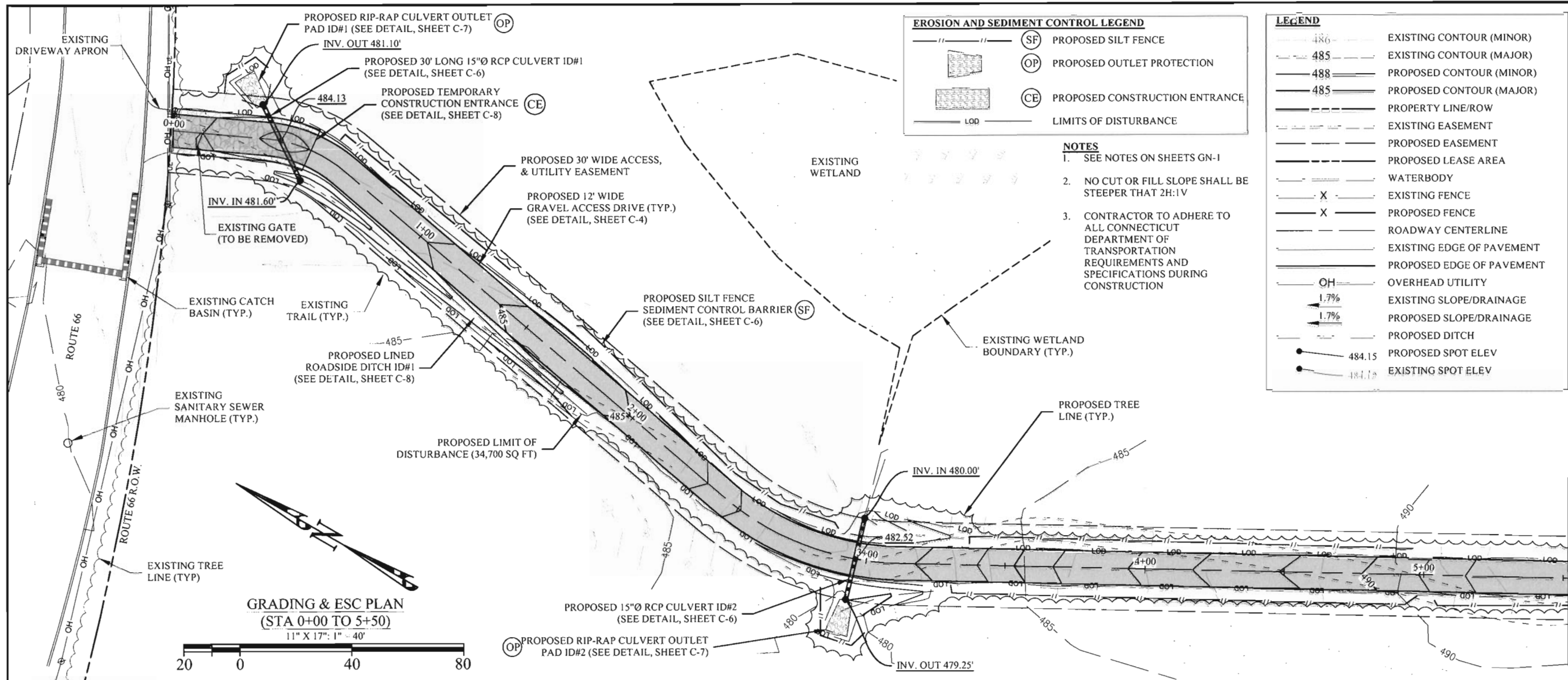
SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 879352

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-1.2





PREPARED FOR:
CROWN CASTLE
CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 416-2000

PREPARED BY:
DELTA OAKS
DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27809
PHONE: (919) 342-8247

JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317
No. 31317
PROFESSIONAL ENGINEER
4/1/20

04/07/20

DRAWN BY: JWW
CHECKED BY: RJP
APP'D: MLL
PROJECT NO: 0603258

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
11-20-19	PROLOG	1	JWW
12-16-19	FINAL ZD	1	BJW
04-07-20	FINAL ZD	2	BJW

4/1 INFORMATION CONTAINED ON THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. REPRODUCTION OR CAUSING TO BE REPRODUCED THE WHOLE OR ANY PART OF THESE DRAWINGS WITHOUT THE PERMISSION OF THE DELTA OAKS GROUP IS PROHIBITED.

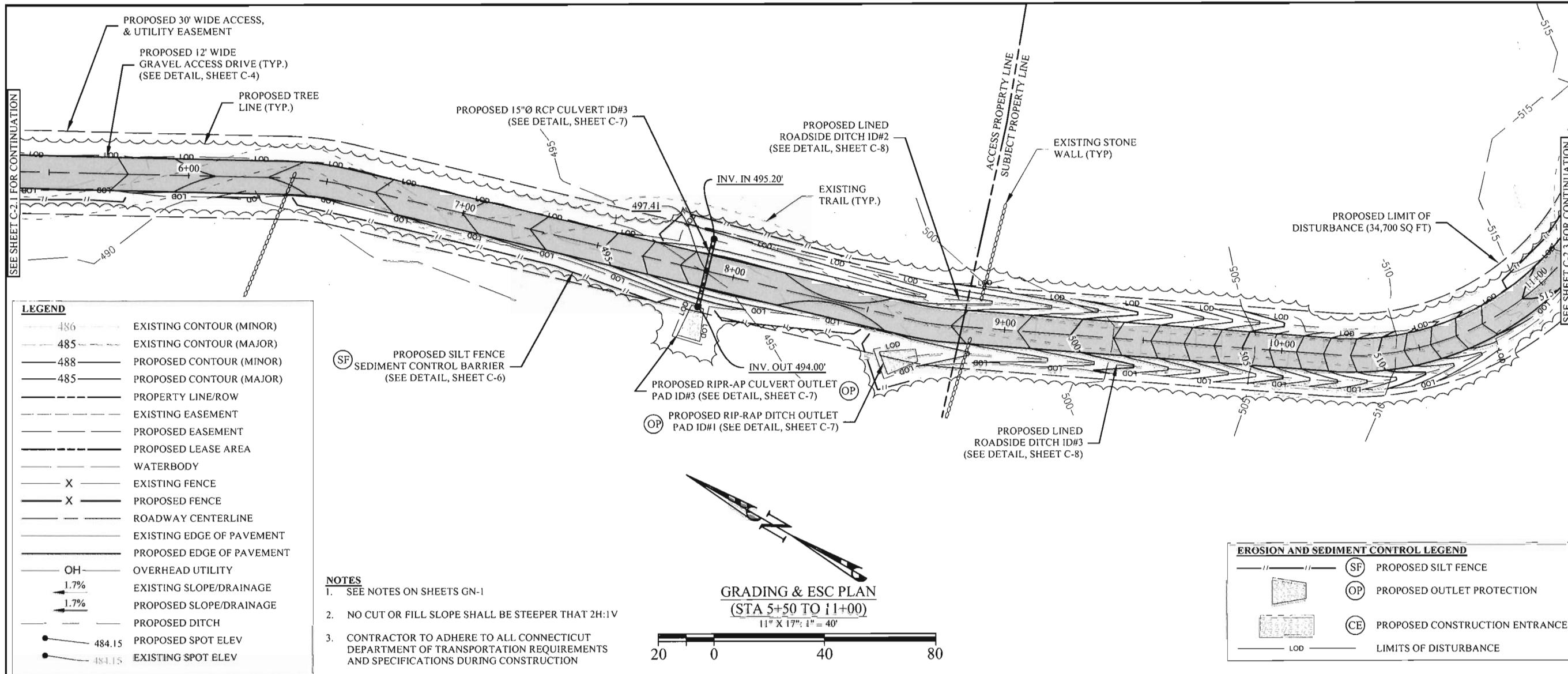
SITE NAME:
RICHARD WALL

SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 076352

SHEET TITLE
GRADING AND EROSION CONTROL PLAN

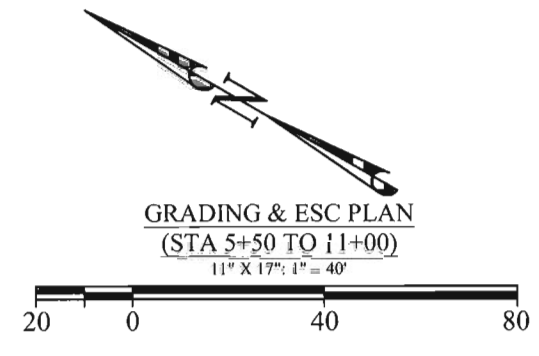
SHEET NUMBER
C-2.1



LEGEND

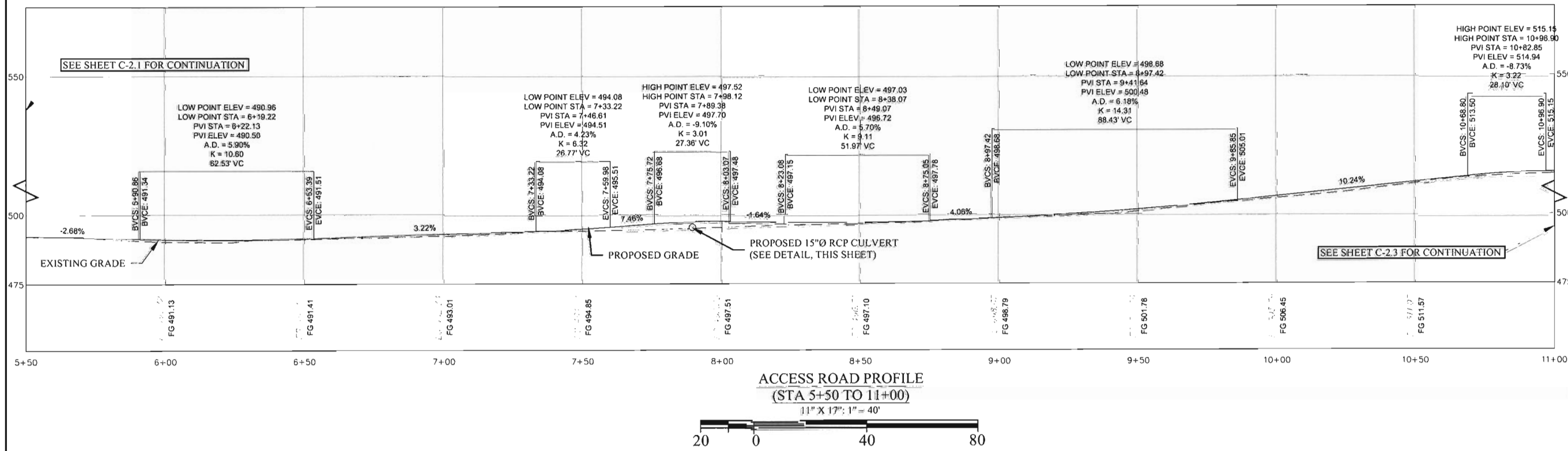
486	EXISTING CONTOUR (MINOR)
485	EXISTING CONTOUR (MAJOR)
488	PROPOSED CONTOUR (MINOR)
485	PROPOSED CONTOUR (MAJOR)
---	PROPERTY LINE/ROW
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	PROPOSED LEASE AREA
---	WATERBODY
X	EXISTING FENCE
X	PROPOSED FENCE
---	ROADWAY CENTERLINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
1.7%	EXISTING SLOPE/DRAINAGE
1.7%	PROPOSED SLOPE/DRAINAGE
---	PROPOSED DITCH
●	PROPOSED SPOT ELEV
●	EXISTING SPOT ELEV

- NOTES**
- SEE NOTES ON SHEETS GN-1
 - NO CUT OR FILL SLOPE SHALL BE STEEPER THAN 2H:1V
 - CONTRACTOR TO ADHERE TO ALL CONNECTICUT DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND SPECIFICATIONS DURING CONSTRUCTION



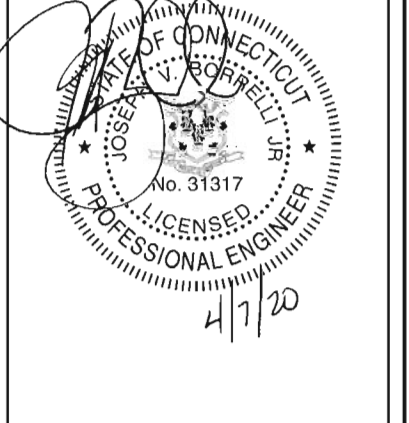
EROSION AND SEDIMENT CONTROL LEGEND

---	(SF)	PROPOSED SILT FENCE
---	(OP)	PROPOSED OUTLET PROTECTION
---	(CE)	PROPOSED CONSTRUCTION ENTRANCE
---	LOD	LIMITS OF DISTURBANCE



PREPARED FOR:
CROWN CASTLE
CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 416-2000

PREPARED BY:
DELTA OAKS
DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27609
PHONE: (919) 342-8247



JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

DRAWN BY:	HW
CHECKED BY:	SW
APP'D BY:	ML
PROJECT NO.:	18-0358

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
11-20-19	PRELIM CD	0	BJW
12-16-19	FINAL CD	1	BJW
04-07-20	FINAL CD	2	BJW

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SITE NAME:
RICHARD WALL

SITE ADDRESS:
802 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

SHEET TITLE
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER
C-2.2

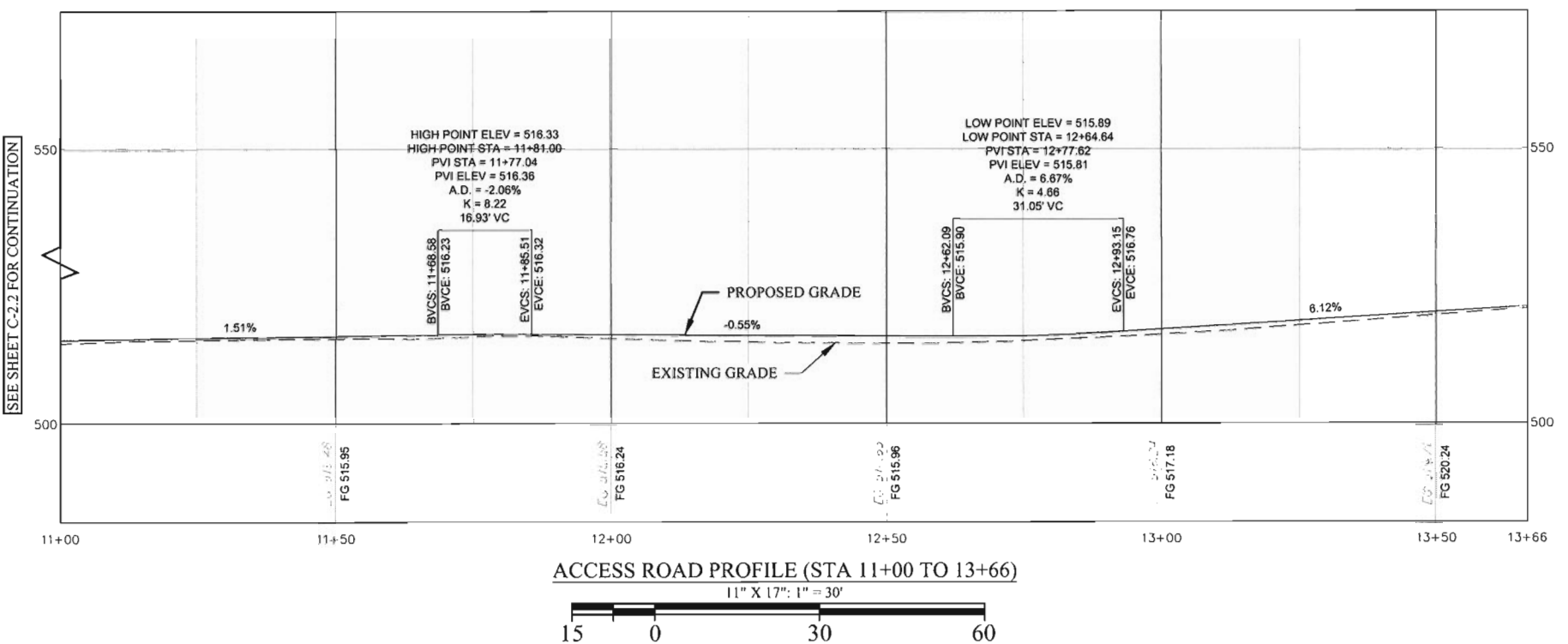
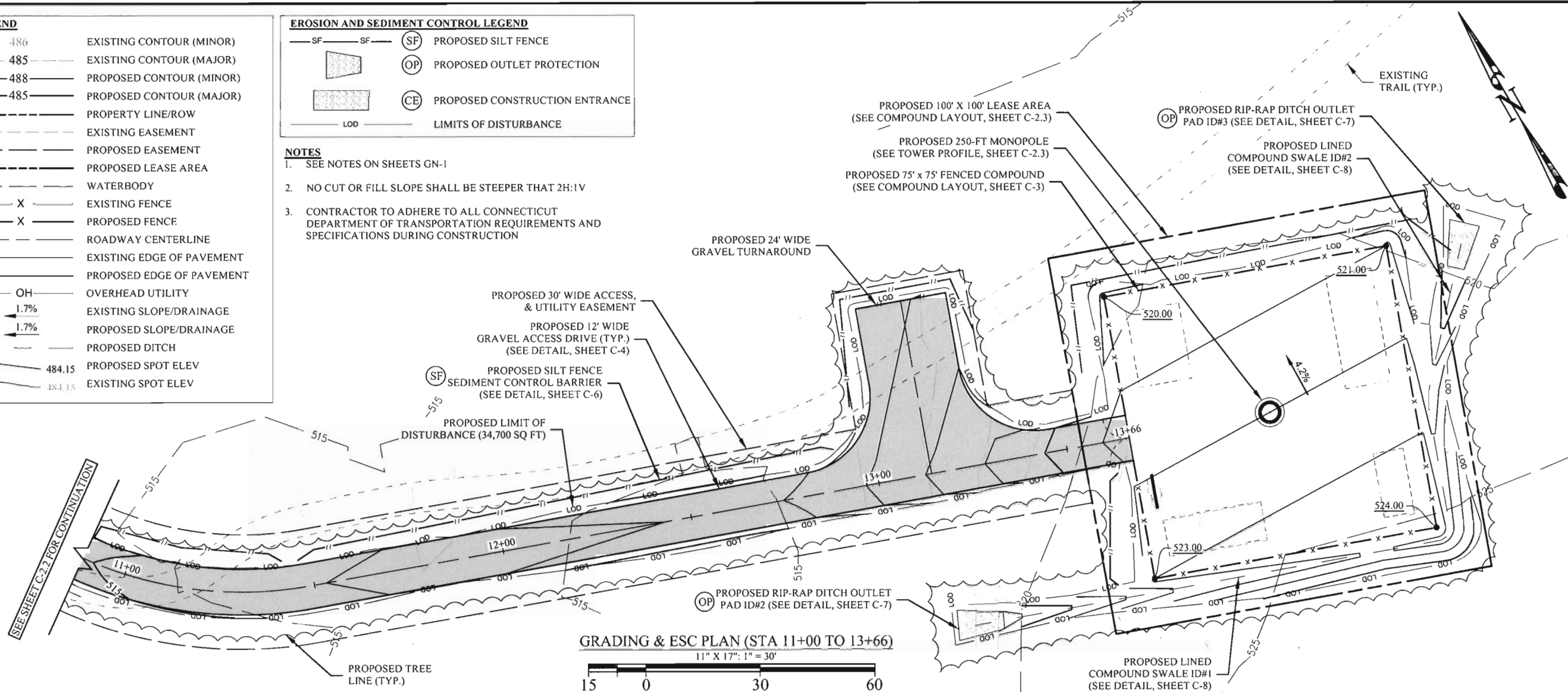
LEGEND

486	EXISTING CONTOUR (MINOR)
485	EXISTING CONTOUR (MAJOR)
488	PROPOSED CONTOUR (MINOR)
485	PROPOSED CONTOUR (MAJOR)
---	PROPERTY LINE/ROW
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
---	PROPOSED LEASE AREA
---	WATERBODY
X	EXISTING FENCE
X	PROPOSED FENCE
---	ROADWAY CENTERLINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
1.7%	EXISTING SLOPE/DRAINAGE
1.7%	PROPOSED SLOPE/DRAINAGE
---	PROPOSED DITCH
484.15	PROPOSED SPOT ELEV
484.15	EXISTING SPOT ELEV

EROSION AND SEDIMENT CONTROL LEGEND

SF	PROPOSED SILT FENCE
OP	PROPOSED OUTLET PROTECTION
CE	PROPOSED CONSTRUCTION ENTRANCE
LOD	LIMITS OF DISTURBANCE

- NOTES**
- SEE NOTES ON SHEETS GN-1
 - NO CUT OR FILL SLOPE SHALL BE STEEPER THAN 2H:1V
 - CONTRACTOR TO ADHERE TO ALL CONNECTICUT DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND SPECIFICATIONS DURING CONSTRUCTION



PREPARED FOR:
CROWN CASTLE
CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 418-2000

PREPARED BY:
DELTA OAKS GROUP
DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27609
PHONE: (919) 342-8247



JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

04/07/20

DRAWN BY:	BJW
CHECKED BY:	WRH
APPROVED:	MLL
PROJECT NO.:	18-03258

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY
11-20-19	PRELIM ZDS	0	BJW
12-16-19	FINAL ZDS	1	BJW
04-07-20	FINAL ZDS	2	BJW

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SITE NAME:
RICHARD WALL

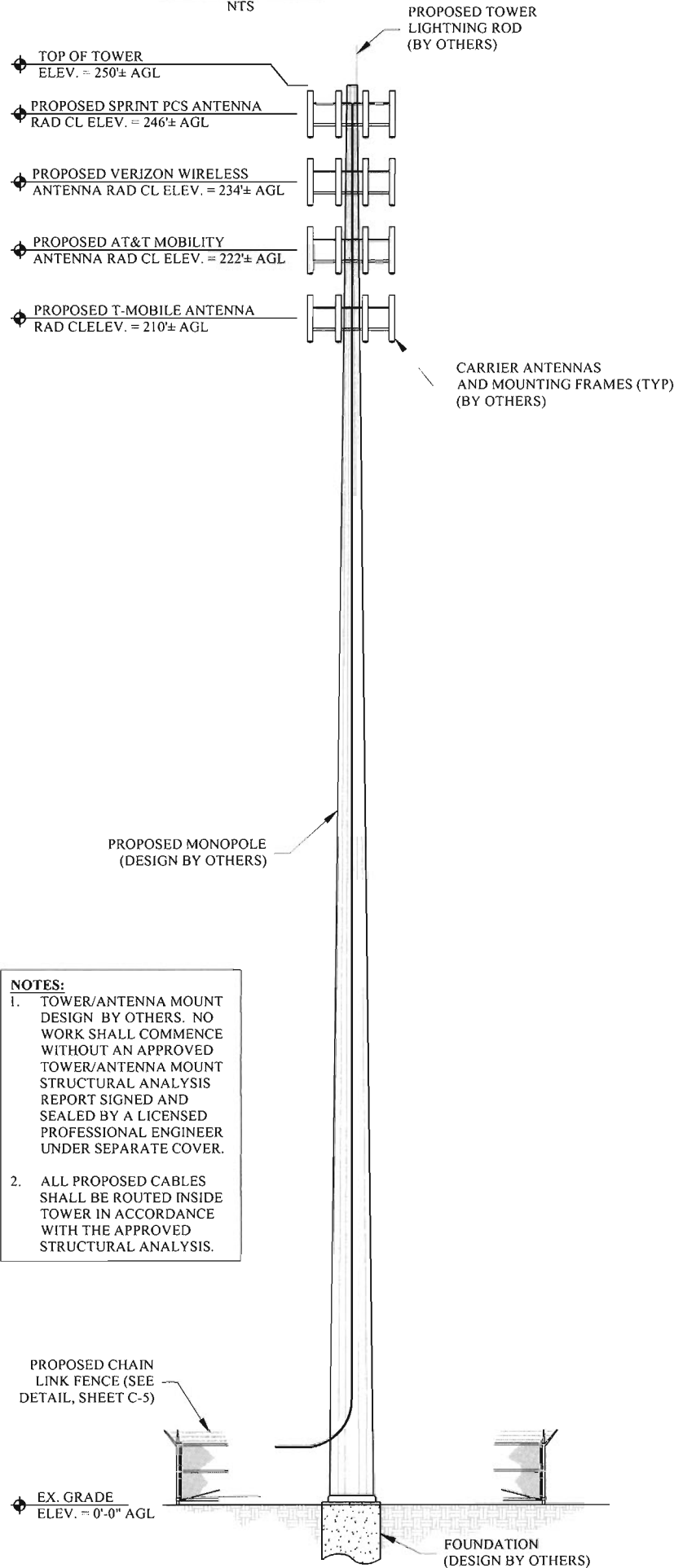
SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

SHEET TITLE
GRADING AND EROSION CONTROL PLAN

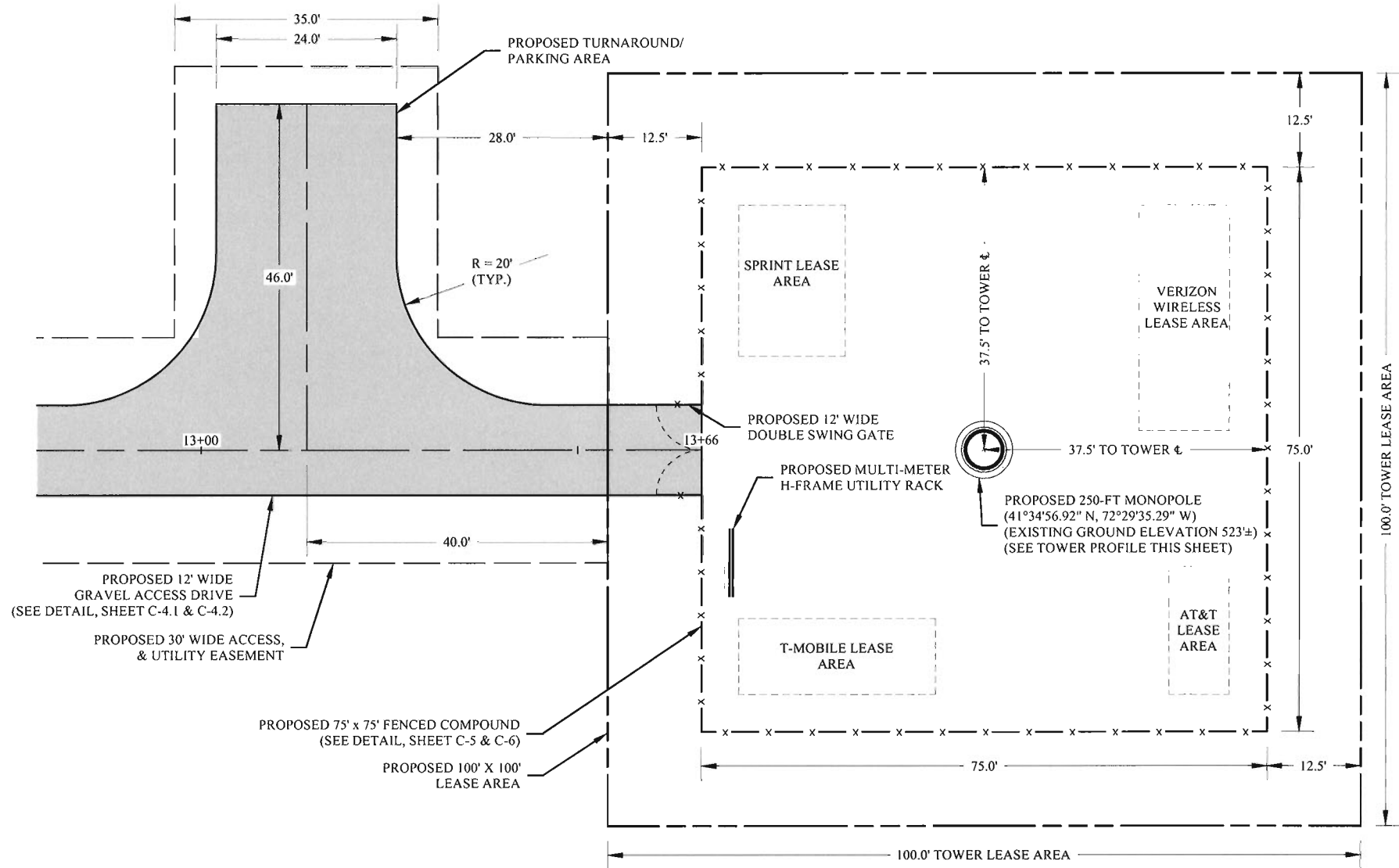
SHEET NUMBER
C-2.3

TOWER PROFILE
NTS



NOTES:

- TOWER/ANTENNA MOUNT DESIGN BY OTHERS. NO WORK SHALL COMMENCE WITHOUT AN APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER UNDER SEPARATE COVER.
- ALL PROPOSED CABLES SHALL BE ROUTED INSIDE TOWER IN ACCORDANCE WITH THE APPROVED STRUCTURAL ANALYSIS.

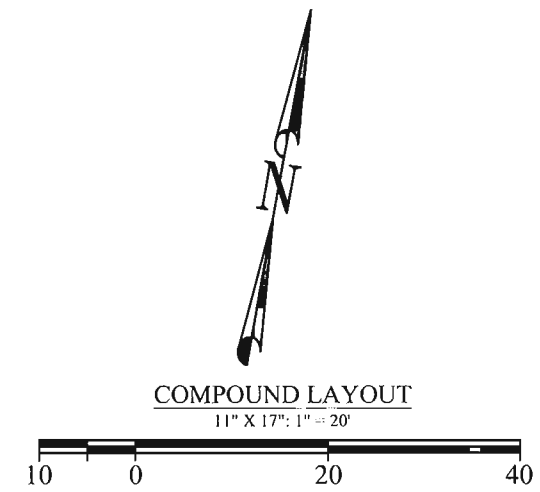


NOTES

- SEE GENERAL NOTES ON SHEET GN-1

LEGEND

---	PROPERTY LINE/ROW
- - -	EXISTING EASEMENT
- - -	PROPOSED EASEMENT
- - -	PROPOSED LEASE AREA
---	WATERBODY
- x - x -	EXISTING FENCE
- x - x -	PROPOSED FENCE
---	ROADWAY CENTERLINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY



PREPARED FOR:

CROWN CASTLE

CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 416-2000

PREPARED BY:

DELTA OAKS GROUP

DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27609
PHONE: (919) 342-8247

Professional Engineer Seal for Joseph V. Borrelli Jr., P.E., Connecticut License No. 31317, dated 4/7/20.

JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

04/07/20

DRAWN BY:	BJW
CHECKED BY:	WRH
APP'D:	MLI
PROJECT NO:	18-03258

SUBMITTALS

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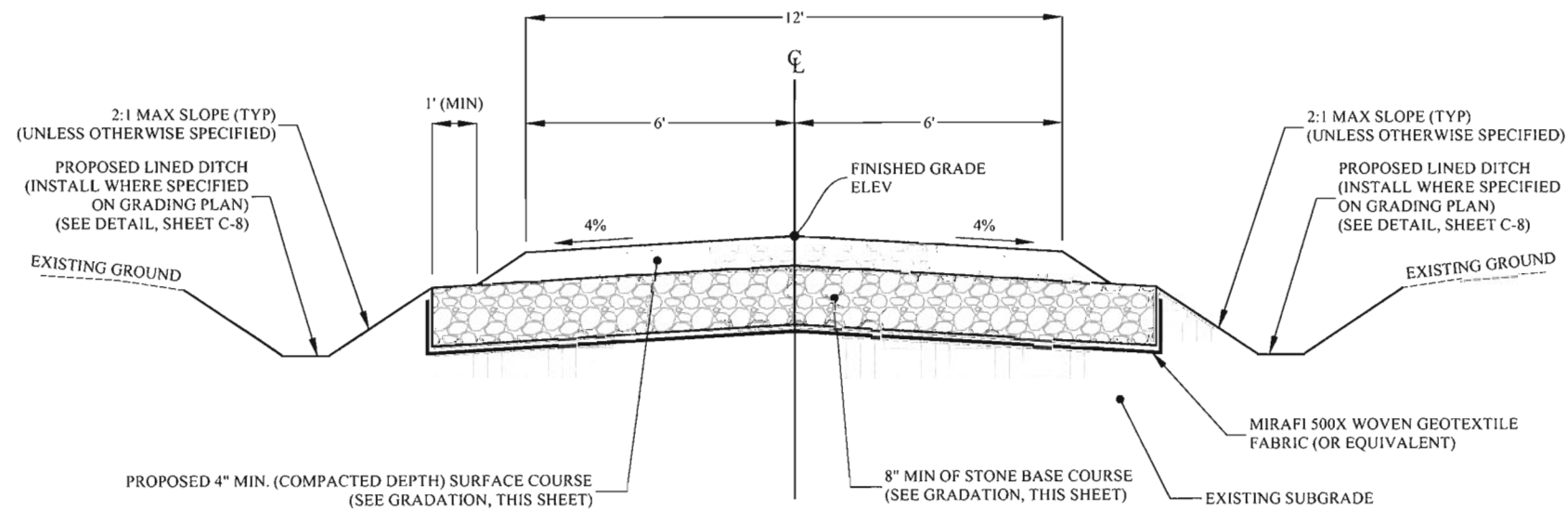
SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

SHEET TITLE
TOWER PROFILE & COMPOUND LAYOUT

SHEET NUMBER
C-3

TYPICAL NORMAL CROWN ACCESS ROAD SECTION



NOTES

1. REMOVE ALL TOPSOIL, ORGANIC MATERIAL, AND WET OR POOR SOILS ALONG ACCESS DRIVE. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL (IF AVAILABLE). IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 12", CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.
2. SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR AND VERIFIED BY PROBE-ROLL AND/OR GEOTECHNICAL PROFESSIONAL OBSERVATION AND/OR TESTING.
3. CONSULT GRADING PLAN OR SITE PLAN FOR FINAL SITE GRADES.

ROADBED, GRAVEL COURSE, AND SUBGRADE REQUIREMENTS

1. THICKNESS OF GRAVEL DRIVE BASE COURSE TO BE DETERMINED BASED ON THE EXISTING SOIL BEARING CAPACITY (PER UFC DESIGN RECOMMENDATIONS):

BEARING CAPACITY (PSF)	TOTAL AGGREGATE THICKNESS (IN)
1000	16
1500	12
2000	8

5' HIGH PERFORMANCE, WOVEN GEOTEXTILE FABRIC MAY BE USED TO REPLACE UP TO 50%, OR 6" OF AGGREGATE THICKNESS, WHICHEVER IS LESS (MINIMUM 270 OR EQUIVALENT) FOR SITES WITH POOR SOILS. THE EQUIVALENT AGGREGATE THICKNESS SHOULD BE DETERMINED FROM THE GEOTECHNICAL REPORT OR FROM SITE SPECIFIC CALCULATIONS.

2. IF POOR OR WET SOILS ARE PRESENT BELOW BASE COURSE, CONTRACTOR TO INSTALL 6" MIN. WELL-GRADED GRAVEL SAND SUB-BASE TO FACILITATE ADEQUATE DRAINAGE AND STABILITY.
3. CONSULT GEOTECHNICAL REPORT (AS AVAILABLE) FOR ANTICIPATED SOIL CONDITIONS.
4. AGGREGATE LAYER GRADATIONS SHALL BE AS FOLLOWS:

REQUIREMENT SIEVE	AGGREGATE BASE COURSE % PASSING	GRAVEL SURFACE COURSE % PASSING
2.5"	-	-
3"	100	-
4.5"	-	-
4"	-	-
3/4"	52-100	100
1 1/2"	-	-
3/8"	36-70	-
No. 4	24-59	50-78
No. 8	16-38	37-67
No. 16	9-30	-
No. 40	-	15-35
No. 200	0-10	4-15
PLASTICITY INDEX	0-6	4-2

NOTES FOR IMPROVEMENTS TO EXISTING GRAVEL ROADS

1. PRIOR TO PLACEMENT OF ADDITIONAL SURFACE OR BASE MATERIAL, EXISTING GRAVEL AND GRUNT ROADS SHALL BE ESCAVATED AND RESHAPED AS NECESSARY TO REMOVE DEPRESSIONS, POTHOLES, EROSION, RUTTING, WASHBOARDS, OR OTHER SURFACE IRREGULARITIES IN ORDER TO RESTORE THE SPECIFIED ROADWAY SECTION (NORMAL CROWN, SUPER-SLOPED, ETC.).
2. EXISTING ROADWAY SURFACE SHALL BE SCARIFIED PRIOR TO PLACEMENT OF NEW MATERIAL IN ORDER TO ENSURE A SUFFICIENT BOND.
3. FOR AREAS WHERE PAVEMENT IS REMOVED TO CONSTRUCT THE ACCESS ROAD, ALL EXISTING PAVEMENT AND AGGREGATE LAYERS SHALL BE REMOVED, AND THE EXISTING SUBGRADE COMPACTED AND REWORKED AS NECESSARY TO PROVIDE THE COMPACTED AND SECTION REQUIREMENTS SPECIFIED HEREON OR AS THE ASSOCIATED GEOTECHNICAL REPORT, WHICHEVER IS MORE STRINGENT.

PREPARED FOR:

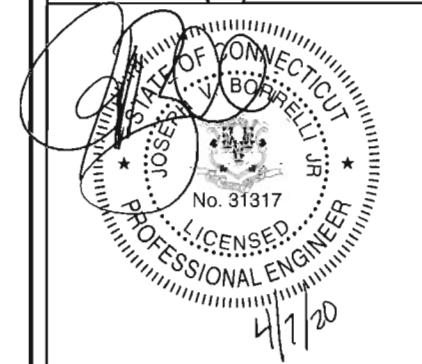


CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
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PHONE: (724) 418-2000

PREPARED BY:



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4904 PROFESSIONAL COURT, 2ND FLOOR
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JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

04/07/20

DRAWN BY: BJW
CHECKED BY: MRH
APP'D: MLL
PROJECT NO: 18-03258

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
11-20-19	FINAL ZDs	1	BJW
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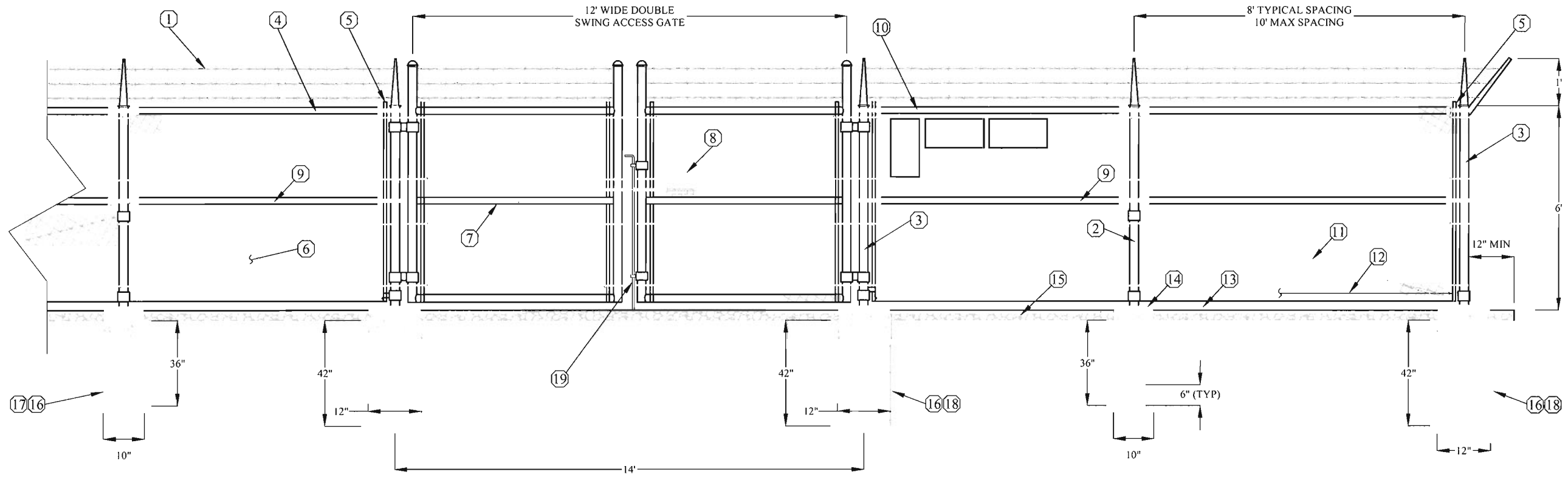
SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-4

COMPOUND FENCE

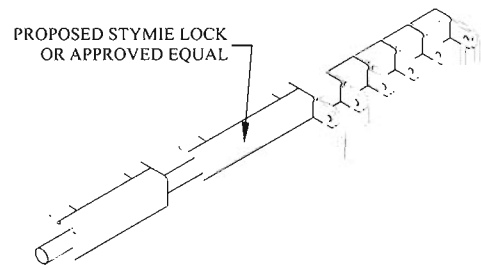


KEYNOTES:

- ① 3 STRANDS OF DOUBLE 12 1/2 GAUGE TWISTED STRAND WIRE, WITH 4 POINT 14 GAUGE BARBS SPACED 5" O.C.
- ② 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
- ③ 3" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER AND GATE POSTS (PER ASTM-F1083). IF GATE LEAF WIDTH GREATER THAN OR EQUAL TO 10-FT OR IF FENCE FABRIC EXTENDED OVER 6-FT AND GATE LEAF WIDTH OVER 6-FT, GATE POST SHALL BE 4" O.D. GALVANIZED STEEL SCHEDULE 40 (PER ASTM-F1083).
- ④ 1-5/8" O.D. SCHEDULE 40 ROUND TOP BRACE RAIL (PER ASTM-F1083)
- ⑤ STRETCHER BAR TO EXTEND FULL HEIGHT OF FENCE FABRIC. NOT LESS THAN 1 1/2" X 3/4" CROSS SECTION. PLACE ON ALL GATES AND POSTS
- ⑥ 9 GAUGE 1-1/2" X 1-1/2" ANTI-CLIMB MESH FENCE FABRIC (TO CONFORM TO ASTM-A392)
- ⑦ GATE FRAME BRACE
- ⑧ STYMIE LOCK OR OTHER APPROVED MULTI-TENANT LOCKING DEVICE
- ⑨ 1-5/8" DIAMETER POST BRACE (AS REQUIRED)
- ⑩ GATE SIGNS (SEE DETAIL, THIS SHEET)
- ⑪ 3/8" DIAGONAL BRACE ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD
- ⑫ 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- ⑬ MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE
- ⑭ PROVIDE CROWNED PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS
- ⑮ COMPOUND SECTION AND MATERIALS (SEE DETAIL, SHEET C-5)
CONCRETE PIER FOUNDATION: TO ACHIEVE A MINIMUM STRENGTH OF 5000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE AS SPECIFIED HEREIN, AS SPECIFIED BY MANUFACTURER, OR A MINIMUM OF 6" BELOW FROST LINE, WHICHEVER IS GREATER
- ⑯ LINE POST CONCRETE PIER FOUNDATION
- ⑰ CORNER GATE POST CONCRETE PIER FOUNDATION
- ⑱ COMMERCIAL GRADE DROP ROD AND CENTERSTOP (HOOVER FENCE OR EQUIV)

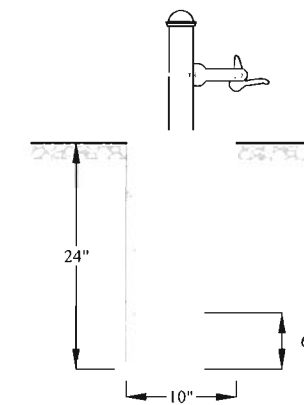
NOTES:

1. FENCE DESIGN AND INSTALLATION NOTES ARE INDUSTRY STANDARDS AND OR MINIMUM REQUIREMENTS AND ARE FOR GENERAL GUIDANCE ONLY. REFER TO MANUFACTURER'S RECOMMENDATIONS OF THE SPECIFIED PRODUCT AND APPLICABLE GOVERNING CODES FOR FULL INSTALLATION DETAILS. IN THE EVENT OF DISCREPANCIES, MANUFACTURER'S RECOMMENDATIONS OR APPLICABLE CODE SHALL GOVERN, WHICHEVER IS MORE STRINGENT.
2. ALL FENCING TO BE INSTALLED PER ASTM F-567. ALL SWING GATES TO BE INSTALLED PER ASTM F-900.
3. BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A129 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.
5. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.
6. ALL SIGNS AND SIGN PLACEMENT SHALL ADHERE TO THE REQUIREMENTS OF OSHA 1910.145 AND 1910.200 AND ALL APPLICABLE FCC CODES
7. DROP ROD AND CENTERSTOP REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR GATE LOCK.



GATE SIGNS

GATE KEEPER



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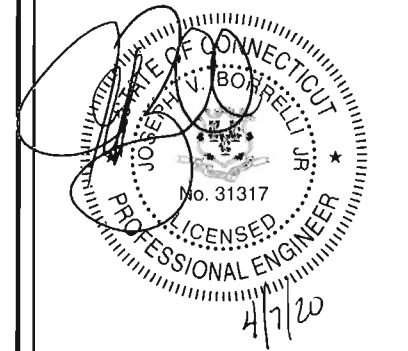


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PREPARED BY:



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JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317
04/07/20

DRAWN BY:	BJW
CHECKED BY:	WRH
APP'D:	M.L.
PROJECT NO:	18-03258

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
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12-16-19	FINAL ZDS	1	BJW
04-07-20	FINAL ZDS	2	BJW

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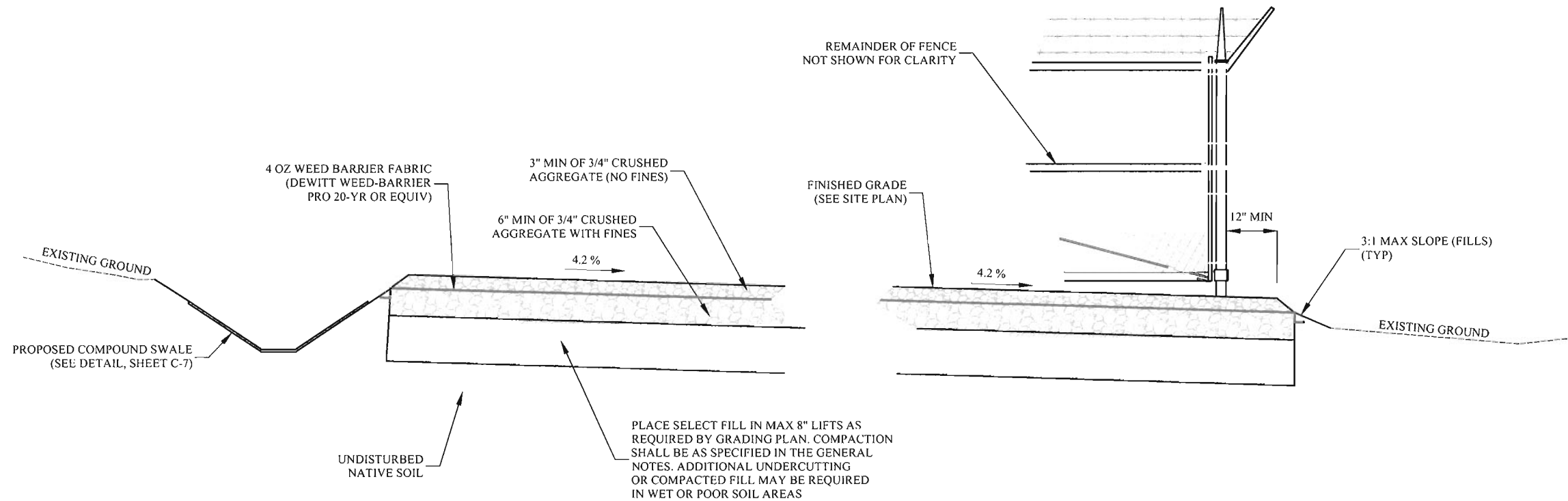
SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

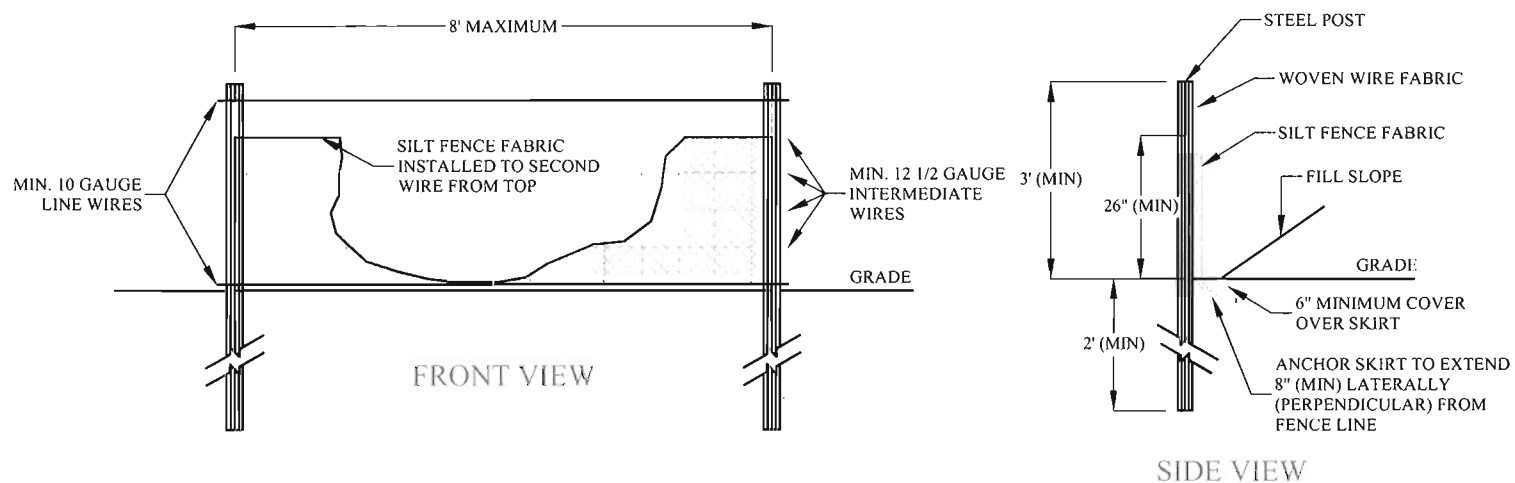
SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-5

COMPOUND SECTION



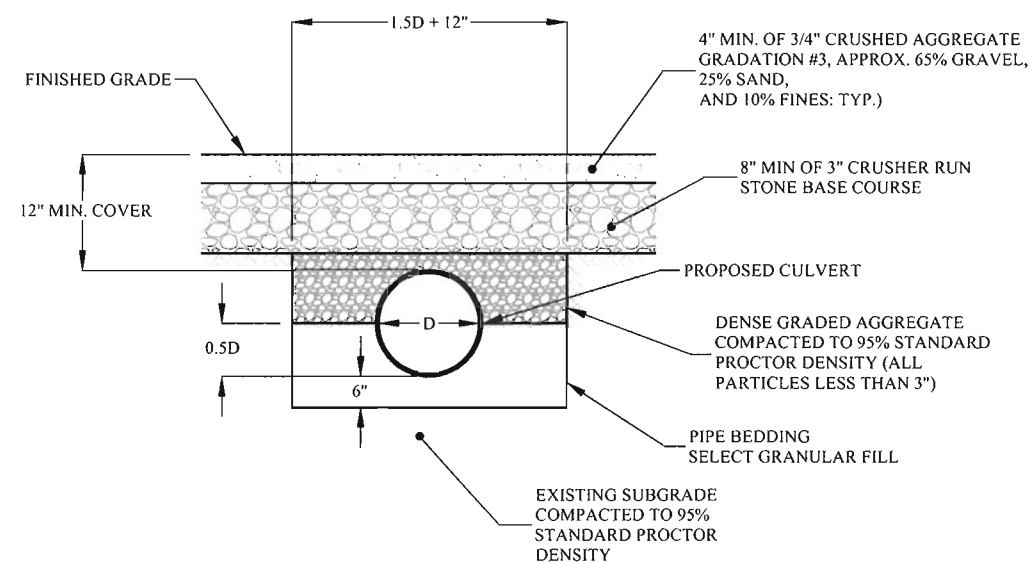
TEMPORARY SILT FENCE



NOTE:

- USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1.4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW

CULVERT TRENCH DETAIL (TRAFFIC AREAS)



NOTES:
BEDDING ZONE SHOULD BE FREE OF DEBRIS. PLACE BEDDING MATERIAL AT MIN. 6" THICKNESS.

PREPARED FOR:

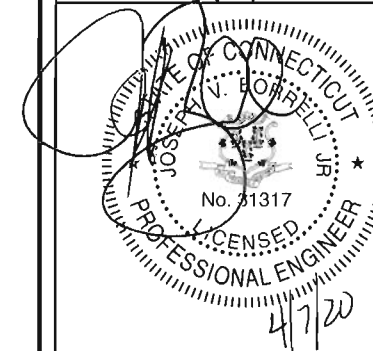


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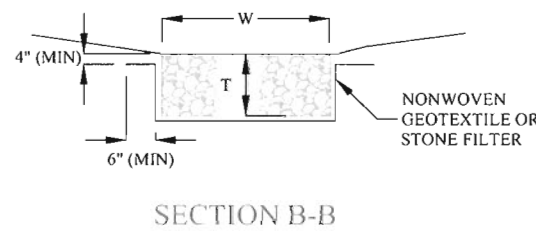
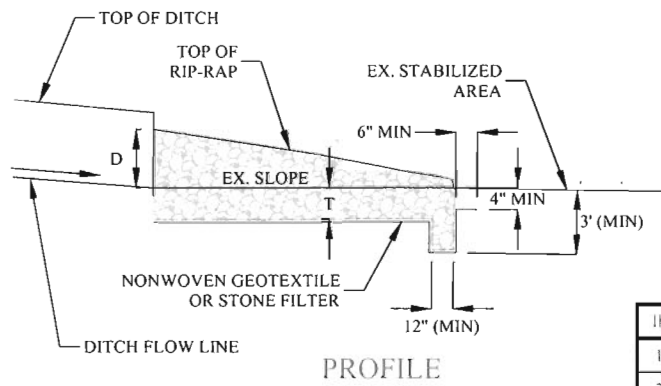
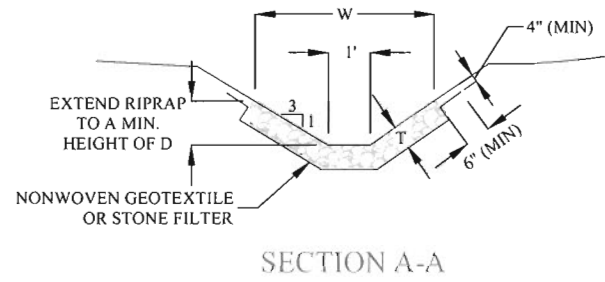
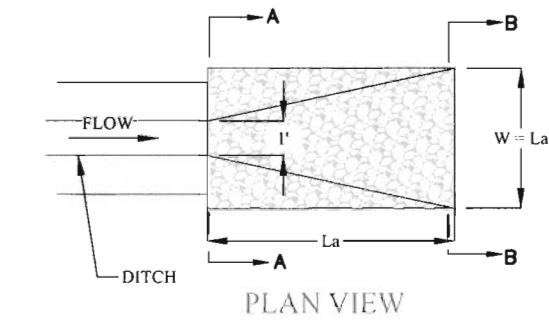
SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

C-6

**RIP-RAP OUTLET
(DISCHARGE FROM DITCH TO UNCONFINED AREA)**

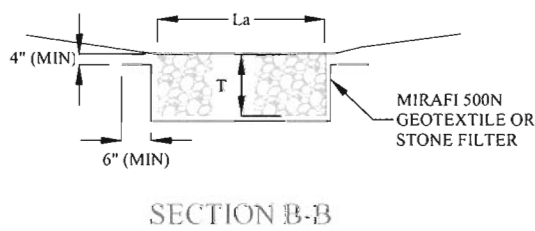
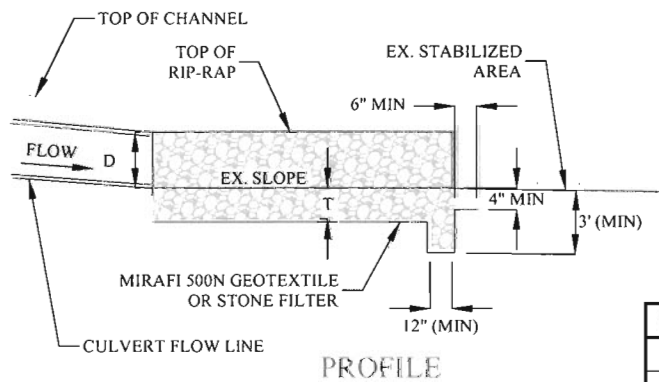
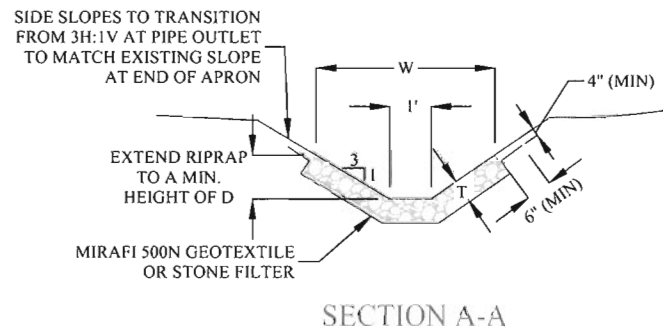
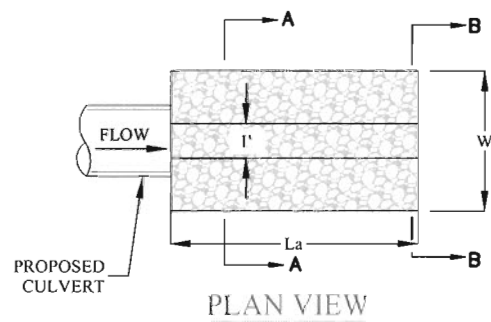


ID	D	La	W	T	RIP-RAP MATERIAL
1	1'	10'	10'	12"	D50 - 6 IN
2	1'	10'	10'	12"	D50 - 6 IN

CONSTRUCTION SPECIFICATIONS

- RIP-RAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.
- USE NONWOVEN GEOTEXTILE AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/8 TO 1/2 INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIP-RAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIP-RAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIP-RAP.
- THE THICKNESS SPECIFIED ABOVE IS MEASURED NORMAL TO THE UNDERLYING GROUND SLOPE AND SHALL BE MAINTAINED THROUGH THE ENTIRE LENGTH AND LATERAL EXTENTS OF THE RIP-RAP SECTION. IN NO CASE SHALL THE THICKNESS BE LESS THAN THE MAXIMUM STONE DIAMETER OF THE SPECIFIED RIP-RAP MATERIAL.
- CONSTRUCT RIP-RAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIP-RAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIP-RAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND DISLODGED RIP-RAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

**RIP-RAP OUTLET PROTECTION
(CULVERT DISCHARGE TO CONFINED AREA)**



ID	D	La	W	T	RIP-RAP MATERIAL
1	15"	10'	7'	12"	D50 - 6 IN
2	15"	10'	7'	12"	D50 - 6 IN
3	15"	10'	7'	12"	D50 - 6 IN

PREPARED FOR:

CROWN CASTLE
 CROWN CASTLE USA, INC.
 2000 CORPORATE DRIVE
 CANONSBURG, PA 15317
 PHONE: (724) 416-2000

PREPARED BY:

DELTA OAKS GROUP
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 PHONE: (919) 342-8247

STATE OF CONNECTICUT
 JOSEPH V. BORRELLI JR.
 No. 31317
 LICENSED PROFESSIONAL ENGINEER
 4/1/20

04/07/20
 JOSEPH V. BORRELLI JR., P.E.
 CONNECTICUT LICENSE NO. 31317

DRAWN BY: BJW
 CHECKED BY: WJB
 APP'D: SLL
 PROJECT NO: 18-04258

SUBMITTALS			
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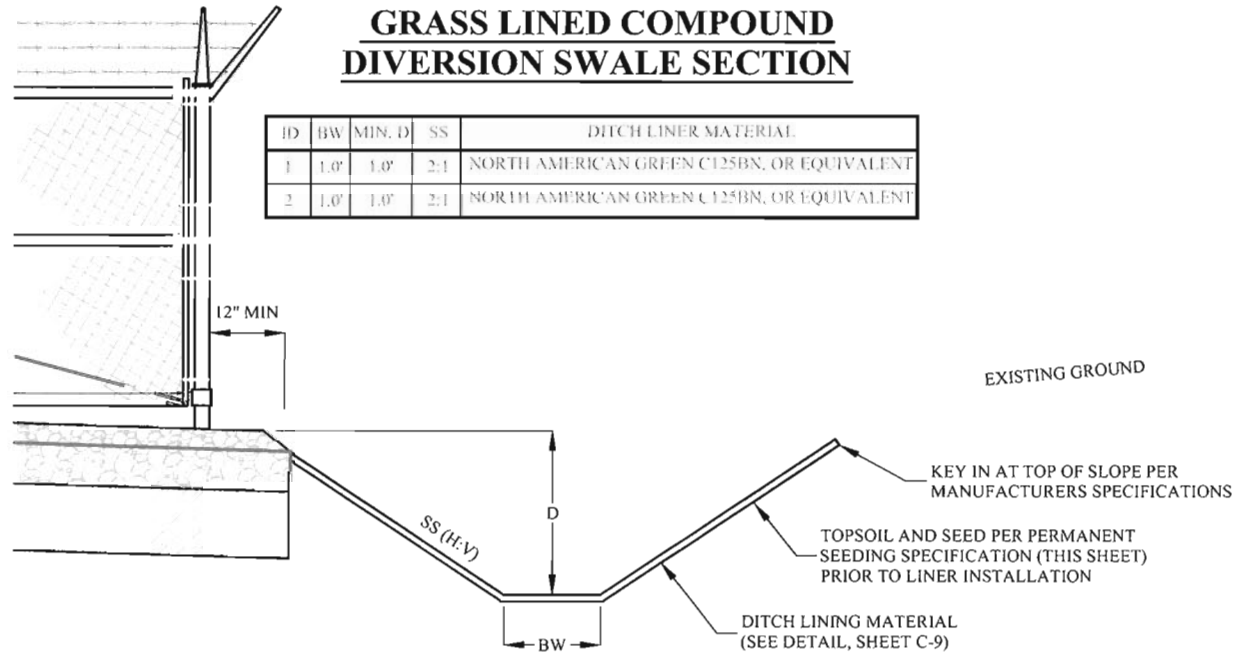
SITE ID:
 BU# 876352

SHEET TITLE
 CIVIL DETAILS

SHEET NUMBER
 C-7

GRASS LINED COMPOUND DIVERSION SWALE SECTION

ID	BW	MIN. D	SS	DITCH LINER MATERIAL
1	1.0'	1.0'	2:1	NORTH AMERICAN GREEN C125BN, OR EQUIVALENT
2	1.0'	1.0'	2:1	NORTH AMERICAN GREEN C125BN, OR EQUIVALENT



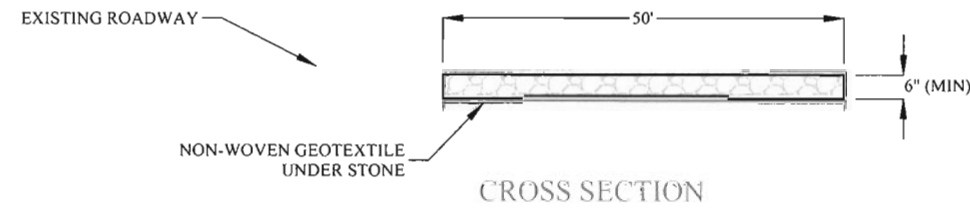
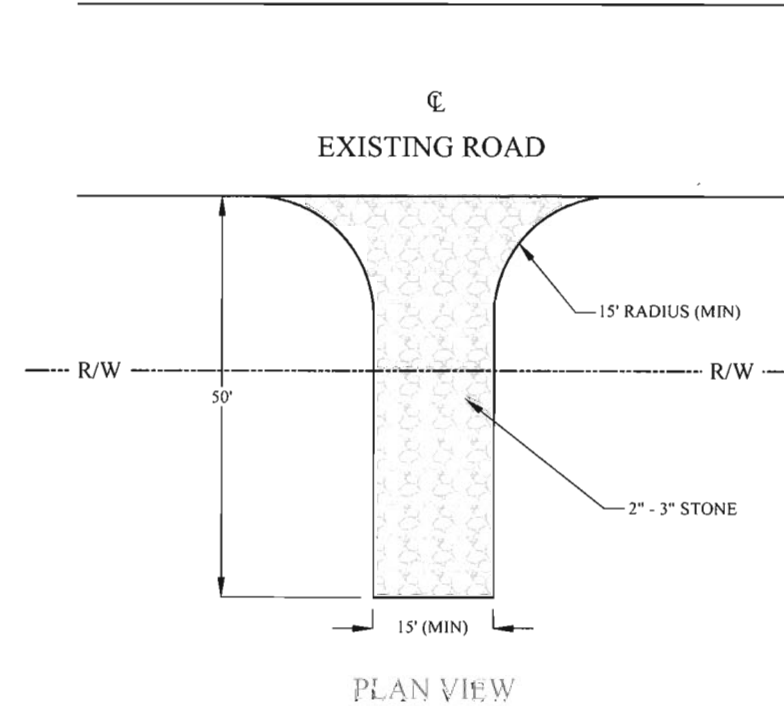
NOTES

1. REMOVE ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL FROM THE CHANNEL SECTION AND DISPOSE OF PROPERLY (THE CHANNEL SECTION SHOULD BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH OBSTRUCT NORMAL FLOW).
2. EXCAVATE AND SHAPE CHANNEL TO DIMENSIONS SHOWN ON PLANS. OVERCUT ENTIRE CHANNEL 0.3 FT TO ALLOW FOR BULKING DURING SEED BED PREPARATION AND GROWTH OF VEGETATION.
3. GRADE SITE AND ROAD SO THAT SURFACE WATER MAY ENTER THE CHANNEL FREELY. AVOID BERMING SOIL ALONG THE ADJACENT ROADWAY OR CUT SLOPE THAT WOULD PREVENT RUNOFF FROM ENTERING THE CHANNEL SECTION.
4. STABILIZE OUTLETS AND INSTALL SEDIMENT TRAPS AS NEEDED DURING CHANNEL INSTALLATION.
5. VEGETATE THE CHANNEL PER PERMANENT SEEDING SPECIFICATION IMMEDIATELY AFTER GRADING. SMOOTH SLOPES FACILITATE MAINTENANCE.
6. CONTRACTOR TO MAXIMIZE "BW" AS SPACE ALLOWS.

TEMPORARY CONSTRUCTION ENTRANCE

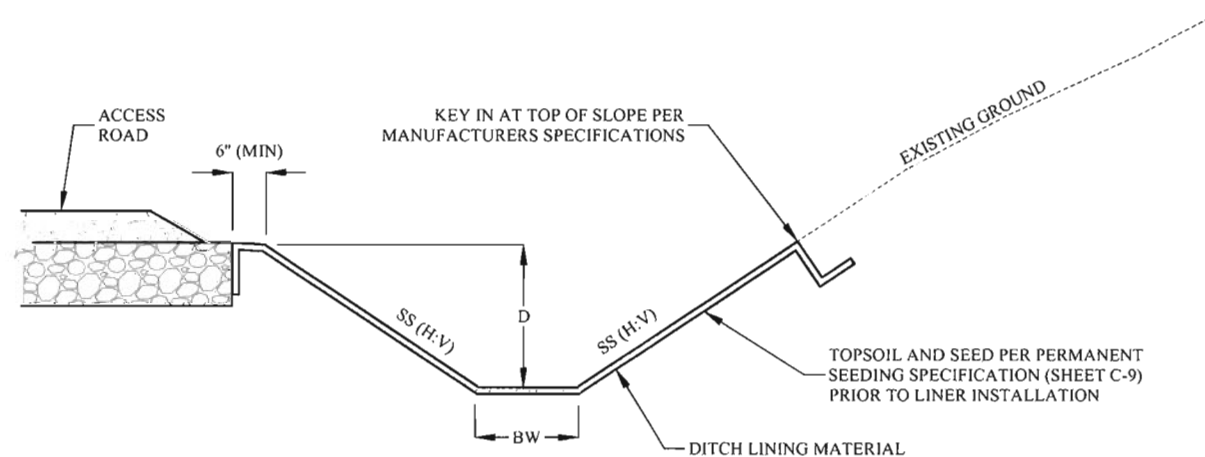
NOTES

1. TURNING RADIUS TO BE INCREASED AS REQUIRED TO ACCOMMODATE CONSTRUCTION TRAFFIC.
2. CONSTRUCTION TRAFFIC SHOULD ENTER AND LEAVE SITE AT CONSTRUCTION ENTRANCES ONLY (UTILIZE SILT FENCE OR OTHER BARRIER TO ENCOURAGE USE OF CONSTRUCTION ENTRANCE).
3. MATERIAL TRACKED ONTO THE ADJACENT ROADWAY MUST BE CLEANED IMMEDIATELY.
4. CONSTRUCTION ENTRANCE MUST BE MAINTAINED IN GOOD WORKING CONDITION AT ALL TIMES. FAILURE OF THE CONSTRUCTION ENTRANCE TO REMOVE SEDIMENT FROM CONSTRUCTION TRAFFIC PRIOR TO LEAVING THE SITE MAY NECESSITATE A WASHING STATION.



ROADWAY DITCH SECTION

ID	BW	MIN. D	SS	EROSION CONTROL MATTING
1	1.0'	1.0'	2:1	NORTH AMERICAN GREEN ROLLMAX BIONET C125BN
2	1.0'	1.0'	2:1	NORTH AMERICAN GREEN ROLLMAX BIONET C125BN
3	1.0'	1.0'	2:1	NORTH AMERICAN GREEN ROLLMAX BIONET C125BN



NOTES

1. REMOVE ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL FROM THE CHANNEL SECTION AND DISPOSE OF PROPERLY (THE CHANNEL SECTION SHOULD BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH OBSTRUCT NORMAL FLOW).
2. EXCAVATE AND SHAPE CHANNEL TO DIMENSIONS SHOWN ON PLANS. OVERCUT ENTIRE CHANNEL 0.3 FT TO ALLOW FOR BULKING DURING SEED BED PREPARATION AND GROWTH OF VEGETATION.
3. GRADE SITE AND ROAD SO THAT SURFACE WATER MAY ENTER THE CHANNEL FREELY. AVOID BERMING SOIL ALONG THE ADJACENT ROADWAY OR CUT SLOPE THAT WOULD PREVENT RUNOFF FROM ENTERING THE CHANNEL SECTION.
4. STABILIZE OUTLETS AND INSTALL SEDIMENT TRAPS AS NEEDED DURING CHANNEL INSTALLATION.
5. VEGETATE THE CHANNEL PER PERMANENT SEEDING SPECIFICATION (THIS SHEET) IMMEDIATELY AFTER GRADING. SMOOTH SLOPES FACILITATE MAINTENANCE.
6. CONTRACTOR TO MAXIMIZE "BW" AS SPACE ALLOWS.

PREPARED FOR:

CROWN CASTLE
CROWN CASTLE USA, INC.
2000 CORPORATE DRIVE
CANONSBURG, PA 15317
PHONE: (724) 418-2000

PREPARED BY:

DELTA OAKS GROUP
DELTA OAKS GROUP
4904 PROFESSIONAL COURT, 2ND FLOOR
RALEIGH, NC 27609
PHONE: (919) 342-8247

JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

04/07/20

DRAWN BY: BJW
CHECKED BY: WRB
APPROVED: MILL
PROJECT NO: 68-08258

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
11-30-19	PRELIM DS	0	BJW
12-16-19	FINAL DS	1	BJW
04-07-20	FINAL DS	2	BJW

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SITE NAME:
RICHARD WALL

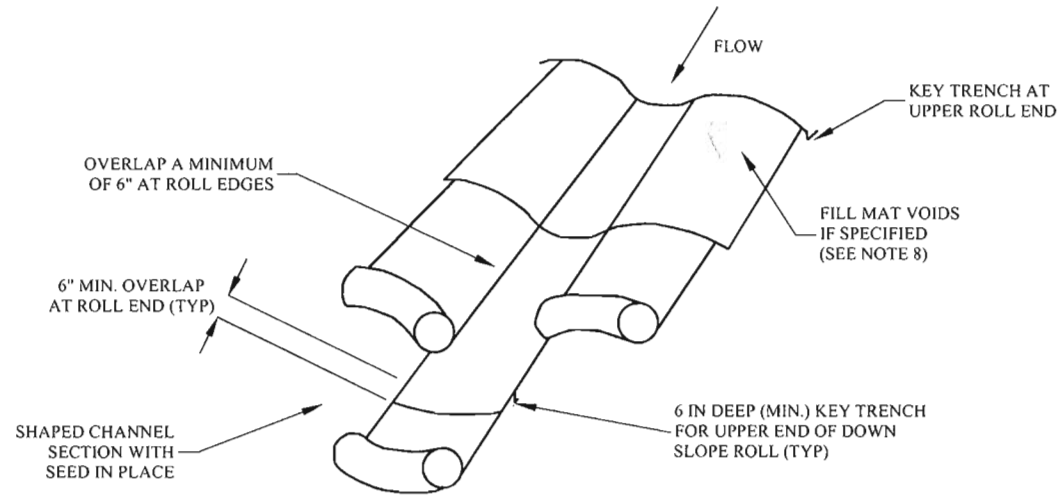
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EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-8

PERMANENT SOIL STABILIZATION MATTING - CHANNEL



ISOMETRIC VIEW

** MATTING INSTALLATION NOTES ARE MINIMUM REQUIREMENTS AND ARE FOR GENERAL GUIDANCE ONLY. REFER TO MANUFACTURER'S RECOMMENDATIONS OF THE SPECIFIED PRODUCT FOR FULL INSTALLATION DETAILS. IN THE EVENT OF DISCREPANCIES, MANUFACTURER'S RECOMMENDATIONS SHALL GOVERN.

NOTES:

1. USE PERMANENT NORTH AMERICAN GREEN C125BN OR APPROVED EQUIVALENT.
2. SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND MINIMUM 1 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT THE BOTTOM.
3. PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS. UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
4. UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTERLINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEDED SURFACE. AVOID STRETCHING THE MATTING.
5. OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE NEXT DOWNSTREAM MAT.
6. KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMMING TO SECURE THE MAT END IN THE KEY.
7. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
8. IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED, ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL MAT CONTACT WITHOUT CRUSHING MAT.

PERMANENT SEEDING SPECIFICATION

SEEDING SCHEDULE

1. STRIP AND STOCKPILE TOPSOIL IN THE DESIGNATED LOCATIONS SHOWN ON THE GRADING AND EROSION CONTROL PLAN. SPREAD TOPSOIL TO A MIN. 4 TO 6-INCH DEPTH IN ALL DISTURBED AREAS NOT RECEIVING A GRAVEL SURFACE TREATMENT.
2. SHAPE ALL AREAS TO TYPICAL CROSS SECTION AND DRESS SAME AS REQUIRED.
3. SPREAD FERTILIZER AND PREPARE SEED BED (SEE GENERAL NOTES, SHEET GN-1). THE REQUIRED FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE TOP SEEDDED (THE FERTILIZER ONLY APPLIED IF IT WAS APPLIED IN PREVIOUS OPERATION). AFTER THE FERTILIZER AND LIMESTONE HAS BEEN SPREAD, THE AREA SHALL BE THOROUGHLY PULVERIZED AND THE FERTILIZER INCORPORATED IN THE TOP FOUR (4) INCHES OF THE GRADED AREAS.
4. IN THE ABSENCE OF A SOIL TEST, FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE APPLIED AT THE FOLLOWING RATES:
COMBINATION FERTILIZER (10-20-20) - 500 LBS. PER ACRE
AGRICULTURAL LIMESTONE - 2.5 TONS PER ACRE (IF APPLICABLE)
5. SEEDING AND/OR SODDING IS REQUIRED ON DISTURBED AREAS. ALL AREAS SHOULD RECEIVE SEED MIX AS FOLLOWS:
RED FESCUE - 10 LBS. PER ACRE
CANADA WILDRYE - 5 LBS. PER ACRE
PERENNIAL RYEGRASS - 10 LBS. PER ACRE
KENTUCKY BLUEGRASS - 5 LBS. PER ACRE
6. SEEDING OPERATIONS SHOULD BE PERFORMED WITHIN ONE OF THE FOLLOWING PERIODS:
SPRING (MARCH 15 - JUNE 30) &
FALL (AUGUST 15 TO OCTOBER 31)
7. ALL AREAS SHALL BE COVERED WITH A BALED STRAW MULCH (OAT, WHEAT, RICE, BARLEY, ETC.) AT THE RATE OF 1.5 TO 2.0 TONS PER ACRE. THE MULCH SHALL BE DRY AND FREE OF WEEDS. THE MULCH SHALL BE SPREAD AND ANCHORED IN SUCH A MANNER AS TO GIVE A UNIFORM COVER OVER THE ENTIRE AREA.
8. THE CONTRACTOR SHALL MAINTAIN THE GRASSED AREAS IN A SATISFACTORY MANNER UNTIL A GOOD GROWTH IS ASSURED AND FINAL ACCEPTANCE IS MADE BY THE CLIENT. MAINTENANCE WORK SHALL INCLUDE WATERING (WHEN NECESSARY), RESTORING/ REPLACING GRASS, FILLING WASHES AND MOWING, IF NECESSARY.
9. WHEN GRASS OR GRASSES HAVE OVERLAPPING GROWTH (MIN. 85% COVERAGE), THE AREA SHALL BE CONSIDERED TO HAVE SATISFACTORY GROWTH.

CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE

1. PROJECT STAKEHOLDERS TO CONDUCT PRE-CONSTRUCTION MEETINGS AS REQUIRED BY THE GOVERNING AUTHORITY
2. INSTALL SILT FENCE (AS SHOWN ON THE PLANS AND DOWNSTREAM OF ALL EXCAVATED AREAS), CONSTRUCTION ENTRANCE, AND/OR SOIL STOCKPILING AREAS PRIOR TO THE COMMENCEMENT OF GRADING
3. CLEAR AND GRUB REMAINING AREAS AND PROCEED WITH ROUGH GRADING (INCLUDING DITCHES AND SWALES); INSTALL ADDITIONAL EROSION CONTROL MEASURES AFTER GRADING BEGINS AS REQUIRED
4. INSTALL ON-SITE UTILITIES AND STORMWATER MANAGEMENT FACILITIES (PROPOSED CULVERTS AND OTHER STORMWATER COLLECTION SYSTEMS) AND TEMPORARY STABILIZATION AS SHOWN ON PLANS
5. CONSTRUCT TOWER FOUNDATION AND COMMUNICATION FACILITIES AS APPLICABLE
6. FINISH GRADE PROPOSED ACCESS DRIVE, STORAGE CHANNELS, INFILTRATION TRENCH, AND TOWER COMPOUND
7. STABILIZE GRAVEL AND PAVED AREAS PER PLANS, TOPSOIL AND PERMANENTLY SEED DENUDED CUT/FILL SLOPES AND INSTALL EROSION CONTROL MATTING, CHANNEL LINING, RIP-RAP APRONS, ETC. AS SPECIFIED ON PLANS (PERMANENT COVER SHOULD BE INSTALLED WITHIN 7-DAYS AFTER FINISHED GRADES HAVE BEEN ESTABLISHED)
8. MAINTAIN PERIMETER SILT FENCE AND OTHER PERIMETER SOIL EROSION CONTROL MEASURES AS APPLICABLE UNTIL PERMANENT GROUND COVER IS ESTABLISHED
9. REMOVE ANY EROSION CONTROL MEASURES FROM AREAS THAT HAVE BEEN PERMANENTLY STABILIZED AND STABILIZE AREAS OF THE DEVICE(S) REMOVAL
10. FOR ANY DENUDED AREA TO BE CONSIDERED PERMANENTLY STABILIZED, THE DENUDED AREA SHOULD BE UNIFORMLY COVERED IN PERENNIAL VEGETATION WITH A DENSITY OF 85% OR GREATER, OR COVERED IN OTHER NON-VEGETATIVE MATERIAL WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION

PREPARED FOR:

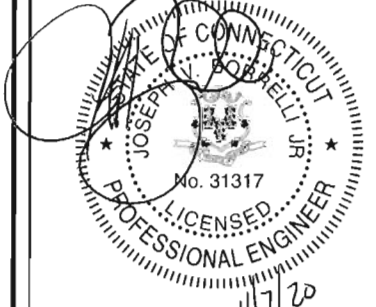


CROWN CASTLE
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JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

04/07/20

DESIGNED BY:	BJW
CHECKED BY:	WJH
APPROVED BY:	MLL
PROJECT NO.:	18-03258

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
11-20-19	PRELIM ZDs	0	BJW
12-16-19	FINAL ZDs	1	BJW
04-07-20	FINAL ZDs	2	BJW

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SITE NAME:
RICHARD WALL

SITE ADDRESS:
8 1/2 LAKEVIEW ST.
EAST HAMPTON, CT 06424

SITE ID:
BU# 876352

SHEET TITLE
CIVIL DETAILS

SHEET NUMBER
C-8


GENERAL NOTES	
1.	THE SCOPE OF WORK DEPICTED IN THIS PLANSET MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE SUBSTANTIAL EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS PROJECT, THE CONTRACTOR IS CONFIRMING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY TO COMPLETE THE WORK, THAT HE IS KNOWLEDGEABLE OF THE SCOPE OF WORK TO BE PERFORMED AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
2.	ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST VERSION OF THE LOCAL AND NATIONAL BUILDING CODE, WHICHEVER IS MORE STRINGENT.
3.	SHOP DRAWINGS AND/OR MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS REGARDING ANY HARDWARE, INFRASTRUCTURE, OR MATERIALS SPECIFIED HEREIN SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING INFORMATION CONTAINED HEREIN.
4.	THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS NOT PROVIDED BY OWNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED AND ANY AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES.
5.	THE CONTRACTOR SHALL VERIFY ALL EXISTING TOPOGRAPHY, DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS ARE AS INDICATED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL ESTABLISH THE LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER FOR RESOLUTION AND/OR MODIFICATION PRIOR TO COMMENCEMENT OF THE WORK.
6.	EXISTING IMPROVEMENTS DAMAGED OR DESTROYED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS
7.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET TO FULFILL THE SCOPE OF WORK AS REPRESENTED IN THIS PLAN SET, OBTAIN A CERTIFICATE OF OCCUPANCY, OR OTHERWISE ALLOW FOR THE FULL INTENDED USE OF THE PROPOSED FACILITY
8.	THESE PLANS/DRAWINGS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR ENGINEER SHALL NOT INCLUDE INSPECTION OF THE CONSTRUCTION PROCEDURES AND DOES NOT ALLEVIATE CONTRACTOR FROM THE FOREGOING. ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
9.	IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE AND IMPLEMENT BOTH THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE, ALL SURROUNDING INFRASTRUCTURE, WORKSPACE, EMPLOYEES, AND PUBLIC DURING ERECTION AND/OR MODIFICATIONS. THIS INCLUDES BUT IS NOT LIMITED TO TEMPORARY BRACING, GUYS, TIE DOWNS, OR OTHER SUPPORTS THAT MAY BE NECESSARY DURING CONSTRUCTION.
10.	ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTION MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION.
11.	IF DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEVIATION AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW. NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER AND/OR ENGINEER
12.	THE CONTRACTOR MUST, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES, OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS
13.	CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS (INCLUDING THE GENERAL PUBLIC) AND PROPERTY (INCLUDING ADJOINING PROPERTIES). THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

GENERAL NOTES (CONT.)	
13.	THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK ASSOCIATED WITH THIS PROJECT COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND OTHER REGULATIONS GOVERNING THE WORK.
14.	ACCESS TO THE PROPOSED SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR THE OWNER'S REPRESENTATIVE REGARDING ALL CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIAL ACCESS.
EXISTING INFRASTRUCTURE	
1.	EXISTING TOPOGRAPHIC, UTILITY, PLANIMETRIC, AND BOUNDARY INFORMATION IS TAKEN FROM ALTA SURVEY DRAWING ENTITLED "RICHARD WALL" BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING OF 10505 LEAFWOOD PLACE, RALEIGH, NC 27613; (919)280-8189.
2.	THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN THE AREA OF ANY PROPOSED CONSTRUCTION OR PROPOSED DISTURBANCE DUE TO CONSTRUCTION. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES AND IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS OR IF THERE APPEARS TO BE A CONFLICT BETWEEN EXISTING AND PROPOSED UTILITY LOCATIONS.
UTILITIES	
1.	CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING THE REQUIREMENTS AND LIMITS OF CLEARANCE FOR OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE
2.	ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORILY PRIOR TO COMMENCING ANY PAVING ACTIVITY WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT
3.	UNLESS OTHERWISE SPECIFIED HEREIN, MINIMUM COVER FOR CONDUITS SHALL BE 36-INCHES
GRADING	
1.	CONTRACTOR IS TO CONTACT 811 CONNECTICUT, INC AT 1-888-922-4455 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY GROUND DISTURBANCE.
2.	ALL CONSTRUCTION AREAS ARE TO BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL, ORGANICS AND UNSUITABLE MATERIALS PRIOR TO GRADING AND IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT.
3.	EXCAVATIONS SHOULD BE SLOPED OR SHORED IN ACCORDANCE AND COMPLIANCE WITH OSHA 29 CFR PART 1926, EXCAVATION TRENCH SAFETY STANDARDS AS WELL AS LOCAL, STATE AND FEDERAL REGULATIONS.
4.	ALL FILL PLACEMENT INCLUDING SUITABILITY OF FILL MATERIALS AND COMPACTION OF MATERIALS SHOULD BE CONDUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. IN THE ABSENCE OF FILL SPECIFICATIONS, THE FOLLOWING MINIMUM REQUIREMENTS SHOULD BE ADHERED TO:
4.1.	FILL LIFT THICKNESS SHOULD NOT EXCEED 8 INCHES LOOSE.
4.2.	FILL MATERIALS SHOULD NOT BE PLACED ON SATURATED OR FROZEN SURFACES
4.3.	FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER OBJECTIONABLE MATERIALS THAT WOULD PREVENT THE CONSTRUCTION AND/OR COMPACTION OF SATISFACTORY FILLS. THIS INCLUDES SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS
4.4.	ALL FILLS SHOULD BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. ALL FILL AREAS WITHIN BUILDINGS OR OTHER STRUCTURES, TRAVEL/ACCESS ROUTES, PARKING AREAS AND EXTENDING 5-FT (MINIMUM) OUTSIDE OF THOSE AREAS' FOOTPRINT, SHOULD BE COMPACTED TO +/- 95% OF MAXIMUM DRY DENSITY OF THE MATERIAL AS OBTAINED BY THE STANDARD PROCTOR METHOD.
* DELTA OAKS GROUP MAKES NO CLAIM TO THE VALIDITY OF THESE RECOMMENDATIONS TO THE SITE'S SPECIFIC GEOTECHNICAL CONDITIONS AND STRONGLY RECOMMENDS A SITE-SPECIFIC GEOTECHNICAL INVESTIGATION BE PERFORMED. ANY AND ALL FILL RECOMMENDATIONS PRESENTED IN SUCH A REPORT WILL TAKE PRECEDENCE OVER THE INFORMATION PRESENTED HEREIN.	

GRADING (CONT.)	
5.	THE CONTRACTOR SHALL REWORK ALL MATERIALS NOT SUITABLE FOR USE IN THEIR PRESENT STATE DUE TO MOISTURE CONTENT VARIATION. IF THE MATERIAL REMAINS UNSUITABLE AFTER INITIAL REWORKING, THE CONTRACTOR SHALL REMOVE AND REPLACE WITH NEW MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS.
6.	IN THE ABSENCE OF A GEOTECHNICAL REPORT A GEOTECHNICAL ENGINEER SHOULD BE RETAINED TO PROVIDE SITE SPECIFIC RECOMMENDATIONS/OVERSIGHT.
7.	DELTA OAKS GROUP MAKES NO CLAIMS TO THE SUITABILITY OF ANY ON-SITE MATERIALS FOR USE AS FILL TO SUPPORT ANY PROPOSED INFRASTRUCTURE.
8.	SPOT ELEVATIONS REPRESENT FINISHED GRADE UNLESS OTHERWISE NOTED.
9.	ALL TEMPORARY AND FINISHED GRADES MUST MAINTAIN ADEQUATE SURFACE DRAINAGE SO THAT RUN-OFF IS DIRECTED TO DEDICATED OFF-SITE AREAS OR TO ON-SITE COLLECTION POINTS SUCH AS SWALES, CATCH BASINS, DROP INLETS, CULVERTS, STORMWATER BMPs, ETC. TO PREVENT SURFACE PONDING, STANDING WATER, OR EXTENDED PERIODS OF SOIL SATURATION.
EROSION AND SEDIMENT CONTROL	
1.	THE DISTURBED AREA IS APPROXIMATELY 34,700 SQUARE FEET.
2.	THE RECEIVING WATERCOURSE IS POCOTOPAUG LAKE.
3.	THE PROPOSED TOWER LEASE AREA IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FIRM #09007C0155G WITH EFFECTIVE DATE AUGUST 28, 2008.
4.	CUT AND FILL SLOPES SHOULD BE STABILIZED WITHIN 7 DAYS DURING ANY PHASE OF GRADING
5.	STREETS ADJACENT TO THE PROJECT SHALL BE KEPT CLEAN AT ALL TIMES FROM SEDIMENT OR OTHER CONSTRUCTION GENERATED MATERIAL OR A WASH STATION WILL BE REQUIRED
6.	THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS REGARDING EROSION AND SEDIMENT CONTROL FOR THE AGENCY HAVING JURISDICTION OVER CLEARING AND GRADING PROCEDURES. UTILIZE BEST MANAGEMENT PRACTICES (BMPs) DESCRIBED IN THE GOVERNING AGENCY'S OR APPLICABLE STATE'S CODE IN ORDER TO BOTH PREVENT/MINIMIZE CONCENTRATED FLOWS THROUGH OR ACROSS UNSTABILIZED/DENUDED AREAS AND PREVENT/MINIMIZE SEDIMENT LADEN STORMWATER RUNOFF FROM LEAVING THE CONSTRUCTION SITE. SPECIFIC BMP EXAMPLES INCLUDE SILT FENCE, CONSTRUCTION ENTRANCE(S), PERIMETER DIVERSION SWALES, INLET PROTECTION, AND OTHER APPLICABLE MEASURES.
7.	CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES SPECIFIED HEREIN AND ANY ADDITIONAL CONTROLS THAT MAY BECOME NECESSARY IN ORDER TO ENSURE THE PROTECTION OF ADJACENT PROPERTIES AND WATERWAYS. ALL TEMPORARY DEVICES SHALL BE APPROPRIATELY MAINTAINED UNTIL ALL EARTH DISTURBING ACTIVITIES HAVE CEASED AND THE PROJECT IS STABILIZED AND APPROVED.
8.	EROSION CONTROL MEASURES SHALL BE CHECKED DAILY AND IMMEDIATELY FOLLOWING ANY RAINFALL EVENTS. ANY NOTED DEFICIENCIES WILL BE CORRECTED IMMEDIATELY (NO LATER THAN THE END OF EACH DAY). IMMEDIATELY UPON THE DISCOVERY OF UNFORESEEN CIRCUMSTANCES THAT POSE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BMPs TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENTATION.
9.	ALL DENUDED CUT/FILL SLOPES STEEPER THAN OR EQUAL TO 2:1 SHALL BE PROTECTED WITH NORTH AMERICAN GREEN SCI25 OR EQUIVALENT UNLESS ALTERNATIVE SLOPE PROTECTION MEASURES ARE APPROVED
10.	ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES
PANEL SCHEDULE	
1.	SERVICE BOND IS TO BE MADE BY DEVICES (STRAPS, SCREWS, ETC. SUPPLIED BY EQUIPMENT MANUFACTURER. IF NO SUCH DEVICE IS SUPPLIED, BOND IS TO BE MADE IN ACCORDANCE WITH NEC ARTICLE 250.
2.	CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE SELECTED IN ACCORDANCE WITH NEC ARTICLE 240-3.
3.	CONDUCTOR SIZING IS SELECTED FROM NEC ARTICLE 310-16
4.	ALL LUGS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTI-BARREL CONNECTIONS
5.	ALL CONDUCTORS SHALL BE INSULATED THHN WIRE


CONSTRUCTION REQUIREMENTS	
1.	UPON ISSUANCE OF BID AWARD, CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN APPLICABLE JURISDICTION
2.	CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF CONSTRUCTION. SCHEDULE SHALL BE UPDATED IMMEDIATELY AND SUBMITTED TO OWNER IN EVENT OF DELAYS OR REQUIRED TIME EXTENSIONS. ALL DELAYS AND/OR TIME EXTENSIONS WILL BE ACCOMPANIED BY EXPLANATIONS FOR EACH OCCURRENCE.
3.	DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE OWNER OR OWNER'S REPRESENTATIVE WITH PHOTOGRAPHS OF MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
4.	CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL BE PREPARED TO ATTEND WEEKLY CONFERENCE CALLS WHERE SPECIFIC DETAILS, INCLUDING PROGRESS REPORTS, UNFORESEEN SITE CONDITIONS, SCHEDULE CHANGES, SAFETY CONCERNS, ETC. REGARDING THE SITE WILL BE DISCUSSED.
5.	CONTRACTOR WILL UTILIZE, ADHERE TO, AND SUBMIT (AS REQUIRED) ALL OWNER PROVIDED DOCUMENTATION.
6.	CONTRACTOR IS RESPONSIBLE FOR COMPLETION OF ALL CONCRETE COMPRESSIVE STRENGTH TESTING (INCLUDING THE SUBMITTAL OF FINAL TESTING RESULTS AND CLOSE-OUT BOOK)
7.	CONTRACTOR IS RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEOTECHNICAL REPORT PROVIDED BY OWNER.
8.	CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING.
9.	CONTRACTOR SHALL ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION. CONTRACTOR SHALL ALSO ASSIST IN COORDINATING AND OBTAINING TELCO/FIBER SERVICE PRIOR TO PROJECT COMPLETION (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY).
10.	CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.
11.	CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.
12.	CONTRACTOR WILL BE REQUIRED TO OBTAIN ALL NECESSARY CONSTRUCTION AND/OR CLOSE-OUT RELATED PERMITS, INCLUDING ELECTRICAL PERMITS AND INSPECTIONS, CERTIFICATES OF OCCUPANCY, ETC. AS REQUIRED BY JURISDICTION.
13.	CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING OWNER'S SIGN-OFF ON THE SITE).
14.	CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.
SEEDBED PREPARATION	
1.	SCARIFY COMPACTED AREAS AND REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. FILL ANY EXISTING RILLS AND GULLIES
2.	IMMEDIATELY PRIOR TO SPREADING TOPSOIL, CORRECT PH OF THE SUBSOIL WITH LIME PER RECOMMENDATION OF SOILS TEST OR AT A RATE SUITABLE TO THE SITE CONDITIONS. LOOSEN THE SUBGRADE OF THE SITE TO RECEIVE THE TOPSOIL BY DISKING OR SCARIFYING TO A DEPTH OF AT LEAST 2-INCHES TO ENSURE BONDING OF THE TOPSOIL AND SUBSOIL.
3.	UNIFORMLY SPREAD TOPSOIL 3-INCHES DEEP IN AREAS AS REQUIRED
4.	APPLY LIME AND/OR FERTILIZER AS NECESSARY AND TILL SOIL UNTIL A WELL-MIXED, PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED. THE PREPARED SEEDBED SHOULD BE 4 TO 6 INCHES DEEP.
5.	SEED A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING
6.	MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH
7.	INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 70% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES
8.	SEE PERMANENT SEEDING SPECIFICATION SHEET C-7.

PREPARED FOR:

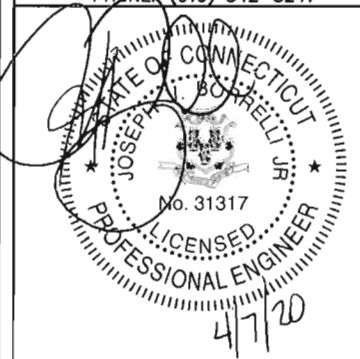


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PREPARED BY:



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JOSEPH V. BORRELLI JR., P.E.
CONNECTICUT LICENSE NO. 31317

04/07/20

DRAWN BY: BJW
CHECKED BY: WBJ
APP'D: SJJ
PROJECT NO: 18-02358

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY
11-20-19	PRELIM ZD ₁	01	BJW
12-16-19	FINAL ZD ₁	01	BJW
04-07-20	FINAL ZD ₂	01	BJW

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SITE ID:
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SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-1