

Bridgeport Harbor Station Site Reuse & Planning Study

State of Connecticut
Neighborhood Revitalization Zone
Advisory Board Meeting

October 17, 2024
Margaret E. Morton Government Center



INTRODUCTION

Introduction to COGs



There are nine Council of Governments covering all 169 municipalities.



COGs are public agencies that have a Board of Directors comprised of the Chief Elected Official from each member municipality.



Urban centered COGs (7 of 9) also act as the federally designated Metropolitan Planning Organizations, responsible for transportation planning with the region.



Funded through a variety of federal and state grants as well as municipal dues.



Provide a geographic framework within which municipalities can jointly address areas of common interest and coordinate programs/services across municipal boundaries.

ABOUT OUR REGION

MetroCOG is a robust, multi-disciplined planning organization



City of Bridgeport; Towns of Easton, Fairfield, Monroe, Stratford & Trumbull

Greater Bridgeport and Valley MPO host agency.

Provide a range of services to the six member municipalities – Transportation, Land Use, Conservation & Natural Hazard Mitigation Planning; GIS & Mapping, Grant Writing/technical assistance, Project Management, shared services.

BRIDGEPORT HARBOR STATION SITE REUSE AND PLANNING STUDY

Planning Study for the Former Coal Fired Power Plant



Site History



Decommissioning



Purpose



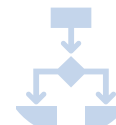
Funding



Process



Current Status



Next Steps

BRIDGEPORT HARBOR STATION

Basic Site Information

Bridgeport Harbor Station Units #1-4 are located on 1 Atlantic Avenue in the South End.

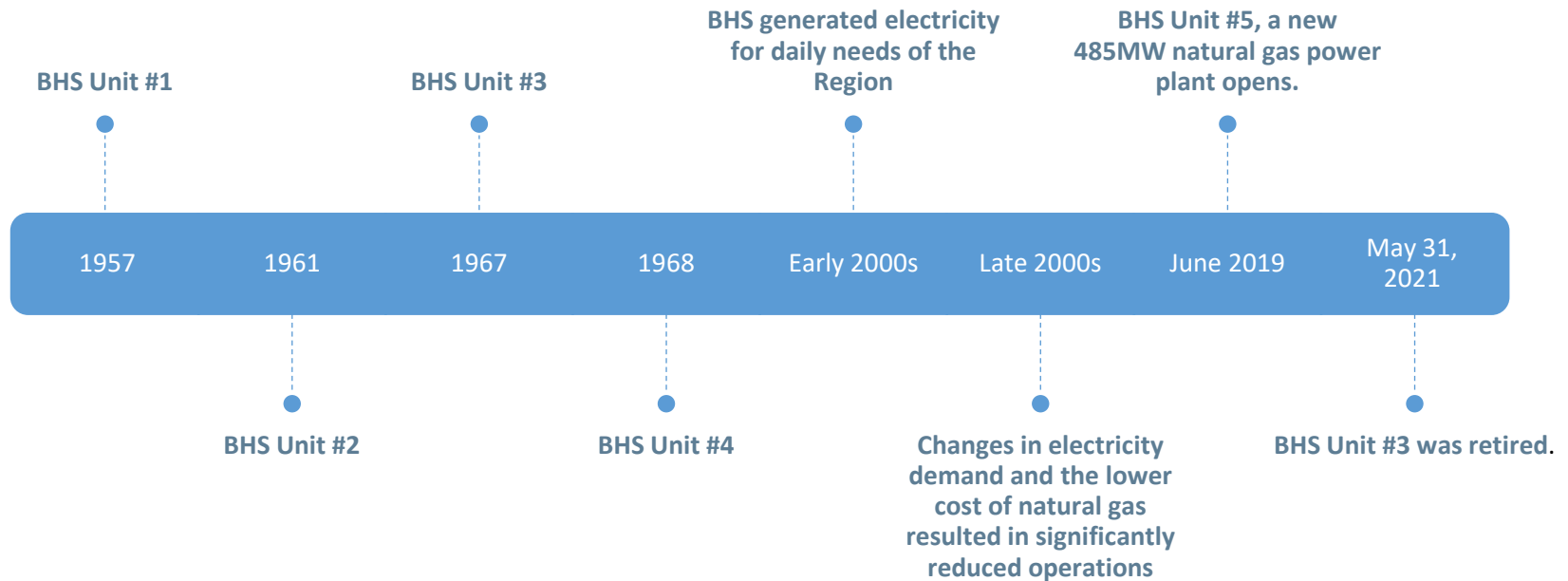
33.17 acres situated on Bridgeport Harbor

Currently owned by Bridgeport Harbor 1-4 LLC, a subsidiary of PSEG

Study Area also includes 3 Atlantic Avenue, a 1.79-acre parcel owned by the United Illuminating Company

BRIDGEPORT HARBOR STATION

Operational History



Unit #2: 170 MW Oil Fired Unit

Unit #3: Initially burned oil to provide base load electric power to Greater Bridgeport – switched fuel supply to coal due to abundance and low cost.

Unit #4: 22 MW Combustion Turbine Peaking Unit

DECOMMISSIONING

Why This Study?

Bridgeport City Council

The Bridgeport City Council adopted *A Resolution Regarding PSEG Coal Fired Power Plant at Bridgeport Harbor Station* on October 6, 2014.

Resolution affirming desire to phase-out coal fired electricity, remediate and reuse the property for a subsequent reuse, and create a Citizens Action Committee (CAC)

Citizens Action Committee (CAC)

CAC released the *Report Regarding Community Environmental Benefits Agreement and the Future of the Bridgeport Harbor Station Coal Plant*.

Report recommended the retirement of the BHS Coal Plant, establishment of funding sources to support community and government agencies focused on the impact of health and environmental needs related to infrastructure, health services, etc.

Community Environmental Benefits Agreement

Through the work of the CAC, a Community Environment Benefits Agreement (CEBA) was signed between the City of Bridgeport, PSEG and Community-Based Organizations

CEBA established the Community Environmental Benefit Fund (CEBF) - \$2M

One provision of the CEBA required a Joint City/PSEG Planning Study

Study to be partially funded through the Community Environmental Benefit Fund

GOALS AND OBJECTIVE

Purpose of the Reuse Study – Community Benefit Agreement

Identify potential site redevelopment options that will consider job creation, tax generation, quality of life, and amenity provision for the residents of the South End and the entire City of Bridgeport.

Study shall determine short-term and long-term processes, procedures and associated costs for site redevelopment and reuse.

Study shall consider the economic viability of future uses, and the social and environmental objectives of the City of Bridgeport.

Extensive community engagement and public participation to gather input on potential long-term reuse scenarios.

Any reuse strategies and conceptual designs developed during the Study should further Bridgeport's planning and economic development goals.

STUDY IS A GUIDANCE DOCUMENT. The ultimate reuse and redevelopment of the site is dependent on several factors including economic and environmental feasibility considerations.

FUNDING

Sources of Funding for Study



**United States Economic Development Administration
Economic Adjustment Assistance (American Rescue Plan)
Coal Communities Commitment Program**

Bridgeport Environmental Task Force

PROCESS

Study Tasks

Community & Technical Advisory Committees

Public Outreach & Engagement

Existing Site Evaluation/Existing Conditions:

Abatement, Deconstruction and Remediation Plan

Economic & Market Analysis

Reuse Options

Conceptual Designs

Draft and Final Reuse Plan

COMMUNITY ENGAGEMENT RECAP

Develop and implement effective community engagement strategy



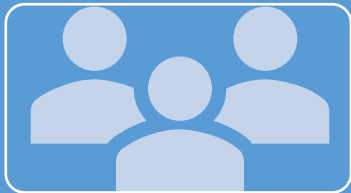
Public Meeting #1

- Saturday, March 23rd @ MetroArts Studio
- 30+ Attendees
- What We Heard: Mixed Use w/ Affordable Housing, Retail/Dining, Jobs, Connectivity, Waterfront Access



South End Day Pop-Up

- Sunday, August 25th @ Seaside Park
- 20 Attendees Visited our Table
- What We Heard: Tax Paying Businesses, Housing (Affordable), Entertainment



Community Advisory Committee

- January 24th and September 11th, 2024
- Members include Residents, Stakeholders, Community Based Organizations
- Will continue to meet as the Plan progresses.

PUBLIC MEETING #2 –Wednesday, November 13th @ UB

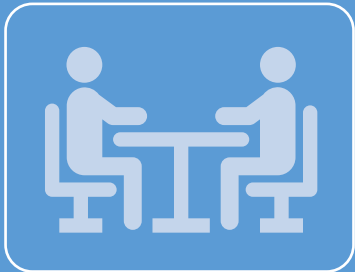
COMMUNITY ENGAGEMENT RECAP

Develop and implement effective community engagement strategy



Community Survey

- Survey is still live!
- 75+ Participants To Date



Stakeholder Interviews

- South End NRZ, Bridgeport Regional Business Council
- City of Bridgeport, Resilient Bridgeport, University of Bridgeport



Project Website/Newsletter

- www.bridgeportharborstationreuse.com

EXISTING CONDITIONS

INVENTORY AND ANALYSIS

Analysis of existing assets, opportunities, and challenges that will serve as the basis for the identification of strategic redevelopment projects.

Community
Profile

Zoning

Land Use

Land
Ownership

Community
Services

Historic &
Cultural
Resources

Recreational
Assets

Transportation
Systems

Natural
Systems

Utility
Infrastructure

Environmental
Conditions

EXISTING CONDITIONS

KEY OPPORTUNITIES

- Unlock Waterfront Access for public use and recreation
- Leverage the Strategic Location to attract commuters, tourists and businesses
- Capitalize the Maritime Development opportunities that exist with the site's location within Bridgeport Harbor
- Transition to Renewable Energy Sources that builds a sustainable South End neighborhood.
- Support Economic Development Opportunities that benefit communities of the South End.
- Focus on Community Enhancement that has potential to improve the quality of life for South End residents.
- Understanding of Environmental Conditions to inform reuse planning and required mitigation activities.

EXISTING CONDITIONS

KEY CHALLENGES



HIGH FLOOD VULNERABILITY GIVEN
BRIDGEPORT HARBOR STATION'S
PROXIMITY TO THE COASTLINE AND
LOW ELEVATION



LIMITED ACCESS AND CONNECTIVITY
TO THE WATERFRONT AND NEARBY
COMMUNITY ASSETS



ADDITIONAL ENVIRONMENTAL
REMEDIATION MAY BE NECESSARY IN
SPECIFIC AREAS OF THE SITE DUE TO
ITS PRIOR INDUSTRIAL USE.

MARKET ANALYSIS

OPPORTUNITIES



Residential Market Opportunities

Strong Demand for Workforce/Affordable Housing Types

Competition for Higher-End Apartments from nearby Steelpointe, but also potential for non-luxury market-rate rentals

Environmental cleanup concerns and less compatible land use with surrounding industrial areas and Station Unit #5.



Retail Market Opportunities

Bridgeport is suitable for multiple retail uses.

Food and Beverage (Highest),
Clothing/Accessories,
General Merchandise,
Sporting Goods,
Furniture Retailers



Industrial/Flex Opportunities

Space for tech and advanced manufacturing sectors; general flex space



Office Market Opportunities

Limited traditional office development, given high existing vacancies.

Potential medical office opportunity as Bridgeport supports strong healthcare cluster and a growing elderly population



Hospitality Market Opportunities

Bridgeport is poised to grow its position as a key entertainment center

The highly limited inventory of existing lodging facilities in the city shows that the hotel market is yet to be proven.

A hotel would likely not be viable as a standalone use, but could succeed among a mix of complementary uses that drive visitation to the site.

INVENTORY AND ANALYSIS

Summary

Use	Market Potential
Residential	High
Retail & Entertainment	Moderate to High
Commercial Office	Limited
Medical Office	High
Hospitality	Moderate
Industrial	Moderate

PRELIMINARY REDEVELOPMENT OPPORTUNITIES

Key Site Considerations for Redevelopment

Resilient Bridgeport

- Improve South End's resilience to potential flood events
- Design includes flood barriers, pump station(s), elevated roadways, and a robust stormwater channel
- Proposed 8-foot wall along western site boundary impacts connectivity and integration of site with several properties

Environmental Considerations

- Cap contaminated soils
- Conduct regular inspections/monitoring
- Establish building restrictions to maintain contamination containment and preventing soil exposure
- Follow FEMA's flood rules regarding regrading or terracing.

Flood Mitigation

- Raise the site (all or portion)
- Implement levee system along waterfront
- Construct buildings above floodplain elevation

PRELIMINARY REDEVELOPMENT OPPORTUNITIES

Land Use Scenarios



Mixed-Use A
(M/U Development
& Recreation)



Mixed-Use B
(M/U Development
& Green Spaces)



Mixed-Use C
(M/U Development
& Employment
Center)



Recreation Complex



Destination Complex



Employment Center

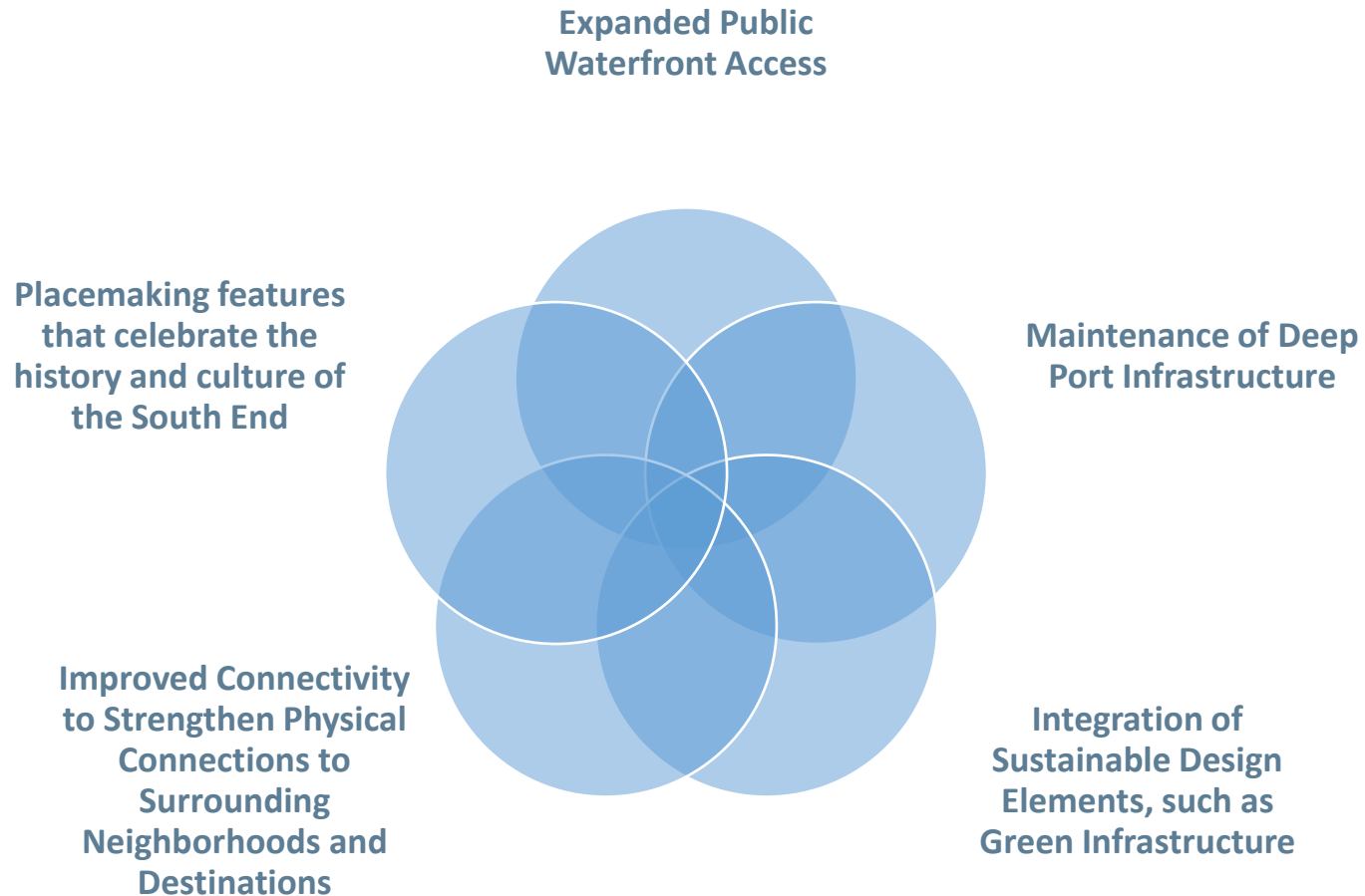
KEEP IN MIND...THIS STUDY IS A GUIDANCE DOCUMENT

A selected developer for the site will ultimately make decisions on layout and land use mix

Ongoing projects such as Resilient Bridgeport, are still evolving and changes could impact future site development

PRELIMINARY REDEVELOPMENT OPPORTUNITIES

Common Elements



NEXT STEPS

Fall of 2024 and Beyond

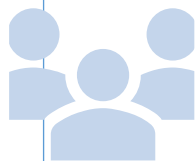


Advance Land Use Alternatives

Advance preferred alternatives
Develop site amenity preferences
Graphic representations



Advance Technical Analysis and Concepts for Consistent Design Elements



Community Engagement

Public Workshop #2 – November 13th
Community Advisory Committee #3
Website/Social Media/Newsletter

THANK YOU!

www.bridgeportharborstationreuse.com

Questions or Comments?

For More Information:

www.bridgeportharborstationreuse.com

Survey:

<https://www.bridgeportharborstationreuse.com/survey>

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