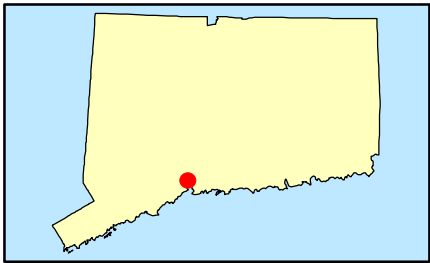
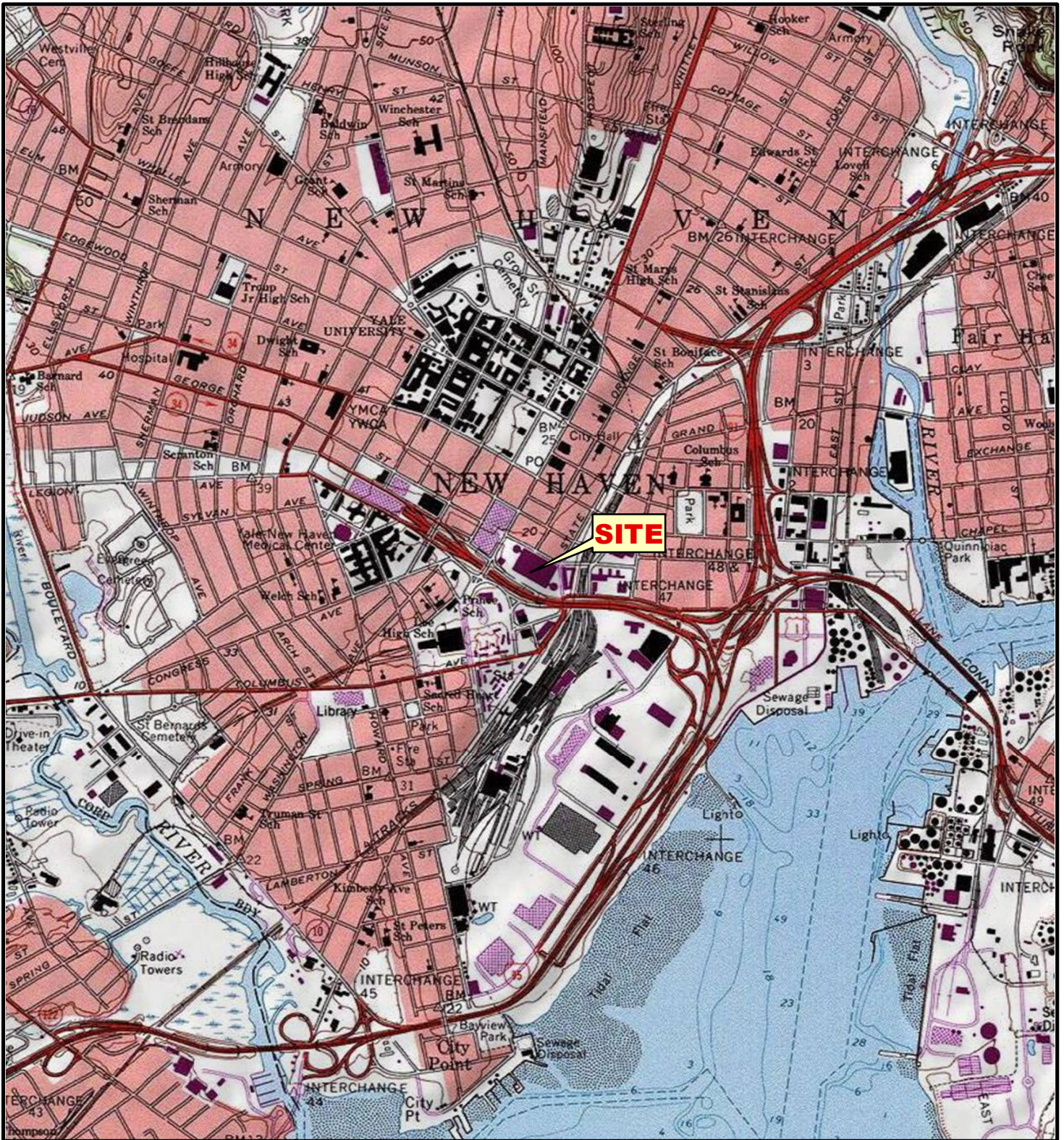
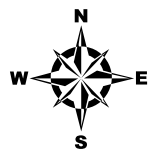


© 2023 - GZA GeoEnvironmental, Inc., J\_46\_500-46\_999\46975.h75 Ancora Investments\46975-02.atih\GIS\mxd\FIG\_1\_SITE LOTUS\_05\_0046975\_02.mxd, 8/10/2023, 2:53:10 PM, michael.tumolo



SOURCE : USGS TOPOGRAPHIC QUADRANGLES SCANNED BY THE NATIONAL GEOGRAPHIC SOCIETY & I-CUBED, COPYRIGHT 2011

Data Supplied by :



PROJ. MGR.: JTT  
 DESIGNED BY: TRM  
 REVIEWED BY: JAK  
 OPERATOR: MJT  
 DATE: 08-10-2023

**SITE LOCUS**  
 275 S ORANGE ST, PARCEL C  
 NEW HAVEN, CONNECTICUT

JOB NO.  
 05.0046975.02  
 FIGURE NO.  
**1**



# Google Maps 265 S Orange St



Imagery ©2023 Google, Imagery ©2023 Airbus, Maxar Technologies, New York GIS, U.S. Geological Survey, USDA/FPAC/GEO, Map data ©2023 Google 200 ft



## 265 S Orange St



Directions



Save



Nearby



Send to phone



Share



265 S Orange St, New Haven, CT 06510



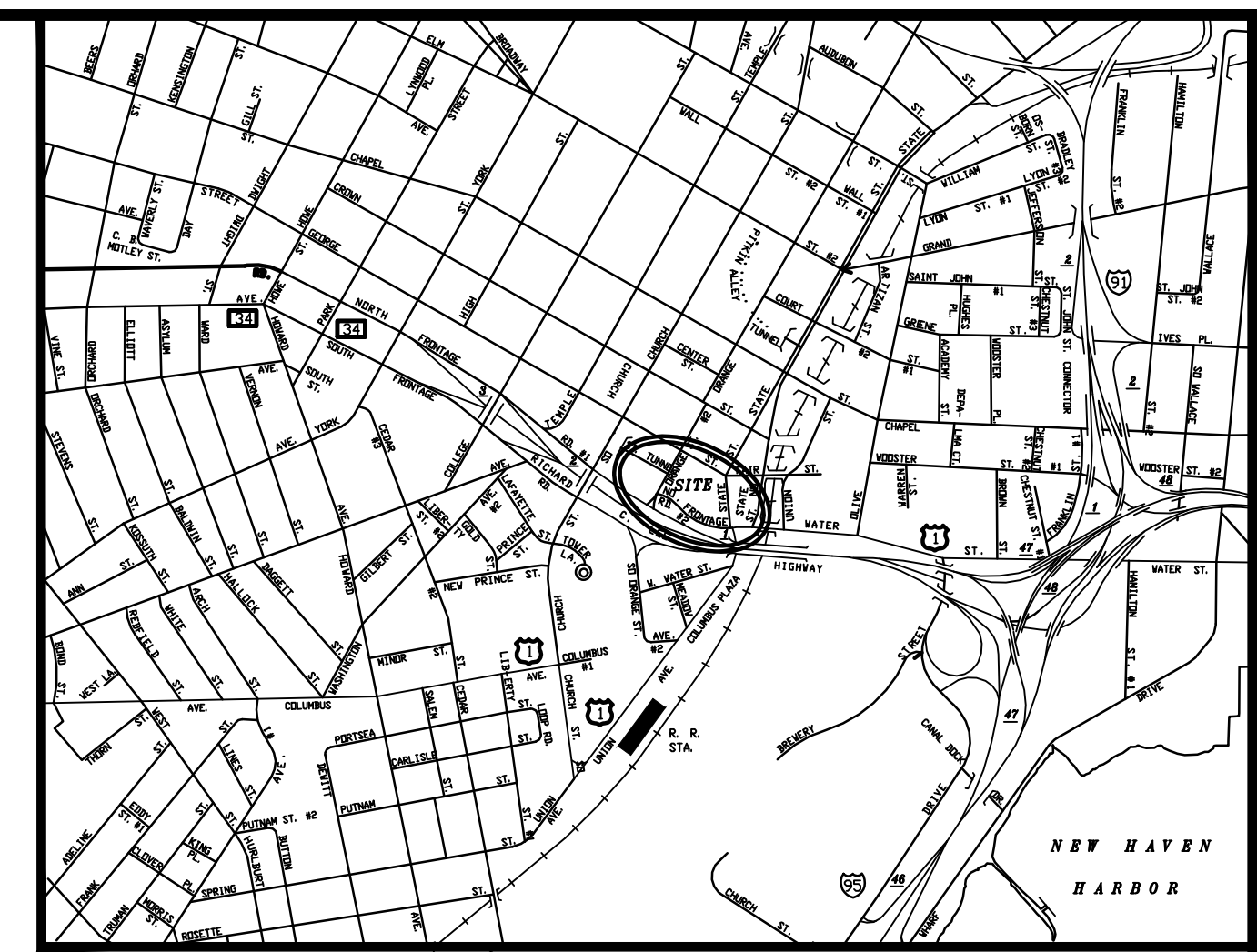
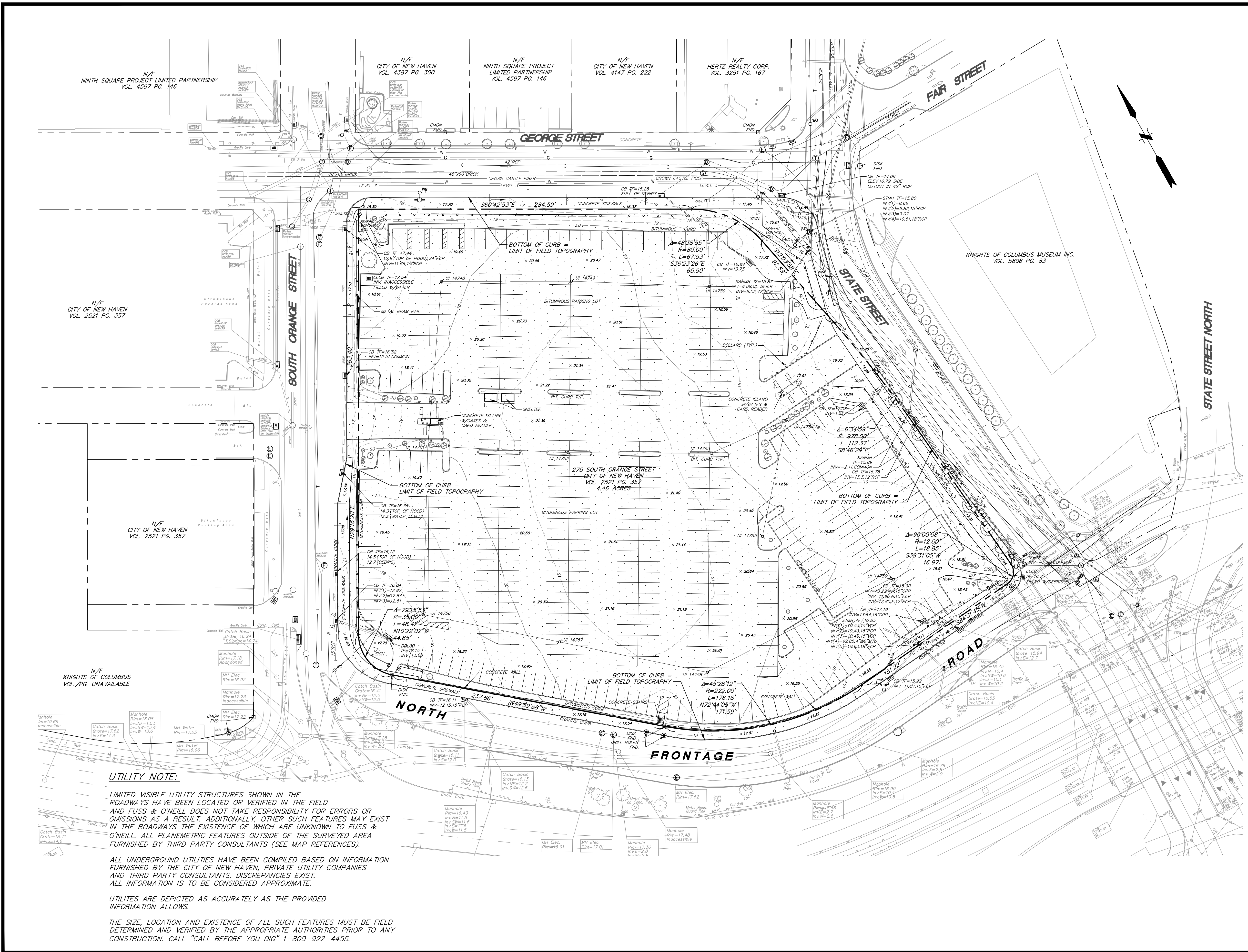
Confirm or fix this location  
The location shown is not precise







File Path: H:\DWG\GP\20130554V10\Survey\Plan20130554V10.SRV01.dwg Layout: BOUNDARY & TOPOGRAPHIC SURVEY Plotted: Fri, August 14, 2020 - 1:49 PM User: wjnagle  
 Plotter: DWG TO PDF PC3 CTB File: FOSTB  
 LAYER STATE:



KEYMAP  
NOT TO SCALE

LEGEND

	CATCH BASIN		PROPERTY LINE
	DOUBLE CATCHBASIN		EXISTING CONTOUR
	UTILITY POLE		INDEX CONTOUR
	BOLLARD		GUIDE RAIL
	SIGN		STORM DRAINAGE PIPE
	EXISTING DISK		OVERHEAD WIRES
	EXISTING MONUMENT		AREA OF FUSS & O'NEILL FIELD SURVEY

MAP REFERENCES:

- "PROPERTY SURVEY LAND OF CITY OF NEW HAVEN 275 SOUTH ORANGE STREET PORTION OF NORTH FRONTAGE ROAD NEW HAVEN, CONNECTICUT" SCALE 1"=30' DATE OCTOBER 2013 BY URS CORPORATION.
- "PARCEL MAP OF BLOCKS E & F CHURCH STREET REDEVELOPMENT & RENEWAL AREA NEW HAVEN, CONNECTICUT. SCALE 1"=40' DATE MAY 1975 BY CAHN ENGINEERS INC.
- "PORTION OF BLOCK E CHURCH STREET REDEVELOPMENT AND RENEWAL PROJECT NEW HAVEN, CONNECTICUT" SCALE 1"=40' DATE JULY, 1972 BY CAHN ENGINEERS INC.
- "PROPERTY SURVEY PORTION OF BLOCK E CHURCH STREET, GEORGE STREET & SOUTH ORANGE STREET NEW HAVEN, CONNECTICUT PREPARED FOR CITY OF NEW HAVEN" SCALE 1"=20' DATE MARCH 2010 BY URS CORPORATION
- "PROPERTY SURVEY ALTA/ACSM LAND TITLE SURVEY LAND ON SOUTH ORANGE STREET NEW HAVEN, CONNECTICUT PREPARED FOR KNIGHTS OF COLUMBUS" SCALE 1"=20' DATE APRIL 2008 BY URS CORPORATION
- "PROPERTY SURVEY BLOCK G CHURCH STREET REDEVELOPMENT PROJECT CITY OF NEW HAVEN, CONNECTICUT" SCALE 1"=20' DATE JUNE 14, 1965 REVISED TO JULY 28, 1965 BY CHARLES A. MAGUIRE & ASSOCIATES
- "CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP TOWN OF NEW HAVEN OAK STREET CONNECTOR FROM HOWE STREET EASTERLY TO THE CONNECTICUT TURNPIKE" PROJECT NUMBER 92-10 SCALE 1"=80' DATE FEBRUARY 28, 1975
- "TOWN OF NEW HAVEN MAP SHOWING LAND ACQUIRED FROM SAMUEL & ARAMIA SCHWARTZ BY THE STATE OF CONNECTICUT RELOCATION OF ROUTE 34" SCALE 1"=40' DATE MAY 1956
- "TOWN OF NEW HAVEN MAP SHOWING LAND ACQUIRED FROM THE CITY OF NEW HAVEN BY THE STATE OF CONNECTICUT RELOCATION OF ROUTE 34" SCALE 1"=40' DATE MARCH 1957

SURVEY NOTES:

THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS, AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 19, 2019.

THE TYPE OF SURVEY PERFORMED IS A BOUNDARY & TOPOGRAPHIC SURVEY, AND IS INTENDED TO DEPICT THE POSITION OF THE BOUNDARIES WITH RESPECT TO ALL MONUMENTATION FOUND AND APPARENT IMPROVEMENTS THEREON. THE TOPOGRAPHIC SURVEY IS INTENDED TO DEPICT THE CONFIGURATION OF THE GROUND AND THE LOCATION OF NATURAL AND ARTIFICIAL OBJECTS THEREON.

BOUNDARY DETERMINATION CATEGORY IS BASED ON A DEPENDENT RESURVEY OF MAP REFERENCE #1. THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

THE TOPOGRAPHIC SURVEY WITHIN THE SURVEY LIMITS (MATCHED AREA) CONFORMS TO A CLASS T-2 TOPOGRAPHIC ACCURACY. ALL OTHER TOPOGRAPHY DEPICTED CONFORMS TO CLASS T-D TOPOGRAPHIC ACCURACY.

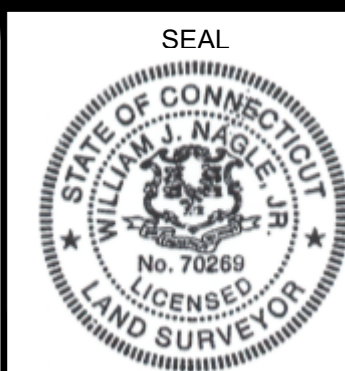
THIS PLAN ONLY INCLUDES PROPERTY KNOWN AS 275 SOUTH ORANGE STREET AND DOES NOT INCLUDE NORTH FRONTAGE ROAD/DR. REVEREND MARTIN LUTHER KING, JR. BOULEVARD BETWEEN STATE STREET AND SOUTH ORANGE STREET (NOW CLOSED). SEE ORDER OF THE BOARD OF ALDERMEN OF THE CITY OF NEW HAVEN CONCERNING THE ABANDONMENT AND DISCONTINUANCE OF A PORTION OF NORTH FRONTAGE ROAD/DR. REVEREND MARTIN LUTHER KING, JR. BOULEVARD BETWEEN STATE STREET AND SOUTH ORANGE STREET, LEGISLATIVE FILE LM-2013-0322 PASSED BY THE BOARD OF ALDERMEN ON 12/02/2013.

**UTILITY NOTE:**  
 LIMITED VISIBLE UTILITY STRUCTURES SHOWN IN THE ROADWAYS HAVE BEEN LOCATED OR VERIFIED IN THE FIELD AND FUSS & O'NEILL DOES NOT TAKE RESPONSIBILITY FOR ERRORS OR OMISSIONS AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST IN THE ROADWAYS THE EXISTENCE OF WHICH ARE UNKNOWN TO FUSS & O'NEILL. ALL PLANIMETRIC FEATURES OUTSIDE OF THE SURVEYED AREA FURNISHED BY THIRD PARTY CONSULTANTS (SEE MAP REFERENCES).

ALL UNDERGROUND UTILITIES HAVE BEEN COMPILED BASED ON INFORMATION FURNISHED BY THE CITY OF NEW HAVEN, PRIVATE UTILITY COMPANIES AND THIRD PARTY CONSULTANTS. DISCREPANCIES EXIST. ALL INFORMATION IS TO BE CONSIDERED APPROXIMATE.

UTILITIES ARE DEPICTED AS ACCURATELY AS THE PROVIDED INFORMATION ALLOWS.

THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP SHOULD NOT BE CONSIDERED AN ORIGINAL SIGNED AND SEALED SURVEY UNLESS IT BEARS THE EMBOSSED SEAL OR THE DIGITALLY ENCRYPTED ELECTRONIC SIGNATURE & SEAL OF THE LAND SURVEYOR BELOW.

*William J. Nagle, Jr.*  
 WILLIAM J. NAGLE, JR. LICENSE # 70269

SCALE:

HORIZ.:	1"=40'
VERT.:	
DATUM:	
HORIZ.:	NAD 27
VERT.:	NGVD 29

GRAPHIC SCALE: 0 20 0 40

**FUSS & O'NEILL**  
 146 HARTFORD ROAD  
 MANCHESTER, CONNECTICUT 06040  
 860.646.2469  
 www.fando.com

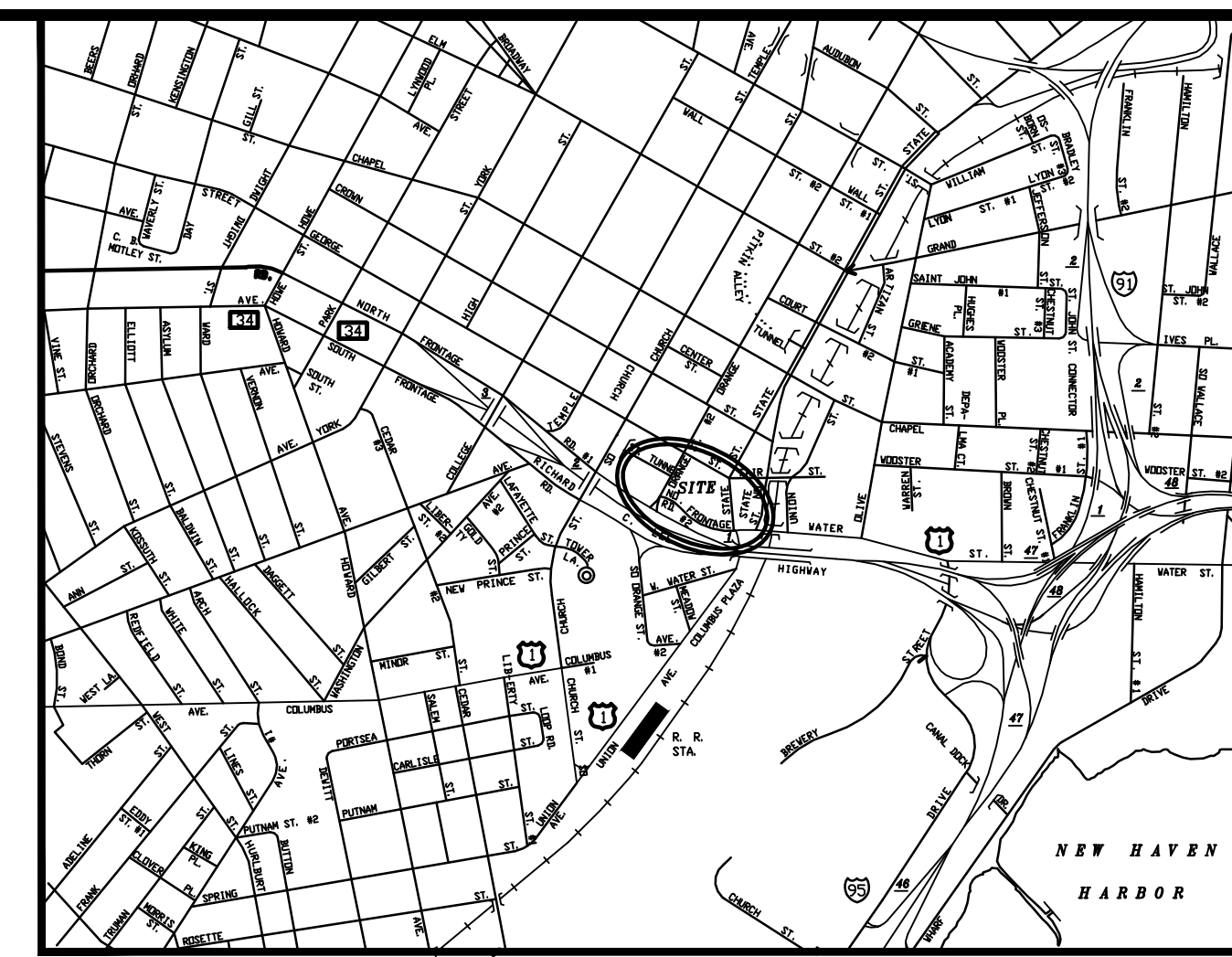
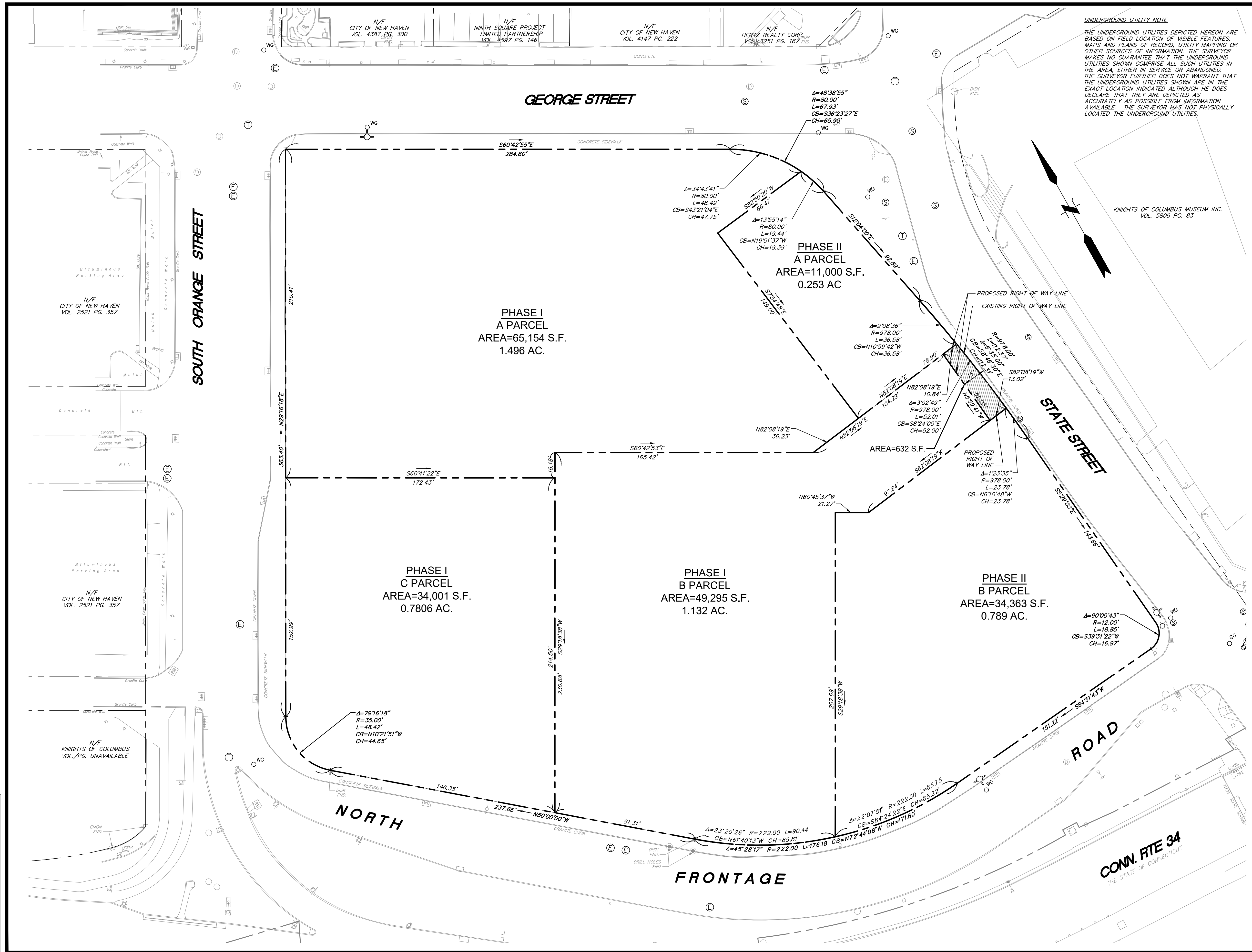
PROPERTY BOUNDARY AND TOPOGRAPHIC SURVEY  
 PREPARED FOR  
**LWLP NEW HAVEN LLC**  
 275 SOUTH ORANGE STREET NEW HAVEN, CONNECTICUT

PROJ. No.: 20130554V10  
 DATE: 05/04/2016  
**VB-01**

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	8/14/2020	SOUTH ORANGE NOTE ADDED	WN	WN
3.	6/15/2020	ADDITIONAL INVERTS	KS	AC
2.	6/9/2020	EXTENDED FIELD SHOT TOPOGRAPHY TO INCLUDE CURBING ALONG STREET	KS	AC
1.	5/13/2020	ADD UTILITIES GEORGE STREET AND STATE STREET	KS	WN



File Path: H:\DWG\20130554\10\Survey\Plan20130554\10.SRV01-SUB.dwg Layout: VB-03-SUB Plotted: Tue, February 22, 2022 - 5:18 PM User: sjmattus  
 Plotter: DWG TO PDF PC3 CTB File: FC STB  
 LAYER STATE:



No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.			xx/xx	xx

SEAL

SEAL

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP SHOULD NOT BE CONSIDERED AN ORIGINAL SIGNED AND SEALED SURVEY UNLESS IT BEARS THE EMBOSSED SEAL OR THE DIGITALLY ENCRYPTED ELECTRONIC SIGNATURE & SEAL OF THE LAND SURVEYOR BELOW.

**MICHAEL L. EARLEY PE LS**

**LICENSE # 70224**

**SCALE:**

HORIZ.: 1"=30'

VERT.: NGVD 29

**DATUM:**

HORIZ.: NAD 27

VERT.: NGVD 29

**GRAPHIC SCALE**

30 15 0 30

**f**

**FUSS & O'NEILL**

146 HARTFORD ROAD  
MANCHESTER, CONNECTICUT 06040  
860.646.2469  
www.fando.com

**SUBDIVISION PLAN**

DEVELOPMENT AND LAND DISPOSITION AGREEMENT PARCEL

LAND OF

**THE CITY OF NEW HAVEN**

275 SOUTH ORANGE STREET NEW HAVEN CONNECTICUT

PROJ. No.: 20130554V10  
DATE: 02/17/2022

**VB-03**



CIVIL GENERAL NOTES

GENERAL

- 1. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
2. DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
3. PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
4. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDINGS AND ADJACENT SITE ELEMENTS INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY FUSS & O'NEILL, INC. AND FROM PLANS OF RECORD, "CITY OF NEW HAVEN CONNECTICUT PLANIMETRIC MAP", SCALE 1"=40', AND "DOWNTOWN CROSSING PHASE 2 ORANGE STREET GATEWAY - GENERAL ROADWAY PLAN", SCALE 1"=40', DATED 4/20/21 - REV'D 4/21/21. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY FUSS & O'NEILL, INC.
6. PROJECT SUBJECT TO STATE AND LOCAL PERMITS AND DEVELOPMENT AND LAND DISPOSITION AGREEMENT (DLDA) WITH CITY OF NEW HAVEN.
7. PRIOR TO COMPLETION OF PROJECT CONSTRUCTION AND FINAL CLOSEOUT OF PROJECT, SURVEY MARKERS SHALL BE INSTALLED ALONG THE RIGHT OF WAY LINES AT ALL ANGLE POINTS, AS PER CITY OF NEW HAVEN STANDARDS.

WORK RESTRICTIONS

- 1. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.

REGULATORY REQUIREMENTS

- 1. WITHIN LOCAL RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS.
2. WITHIN STATE RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS AND ISSUED REVISIONS/SUPPLEMENTS.
3. PROVIDE TRAFFIC SIGNAGE AND PAVEMENT MARKINGS IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
5. DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
6. THE OVERALL PROJECT DISTURBANCE WILL BE LESS THAN 5 ACRES AND IS LOCALLY APPROVABLE, THEREFORE A CT-DEEP GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DEWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES IS NOT REQUIRED.

EROSION AND SEDIMENT CONTROL

- 1. INSTALL EROSION CONTROL MEASURES PRIOR TO STARTING ANY WORK ON THE SITE. REFER TO THE EROSION AND SEDIMENT CONTROL DRAWINGS.
2. IMPLEMENT ALL NECESSARY MEASURES REQUIRED TO CONTROL STORMWATER RUNOFF, DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE. PERFORM CORRECTIVE ACTION AS NEEDED FOR EROSION CLEANUP AND REPAIRS TO OFF SITE AREAS, IF ANY, AT NO COST TO OWNER.
3. INSPECT AND MAINTAIN EROSION CONTROL MEASURES PER THE SCHEDULE IN THE EROSION AND SEDIMENT CONTROL DRAWINGS. DISPOSE OF SEDIMENT IN AN UPLAND AREA. DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
4. PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES, CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.

DEMOLITION

- 1. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS, UNLESS OTHERWISE NOTED.

CONSTRUCTION LAYOUT

- 1. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND DRAINAGE STRUCTURES BEFORE START OF CONSTRUCTION.
2. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
4. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
5. BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

EARTHWORK

- 1. NOTIFY UTILITY LOCATOR SERVICE AT LEAST 72 HOURS BEFORE STARTING EXCAVATION. "CALL BEFORE YOU DIG" AT 1-800-922-4455.
2. STOP WORK IN THE VICINITY OF SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA. IMMEDIATELY NOTIFY THE OWNER SO THAT APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. RESUME WORK IN THE IMMEDIATE VICINITY ONLY UPON DIRECTION BY THE OWNER.
3. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, PERFORM EARTHWORK OPERATIONS TO SUBGRADE ELEVATIONS. SEE DRAWINGS BY OTHERS FOR WORK ABOVE SUBGRADE.

UTILITIES

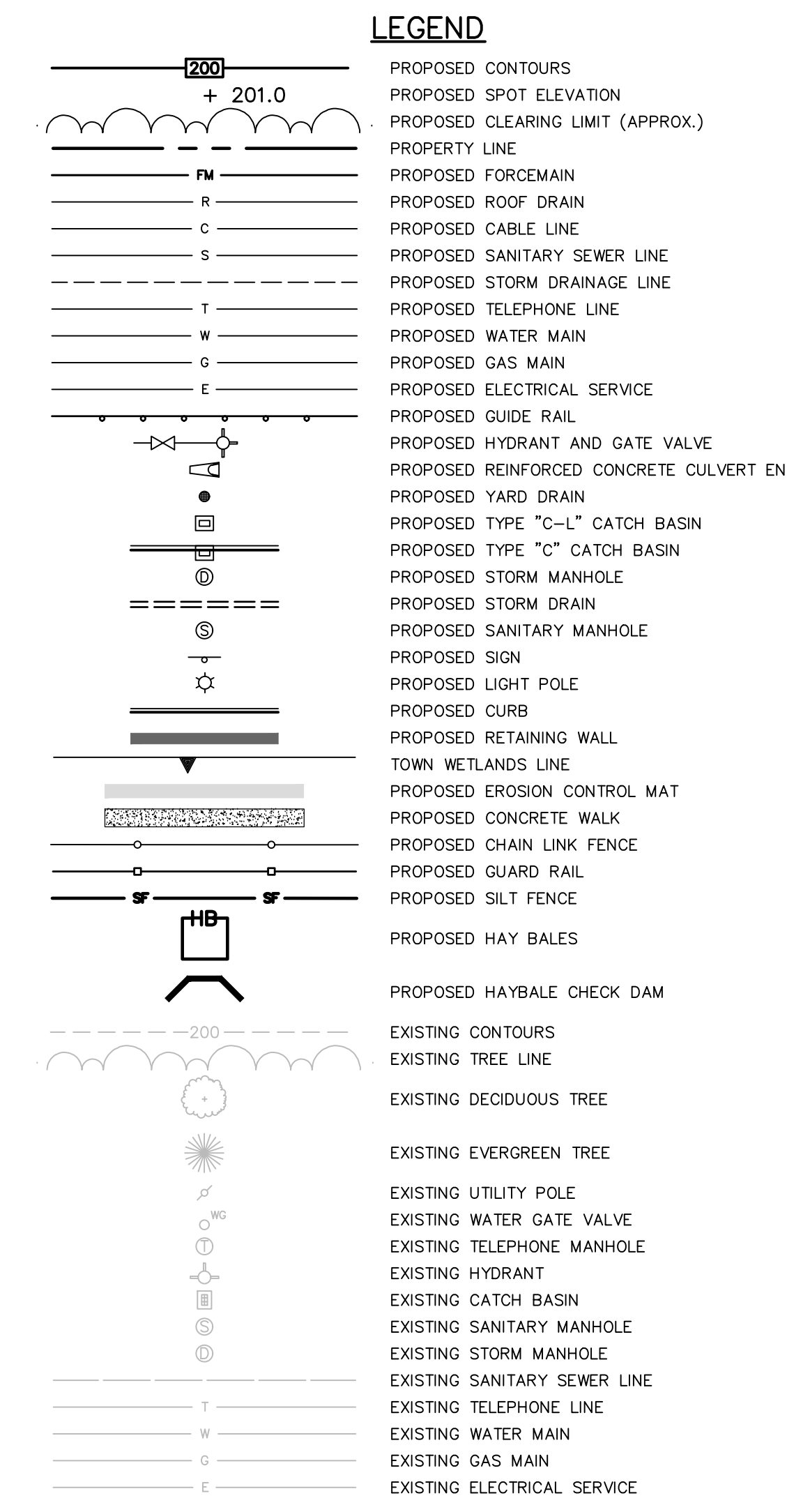
- 1. TERMINATE EXISTING UTILITIES IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. COORDINATE UTILITY SERVICE DISCONNECTS WITH UTILITY REPRESENTATIVES.
2. THE TYPE, SIZE AND LOCATION OF DEPICTED UNDERGROUND UTILITIES ARE APPROXIMATE REPRESENTATIONS OF INFORMATION OBTAINED FROM FIELD LOCATIONS OF VISIBLE FEATURES, EXISTING MAPS AND PLANS OF RECORD, UTILITY MAPPING, AND OTHER SOURCES OF INFORMATION OBTAINED BY THE ENGINEER. ASSUME NO GUARANTEE AS TO THE COMPLETENESS, SERVICEABILITY, EXISTENCE, OR ACCURACY OF UNDERGROUND FACILITIES. FIELD VERIFY THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES.
3. PAY ALL FEES AND COSTS ASSOCIATED WITH UTILITY MODIFICATIONS AND CONNECTIONS, REGARDLESS OF THE ENTITY THAT PERFORMS THE WORK.
4. COORDINATE THE WORK AND WORK SCHEDULE WITH UTILITY COMPANIES. PROVIDE ADEQUATE NOTICE TO UTILITIES TO PREVENT DELAYS IN CONSTRUCTION.
5. INTERIOR DIAMETERS OF STORM DRAIN AND SANITARY SEWER STRUCTURES SHALL BE DETERMINED BY THE PRECAST MANUFACTURER, BASED ON THE INDICATED PIPE SYSTEM LAYOUT AND LOCAL MUNICIPAL STANDARDS.
MINIMUM INTERIOR DIAMETERS:
0 TO 20 FEET DEEP; 4 FEET.
20 FEET OR GREATER; 5 FEET.
6. RIM ELEVATIONS FOR MANHOLES, VALVE COVERS, GATE AND PULL BOXES, AND OTHER STRUCTURES ARE APPROXIMATE. SET OR RESET RIM ELEVATIONS AS FOLLOWS:
IN PAVEMENTS AND CONCRETE SURFACES: FLUSH
IN SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
IN LANDSCAPE, SEEDED, AND OTHER EARTH SURFACE AREAS: 1 INCH ABOVE SURROUNDING AREA; TAPER EARTH TO RIM ELEVATION.
7. INSTALL PROPOSED PRIVATE UTILITY SERVICES ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE AUTHORITY HAVING JURISDICTION (WATER, SEWER, GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). COORDINATE FINAL DESIGN LOADS AND LOCATIONS WITH OWNER AND ARCHITECT.

PAVEMENT

- 1. AT A MINIMUM, CONSTRUCT ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

SITE RESTORATION

- 1. PROVIDE 6 INCHES OF TOPSOIL AND SEED TO AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED TO BE RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED.
2. REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
3. RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.
4. RESTORE ANY TRAFFIC CONTROLS OR PAVEMENT MARKINGS THAT HAVE BEEN MODIFIED TEMPORARILY FOR CONSTRUCTION BACK TO THEIR ORIGINAL CONDITION OR BETTER, UNLESS OTHERWISE SPECIFIED.



CALL BEFORE YOU DIG
Call Toll Free In Conn. 1-800-922-4455
CALL-BEFORE-YOU-DIG: THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO ARRANGE FOR MARKING OUT EXISTING UNDERGROUND UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.

SURVEY MAP REFERENCE
"PROPERTY BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR LWLP NEW HAVEN LLC" PREPARED BY FUSS & O'NEILL, INC., SHEET 3 OF 1, DATED MAY 4, 2016, REVISED THROUGH JUNE 15, 2020, SCALE: 1"=40', DATUM: NAD27/NGVD29.

PLAN CERTIFICATION
FUSS & O'NEILL CERTIFIES TO THE BEST OF ITS KNOWLEDGE, BELIEF, AND ABILITY, AND AFTER RESEARCH AND INQUIRY, THAT THE PROPOSED SITE PLANS INCLUDED HEREIN MEET ALL OF THE STANDARDS OF THE NEW HAVEN ZONING ORDINANCE UNLESS OTHERWISE NOTED.

STORMWATER MANAGEMENT OPERATIONS AND MAINTENANCE NOTES:

LONG TERM STORMWATER MANAGEMENT MAINTENANCE SHOULD BE COMPLETED IN ACCORDANCE WITH THE 2004 CONNECTICUT STORMWATER QUALITY MANUAL.

STORMWATER TREATMENT UNIT / CATCH BASIN / INLET SUMPS - STORMWATER TREATMENT UNIT / CATCH BASIN / INLET SUMPS MUST BE INSPECTED AT REGULAR INTERVALS AND CLEANED WHEN NECESSARY. AT A MINIMUM, INSPECTIONS SHOULD BE CONDUCTED TWICE PER YEAR, ONCE IN THE SPRING AND AGAIN IN THE FALL. MORE INSPECTIONS MAY BE REQUIRED DURING WINTER MONTHS WHERE HEAVY SANDING OPERATIONS MAY LEAD TO RAPID SEDIMENT ACCUMULATION WITHIN THE STRUCTURE. CATCH BASINS SHOULD BE CLEANED IF THE DEPTH OF SEDIMENT IN THE SUMP IS GREATER THAN OR EQUAL TO 1/2 THE DEPTH FROM THE BOTTOM OF THE BASIN TO THE INVERT OF THE LOWEST PIPE IN THE BASIN. CLEANING OPERATIONS ARE TYPICALLY DONE USING A VACUUM TRUCK.

BIOSWALE PLANTERS / DEPRESSED GRASSSED ISLAND - REGULAR MAINTENANCE IS CRITICAL FOR THE EFFECTIVENESS OF THESE FEATURES. SEMI-ANNUAL INSPECTIONS ARE RECOMMENDED DURING THE FIRST YEAR (AND ANNUALLY THEREAFTER). THESE AREAS SHOULD BE INSPECTED FOR EROSION, BARE SPOTS, AND OVERALL HEALTH. TRASH AND DEBRIS SHOULD BE REMOVED ON A REGULAR BASIS.

SUBSURFACE INFILTRATION SYSTEM - AT A MINIMUM, ANNUAL INSPECTIONS OF THE SUBSURFACE INFILTRATION SYSTEM SHOULD BE CONDUCTED. INITIALLY, THE ISOLATOR ROW SHOULD BE INSPECTED EVERY 6 MONTHS FOR THE FIRST YEAR OF OPERATION. FOR SUBSEQUENT YEARS, THE INSPECTION SHOULD BE ADJUSTED BASED UPON PREVIOUS OBSERVATION OF SEDIMENT DEPOSITION. THE SYSTEM INCORPORATES A COMBINATION OF A STANDARD MANHOLE AND STRATEGICALLY LOCATED INSPECTION PORTS TO VISUALLY INSPECT THE SYSTEM. THE INSPECTION PORTS ALLOW FOR EASY ACCESS TO THE SYSTEM FROM THE SURFACE, ELIMINATING THE NEED TO PERFORM A CONFINED SPACE ENTRY FOR INSPECTION PURPOSES. IF UPON VISUAL INSPECTION IT IS FOUND THAT SEDIMENT HAS ACCUMULATED, A STADIA ROD SHOULD BE INSERTED TO DETERMINE THE DEPTH OF SEDIMENT. WHEN THE AVERAGE DEPTH OF SEDIMENT EXCEEDS 3 INCHES THROUGHOUT THE LENGTH OF THE FIRST ROW OF THE SYSTEM, CLEAN-OUT SHOULD BE PERFORMED.

THE PROPERTY OWNER / MANAGER SHALL BE RESPONSIBLE FOR STORMWATER MANAGEMENT SYSTEM AND MAINTENANCE.

THE PROPERTY OWNER / MANAGER SHALL MAINTAIN AND CLEAN THE STORMWATER TREATMENT UNIT / CATCH BASIN / INLET DRAIN SUMPS, INFILTRATION SYSTEM, AND BIOSWALES TO ENSURE EFFECTIVE OPERATION OF THE STORMWATER MANAGEMENT SYSTEM.



Table with 2 columns: Rev No., Description. The table is currently empty.

DRAWING STATUS
PERMIT SET
NOT FOR CONSTRUCTION



PROJECT
SQUARE 10
Phase 1C

ADDRESS
New Haven, Connecticut

DWG TITLE
GENERAL NOTES & LEGEND

JOB NO. 20130554.S14

DATE 11/17/22

SCALE N.T.S.



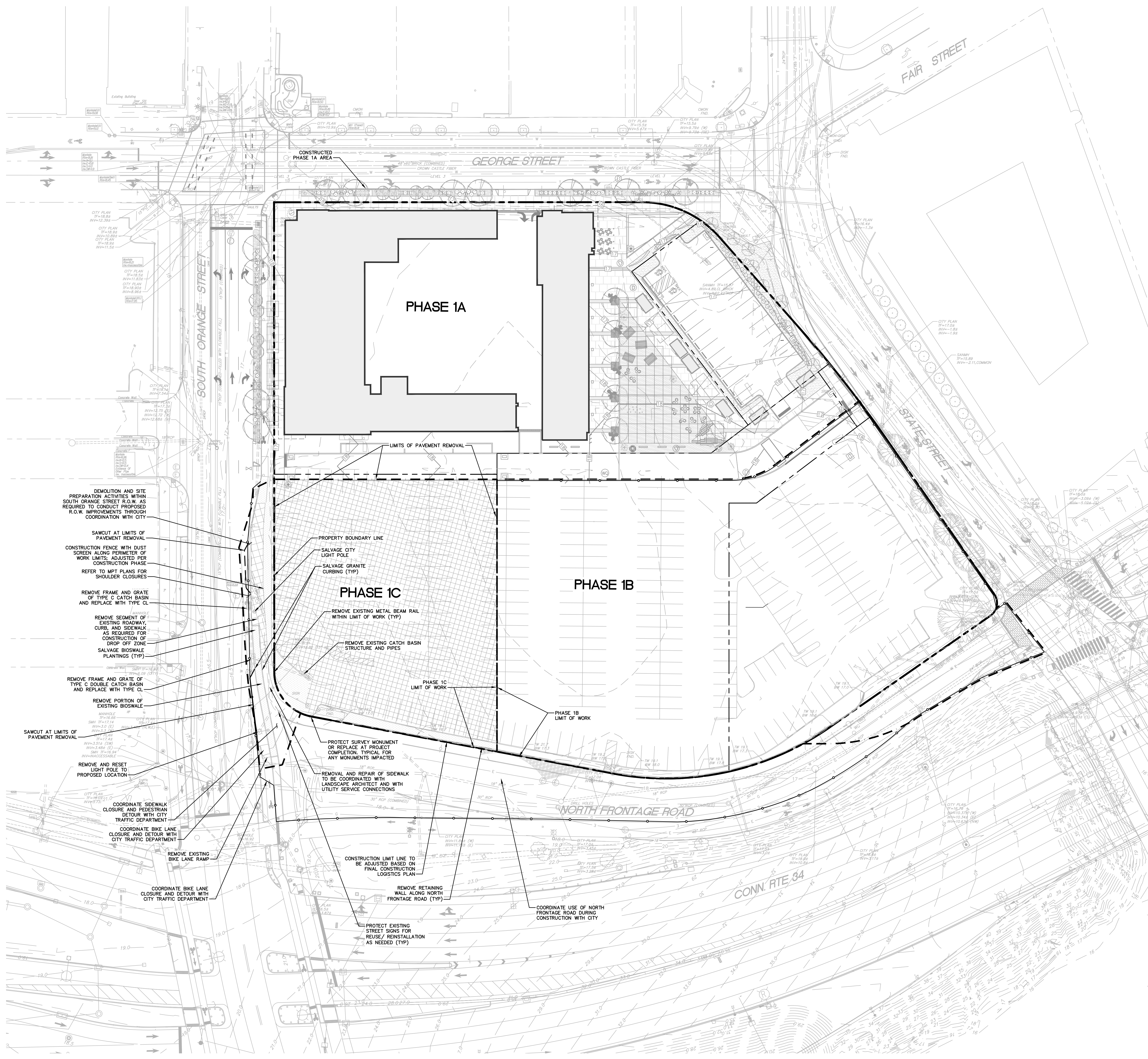
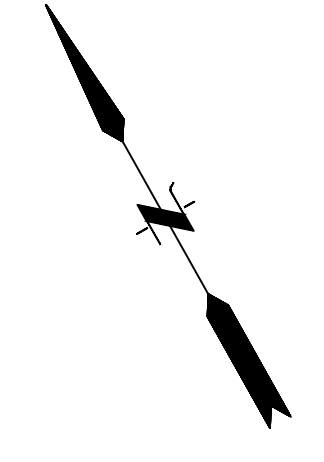
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GI-001



**SURVEY MAP REFERENCE**

"PROPERTY BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR LMLP NEW HAVEN LLC" PREPARED BY FUSS & O'NEILL, INC., SHEET 1 OF 1, DATED MAY 4, 2016. REVISED THROUGH JUNE 15, 2020. SCALE: 1"=40', DATUM: NAD27/NGVD29.



- DEMOLITION AND SITE PREPARATION ACTIVITIES WITHIN SOUTH ORANGE STREET R.O.W. AS REQUIRED TO CONDUCT PROPOSED R.O.W. IMPROVEMENTS THROUGH COORDINATION WITH CITY
- SAWCUT AT LIMITS OF PAVEMENT REMOVAL
- CONSTRUCTION FENCE WITH DUST SCREEN ALONG PERIMETER OF WORK LIMITS; ADJUSTED PER CONSTRUCTION PHASE
- REFER TO MPT PLANS FOR SHOULDER CLOSURES
- REMOVE FRAME AND GRATE OF TYPE C CATCH BASIN AND REPLACE WITH TYPE CL
- REMOVE SEGMENT OF EXISTING ROADWAY, CURB, AND SIDEWALK AS REQUIRED FOR CONSTRUCTION OF DROP OFF ZONE
- SALVAGE BIOSWALE PLANTINGS (TYP)
- REMOVE FRAME AND GRATE OF TYPE C DOUBLE CATCH BASIN AND REPLACE WITH TYPE CL
- REMOVE PORTION OF EXISTING BIOSWALE
- SAWCUT AT LIMITS OF PAVEMENT REMOVAL
- REMOVE AND RESET LIGHT POLE TO PROPOSED LOCATION
- COORDINATE SIDEWALK CLOSURE AND DETOUR WITH CITY TRAFFIC DEPARTMENT
- COORDINATE BIKE LANE CLOSURE AND DETOUR WITH CITY TRAFFIC DEPARTMENT
- REMOVE EXISTING BIKE LANE RAMP
- COORDINATE BIKE LANE CLOSURE AND DETOUR WITH CITY TRAFFIC DEPARTMENT

- PROPERTY BOUNDARY LINE
- SALVAGE CITY LIGHT POLE
- SALVAGE GRANITE CURBING (TYP)
- REMOVE EXISTING METAL BEAM RAIL WITHIN LIMIT OF WORK (TYP)
- REMOVE EXISTING CATCH BASIN STRUCTURE AND PIPES
- PHASE 1C LIMIT OF WORK
- PHASE 1B LIMIT OF WORK
- PROTECT SURVEY MONUMENT OR REPLACE AT PROJECT COMPLETION, TYPICAL FOR ANY MONUMENTS IMPACTED
- REMOVAL AND REPAIR OF SIDEWALK TO BE COORDINATED WITH LANDSCAPE ARCHITECT AND WITH UTILITY SERVICE CONNECTIONS
- CONSTRUCTION LIMIT LINE TO BE ADJUSTED BASED ON FINAL CONSTRUCTION LOGISTICS PLAN
- REMOVE RETAINING WALL ALONG NORTH FRONTAGE ROAD (TYP)
- PROTECT EXISTING STREET SIGNS FOR REUSE/ REINSTALLATION AS NEEDED (TYP)
- COORDINATE USE OF NORTH FRONTAGE ROAD DURING CONSTRUCTION WITH CITY

- NOTES:**
1. FIELD VERIFY EXISTING SITE ELEMENTS TO BE MODIFIED (FENCES, WALLS, SIDEWALKS, CURBS, ETC.) BEFORE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY SIGNIFICANT DISCREPANCIES. FIELD ADJUST PROPOSED SITE ELEMENTS AS REQUIRED TO MEET THE DESIGN INTENT WHILE ACCOUNTING FOR EXISTING CONDITIONS.
  2. PROTECT ITEMS TO REMAIN DURING CONSTRUCTION.
  3. WHERE INDICATED, REMOVE EXISTING HARDSCAPE SURFACES (E.G., BITUMINOUS CONCRETE, CURBS, CONCRETE WALKS, ETC.). SAWCUT HARDSCAPED SURFACES AT LIMIT OF REMOVAL. REMOVE CONCRETE WALKS, CONCRETE CURBS, AND GRANITE CURBS TO NEAREST JOINT.
  4. UNLESS INDICATED OTHERWISE, EXISTING UTILITIES WITHIN THE LIMIT OF WORK ARE TO BE ABANDONED OR REMOVED. PROPER COORDINATION WITH UTILITY PROVIDER IS REQUIRED PRIOR TO START OF WORK.
  5. COORDINATE UTILITIES OUTSIDE OF LIMIT OF WORK TO REMAIN WITH DEVELOPERS AGREEMENT FOR CITY SITE PREPARATION WORK.
  6. COORDINATE WITH UTILITY COMPANIES FOR UTILITIES TO BE RELOCATED, ABANDONED, OR REMOVED.
  7. STORE ITEMS TO BE SALVAGED AND REINSTALLED ONSITE. COORDINATE STORAGE LOCATION(S) WITH OWNER PRIOR TO CONSTRUCTION.
  8. POLICE TO BE PROVIDED WHENEVER CONSTRUCTION EQUIPMENT IS LOCATED IN ROADWAY.
  9. SIDEWALK CLOSURE TO BE APPROVED BY CITY TRAFFIC/ENGINEERING DEPARTMENT.

- LEGEND:**
- LIMIT OF WORK
  - EXISTING HARDSCAPE SURFACE TO BE REMOVED
  - EXISTING LANDSCAPED AREA TO BE CLEARED AND GRUBBED

**CALL BEFORE YOU DIG**  
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Rev. No.	Description	Date

DRAWING STATUS  
**PERMIT SET**  
 NOT FOR CONSTRUCTION



PROJECT  
**SQUARE 10 Phase 1C**

ADDRESS  
 New Haven, Connecticut

DWG TITLE  
**SITE PREPARATION PLAN**

JOB NO. 20130554.S14

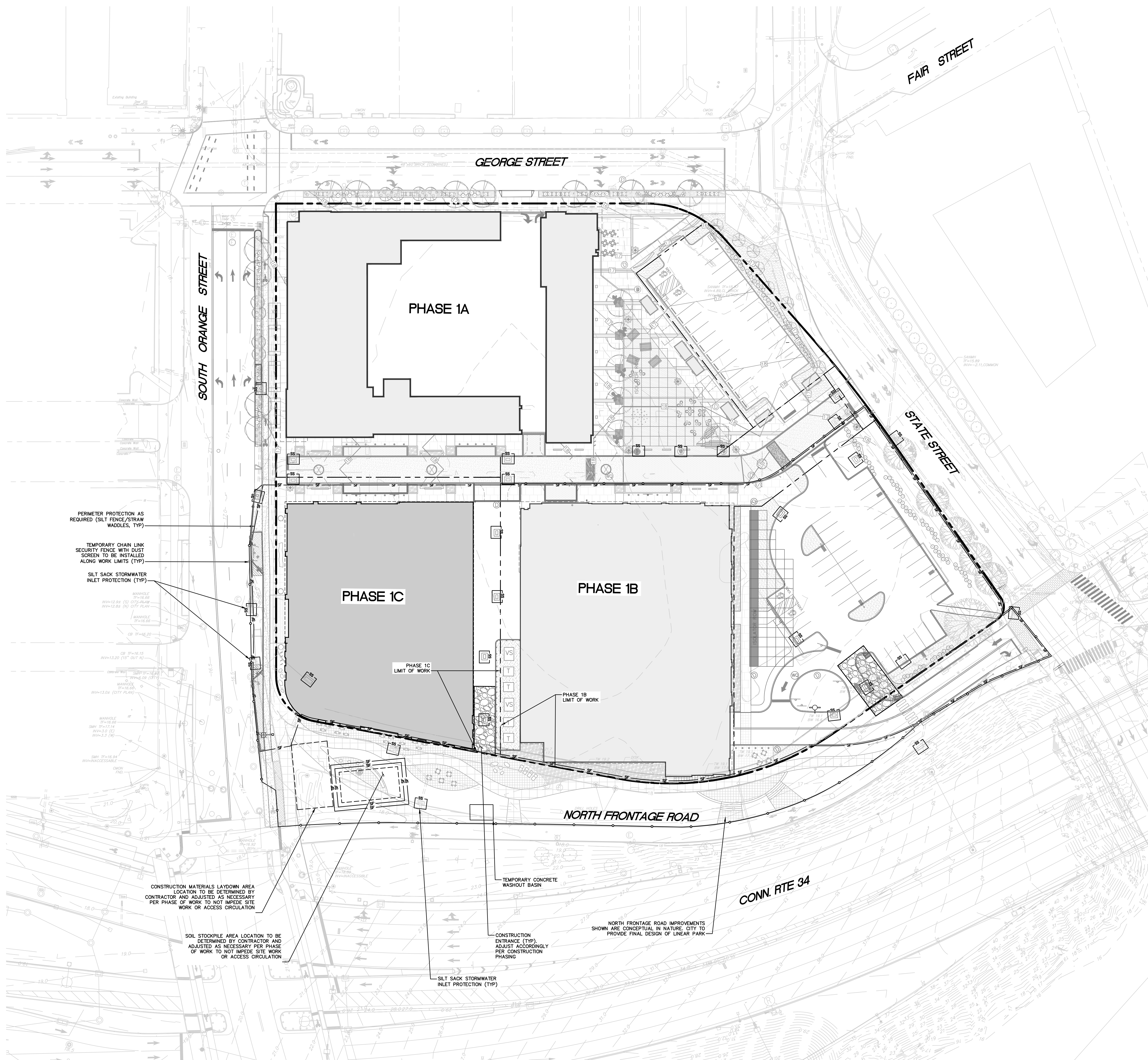
DATE 11/17/22

SCALE 1" = 30'

DRAWN BY DC, DF

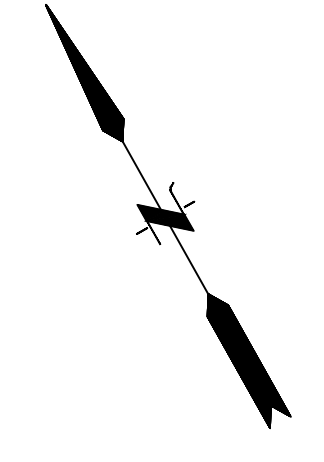
**CP-101**





**SURVEY MAP REFERENCE**

"PROPERTY BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR LWP NEW HAVEN LLC" PREPARED BY FUSS & O'NEILL, INC., SHEET 1 OF 1, DATED MAY 4, 2016, REVISED THROUGH JUNE 15, 2020, SCALE: 1"=40', DATUM: NAD27/NGVD29.



**GENERAL NOTES**

1. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
2. DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
3. PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
4. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDINGS AND ADJACENT SITE ELEMENTS INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, ETC.

**CONSTRUCTION LAYOUT NOTES**

1. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND SITE ELEMENTS BEFORE START OF CONSTRUCTION.
2. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES.
3. IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
4. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
5. BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

**EARTHWORK NOTES**

1. NOTIFY UTILITY LOCATOR SERVICE AT LEAST 72 HOURS BEFORE STARTING EXCAVATION.  
"CALL BEFORE YOU DIG" AT 1-800-922-4455.
2. STOP WORK IN THE VICINITY OF SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA. IMMEDIATELY NOTIFY THE OWNER SO THAT APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. RESUME WORK IN THE IMMEDIATE VICINITY ONLY UPON DIRECTION BY THE OWNER.

**UTILITY NOTES**

1. THE TYPE, SIZE AND LOCATION OF DEPICTED UNDERGROUND UTILITIES ARE APPROXIMATE REPRESENTATIONS OF INFORMATION OBTAINED FROM FIELD LOCATIONS OF VISIBLE FEATURES, EXISTING MAPS AND PLANS OF RECORD, UTILITY MAPPING, AND OTHER SOURCES OF INFORMATION OBTAINED BY THE ENGINEER. ASSUME NO GUARANTEE AS TO THE COMPLETENESS, SERVICEABILITY, EXISTENCE, OR ACCURACY OF UNDERGROUND FACILITIES. FIELD VERIFY THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES.
2. INSTALL PROPOSED PRIVATE UTILITY SERVICES ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE AUTHORITY HAVING JURISDICTION (WATER, SEWER, GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). COORDINATE FINAL DESIGN LOADS AND LOCATIONS WITH OWNER AND ARCHITECT.

**SITE RESTORATION NOTES**

1. PROVIDE 6 INCHES OF TOPSOIL AND SEED TO AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED TO BE RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED.
2. REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
3. RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.
4. REFER TO LANDSCAPING PLANS.

**EROSION & SEDIMENT CONTROL NOTES:**

1. INSTALL TEMPORARY E&S CONTROL MEASURES PRIOR TO STARTING ANY WORK ON THE SITE THAT HAS THE POTENTIAL TO CAUSE EROSION OR SEDIMENT TRANSPORT. POTENTIAL LOCATIONS FOR CONTROL MEASURES ARE SHOWN ON THE PLAN. ADJUST THE PLACEMENT OF CONTROL MEASURES AS NEEDED TO ACCOUNT FOR FIELD CONDITIONS AND CONSTRUCTION METHODS. ALL AREAS DOWNGRADIENT FROM DISTURBED SOIL SHALL BE ADEQUATELY PROTECTED THROUGHOUT CONSTRUCTION.
2. IMPLEMENT ALL NECESSARY MEASURES REQUIRED TO CONTROL STORMWATER RUNOFF, DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE. PERFORM CORRECTIVE ACTION AS NEEDED FOR EROSION CLEANUP AND REPAIRS TO OFF SITE AREAS, IF ANY, AT NO COST TO OWNER.
3. INSPECT AND MAINTAIN EROSION CONTROL MEASURES REGULARLY. DISPOSE OF SEDIMENT IN AN UPLAND AREA. DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
4. PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDED, OR STABILIZED WITH HARDSCAPE COVER.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES. CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.
6. SWEEP PAVED SURFACES ADJACENT TO THE WORK AREA DAILY TO REMOVE ANY CONSTRUCTION SEDIMENTS. DISPOSE OF SEDIMENT IN AN UPLAND AREA.

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Rev No.	Description	Date

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**PERMIT SET**  
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PROJECT  
**SQUARE 10**  
Phase 1C

ADDRESS  
New Haven, Connecticut

DWG TITLE  
**EROSION AND SEDIMENT CONTROL PLAN**

JOB NO. 20130554.S14

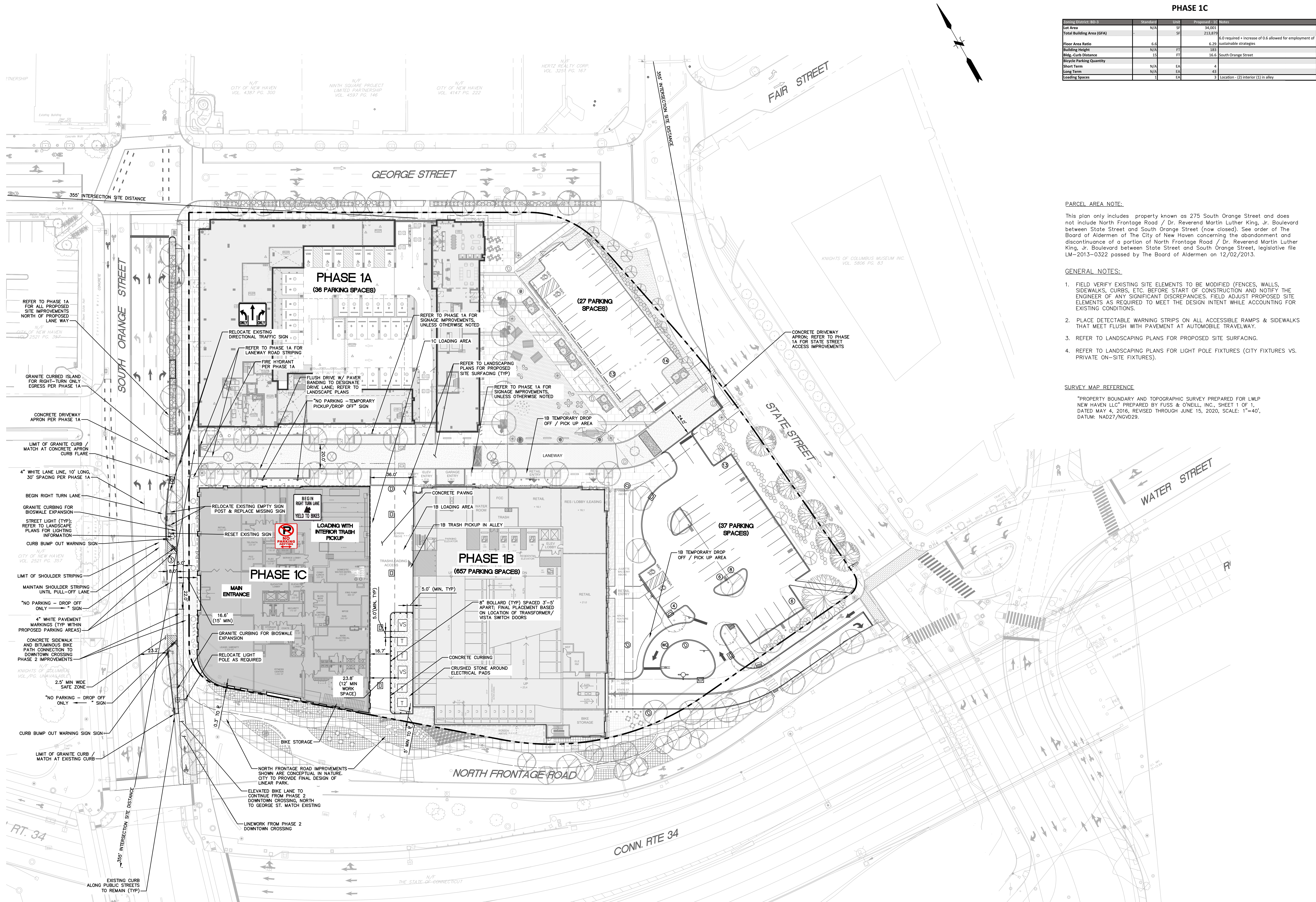
DATE 11/17/22

SCALE 1" = 30'  
GRAPHIC SCALE

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**CE-101**





**PHASE 1C**

Zoning District: RD-3	Standard	Unit	Proposed: 1C	Notes
Lot Area	N/A	SF	34,021	
Total Building Area (GFA)	N/A	SF	233,879	6.0 required + increase of 0.6 allowed for employment of sustainable strategies
Floor Area Ratio	6.6		6.29	
Building Height	N/A	FT	183	
Bldg.-Curb Distance	15	FT	16.6	South Orange Street
Bicycle Parking Quantity	N/A	EA	4	
Short Term	N/A	EA	43	
Long Term	N/A	EA	43	
Loading Spaces	1	EA	2	Location - (2) interior (1) in alley

**PARCEL AREA NOTE:**

This plan only includes property known as 275 South Orange Street and does not include North Frontage Road / Dr. Reverend Martin Luther King, Jr. Boulevard between State Street and South Orange Street (now closed). See order of the Board of Aldermen of The City of New Haven concerning the abandonment and discontinuance of a portion of North Frontage Road / Dr. Reverend Martin Luther King, Jr. Boulevard between State Street and South Orange Street, legislative file LM-2013-0322 passed by the Board of Aldermen on 12/02/2013.

**GENERAL NOTES:**

1. FIELD VERIFY EXISTING SITE ELEMENTS TO BE MODIFIED (FENCES, WALLS, SIDEWALKS, CURBS, ETC.) BEFORE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY SIGNIFICANT DISCREPANCIES. FIELD ADJUST PROPOSED SITE ELEMENTS AS REQUIRED TO MEET THE DESIGN INTENT WHILE ACCOUNTING FOR EXISTING CONDITIONS.
2. PLACE DETECTABLE WARNING STRIPS ON ALL ACCESSIBLE RAMP & SIDEWALKS THAT MEET FLUSH WITH PAVEMENT AT AUTOMOBILE TRAVELWAY.
3. REFER TO LANDSCAPING PLANS FOR PROPOSED SITE SURFACING.
4. REFER TO LANDSCAPING PLANS FOR LIGHT POLE FIXTURES (CITY FIXTURES VS. PRIVATE ON-SITE FIXTURES).

**SURVEY MAP REFERENCE:**

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PROJECT  
**SQUARE 10**  
Phase 1C

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New Haven, Connecticut

DWG TITLE  
SITE LAYOUT PLAN

JOB NO. 20130554.S14

DATE 11/17/22

SCALE 1" = 30'  
GRAPHIC SCALE

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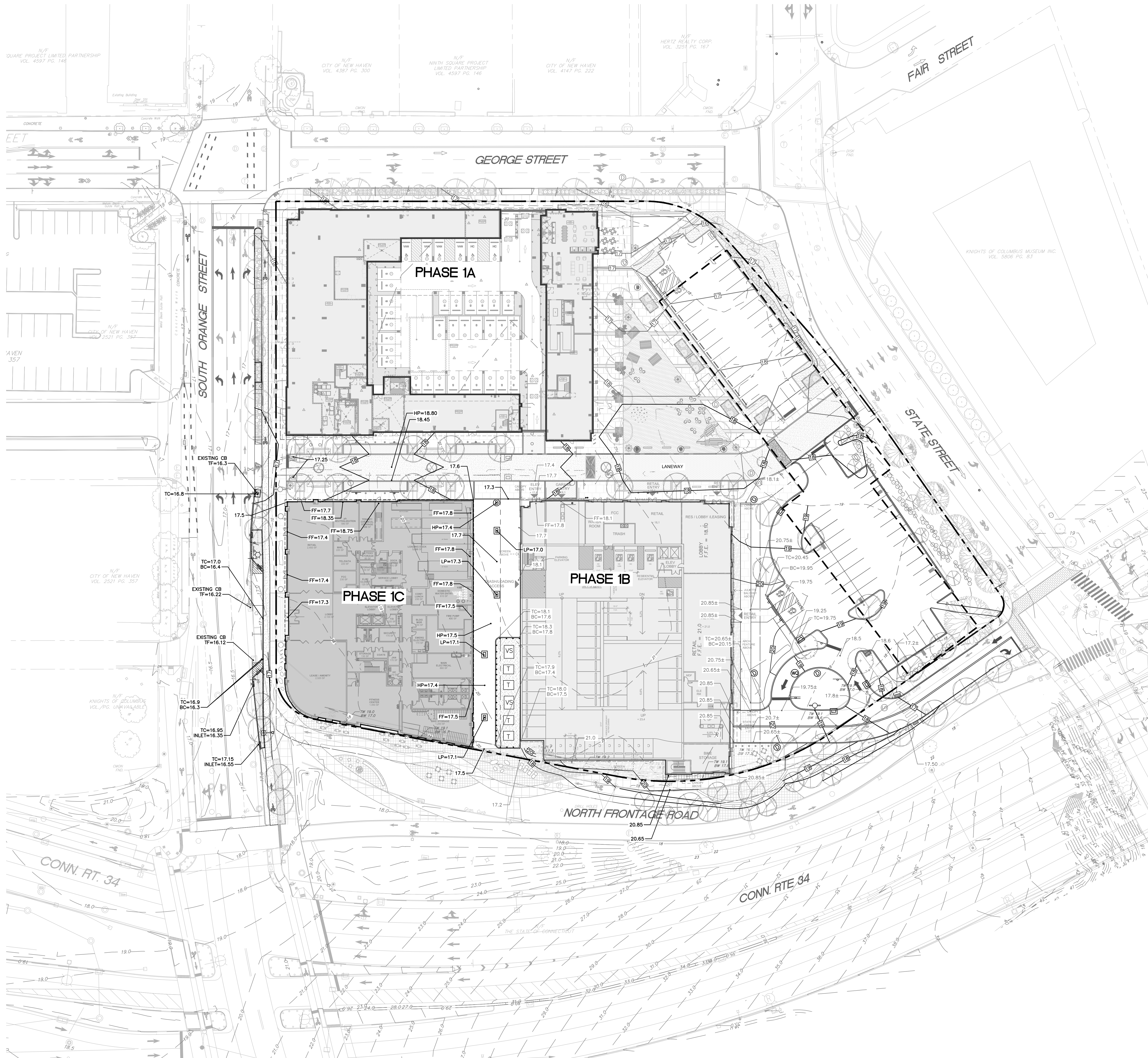
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**SPOT ELEVATION LEGEND:**

- TC - TOP OF CURB
- BC - BOTTOM OF CURB
- TS - TOP OF STEPS
- BS - BOTTOM OF STEPS
- HP - HIGH POINT
- LP - LOW POINT
- DTX - DOWNTOWN CROSSING PHASE 2 DESIGN ELEVATIONS

**GRADING NOTES:**

1. SITE SHALL BE GRADED SMOOTHLY AND EVENLY IN ACCORDANCE WITH THE PROPOSED TOPOGRAPHIC CONTOURS AND SPOT GRADE ELEVATIONS DEPICTED HEREON. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE FLOW WITHOUT CREATING ANY FLAT SPOTS OR DEPRESSIONS THAT WILL RESULT IN STANDING WATER.
2. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12H:1V (8.3%) AND A MAXIMUM RISE OF 2.5'.
3. ALL SIDEWALKS AND CROSSWALKS SHALL BE GRADED WITH A MAXIMUM CROSS-PITCH OF 2%.
4. ALL SIDEWALKS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 5%.
5. ALL ACCESSIBLE PARKING AREAS AND LANDING AREAS SHALL BE GRADED WITH A MAXIMUM PITCH OF 2.0% IN ALL DIRECTIONS.
6. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS BEFORE START OF CONSTRUCTION.
7. AT A MINIMUM, CONSTRUCT ACCESSIBLE ROUTES, RAMPS, SIDEWALKS, AND WALKWAYS IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
8. CONTRACTOR TO CONFIRM GRADES OF PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION.



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PROJECT  
**SQUARE 10**  
Phase 1C

ADDRESS  
New Haven, Connecticut

DWG TITLE  
SITE GRADING PLAN

JOB NO. 20130554.S14

DATE 11/17/22

SCALE 1" = 30'

DRAWN BY DC, DF

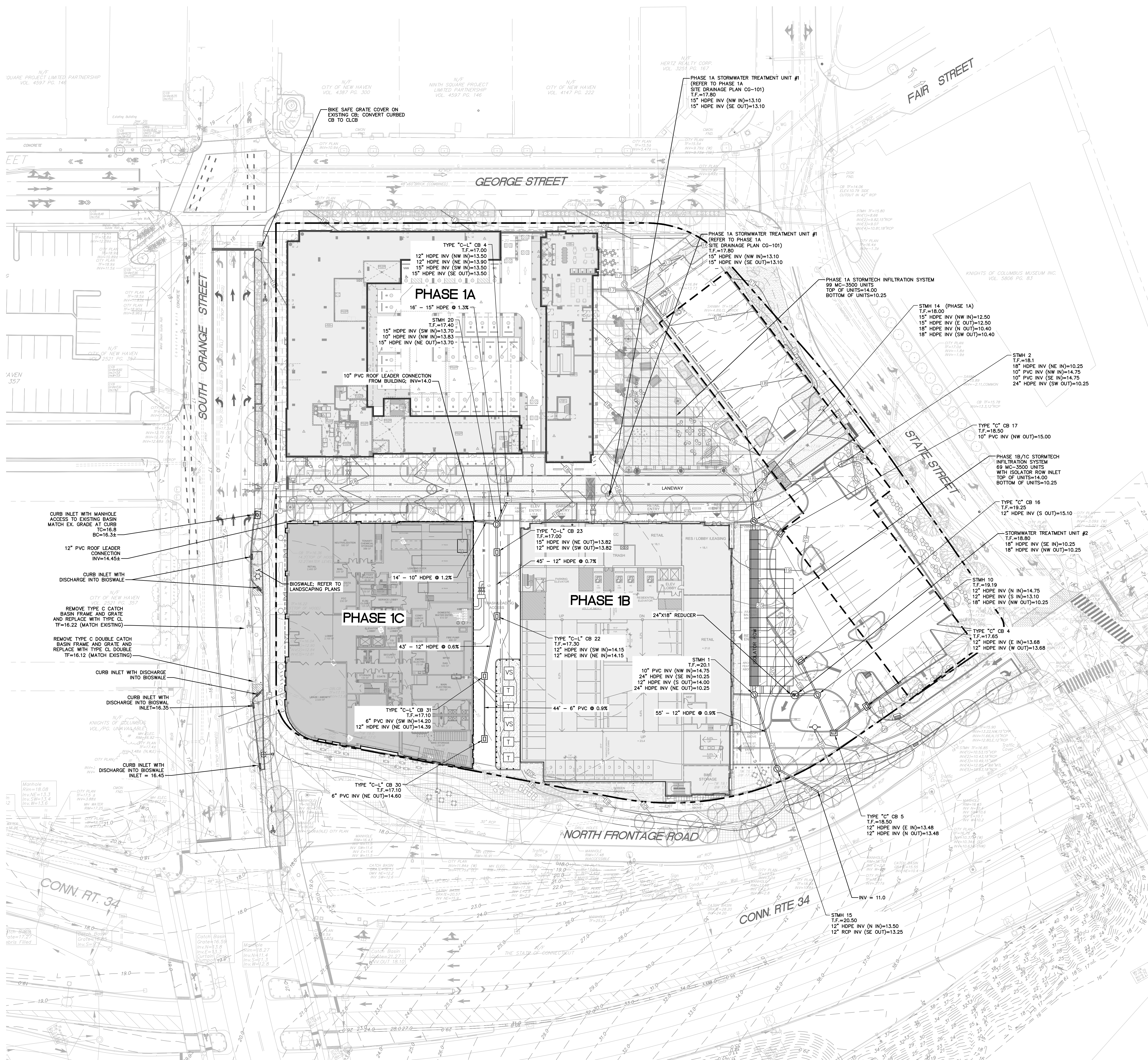
**CG-101**

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- NOTES:**
- THE FOUR OUTLET CONTROL STRUCTURES ASSOCIATED WITH THE SUBSURFACE INFILTRATION SYSTEMS, STWU #1 & STWU #2 (PHASE 1A), AND STWU #1 & STWU #2 ARE STANDARD STORM MANHOLES THAT ACT AS OUTLET CONTROL STRUCTURES DUE TO THE CONFIGURATION OF THE PIPE INVERTS. THE STANDARD STORM MANHOLES (NH-12) DETAIL ON SHEET CD-504 SHALL BE USED FOR CONSTRUCTION OF THESE STRUCTURES.
  - THE FINAL LAYOUT OF THE SUBSURFACE INFILTRATION SYSTEM WILL BE COORDINATED WITH THE FUTURE PLAZA DESIGN AND MAINTAIN THE # OF UNITS NEEDED TO COMPLY WITH THE CITY STORMWATER REGULATIONS.

**UTILITY NOTE**

THE UNDERGROUND UTILITIES DEPICTED HEREON ARE BASED ON FIELD LOCATION OF VISIBLE FEATURES, MAPS AND PLANS OF RECORD, UTILITY MAPPING OR OTHER SOURCES OF INFORMATION. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE ENGINEER DOES BELIEVE THAT THEY ARE DEPICTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**STORMWATER MANAGEMENT OPERATIONS AND MAINTENANCE NOTES:**

LONG TERM STORMWATER MANAGEMENT MAINTENANCE SHOULD BE COMPLETED IN ACCORDANCE WITH THE 2004 CONNECTICUT STORMWATER QUALITY MANUAL.

**STORMWATER TREATMENT UNIT / CATCH BASIN / INLET SIMPS -** STORMWATER TREATMENT UNIT / CATCH BASIN / INLET SIMPS MUST BE INSPECTED AT REGULAR INTERVALS AND CLEANED WHEN NECESSARY. AT A MINIMUM, INSPECTIONS SHOULD BE CONDUCTED TWICE PER YEAR, ONCE IN THE SPRING AND AGAIN IN THE FALL. MORE INSPECTIONS MAY BE REQUIRED DURING WINTER MONTHS WHERE HEAVY SANDING OPERATIONS MAY LEAD TO RAPID SEDIMENT ACCUMULATION WITHIN THE STRUCTURE. CATCH BASINS SHOULD BE CLEANED IF THE DEPTH OF SEDIMENT IN THE SUMP IS GREATER THAN OR EQUAL TO 1/8 THE DEPTH FROM THE BOTTOM OF THE BASIN TO THE INVERT OF THE LOWEST PIPE IN THE BASIN. CLEANING OPERATIONS ARE TYPICALLY DONE USING A VACUUM TRUCK.

**BIOSWALE PLANTERS / DEPRESSED GRASSED ISLAND -** REGULAR MAINTENANCE IS CRITICAL FOR THE EFFECTIVENESS OF THESE FEATURES. SEMI-ANNUAL INSPECTIONS ARE RECOMMENDED DURING THE FIRST YEAR (AND ANNUALLY THEREAFTER). THESE AREAS SHOULD BE INSPECTED FOR EROSION, BARE SPOTS, AND OVERALL HEALTH. TRASH AND DEBRIS SHOULD BE REMOVED ON A REGULAR BASIS.

**SUBSURFACE INFILTRATION SYSTEM -** AT A MINIMUM, ANNUAL INSPECTIONS OF THE SUBSURFACE INFILTRATION SYSTEM SHOULD BE CONDUCTED. INITIALLY, THE ISOLATOR ROW SHOULD BE INSPECTED EVERY 6 MONTHS FOR THE FIRST YEAR OF OPERATION. FOR SUBSEQUENT YEARS, THE INSPECTION SHOULD BE ADJUSTED BASED UPON PREVIOUS OBSERVATION OF SEDIMENT DEPOSITION. THE SYSTEM INCORPORATES A COMBINATION OF A STANDARD MANHOLE AND STRATEGICALLY LOCATED INSPECTION PORTS TO VISUALLY INSPECT THE SYSTEM. THE INSPECTION PORTS ALLOW FOR EASY ACCESS TO THE SYSTEM FROM THE SURFACE, ELIMINATING THE NEED TO PERFORM A CONFINED SPACE ENTRY FOR INSPECTION PURPOSES. IF UPON VISUAL INSPECTION IT IS FOUND THAT SEDIMENT HAS ACCUMULATED, A STADIA ROD SHOULD BE INSERTED TO DETERMINE THE DEPTH OF SEDIMENT. WHEN THE AVERAGE DEPTH OF SEDIMENT EXCEEDS 3 INCHES THROUGHOUT THE LENGTH OF THE FIRST ROW OF THE SYSTEM, CLEAN-OUT SHOULD BE PERFORMED.

THE PROPERTY OWNER / MANAGER SHALL BE RESPONSIBLE FOR STORMWATER MANAGEMENT SYSTEM AND MAINTENANCE.

THE PROPERTY OWNER / MANAGER SHALL MAINTAIN AND CLEAN THE STORMWATER TREATMENT UNIT / CATCH BASIN / INLET DRAIN SIMPS, INFILTRATION SYSTEM, AND BIOSWALES TO ENSURE EFFECTIVE OPERATION OF THE STORMWATER MANAGEMENT SYSTEM.

**CALL BEFORE YOU DIG**

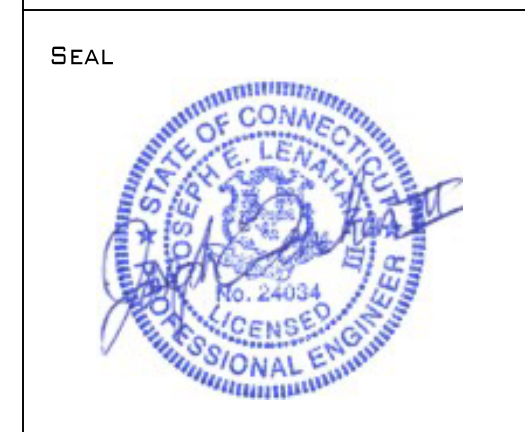
CALL-BEFORE-YOU-DIG: THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO ARRANGE FOR MARKING OUT EXISTING UNDERGROUND UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.



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PERMIT SET  
NOT FOR CONSTRUCTION



PROJECT  
**SQUARE 10  
Phase 1C**

ADDRESS  
New Haven, Connecticut

DWG TITLE  
**SITE DRAINAGE PLAN**

JOB NO. 20130554.S14

DATE 11/17/22

SCALE 1" = 30'  
GRAPHIC SCALE

DRAWN BY DC, DF

**CG-102**



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**UTILITY COMPANY CONTACTS:**

**WATER:** SOUTH CENTRAL CT REGIONAL WATER AUTHORITY  
PROJECT CONTACT: TED SZCZECZ  
(203) 401-2580

**ELECTRIC:** UNITED ILLUMINATING CO.  
PROJECT CONTACT: JAMES BERTINI  
(203) 926-4429

**GAS:** SOUTHERN CONNECTICUT GAS CO.  
PROJECT CONTACT: TOM MYJAK  
(203) 671-1316

**SANITARY SEWER:** GREATER NEW HAVEN WPCA  
PROJECT CONTACT: RICARDO CEBALLOS  
(203) 466-4122

**COMMUNICATIONS:** FRONTIER COMMUNICATIONS OF CONNECTICUT  
PROJECT CONTACT: MIKE AMURO  
(203) 771-2045

**COMMUNICATIONS:** COMCAST COMMUNICATIONS OF CONNECTICUT  
PROJECT CONTACT: BOB BURDON  
(475) 227-0350

**COMMUNICATIONS:** CENTURYLINK COMMUNICATIONS, LLC  
PROJECT CONTACT: EMILIO ANUNZIATO  
(203) 842-2819

**FIBER OPTIC:** CROWN CASTLE FIBER  
PROJECT CONTACT: TERRY SHEA  
(203) 649-3905

**UTILITY NOTE**

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**GENERAL NOTES**

1. PHASE 1C UTILITY CONNECTIONS SHOWN ARE CONCEPTUAL AND NOT INTENDED FOR FINAL CONSTRUCTION UNTIL PROPERLY COORDINATED WITH M.E.P. AND ARCHITECT.
2. THE SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UTILITIES TO END 1' OUTSIDE THE FOUNDATION WALL WITH BUILDING CONTRACTOR. VERIFY ALL LOCATIONS TO AVOID CONFLICTS WITH OTHER UTILITIES.
3. PROPOSED ELECTRICAL AND COMMUNICATIONS UTILITIES TO BE UNDERGROUND AND COORDINATED WITH UTILITY COMPANIES. (U/I/ CENTURYLINK/ COMCAST/ FRONTIER)
4. COORDINATE THE WORK AND WORK SCHEDULE WITH UTILITY COMPANIES. PROVIDE ADEQUATE NOTICE TO UTILITIES TO PREVENT DELAYS IN CONSTRUCTION.
5. INSTALL PROPOSED UTILITY SERVICES ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE AUTHORITY HAVING JURISDICTION (WATER, SEWER, GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). COORDINATE FINAL DESIGN LOADS AND LOCATIONS WITH OWNER AND ARCHITECT.
6. ALL UTILITY CONNECTIONS TO BE CONFIRMED WITH MEP CONSULTANT AND UTILITY CO.
7. UNLESS OTHERWISE INDICATED ON THESE PLANS, ALL PROPOSED UNDERGROUND UTILITIES ARE TO BE CONSTRUCTED TO LINE AND GRADE AS DIRECTED BY THE GOVERNING UTILITY.
8. FULL CONDUIT NUMBERS AND SIZES NOT SHOWN, COORDINATE CONNECTIONS WITH MEP AND UTILITY COMPANIES AND FURNISH FOR ALL UNITS.
9. THE LOCATION, CAPACITY, AND CONDITION OF ALL UTILITIES ARE TO BE CONFIRMED WITH THE RESPECTIVE UTILITY COMPANIES. THE ROUTING & INSTALLATION OF ALL UTILITIES ARE SUBJECT TO CHANGE AND ARE ULTIMATELY DICTATED IN THE FIELD BY THE UTILITY COMPANIES.

**GNHWPCA NOTE**

1. ALL SANITARY SEWER WORK SHALL FOLLOW GNHWPCA STANDARD DETAILS AND SPECIFICATIONS.
2. SEWER CONNECTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION OF SEWER RELATED INFRASTRUCTURE.
3. TO DETERMINE THE SEWER CONNECTION FEE, PROVIDE A LIST OF THE SIZE OF THE WATER METERS THAT WILL BE SERVING DOMESTIC WATER TO THE PROPOSED DEVELOPMENT.



Rev No.	Description	Date

DRAWING STATUS  
**PERMIT SET**  
NOT FOR CONSTRUCTION



PROJECT  
**SQUARE 10**  
Phase 1C

ADDRESS  
New Haven, Connecticut

DWG TITLE  
SITE UTILITY PLAN

JOB NO. 20130554.S14

DATE 11/17/22

SCALE 1" = 30'

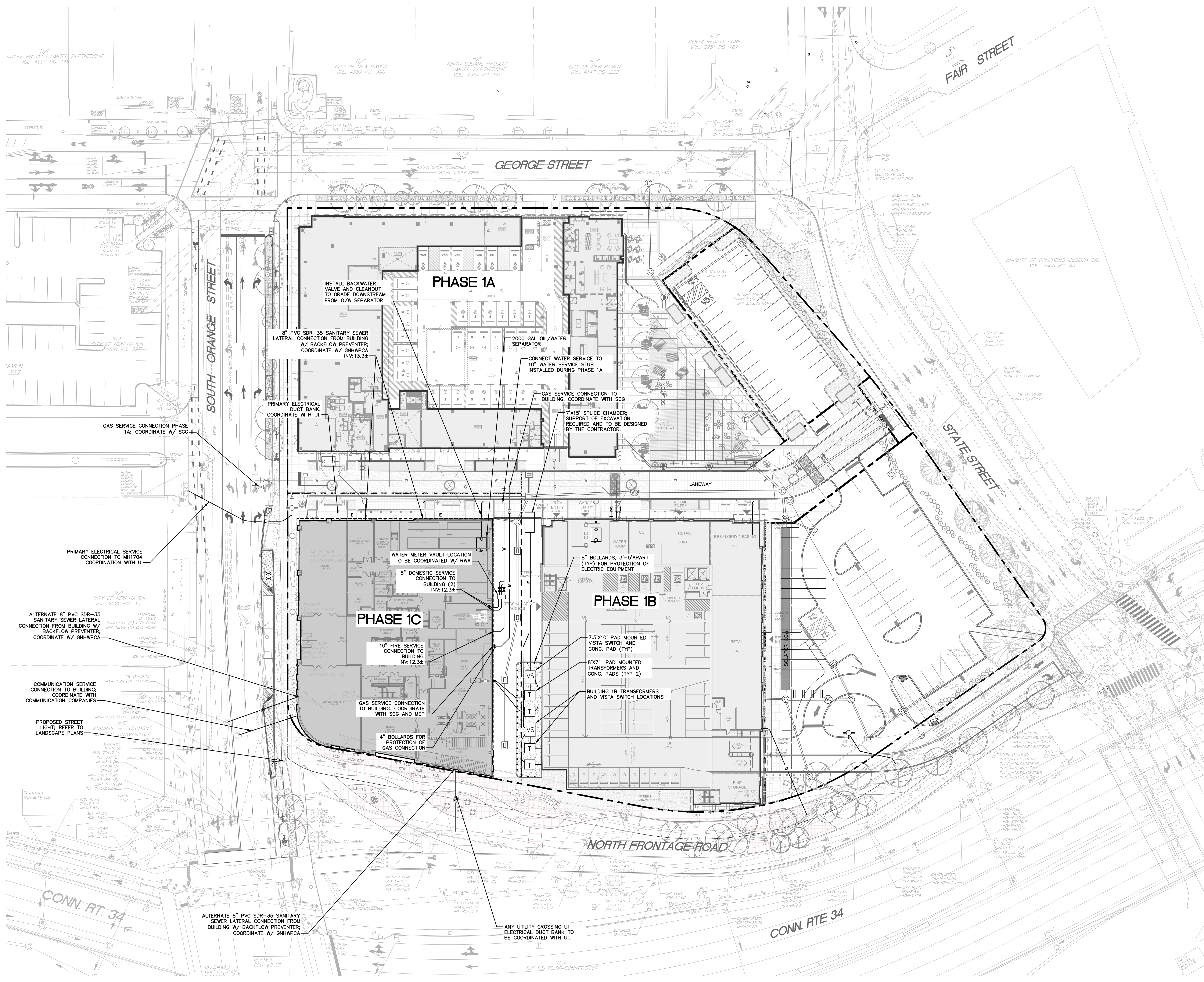
GRAPHIC SCALE

DRAWN BY DC, DF

**CU-101**

**CALL before you DIG**  
Call Toll Free In Conn. 1-800-922-4455

CALL-BEFORE-YOU-DIG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO ARRANGE FOR MARKING OUT EXISTING UNDERGROUND UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.



File Path: J:\DWG\20130554\14\CU-101\_Plan\Phase1C.dwg  
 Plot Date: 11/17/22 8:40 AM User: dfa