

Owner Occupied and Scattered Site Rehabilitation Programs

ADDENDUM ACKNOWLEDGEMENT

**Addendum # 2
August 1, 2016**

Project # 5077 Property Address: 71-73 Worth Street, Bridgeport, CT

Addendum Description

The addendum modifies the Bid Specification and Drawings prepared by Martinez Couch and Associates, LLC and Consultants to the following particulars;

A. General

1. Addendum is issued to respond to request for information received during bid phase. Bidders are reminded that all requests for information should be directed to Mr. Richard Couch, P.E. of Martinez Couch and Associates, LLC.

B. Specifications

1. Section 1 – General Conditions page 8 has been modified to include Division 26 in order to complete the required electrical work to install new light fixtures. See Attachment 1.

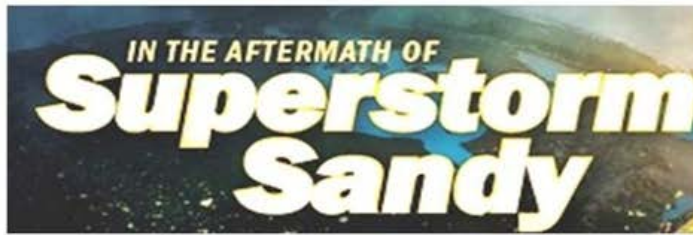
Bidder Request for Information 1: Date: 07-29-2016

1. Sheet A-1.0, 1st Floor. Deck Framing;

- A. The existing 1st fl. Deck framing is supported by (4) beams running front to back under the existing post locations.

The existing 1st floor deck framing is framed from left to right, the 5/4 x 4” nominal sq. edge t & g board decking was installed running front to back, pitched from the house to the street.

The drawings show new deck framing running from the front to the back. I assume you want the new 5/4” x 4” nominal sq. edge t & g board decking to be installed going front to back as originally built. If this is correct and the 1st fl. Deck framing is to be done as drawn, are we to install blocking every 16” o/c so the new 5/4” x 4” nominal sq. edge t & g board decking can be installed correctly, or will you be supplying revised drawings showing new deck framing running left to right as currently exists.



Department of Housing



RFI – Response #1

The new deck framing is to be installed as indicated on the drawings, provide blocking every 16” o/c so the new 5/4” x 4” square edge tongue and groove can be installed in the existing orientation.

Bidder Request for Information 1 – Date: 07-29-2016

2. Sheet A-1.1, second floor. Deck framing, section view & sheet A-2.0 front elevation.

A. The current drawing shows the railing height of the 2nd fl. Porch railing at 36” with the appropriate post for said height.

This being a second fl. Porch won’t this require a 42” min height when rebuilt, with the appropriate post needed for the correct 42” installation?

The current 2nd fl. Porch railings have an extended additional rail to meet the 42” height.

Please clarify!

RFI – Response #1

In section R312 “Guards”, paragraph 312.2 “Height”, of the 2009 International Residential Code, the governing building code standard;

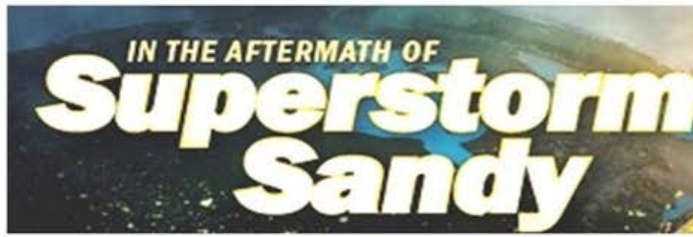
Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges if the treads.

Deck guards on the second floor to be 36” per detail 1 “Second Floor Deck Framing Section View”, on drawing sheet A-1.1 “Framing Plans and Sections – 2”.

Bidder Request for Information 1 – Date: 07-29-2016

3. The current drawings and specifications do not include any electrical work.

Presently there is exterior surface mounted ceiling lights located outside the 1st & 2nd fl. Entry doors.



Department of Housing



This will require electrical work to remove, re-wire, & reinstallation of new ceiling light fixtures as required by code as well as a light fixture allowance.

Please clarify!

RFI – Response #1

Disconnect the existing light fixtures on the 1st and 2nd floor of the front porch as required in order to rewire & reinstall new ceiling light fixtures at the entry doors on the 1st & 2nd floor of the rebuilt front porch. Rewire and reinstall two new ceiling light fixtures to match existing style.

Bidder Request for Information 1 – Date: 07-29-2016

4. Sheet A-2.0 & A-3.0

A. Sheet A-2.0 shows reusing the exterior front stair railings & sheet A-3.0 shows a detail for A-3.0 installation of new stair railings

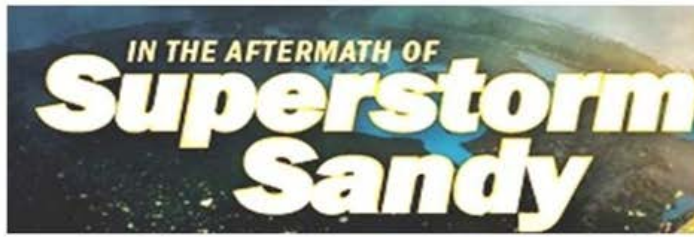
Are we to assume that because the reinstallation of the existing front stair railings would not be code compliant that the installation of the new railings per sheet A-3.0 is the correct work to be included in our proposal.

Please clarify!

RFI – Response #1

Demolition and dispose offsite the existing exterior front stair railings, and install new stair railings as required per the drawings and specifications per detail 4 on drawing sheet A-3.0 “Deck and Stair Details”.

The bid due date is not extended by this addendum



Addendum #2 – Attachment 1

Revised Bid Form

BID FORM

The undersigned, being familiarized with the local conditions affecting the cost of the work and with the Drawings, Scope of Work, Specifications, Invitation to Bidders, Instructions to Bidders, General Conditions, Bid Form, Form of Contract and Form of Bonds for Project 5077 – 71-73 Worth Street, Bridgeport, CT and Addenda No. _____ and _____ thereto, as prepared by Martinez Couch and Associates, LLC, Rocky Hill Connecticut, and on file in the office of DOH, hereby proposes to provide all work as required for the rehabilitation and reconstruction for said Project No. 5077 – 71-73 Worth Street located at 71-73 Worth Street in Bridgeport, State of Connecticut, all in accordance with the Drawings and Specifications, for the sum of :

_____ Dollars (\$ _____).

<i>Section #</i>	<i>Scope of Work</i>	<i>Lump Sum Cost</i>
		<i>Total (\$)</i>
	General Conditions	
02 83 19.13	Lead Paint Abatement	
03 30 53	Miscellaneous Cast in Place Concrete	
Division 6	Carpentry	
07 31 13	Asphalt Shingles	
07 71 23	Gutters & Downspouts	
09 90 00	Paintings Coatings	
09 93 00	Staining and Transparent Finishing	
Division 26	Electrical	
TOTAL COST		

Unit Prices - For Unforeseen Conditions During Repairs

All unit prices, unless otherwise noted, shall include all incidental work normally required in connection with the particular type of work involved and would include, but not necessarily be limited to costs of materials, material accessories, material waste, fabrication, labor, supervision, engineering, layout, transportation, rigging, insurances, overhead, and profit. All labor rates, unless otherwise noted, shall include, but not necessarily be limited to all fringe benefits, insurances, overhead, and profit.

<i>Item</i>	<i>Rate (\$/Per)</i>
Carpenter Labor Rate	/H.R.

The undersigned agrees that if within the period of thirty (30) days after the opening of bids, or when extended to the next work day immediately following said period, notice of the acceptance of this bid shall be mailed, or delivered to him/her at the business address given below, or at any time thereafter before this bid is withdrawn, will within fifteen (15) days thereafter deliver to the DOH, where directed, a contract properly executed in such number of counterparts as may be required by said DOH, on the forms annexed, with such changes therein as shall have been made by DOH, prior to the time named for delivery of this proposal, to the DOH and a letter indicating those Small/Minority Business Enterprises that will perform work and/or provide materials, equipment or services as part of the contract.

In submitting this bid, it is understood that the right is reserved by the abovementioned DOH to reject any and all bids; and it is agreed that this bid may not be withdrawn for a period of thirty (30) days from the date of bid opening or until the next work day immediately following said period if such period ends on a weekend or a State holiday.

Submitted bid values are allowed three percent (3) per annum increase for award by the DOH made beyond ninety calendar (90) days. Cost increases for such periods shall be prorated monthly and calculated by the DOH.

