



# CONNECTICUT Department of Housing



## Community Development Block Grant Disaster Recovery (CDBG-DR)



**Hermia Delaire, CDBG-DR Program Manager**

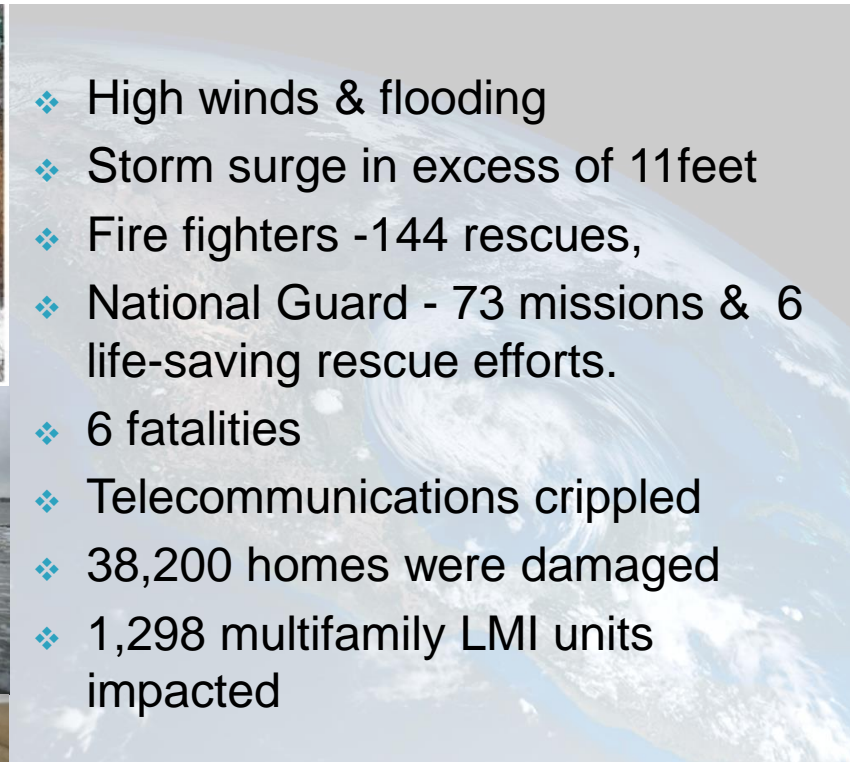


*Superstorm Sandy Disaster Recovery Report*

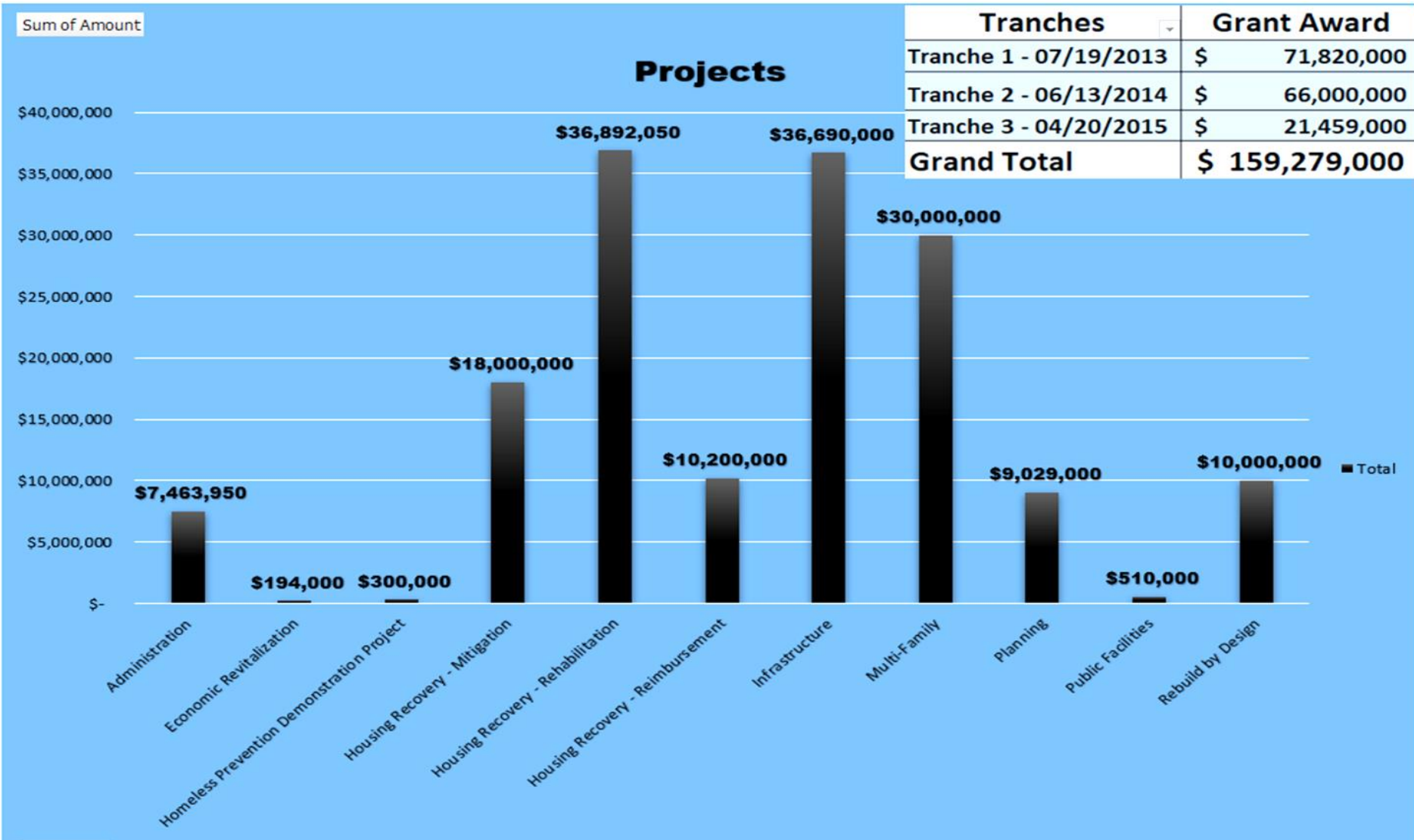
*October 28, 2022*

# Impacts of Superstorm Sandy

- ❖ High winds & flooding
- ❖ Storm surge in excess of 11 feet
- ❖ Fire fighters - 144 rescues,
- ❖ National Guard - 73 missions & 6 life-saving rescue efforts.
- ❖ 6 fatalities
- ❖ Telecommunications crippled
- ❖ 38,200 homes were damaged
- ❖ 1,298 multifamily LMI units impacted



# CDBG-DR Funds Awarded

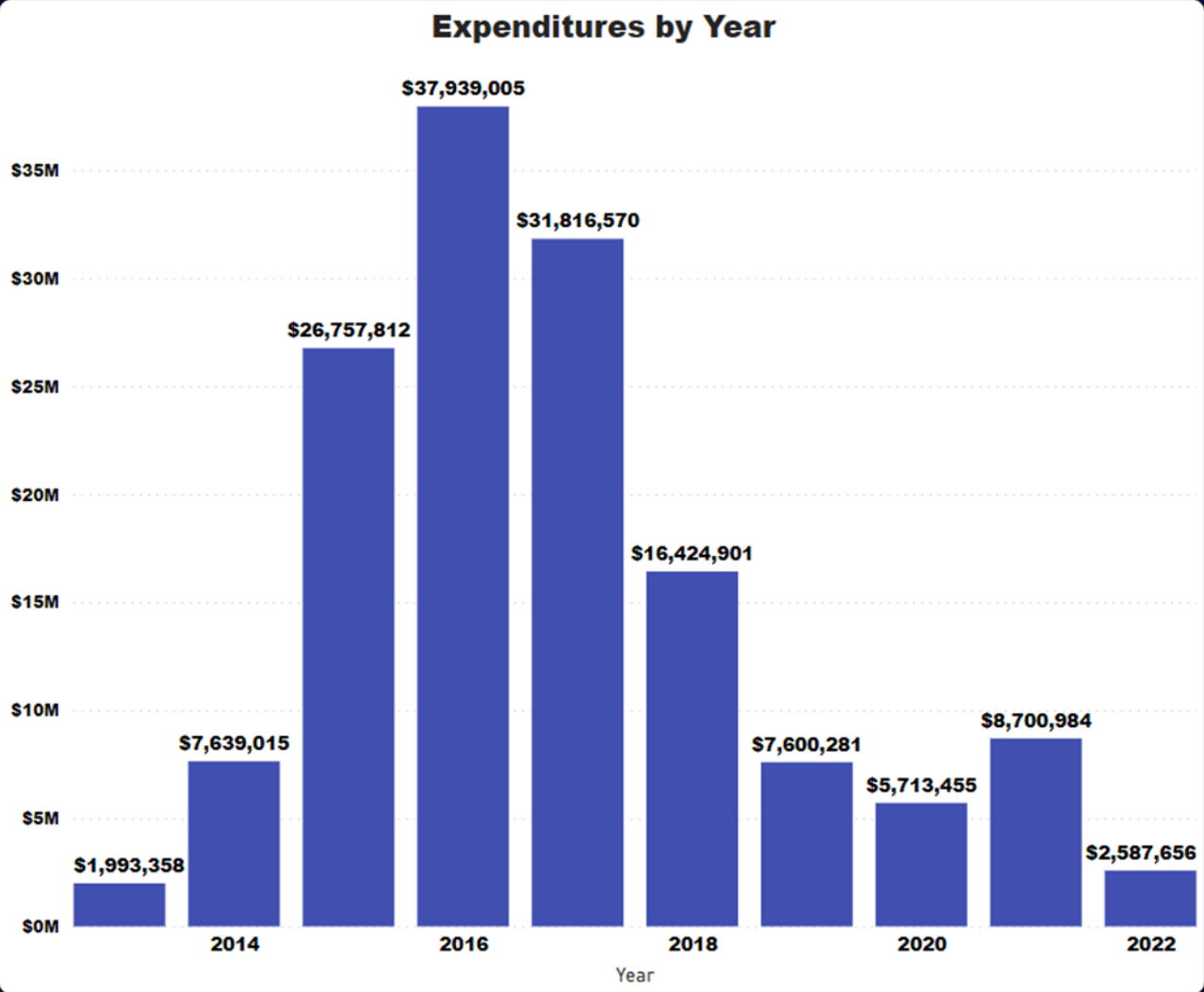


# CDBG-DR FUNDS EXPENDED

**\$159.28M**  
Grant Award

**\$147.17M**  
Expenditures as of  
09/30/2022

**\$12.11M**  
Balance



# Housing Recovery

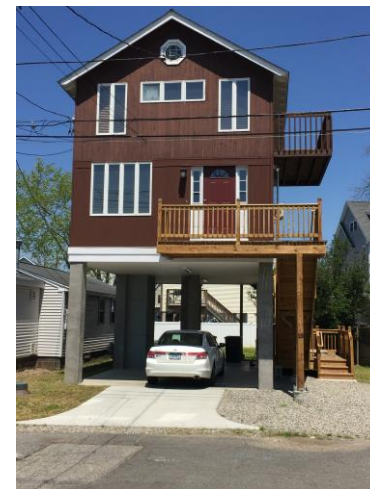
Our program was designed to protect our homeowners, taxpayers & state from Fraud, Waste and Abuse.

**We did not simply cut checks to homeowners.**



## **Process Overview**

- ▶ Intake Contractor for application
- ▶ Selected seven Architectural, Engineering and Construction Management firms.
- ▶ Program staff performed application reviews on a First come First served in order of priority based on available of funds.
- ▶ Prequalify the General Contractors
- ▶ Public bidding of all projects
- ▶ Reimbursement to General Contractors on a percent complete basis.



# Mitigating Fraud

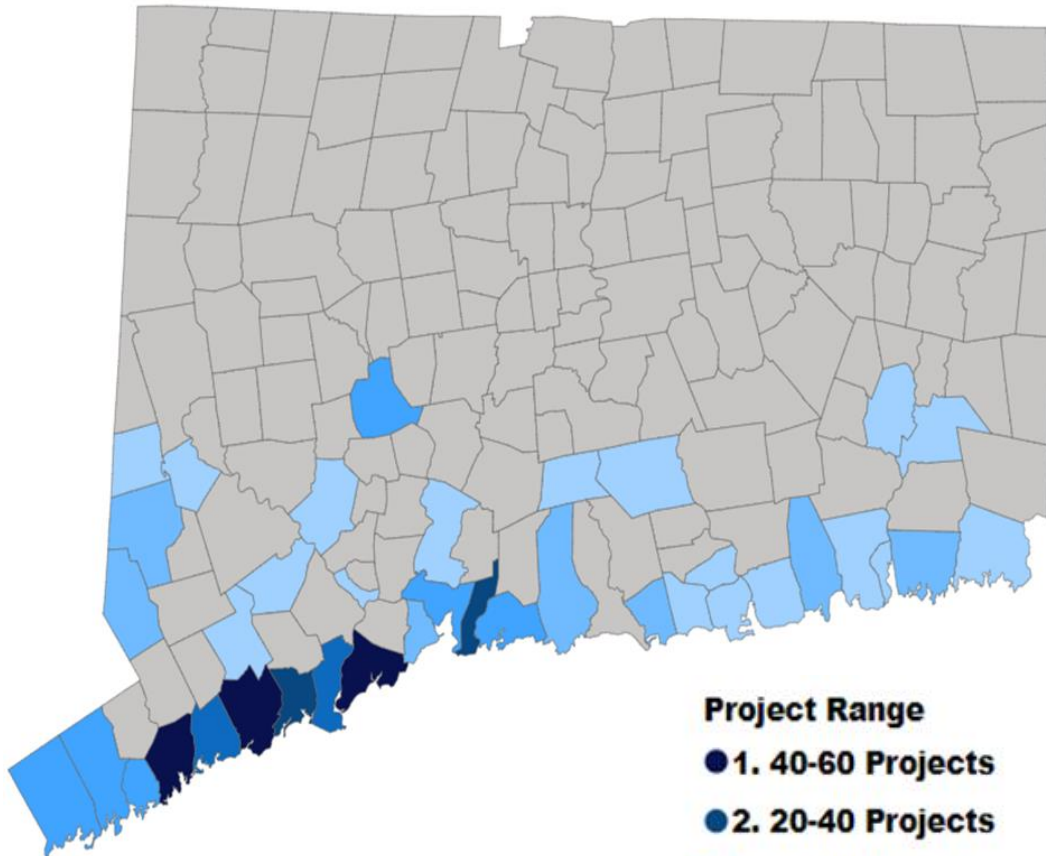
DOH staff worked diligently to implement a program that was in accordance with federal regulations. Staff was trained in CDBG-DR processes, policies and procedures, compliance, identification and prevention of Fraud, Waste and Abuse



## ***Common Fraudulent Findings – DENIED***

- ▶ Seasonal/second homes
- ▶ Applied for rental program however rental income for the damaged property was never reported to the IRS
- ▶ Sites visits proved there were no damages that could be directly related to Superstorm Sandy
- ▶ Damages existed prior to Storm – Google maps images
- ▶ Deferred maintenance Issues – Roofs & old Furnaces
- ▶ Denied assistance from their insurance company or never filed a claim
- ▶ Reimbursement for items or contracts executed prior to the storm

# Housing Recovery Project Locations



- Project Range**
- 1. 40-60 Projects
  - 2. 20-40 Projects
  - 3. 10-20 Projects
  - 4. 5-10 Projects
  - 5. 3-5 Projects
  - 6. 1-2 Projects

Town	Housing Recovery Rehab & Mitigation	Reimbursement	Total
Milford	\$12,519,104	\$891,817	\$13,410,921
Norwalk	\$4,121,799	\$2,033,136	\$6,154,935
Fairfield	\$3,008,126	\$2,832,082	\$5,840,208
East Haven	\$3,968,702	\$200,849	\$4,169,551
Groton	\$1,214,348	\$193,443	\$1,407,791
Bridgeport	\$1,001,851	\$104,651	\$1,106,502
Westport	\$327,063	\$692,878	\$1,019,941
New Haven	\$868,301	\$40,908	\$909,209
Stratford	\$752,979	\$120,816	\$873,795
Darien		\$831,905	\$831,905
Stamford	\$642,306	\$160,185	\$802,491
Old Lyme	\$650,493	\$150,000	\$800,493
Greenwich	\$20,231	\$704,872	\$725,103
Guilford	\$622,744	\$2,399	\$625,142
Waterbury	\$566,156	\$579	\$566,735
Branford	\$365,912	\$80,287	\$446,199
Clinton	\$170,507	\$168,988	\$339,495
<b>Total</b>	<b>\$31,812,996</b>	<b>\$9,621,253</b>	<b>\$41,434,250</b>

# Multifamily Assistance



## Crescent Crossing Phase 1

Bridgeport (93 LMI Units)- \$6,975,000

## Washington Village Phase 1,

Norwalk (80 LMI Units) - \$11,885,590



## Summer Place

Stamford (48 LMI Units) - \$6,400,000



## Scattered Sites,

Fairfield & New Haven Counties -  
\$4,769,410



# Economic Revitalization



**Charles Island Oyster Farm  
Milford**  
Grant Award \$ 50,000



**Lenny's Indian Head Inn  
Branford**  
Grant Award \$ 50,000



**Main Enterprises  
Stratford**  
Grant Award \$ 50,000



**Inn at Fairfield Beach  
Fairfield**  
Grant Award \$ 44,000

# Homeless Prevention Project

The purpose of this project was to explore ways for the Federal Government to offer early intervention homelessness prevention, primarily to veterans returning from wars in Iraq and Afghanistan.



## Rapid Re-Housing



Rapid re-housing is an evidence-based approach to end homelessness as quickly as possible. It centers on a school of thought called “**Housing First**,” the idea that people are much more likely to find success when they are no longer in a stressful crisis situation; rather than wait for people who have become homeless to be “housing ready,” shelters help them into housing first, and then connect them with any additional services they might need.

□ *109 homeless individuals were served by shelters using this program*

# Planning

*Planning funds were used to assist the State, regional planning agencies, and/or local governments to plan resiliency and mitigation investments.*

*A total of 32 plans were completed by 13 grant recipients.*



**Walnut & Wildemere Beach  
Stabilization Project  
Milford**



**River Street  
Shoreline Improvement Plan,  
New Haven**



**Shaw's Cove Pump Station  
Steel Pile Wall Reconstruction,  
New London**

## Grant Recipients

- Branford
- Bridgeport
- CT Rises
- DEEP
- DEMHS
- DPH
- Fairfield
- Lower River Cog
- Milford
- New Haven
- New London
- Old Saybrook
- Stratford
- Stonington
- UCONN -CIRCA
- Waterford
- West Haven
- Westport

# Infrastructure

Infrastructure funds were used to restore a suitable living environment by rehabilitating or reconstructing existing infrastructure and to add resiliency to minimize damage from future storm events.

The main categories of projects were:

- ❖ Water Sewage & Drainage
- ❖ Road Repair & Reconstruction
- ❖ Generator Upgrades
- ❖ Earth Stabilization

*A total of 25 projects were awarded by 11 grant recipients.  
To date: 19 projects completed, 3 under construction & 3 closed – municipality choose not move forward.*



## Grant Recipients

- Bridgeport
- East Haven
- Fairfield
- Milford
- Norwalk
- New Haven
- New London
- Old Lyme
- Stamford
- Stratford
- West Haven



# Water, Sewage & Drainage

(11)



Wastewater Treatment Plant Resiliency  
Fairfield

**Grant Amount - \$4,032,102.00**

Construction of an earthen berm and storm water pump station to protect the wastewater treatment plant and other critical facilities from future flood events.



Green Harbor Beach Flood Control  
New London



**Grant Amount - \$1,480,875**

Reduction of flooding on Pequot Avenue, a major evacuation route. Improvements to the storm water system, preserving access to the only free public beach in New London.

# Road Repair & Reconstruction (6)



Beach Street Reconstruction  
West Haven

**Grant Amount - \$2,776,300**

Elevation the roadway to provide for greater resiliency against tidal flooding events and improve access to the WWTP and for residents. The project also included new sidewalks and a two-way bike lane.



Elevating Raymond and Day Streets  
Norwalk

**Grant Amount - \$4,000,000**

The reconstruction and raising of portions of Raymond and Day streets above the 100-year flood elevation will allow safe access for emergency vehicles and an evacuation route for residents of Washington Village during flood events.

# Generator Upgrades (3)

**Grant Amount - \$303,795**

Replacement of a 25-year-old generator at the Stamford Government Center. This unit supplies power to the City's Emergency Operations Center (EOC), E 911 Communications and the State's Region 1 Urban Area Security Initiative (UASI) 700 MHz mutual aid radio system.



**Generator Upgrade  
Stamford Government Center**



**Essential Generator  
Jonathan Law High School, Milford**

**Grant Amount - \$161,250**

This project provides 100% of the necessary power to conduct full shelter operations at Jonathan Law High School - including use of the cafeteria, kitchen, food storage, auditorium and classrooms - by connecting a new 200KW natural gas generator to the existing natural gas line.

# Earth Stabilization

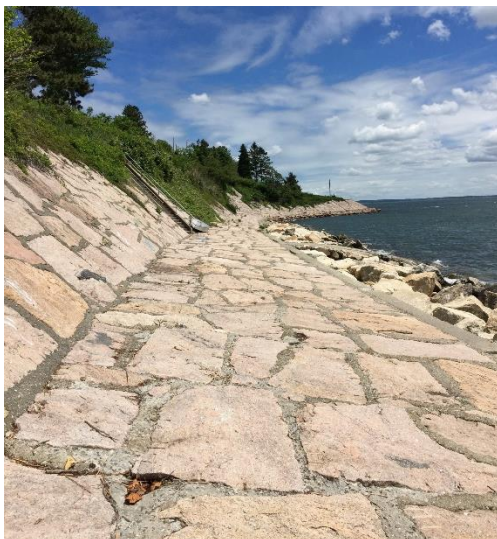
(5)



## Brewery Square Bulkhead Rehab New Haven

Grant Amount \$ 940,047

Rebuilt the 300 feet of bulkhead and sidewalk destroyed by Superstorm Sandy



## Morningside Revetment Reconstruction Milford

Grant Amount \$ 2,080,867

*The project adds load erosion control structure to a site that does not currently have flood protection.*





# Address Coastline Resiliency

Although the livable spaces of homes were elevated above the base flood elevation many homeowners experience challenges getting access to their homes during flooding events due to street flooding.

▶ *Towns need to address coastal resiliency – Not just home elevation projects but repairing failing infrastructure & improving resilience measures:*

- *Road elevation*
- *Update drainage systems*
  - *Repairing outfall pipes*
  - *Replacing backflow preventers*
- *Utility systems*



# Reasonable Accommodations

Homeowners did not fully understand how high their homes would be elevated and number of steps to climb to access their homes until midway through the construction process. DOH became inundated with requests regarding reasonable accommodations from persons with difficulty navigating steps.

- ▶ *Developed Policies and Procedures to address Reasonable Accommodations.*
- ▶ *Assign a committee to review all Reasonable Accommodation Requests*
- ▶ *Set limits on what measures could be approved through cost reasonable analysis*
  - *Dumb Waiter*
  - *Stair Lift*
  - *Platform Lift*
  - *Elevator*



# Standardized Home Designs

Homeowners whose homes were substantially damaged were given the opportunity to work with an AECM firm for input in the overall layout and design of their new home. Many homeowners took this as an opportunity for a long overdue home improvement project. (Change in size, upgrades, layout- constant delays)

- ▶ *Create standardized designs for homeowners with varying sizes to chose from which match closest to the damaged property.*
  - *Reduce cost in design services*
  - *Reduce construction cost*
  - *Easier bid process because contractors are familiar with project design and cost.*

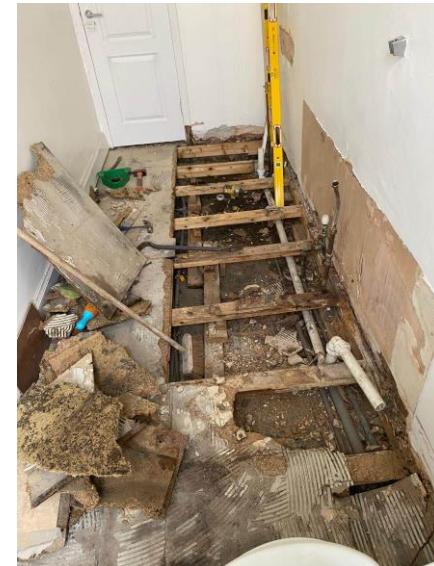


# Change Orders



Most of the housing stock damaged by Superstorm Sandy were initially designed as seasonal homes. Rehabilitating these homes was like opening “Pandora’s Box”.

- ▶ Common Reasons
  - Rotted Framing
  - Meeting Current Code Standards
  - Meeting Requirements of Utility Companies
- ▶ Average Change Order Amount: \$31,075 & Highest \$233,316
- ▶ *Change orders are inevitable on rehabilitation projects –*
- ▶ *How do You manage it?*
  - *Add unit rates to the bid document for common unforeseen conditions.*
  - *Clear message and discussion with local building officials prior to initiation of project.*



# Acquisitions & Buyouts

Although Acquisitions & Buyouts were listed as an eligible item in the Action Plan, we experienced major concerns from the local legislative leaders because of the implied “loss of tax base.”

- ▶ Develop better message about long term benefits of retreat.
- ▶ Identify possible replacement sources for the anticipated revenue loss
- ▶ Identify and encourage local land preservationists to participate and advocate.



# Lothrop

Lothrop Associates LLP Architects

Celebrating **20** **QA+M**  
architecture  
2002-2022 *Years!*

**DTC**

**Catholic Charities**

# MCA

MARTINEZ COUCH & ASSOCIATES, LLC

CONSULTING ENGINEERS  
& SURVEYORS

# MERRITT

CONSTRUCTION SERVICES, INC.

# CAPITAL STUDIO

ARCHITECTS

# Amaya Architects

# ICF

INTERNATIONAL

**Stantec**

**CIRCA**  
Connecticut Institute for Resilience and Climate Adaptation

**GEI**  
Consultants

# American Red Cross

# United Way

United Way  
of Connecticut

# WAGGONNER & BALL

