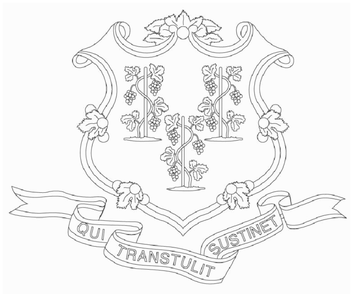
STATE OF CONNECTICUT DEPARTMENT OF HOUSING
CDBG-COMMUNITY DEVELOPMENT BLOCK GRANT
SUPERSTORM SANDY DISASTER RECOVERY PROGRAM



SPONSOR
State of Connecticut
Department of Housing
505 Hudson Street
Hartford, Connecticut 06106

OWNER
Application No. 5065
Charles & Barbara Degoursey
10 Chetwood Street
Milford, Connecticut 06460

ARCHITECT:
Lothrop Associates LLP
333 Westchester Avenue, White Plains, New York 10604
510 Clinton Square, Rochester, New York 14620
125 Half Mile Road, Suite 200, Red Bank, New Jersey 07701
100 Pearl Street, 14th Floor, Hartford, Connecticut 06103

ENVIRONMENTAL ENGINEER:
Fuss & O'Neill EnviroScience, LLC
146 Hartford Road, Manchester, Connecticut 06040
56 Quarry Rd, Trumbull, Connecticut 06611

STRUCTURAL ENGINEER:
Cuoco Structural Engineers, LLC
60 Katona Drive, Fairfield, Connecticut 06824

SURVEYOR:
Freeman Companies, LLC
36 John Street, Hartford, Connecticut 06106

GENERAL NOTES

1. DO NOT OBSTRUCT ACCESS TO THE SITE.
2. PROTECT ALL AREAS FROM FALLING DEBRIS.
3. MAINTAIN ALL EXISTING SITE ELEMENTS (PAVING, FENCES, BUILDINGS, ETC.) AND PLANTINGS & LAWNS. CONTRACTOR SHALL REPLACE OR REPAIR ALL DAMAGE, AT THE CONTRACTORS EXPENSE.
4. MAINTAIN A SECURED AREA FOR ALL CONSTRUCTION MATERIALS & EQUIPMENT STORED ON SITE.
5. PROVIDE TARPED DUMPSTER FOR REMOVAL OF ALL RUBBISH AND CONSTRUCTION DEBRIS. DUMPSTER SHOULD BE ADEQUATELY PROTECTED DURING PROJECT. CONTRACTOR IS RESPONSIBLE FOR ALL TRASH PLACED IN AND AROUND DUMPSTER. DUMPSTER PERMIT COSTS TO BE INCLUDED IN THE BASE BID.
6. WORK SHALL COMPLY WITH ALL STATE & LOCAL CODES, REGULATIONS AND ORDINANCES.
7. AT PROJECT COMPLETION, REMOVE ALL CONSTRUCTION DEBRIS AND PATCH/REPAIR ALL SURFACES DAMAGED BY CONTRACTOR ACTIVITIES. THOROUGHLY CLEAN ALL WORK AREAS OF ALL DEBRIS RESULTING FROM WORK OF THIS CONTRACT.
8. DISCONNECT AND RECONNECT ALL UTILITIES AS REQUIRED. COORDINATE WITH UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION
9. THE SPECIFICATION MANUAL IS AN INTEGRAL PART OF THESE DOCUMENTS AND SHALL BE CONSIDERED A COMPONENT OF THESE DOCUMENTS AS IF INCLUDED HEREIN.
10. DO NOT SCALE DRAWINGS

DRAWING LIST

ARCHITECTURAL

G-001	COVER SHEET
G-002	SITE PLAN, ZONING DATA, DETAIL AND NOTES
AD-101	FOUNDATION, FIRST FLOOR AND SECOND FLOOR DEMOLITION PLANS
AD-201	DEMOLITION BUILDING ELEVATIONS
A-101	FOUNDATION, FIRST AND SECOND FLOOR PLANS
A-201	BUILDING ELEVATIONS
A-301	BUILDING SECTION AND DETAILS
A-302	DETAILS

HAZARDOUS MATERIAL

HM-101	HAZARDOUS MATERIAL ABATEMENT PLAN

STRUCTURAL

S-101	FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN
S-102	SECOND FLOOR AND ROOF FRAMING PLAN, SECTIONS
S-103	STRUCTURAL SECTIONS
S-104	TYPICAL STRUCTURAL DETAILS
S-105	STRUCTURAL NOTES AND SOIL BORING LOGS

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	HM	HOLLOW METAL
ADJ	ADJACENT	HORIZ	HORIZONTAL
ALUM	ALUMINUM	HWH	HOT WATER HEATER
APPROX	APPROXIMATE	JB	JUNCTION BOX
ARCH	ARCHITECTURAL	LDR	LEADER
BTM	BOTTOM	LO	LINE OF
B.O.	BOTTOM OF	LVL	LAMINATE VENEER LUMBER
CJ	CEILING JOISTS	MAX	MAXIMUM
CL	CENTERLINE	MC	MEDICINE CABINET
CLOS	CLOSET	MI	MIRRORED MEDICINE CABINET
CMU	CONCRETE MASONRY UNIT	MIN	MINIMUM
COL	COLUMN	MO	MASONRY OPENING
CONC	CONCRETE	MV	MICROWAVE
CONT	CONTINUOUS	NIC	NOT INCLUDED IN CONTRACT
COORD	COORDINATE	OA	OVERALL
CT	CERAMIC TILE	OC	ON CENTER
DW	DISHWASHER	OPP	OPPOSITE
DWG	DRAWING	PSL	PARALLEL STRAND LUMBER
E/F	EXHAUST FAN	PT	PRESSURE TREATED
EX	EXISTING	REF	REFRIGERATOR
EL	ELEVATION	REINF	REINFORCED
EP	ELECTRICAL PANEL	RO	ROUGH OPENING
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	RR	ROOF RAFTERS
EQUIV	EQUIVALENT	SD	SMOKE DETECTOR
F/D	FLOOR DRAIN	SIM	SIMILAR
FIN	FINISH	SPEC	SPECIFICATIONS
FDN	FOUNDATION	STD	STANDARD
FJ	FLOOR JOISTS	STL	STEEL
FLR	FLOOR	STRUCT	STRUCTURAL
FLHB	FROST PROOF HOSE BIB	T.O.	TOP OF
FV	FLOOD VENT	TYP	TYPICAL
GALV	GALVANIZED	VCT	VINYL COMPOSITE TILE
GB1	GRADE BEAM 1	VERT	VERTICAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VIF	VERIFY IN FIELD
GWB	GYPSUM WALL BOARD	W/D	WASHER/ DRYER COMBO
GYP	GYPSUM	WD	WOOD
HDWD	HARDWOOD FLOORING	WP	WEATHERPROOF
		WWF	WELDED WIRE FABRIC (MESH)
		U/C	UNDER CABINET (LIGHTING)

SYMBOLS LEGEND

EXISTING PARTITION/ WALL TO REMAIN
NEW PARTITION/ WALL
NEW FOUNDATION WALL AND FOOTINGS
EXISTING TO BE REMOVED
EXISTING ITEM ABOVE
EXISTING WINDOW TO REMAIN
NEW WINDOW
NEW DOOR
EXISTING DOOR TO REMAIN
NEW "SMART VENT" FLOOD VENT (PLAN VIEW)
PLYWOOD
CONCRETE
RIGID INSULATION
NEW WATER METER
DETAIL TAG: SECTION NUMBER DRAWING NUMBER
SECTION KEY: SECTION NUMBER DRAWING NUMBER
ELEVATION KEY: ELEVATION NUMBER DRAWING NUMBER
ROOF SLOPE
REVISION
SILT BARRIER
CONSTRUCTION FENCE
PROPERTY LINE
GRAVEL
WOOD DECKING
NEW GAS METER

ELEC./ UTILITY LEGEND

EP	ELECTRICAL PANEL
	DUPLEX OUTLET
GFCI	DUPLEX OUTLET - GROUND FAULT CIRCUIT INTERRUPTER
S	DEDICATED OUTLET - STOVE
DW	DUPLEX OUTLET - DISHWASHER
MC	DUPLEX OUTLET - MICROWAVE
WP	DUPLEX OUTLET - WEATHER PROOF
TV	TV/ CABLE JACK
	TELEPHONE/ DATA JACK
	GAS CONNECTION
	SWITCH
	3 WAY SWITCH
	WIRING
E/F	CEILING MOUNTED EXHAUST FAN WITH LIGHT
U/C	UNDER CABINET TASK LIGHTING
	RECESSED DOWN LIGHT
	WALL MOUNTED WP LIGHT
FAN	CEILING MOUNTED FAN WITH LIGHT
S	CEILING MOUNTED HARDWIRED INTERCONNECTED BATTERY BACK UP SMOKE DETECTOR
CO	CEILING MOUNTED CARBON MONOXIDE DETECTOR

Lothrop
Lothrop Associates LLP Architects
100 Pearl Street
14th Floor
Hartford, Connecticut 06103
860-249-7251
White Plains Rochester Red Bank Hartford

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NEW FOUNDATIONS,
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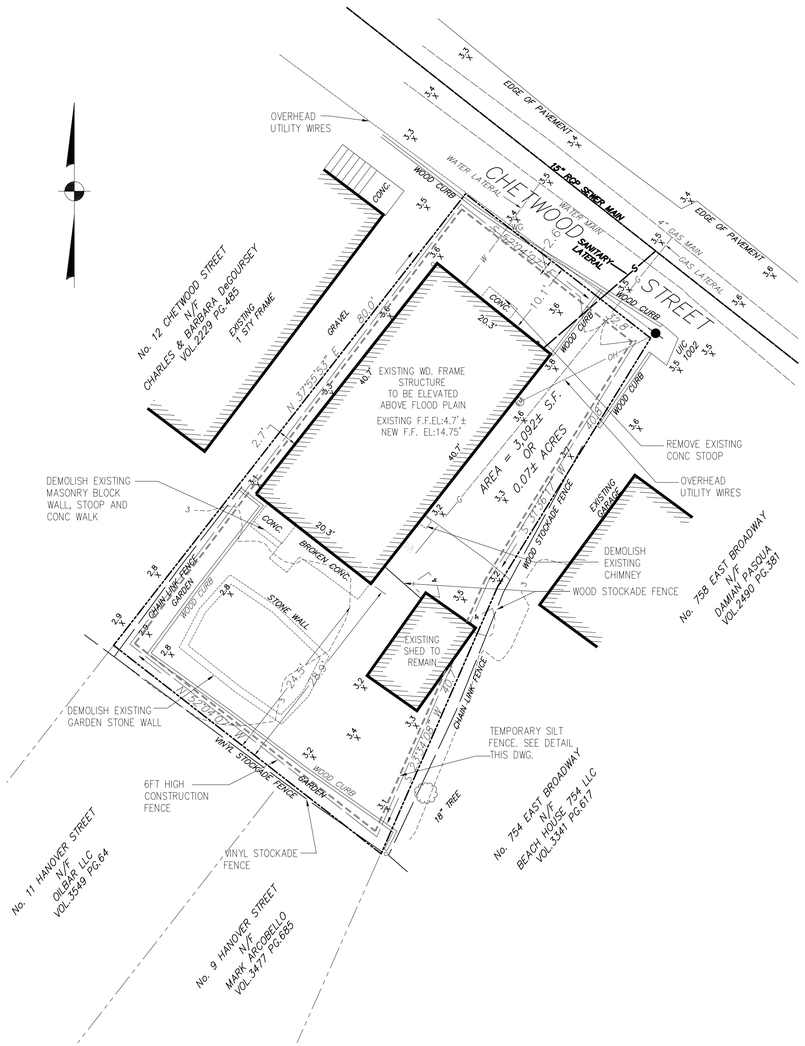
FOR
CHARLES & BARBARA DEGOURSEY
10 Chetwood Street
Milford, Connecticut 06460

COVER SHEET

PROJECT NO.: 1524-34 | SCALE AS NOTED

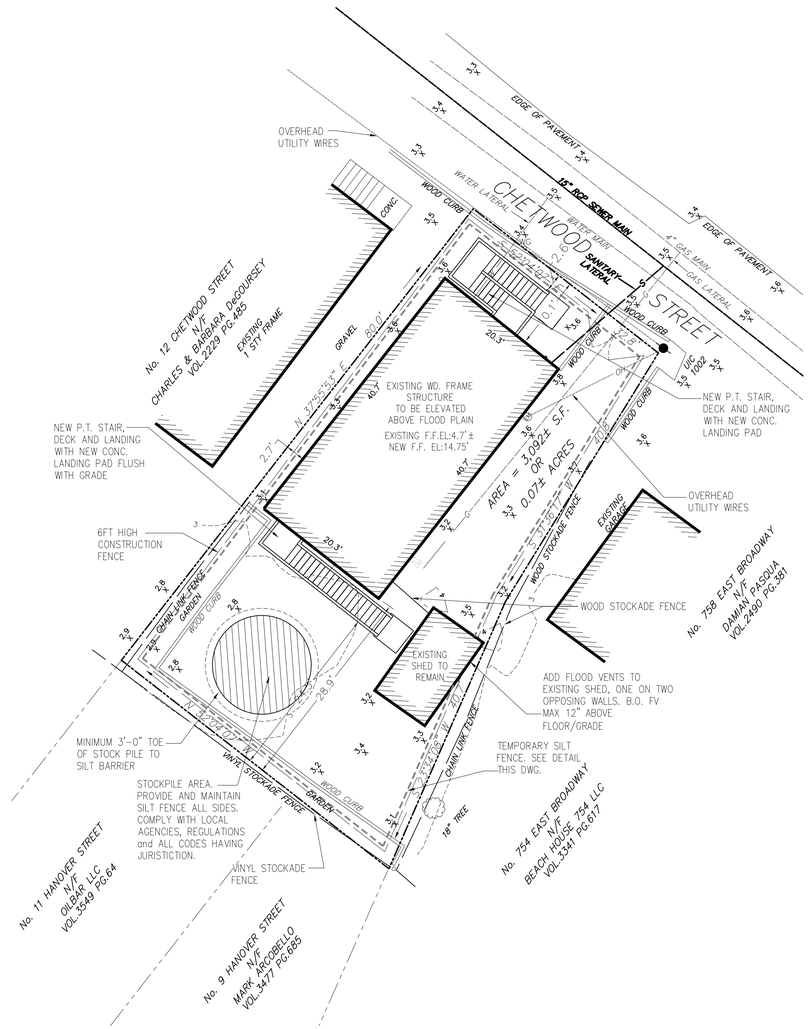
DRAWING NO.: G-001

N:\10 PROJECTS\Housing-Residential\1524-34 - CT DOH CDBG-DR - 10 Chetwood St, Milford (#5065)\1524-34_15_0630_Active Drawings\1523-34_15_0701_G001_G002.dwg



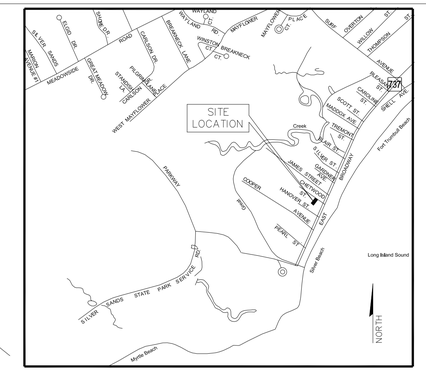
1 SITE PLAN - EXISTING CONDITIONS/DEMOLITION

SCALE: 1:10



1 SITE PLAN - PROPOSED

SCALE: 1:10



LOCATION MAP

NOT TO SCALE

NOTES

THIS SITE PLAN IS BASED ON A SURVEY THAT WAS PREPARED BY FREEMAN COMPANIES, LLC. IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY IS A BOUNDARY AND TOPOGRAPHIC SURVEY. IT IS DEPENDENT IN NATURE AND BASED UPON MAP REFERENCE NUMBER ONE.

THE SURVEY ACCURACY CONFORMS TO HORIZONTAL CLASS "A-2", TOPOGRAPHIC ACCURACY CLASS T-2.

HORIZONTAL CONTROL AND MAP BEARINGS ARE BASED ON NAD83 DATUM. VERTICAL CONTROL AND ELEVATIONS ARE BASED ON NAVD88 DATUM.

THE SUBJECT PROPERTY IS CURRENTLY OWNED BY BARBARA & CHARLES DEGOURSEY, SEE MILFORD LAND RECORDS VOLUME 2061 AT PAGE 183, AND IS LOCATED IN AN R5 ZONE.

THE EXISTING LOT IS NON CONFORMING TO THE CURRENT ZONING REGULATIONS FOR LOT AREA, WIDTH AND FRONTAGE. ITS USE IS DECLARED TO BE NONCONFORMING BUT NOT IN VIOLATION SINCE THE LOT EXISTED OF RECORD PRIOR TO MARCH 15, 1997. SEE SECTION 8-13a OF THE CONNECTICUT GENERAL STATUTES LISTED HERE FOR REFERENCE.

THE PROPERTY DEPICTED HEREON IS LOCATED IN FLOOD ZONE AE [BASE FLOOD ELEVATIONS DETERMINED] (ELEVATION 11') AND FLOOD ZONE VE [COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED] (ELEVATION 13') BASED ON A VISUAL INSPECTION OF "FIRM FLOOD INSURANCE RATE MAP NEW HAVEN COUNTY, CONNECTICUT PANEL 529 OF 635 MAP NUMBER 09009C0529J MAP REVISED JULY 8, 2013 BY: FEDERAL EMERGENCY MANAGEMENT AGENCY."

"SEC. 8-13A. NONCONFORMING BUILDINGS AND LAND USES. (A) WHEN A BUILDING IS SO SITUATED ON A LOT THAT IT VIOLATES A ZONING REGULATION OF A MUNICIPALITY WHICH PRESCRIBES THE LOCATION OF SUCH A BUILDING IN RELATION TO THE BOUNDARIES OF THE LOT OR WHEN A BUILDING IS SITUATED ON A LOT THAT VIOLATES A ZONING REGULATION OF A MUNICIPALITY WHICH PRESCRIBES THE MINIMUM AREA OF THE LOT, AND WHEN SUCH BUILDING HAS BEEN SO SITUATED FOR THREE YEARS WITHOUT THE INSTITUTION OF AN ACTION TO ENFORCE SUCH REGULATION, SUCH BUILDING SHALL BE DEEMED A NONCONFORMING BUILDING IN RELATION TO SUCH BOUNDARIES OR TO THE AREA OF SUCH LOT, AS THE CASE MAY BE."

THE UNDERGROUND FEATURES DEPICTED HEREON ARE THE RESULT OF COMPILATION OF EXISTING MAPPING AND LOCATION OF UTILITY PAINT. ACTUAL LOCATION OF UNDERGROUND UTILITIES IS TO BE CONSIDERED TO BE APPROXIMATE AT BEST. OTHER UTILITIES MAY EXIST WHICH FREEMAN COMPANIES ARE UNAWARE OF. VERIFY INFORMATION IN THE FIELD. BEFORE ANY DIGGING OR SITE EXCAVATION CALL " CALL BEFORE YOU DIG" 1-800-922-4455.

MAP REFERENCES

1."MAP OF LOTS 70-227 SILVER BEACH FOR SALE BY GEORGE E. HASKINS, MILFORD CONNECTICUT, DATED JUNE 29, 1910".

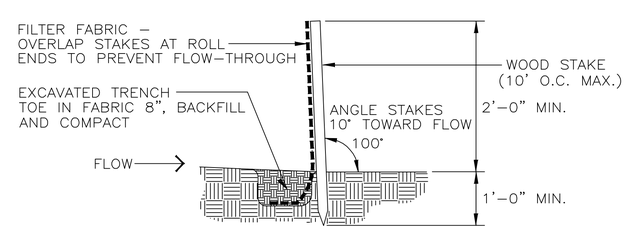
0 10 20 30

LEGEND

	PROPERTY LINE
	CHAIN LINK FENCE
(S)	SANITARY MANHOLE
	SANITARY LINE
$M_{\phi}P.$	METAL POST
	OVERHEAD WIRE
	UTILITY POLE
	PROPERTY CORNER IRON PIN
MB	MAILBOX
VOL.	VOLUME
PG.	PAGE

SITE PLAN INFORMATION TAKEN FROM A SURVEY PREPARED BY FREEMAN COMPANIES, LLC
MAP, BLOCK AND LOT: 022-0457-05

ZONING DATA (R-5 ZONE)			
CATEGORIES	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	5,000 SF	3,092 SF EXISTING NONCONFORMANCE	3,092 SF EXISTING NONCONFORMANCE
MIN LOT AREA PER DWELLING UNIT	5,000 SF	3,092 SF EXISTING NONCONFORMANCE	3,092 SF EXISTING NONCONFORMANCE
MIN LOT WIDTH	50 FT	32.8 FT EXISTING NONCONFORMANCE	32.8 EXISTING NONCONFORMANCE
MIN LOT DEPTH	70 FT	80 FT	80 FT
MAX NO. OF STORIES PER BUILDING	3	1	2
MAX HEIGHT OF A BUILDING	35 FT	19.6 FT	27.8 FT
MIN SETBACK FROM STREET	10 FT	9.3 FT EXISTING NONCONFORMANCE	9.3 FT EXISTING NONCONFORMANCE
MIN SETBACK FROM REAR PROP LINE	20 FT	28.9 FT	28.9 FT
MIN SETBACK FROM SIDE PROP LINE	5 FT & 10 FT	2.7 FT EXISTING NORTH, 10.7 FT EXISTING SOUTH	2.7 FT EXISTING NORTH NON CONFORMANCE, 10.7 FT EXISTING SOUTH
MAX LOT COVERAGE AS % OF LOT AREA	65%	27%	27%
MAX FLOOR AREA AS % OF LOT AREA	45%	26.3%	26.3%



1. INSPECT BARRIER AFTER EACH STORM EVENT AND DAILY DURING PROLONGED RAINFALL.
2. REMOVE SEDIMENT WHEN IT REACHES APPROXIMATELY ONE-HALF THE BARRIER HEIGHT.

2 BARRIER DETAIL

NOT TO SCALE

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Lothrop Associates LLP Architects
100 Pearl Street
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Hartford, Connecticut 06103
860-249-7251

White Plains Rochester Red Bank Hartford

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NEW FOUNDATIONS,
ELEVATE EXISTING RESIDENCE AND MINOR
INTERIOR ALTERATIONS
FOR
CHARLES & BARBARA DEGOURSEY
10 Chetwood Street
Milford, Connecticut 06460

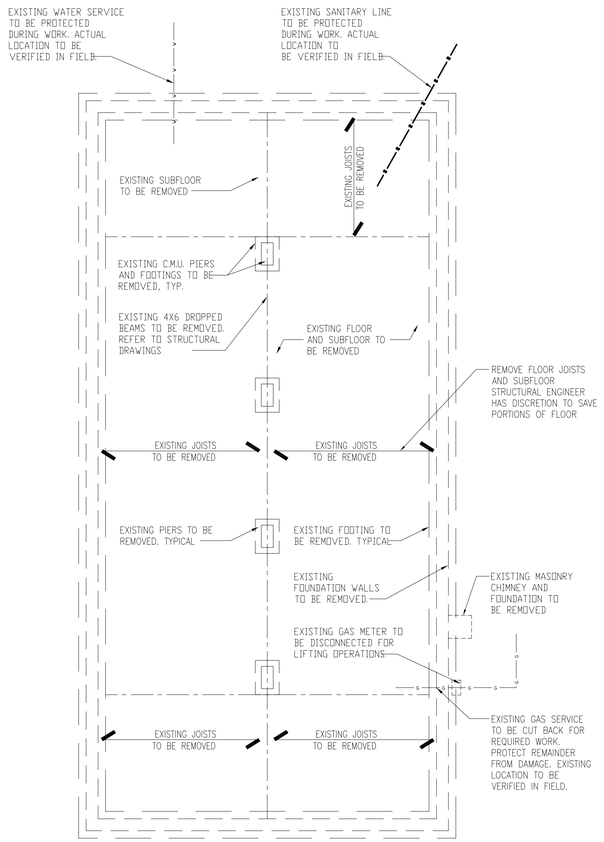
SITE PLAN, ZONING DATA, DETAIL AND NOTES

PROJECT NO.: 1524-34 | SCALE AS NOTED

DRAWING NO.:

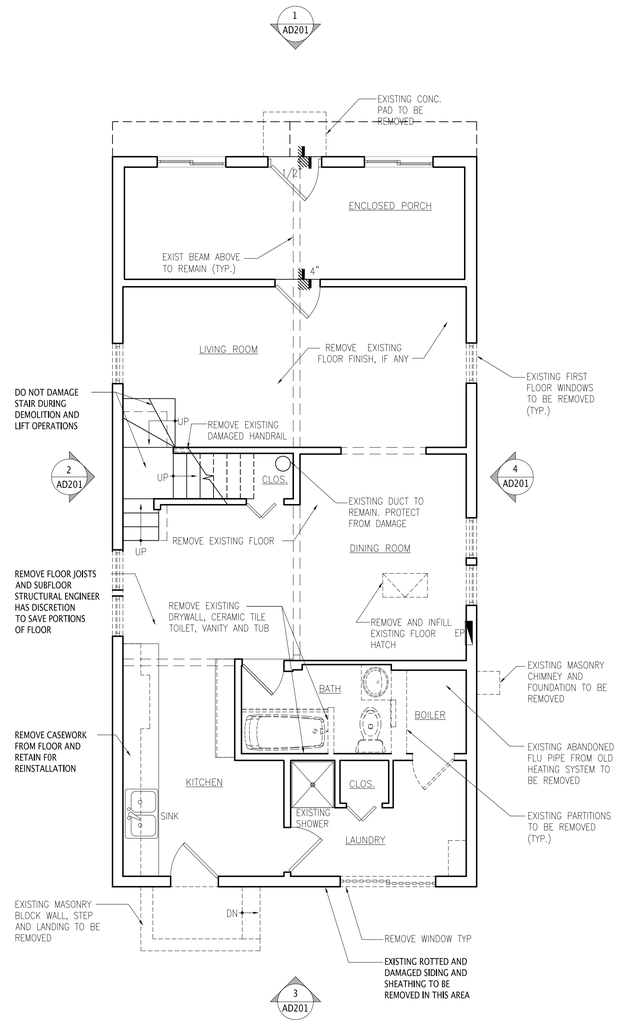
G-002

N:\10 PROJECTS\Housing-Residential\1524-34 - CT DOH CDBG-DR - 10 Chetwood St, Milford (#5065)\1524-34_Drawings\1524-34_15_0630_Active Drawings\1523-34_15_0701_G001, G002.dwg



1 FOUNDATION DEMOLITION PLAN
1/4" = 1'-0"

NORTH

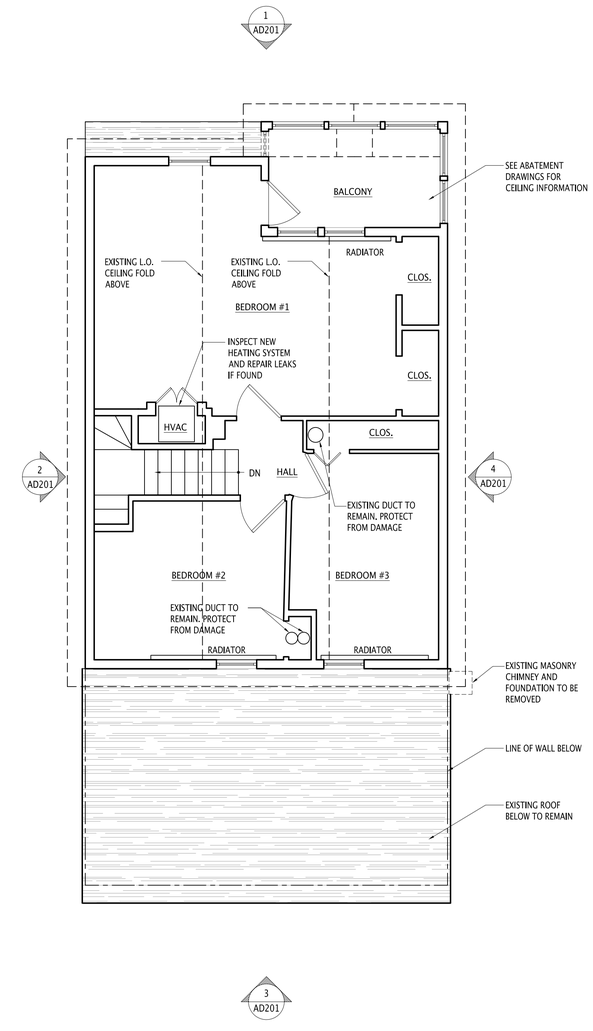


2 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

NORTH

NOTE:

SEE ABATEMENT PLAN HM-101 FOR MORE INFORMATION



3 SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"

NORTH

NOTE:

PARTITIONS AND CEILING WILL NEED TO BE OPENED UP AS REQUIRED FOR NEW CONSTRUCTION. RIDGE BEAMS, POSTS, AND HEADERS AS REQUIRED.

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FOUNDATION, FIRST FLOOR and SECOND FLOOR DEMOLITION PLANS

PROJECT NO.: 1524-34 | SCALE AS NOTED

DRAWING NO.:

AD-101

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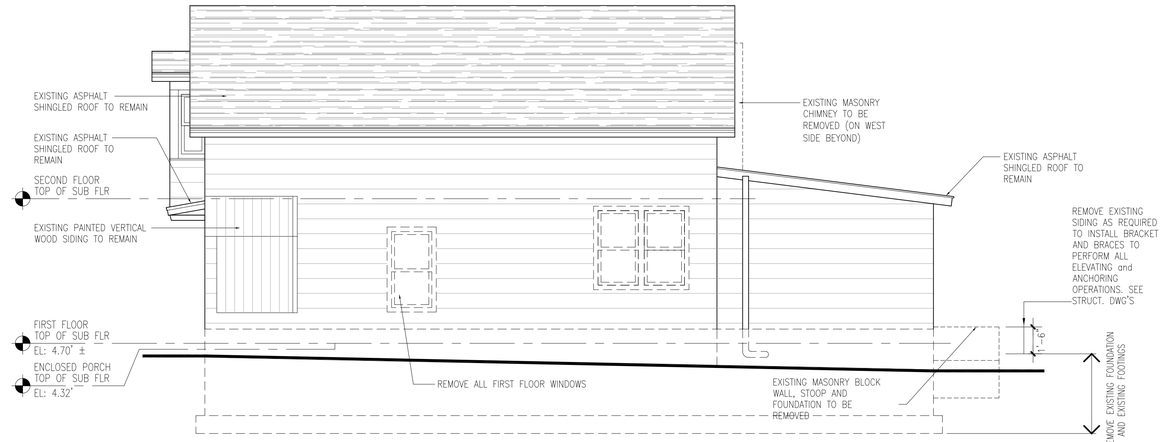
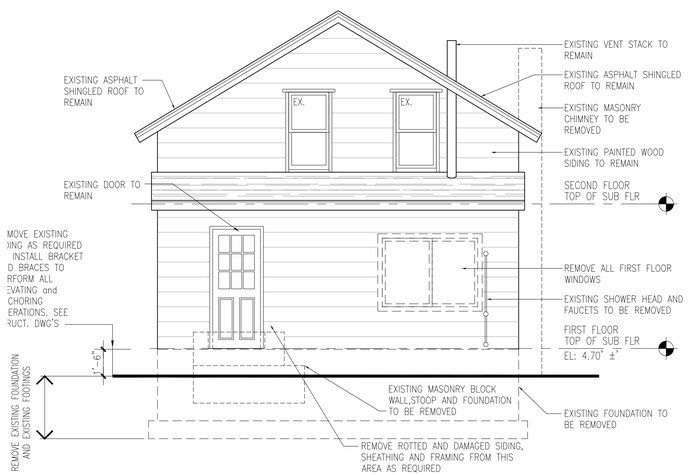
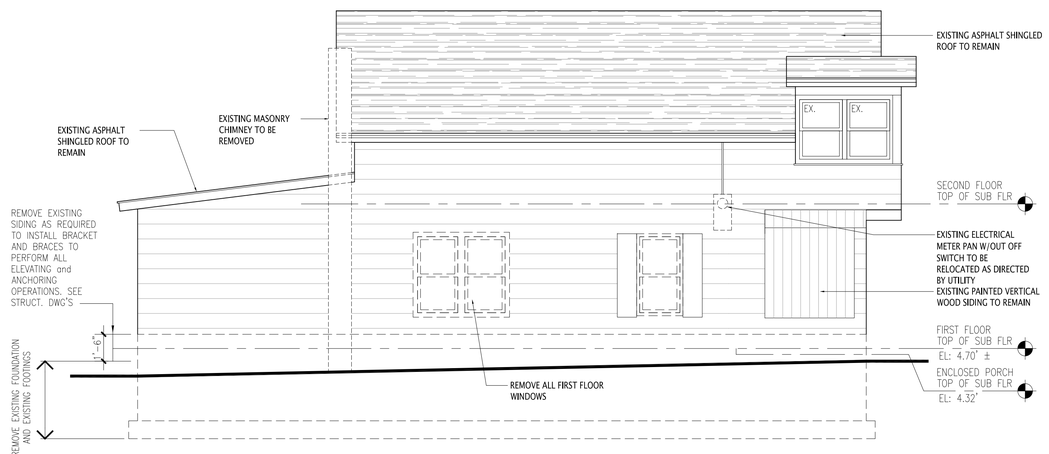
1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

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DEMOLITION BUILDING ELEVATIONS

PROJECT NO.: 1524-34 | SCALE AS NOTED

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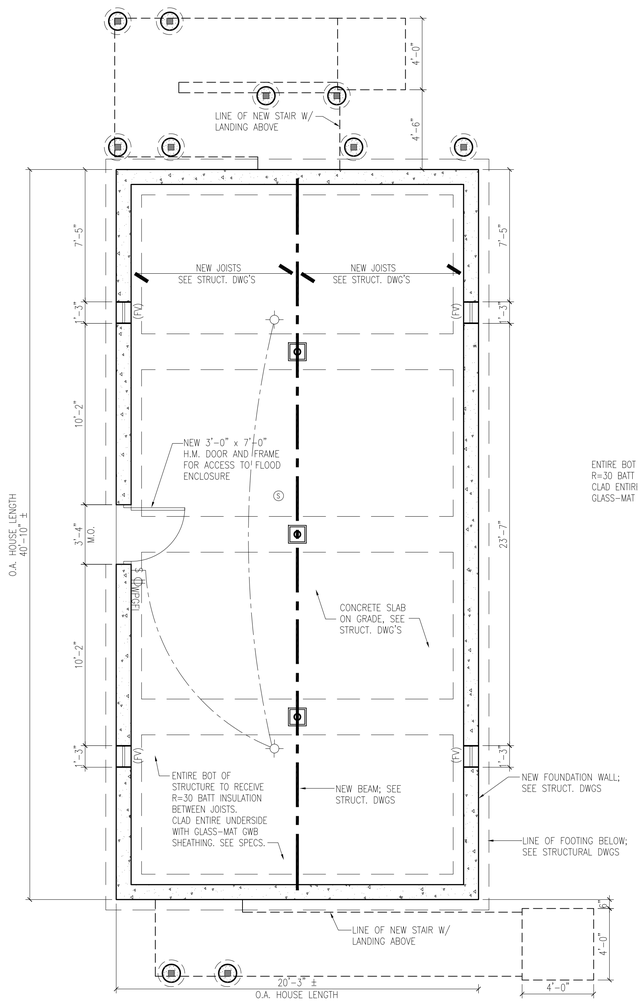
AD-201

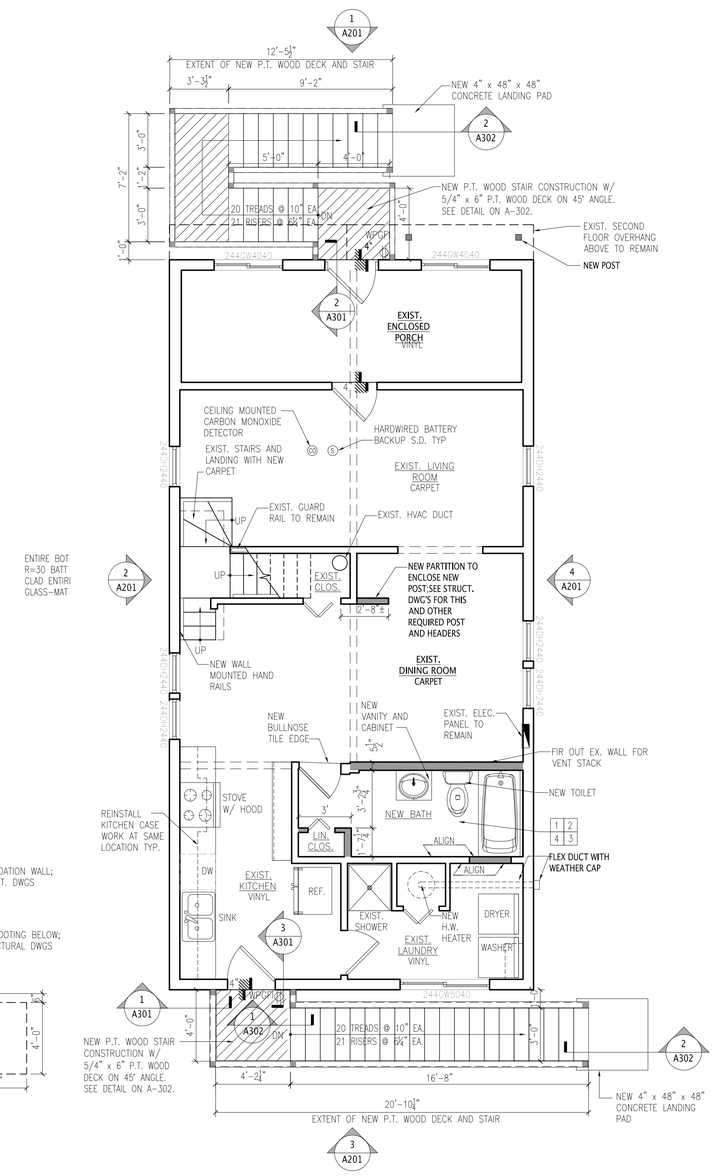
FINISH SCHEDULE

FLOOR — BASE
WALLS — CEILING

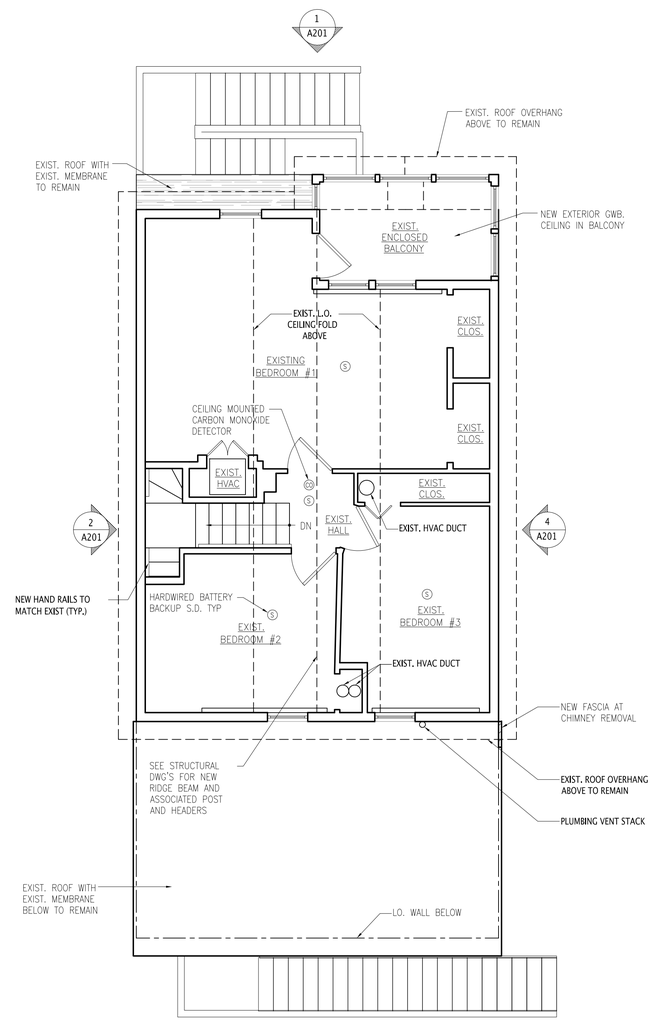
1. UNGLAZED CERAMIC TILE
2. GLAZED CERAMIC TILE SANITARY COVE
3. WATER RESISTANT GYPSUM WALL BOARD
4. 48" HIGH 4"x4" GLAZED CERAMIC WALL TILE WAINSCOT. PROVIDE 4"x4" GLAZED CERAMIC WALL TILE 6'-0" WAINSCOT AROUND TUB.



1 FOUNDATION PLAN
1/4" = 1'-0"
NORTH



2 FIRST FLOOR PLAN
1/4" = 1'-0"
NORTH



3 SECOND FLOOR PLAN
1/4" = 1'-0"
NORTH

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FOUNDATION, FIRST and SECOND FLOOR PLANS

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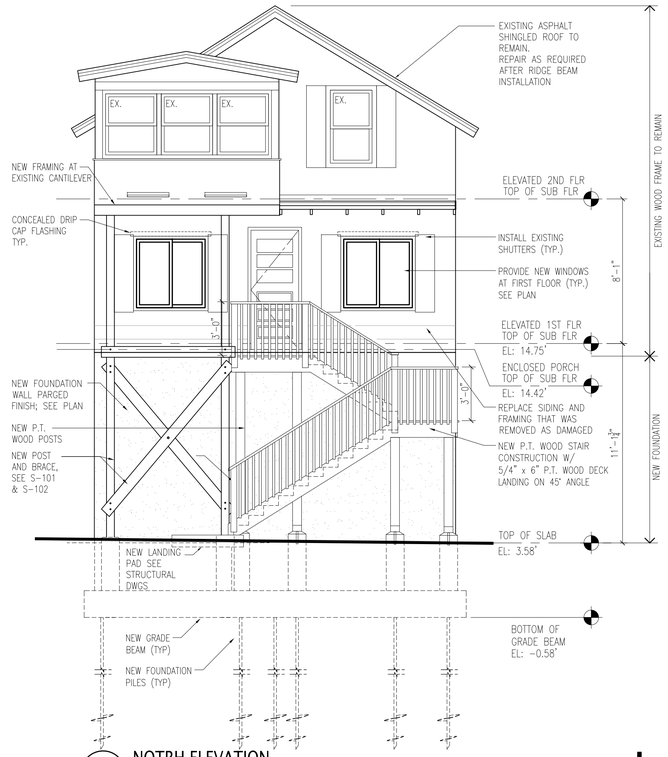
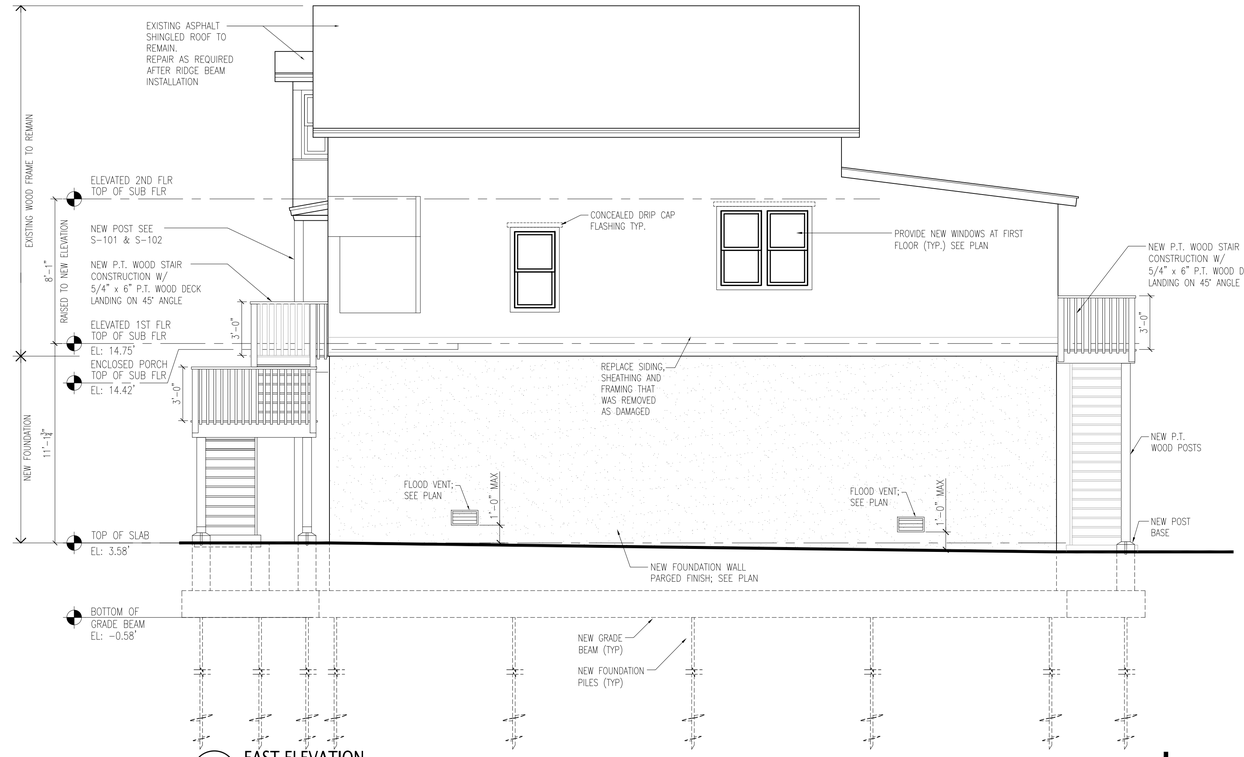
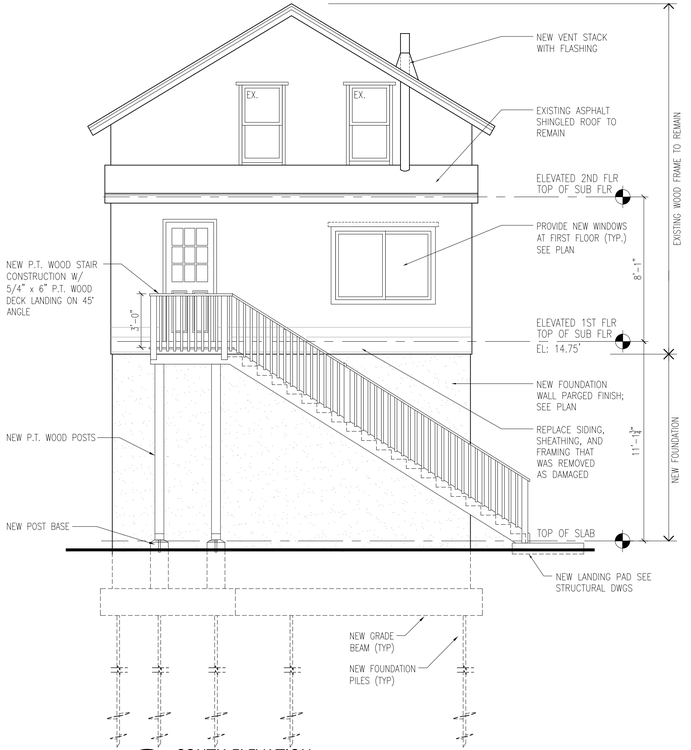


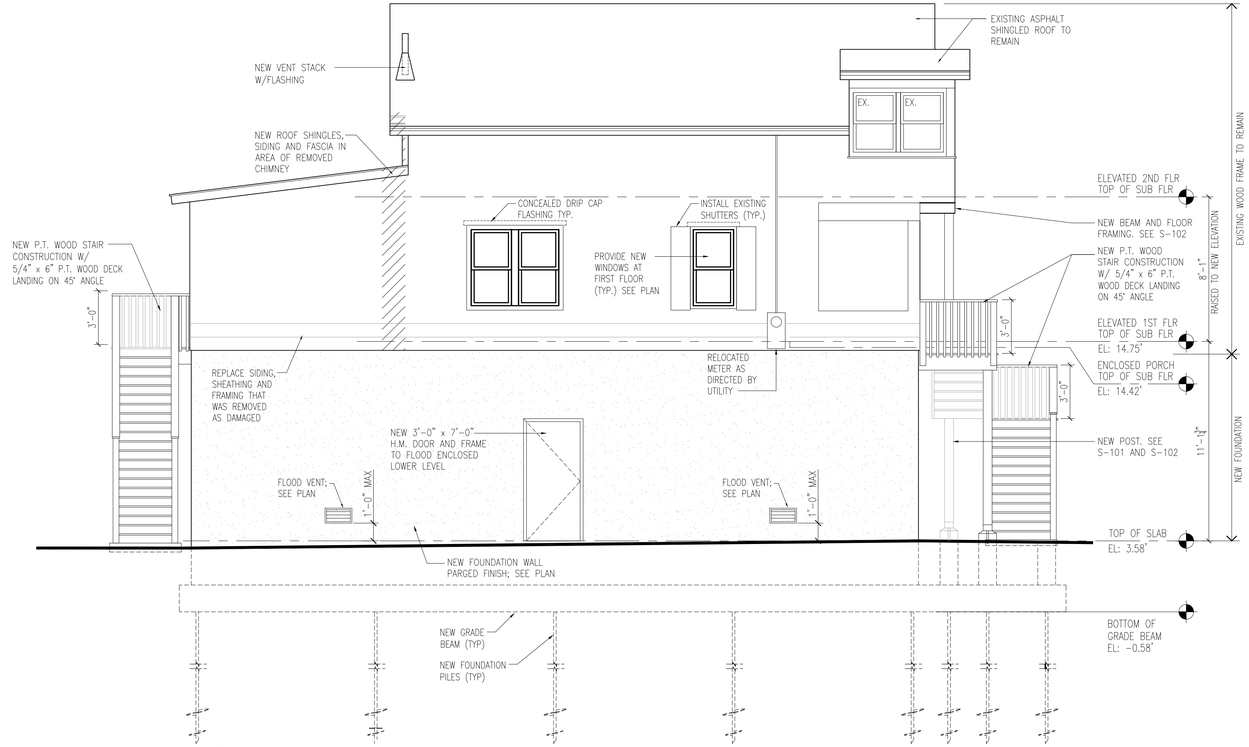
1 NOTRH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

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White Plains Rochester Red Bank Hartford

ISSUE NO.	ISSUE DATE	DESCRIPTION
1	25 SEPTEMBER 2015	ISSUED FOR BID

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Application No. 5065

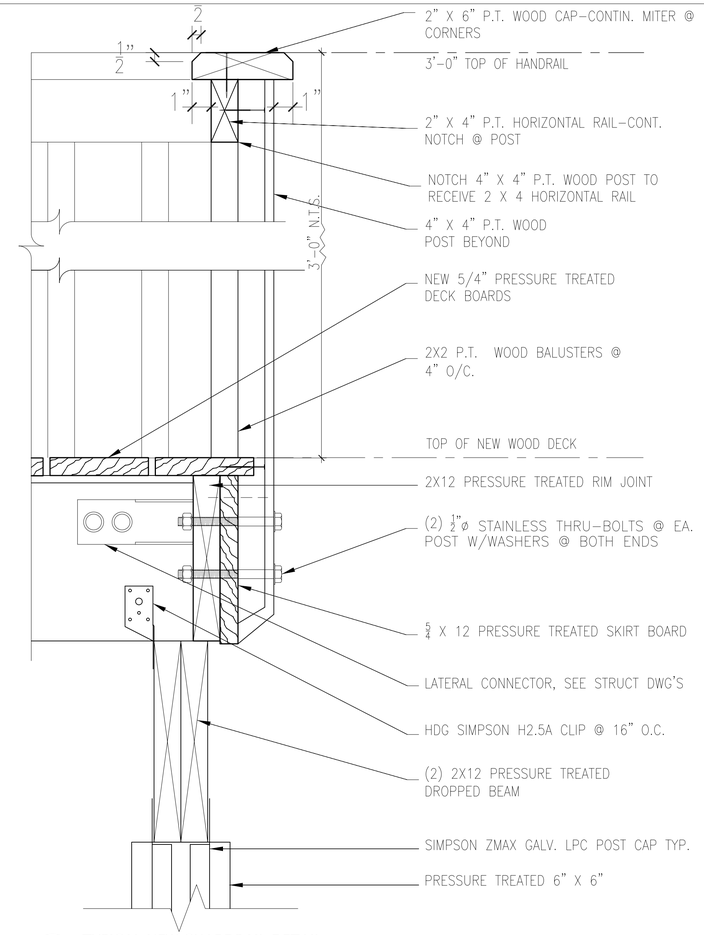
HAZARDOUS MATERIAL ABATEMENT,
NEW FOUNDATIONS,
ELEVATE EXISTING RESIDENCE AND MINOR
INTERIOR ALTERATIONS
FOR
CHARLES & BARBARA DEGOURSEY
10 Chetwood Street
Milford, Connecticut 06460

BUILDING ELEVATIONS

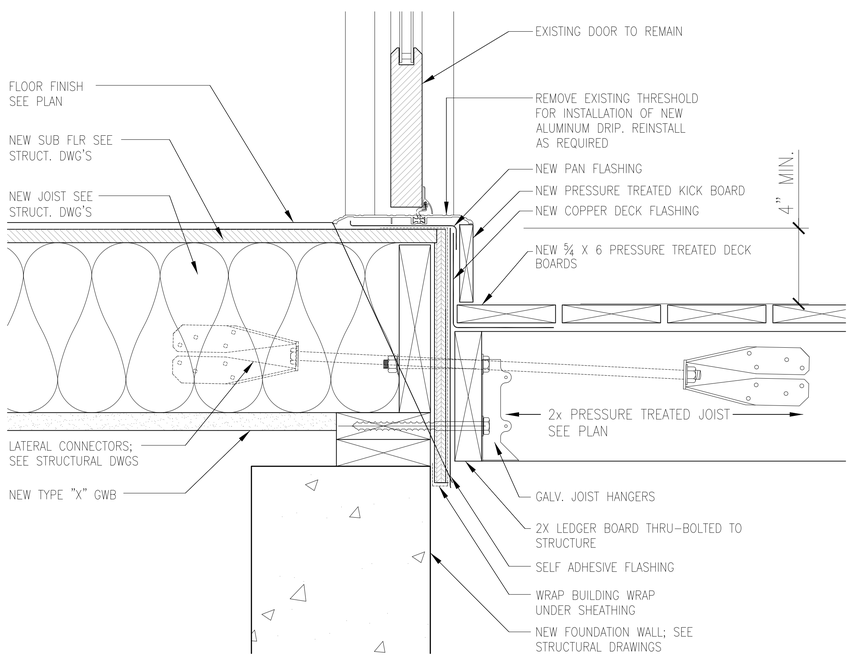
PROJECT NO.: 1524-34 | SCALE AS NOTED

DRAWING NO.:

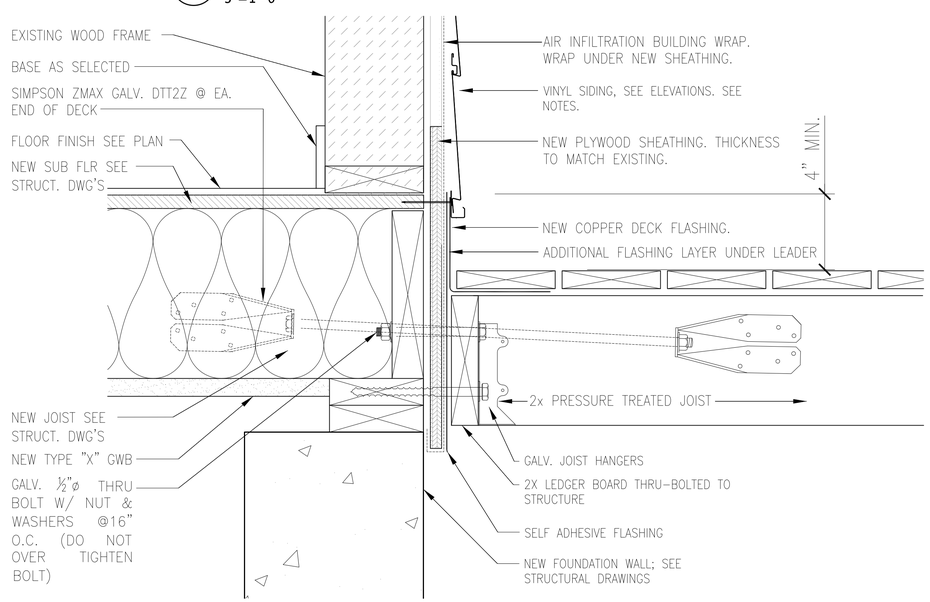
A-201



1 TYPICAL NEW GUARDRAIL DETAIL
3"=1'-0"



2 DETAIL at DOOR THRESHOLD
3" = 1'-0"



3 DETAIL thru LEDGER BOARD
3" = 1'-0"

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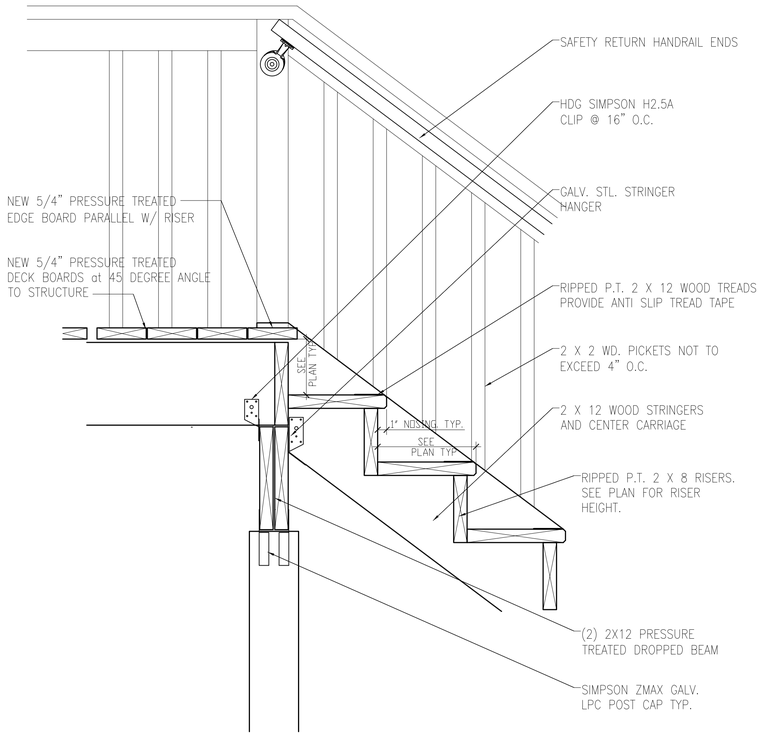
BUILDING SECTION and DETAILS

PROJECT NO.: 1524-34 | SCALE AS NOTED

DRAWING NO.:

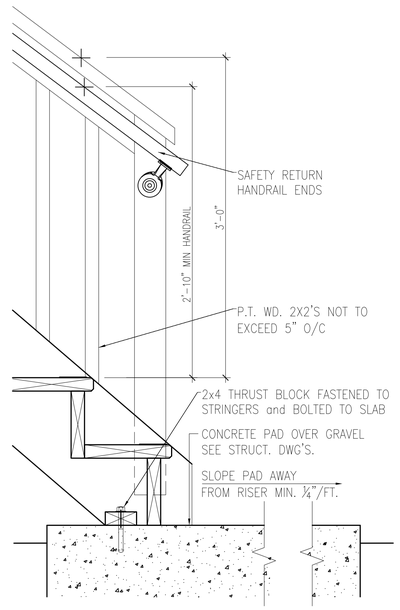
A-301

N:\10 PROJECTS\Housing-Residential\1524-34 - CT DOH CDBG-DR - 10 Chetwood St, Milford (#5065)\1524-34_Drawings\1524-34_15_0630_Active Drawings\1524-34_15_0701_CD's.dwg



1 TYPICAL RISER and TREAD DETAIL
1-1/2" = 1'-0"

NOTE: ALL CONNECTIONS @ P.T. LUMBER SHALL BE SCREWED EXCEPT WHERE NOTED TO BE BOLTED, OR WHERE SPECIFIC FASTENERS ARE SPECIFIED AT METAL BRACKET AND HANGERS (TYP.)



2 DETAIL at BASE OF STAIR
1-1/2" = 1'-0"

CONSTRUCTION OF GUARDRAILS and INFILLS SHALL COMPLY WITH THE FOLLOWING CRITERIA

RAILING CONSTRUCTION DESIGN LOADS
GUARDRAILS and HANDRAILS
200lbs./S.F.
A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

GUARDRAILS INFILL COMPONENTS DESIGN LOADS
50lbs./S.F.
GUARD INFILL COMPONENTS (ALL THOSE EXCEPT HANDRAIL) BALLUSTERS and PANEL FILLERS SHALL WITHSTAND
A HORIZONTALLY APPLIED NORMAL LOAD OF 50lbs. ON AN AREA EQUAL TO ONE SQUARE FOOT

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DETAILS

PROJECT NO.: 1524-34 | SCALE AS NOTED

DRAWING NO.:

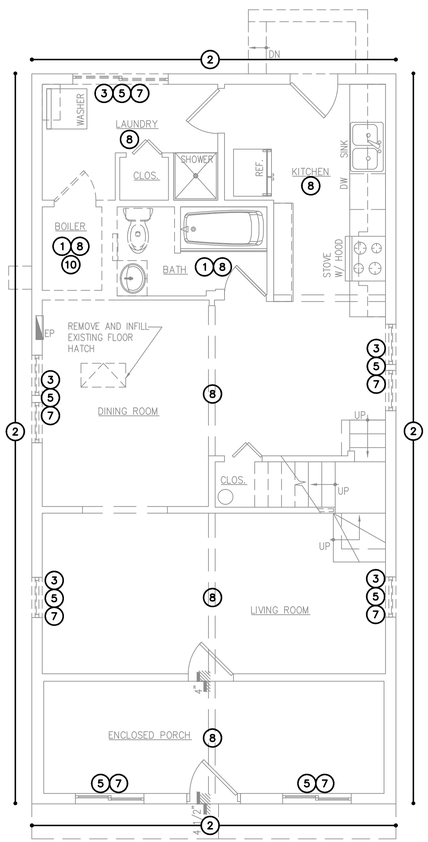
A-302

ASBESTOS ABATEMENT NOTES

1. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING INACCESSIBLE PIPE AND PIPE FITTING INSULATION AS ACM. WORK INCLUDES SELECTIVE DEMOLITION OF WALLS AND CEILINGS TO ACCESS MATERIALS
2. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING EXTERIOR GRAY CEMENTITIOUS PANEL SIDING AS ACM. COORIDINATE REQUIRED ABATEMENT WORK WITH ARCHITECTUAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS AND SPECIFICATIONS
3. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF LEAD-BASED PAINT COATED WINDOW SASHES AS ENTIRE COMPONENT. DISPOSE OF WASTE GENERATED AS HAZARDOUS LEAD WASTE.
4. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF LEAD-BASED PAINT COATED WOOD CEILING AS ENTIRE COMPONENT. DISPOSE OF WASTE GENERATED AS HAZARDOUS LEAD WASTE.
5. THE CONTRACTOR SHALL SCRAPE LEAD-BASED PAINT ON INTERIOR AND EXTERIOR WOOD WINDOW TRIM, SILLS, AND WELLS. WORK INCLUDES INSTALLATION OF WELL INSERTS IN WINDOW WELLS. DISPOSE OF WASTE GENERATED AS HAZARDOUS LEAD WASTE.
6. THE CONTRACTOR SHALL SCRAPE LEAD-BASED PAINT ON INTERIOR WOOD DOOR, CASING, JAMB, AND THRESHOLD. DISPOSE OF WASTE GENERATED AS HAZARDOUS LEAD WASTE.
7. THE CONTRACTOR SHALL WASH WINDOW SILLS WITH TSP AND HEPA VACUUM LEAD DUST HAZARD. WASTE GENERATED DURING CLEANING SHALL BE DISPOSED OF AS HAZARDOUS LEAD WASTE.
8. THE CONTRACTOR SHALL WASH FLOORS WITH TSP AND HEPA VACUUM LEAD DUST HAZARD. WASTE GENERATED DURING CLEANING SHALL BE DISPOSED OF AS HAZARDOUS LEAD WASTE.
9. THE CONTRACTOR SHALL SCRAPE LEAD-BASED PAINT ON INTERIOR AND EXTERIOR WOOD WINDOW SASHES. DISPOSE OF WASTE GENERATED AS HAZARDOUS LEAD WASTE.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF MOLD-CONTAMINATED GYPSUM WALL AND CEILING BOARD. WORK INCLUDES CLEANING OF WOOD FRAMING AND SHEETING TO REMAIN.

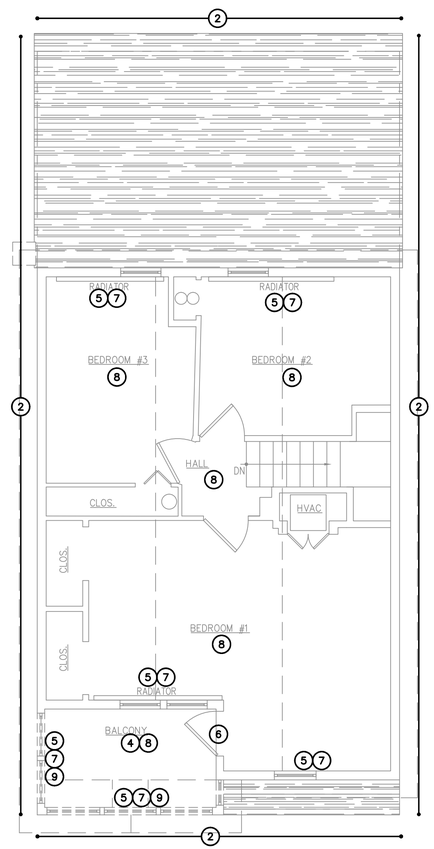
GENERAL NOTES

1. THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORIDINATED WITH OWNER, GENERAL CONTRACTOR, AND OTHER TRADES.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



1 FIRST FLOOR - HAZARDOUS MATERIALS ABATEMENT PLAN
1/4" = 1'-0"

NORTH



2 SECOND FLOOR - HAZARDOUS MATERIALS ABATEMENT PLAN
1/4" = 1'-0"

NORTH

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14th Floor
Hartford, Connecticut 06103
860-249-7251

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FUSS & O'NEILL
EnviroScience, LLC
146 HARTFORD ROAD
MANCHESTER, CONNECTICUT 06040
860.646.2469
www.fando.com

ISSUE NO.	ISSUE DATE	DESCRIPTION
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505 Hudson Street
Hartford, Connecticut 06106

Application No. 5065

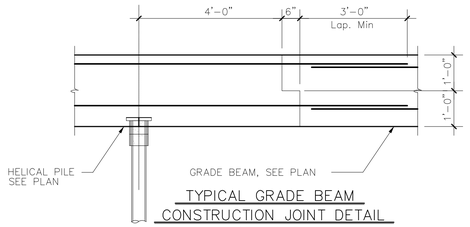
HAZARDOUS MATERIAL ABATEMENT,
NEW FOUNDATIONS,
ELEVATE EXISTING RESIDENCE AND MINOR
INTERIOR ALTERATIONS
FOR
CHARLES & BARBARA DEGOURSEY
10 Chetwood Street
Milford, Connecticut 06460

FIRST and SECOND FLOOR HAZARDOUS MATERIALS ABATEMENT PLAN

PROJECT NO.: 1524-34 | SCALE AS NOTED

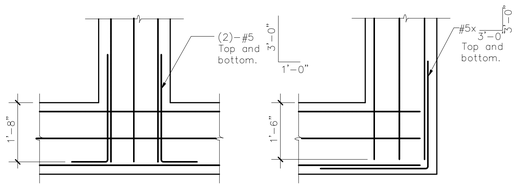
DRAWING NO.:

HM-101



TYPICAL GRADE BEAM CONSTRUCTION JOINT DETAIL

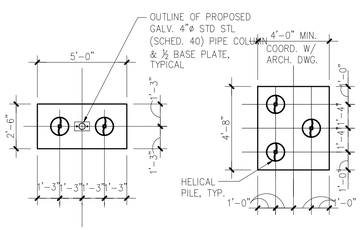
⅛" = 1'-0"



TYPICAL GRADE BEAM CORNER REIINFORCING

⅛" = 1'-0"

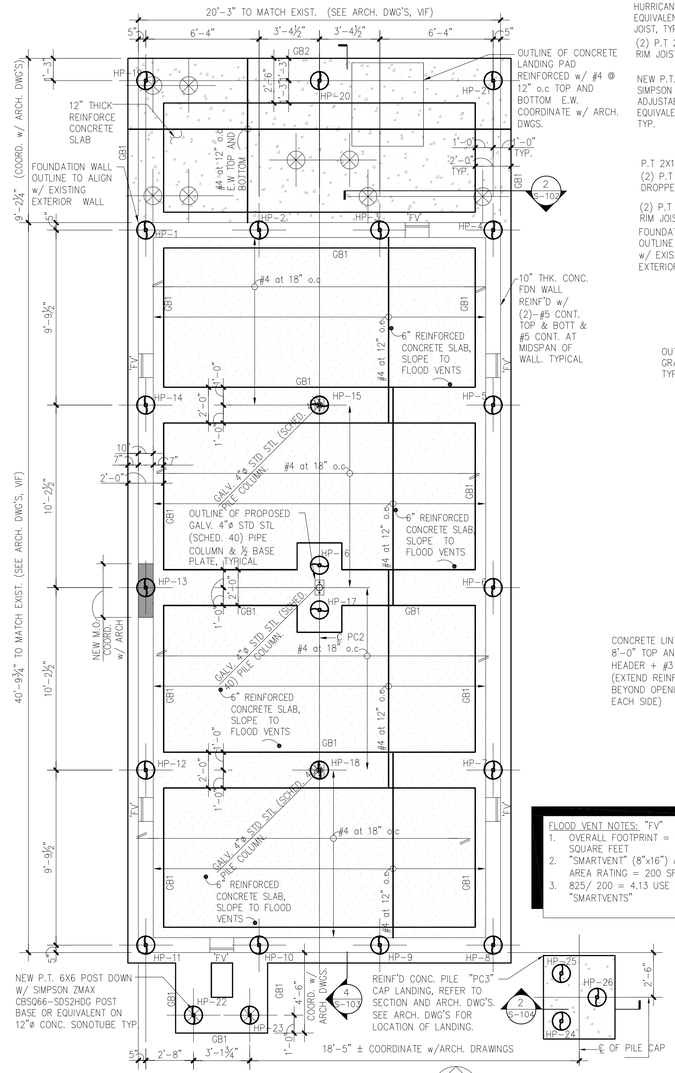
PILE CAP SCHEDULE			
MARK	THICKNESS	REINFORCING	LOCATION
PC2	24"	(6)-#6 L.W. (5)-#6 S.W.	BOTTOM
PC3	24"	# 4 AT 8" o.c EA. WAY	TOP & BOTTOM



PILE CAP PC2 PILE CAP PC3

PILE CAP DETAILS

¼" = 1'-0"



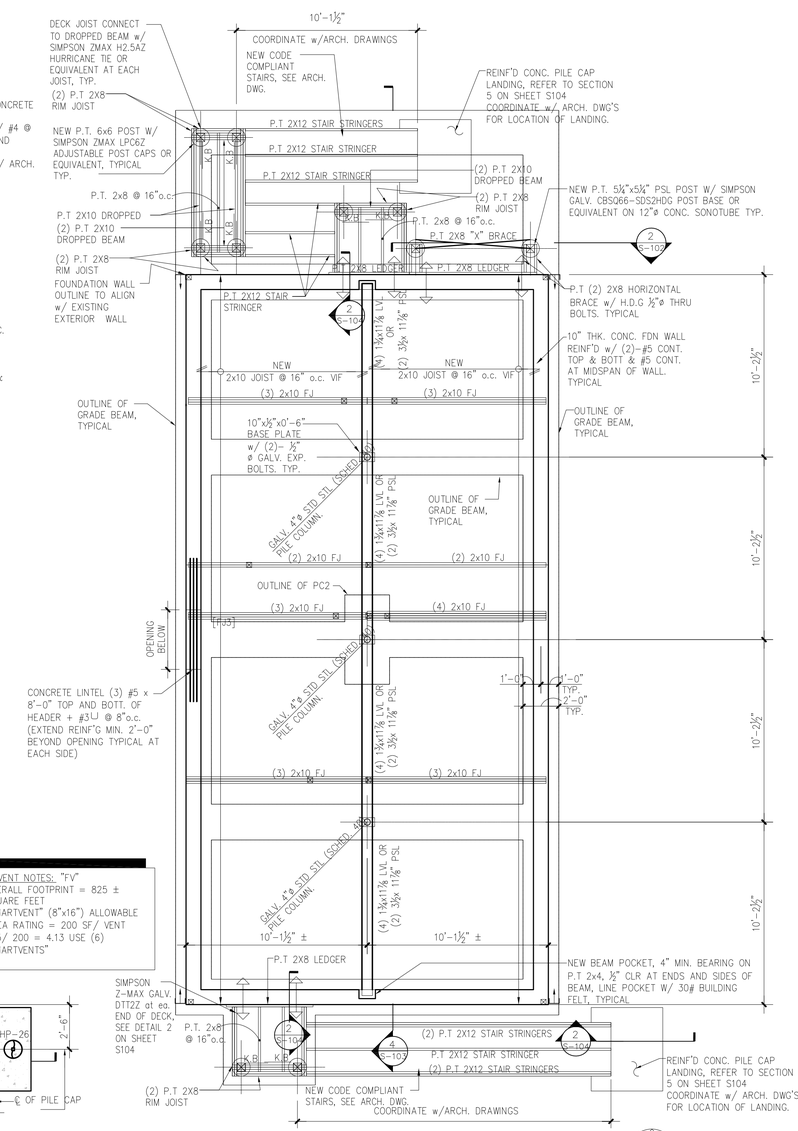
FOUNDATION PLAN

¼" = 1'-0"

FLOOD VENT NOTES: "FV"
1. OVERALL FOOTPRINT = 825 ± SQUARE FEET
2. "SMARTVENT" (8"x16") ALLOWABLE AREA RATING = 200 SF/ VENT
3. 825/ 200 = 4.13 USE (6) "SMARTVENTS"

NOTES:

1. HP-x DESIGNATES 40,000# ALLOWABLE COMPRESSION LOAD HELICAL PILE.
2. ⊗ DESIGNATES 12" ø CONC. SONOTUBE REINF'D w/ (4)-#4 BENT DOWELS, SEE DETAIL ON SHEET S103
3.
4. B-1 DESIGNATES SOIL BORING LOCATION , REFER TO SOIL BORING LOG, DRAWING S-105.
5. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
6. "GB1" DENOTES 2'-0"x2'-0" GRADE BEAM REINFORCED WITH (3)-#5 TOP AND BOTTOM CONTINUOUS- SEE DETAIL ON SHEET S103
7. "GB2" DENOTES 2'-6"x2'-0" GRADE BEAM REINFORCED WITH (3)-#5 TOP AND BOTTOM CONTINUOUS- SEE DETAIL SHEET S103
8. COORDINATE SONOTUBE PIER LOCATIONS WITH ARCHITECTURAL DRAWINGS.
9. "FV" DENOTES 8"x16" "SMART VENT" SMARTVENT 1540-510, TYP. U.O.N. OR EQUIVALENT, SEE DETAIL 3 ON SHEET S104 FOR ADDITIONAL INFORMATION.



FIRST FLOOR FRAMING PLAN

¼" = 1'-0"

NOTES:

1. REMOVE EXISTING SUBFLOOR AND EX. JOIST AND REPLACE WITH NEW FRAMING AND NEW FIRST FLOOR FRAMING AND SUB FLOOR COMPOSED OF ¾" T&G APA RATED STURD-I-FLOOR, GLUE AND NAILED TO JOIST WITH 8D NAILS @ 6" o.c- SEE SHEET S104 FOR ADDITION INFORMATION.
2. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
3. "K.B": DENOTES P.T 2X4 KNEE BRACES. SEE SECTION ON DETAIL 4 ON SHEET S104.
4. E- DESIGNATES NEW SIMPSON STHD14RJ HOLD DOWN STRAP, SEE DETAIL ON SHEET S104. TYPICAL AT EACH CORNER
5. ⊠ DENOTES: EXTERIOR POST, COORDINATE W/ EXISTING FIELD CONDITIONS

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100 Pearl Street
14th Floor
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INTERIOR ALTERATIONS
FOR
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10 Chetwood Street
Milford, Connecticut 06460

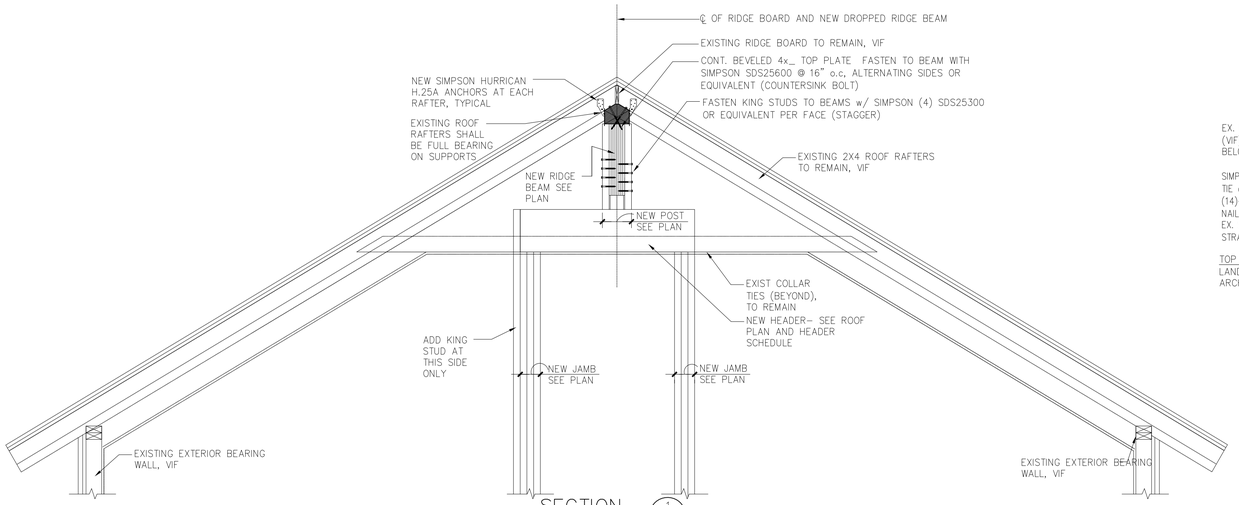
FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN

PROJECT NO.: 1524-34 | SCALE | AS NOTED

DRAWING NO.:

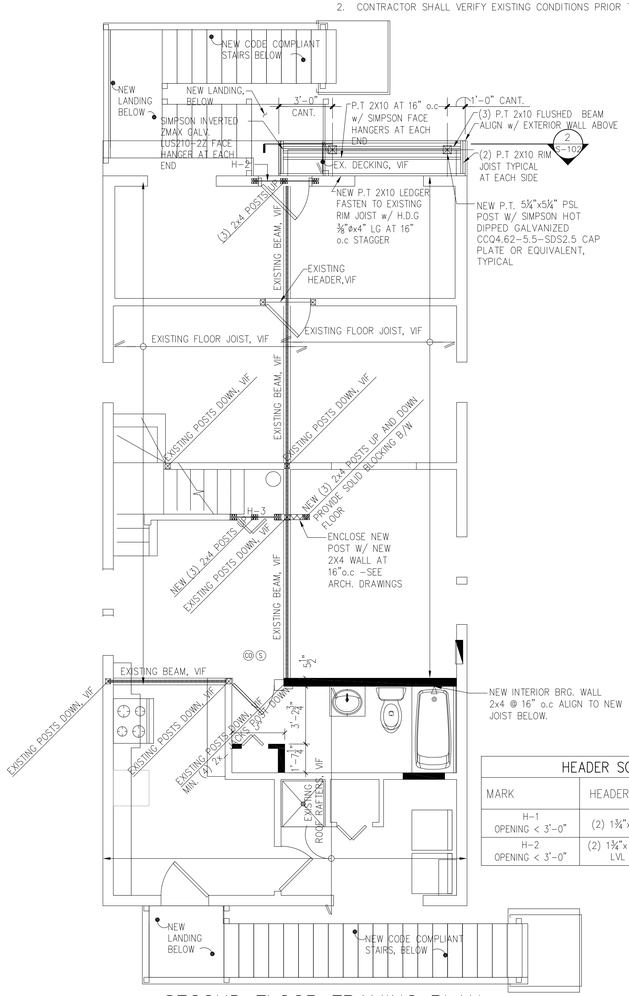
S-101

N:\10 PROJECTS\Housing-Residential\1524-34 - CT DOH CDBG-DR - 10 Chetwood St, Milford (FORS)\1524-34_Drawings\1524-34_15_0630_Active Drawings\1524-34_Structural DWGs\15-211-10 Chetwood Street.dwg



SECTION 1/S102
¾" = 1'–0"

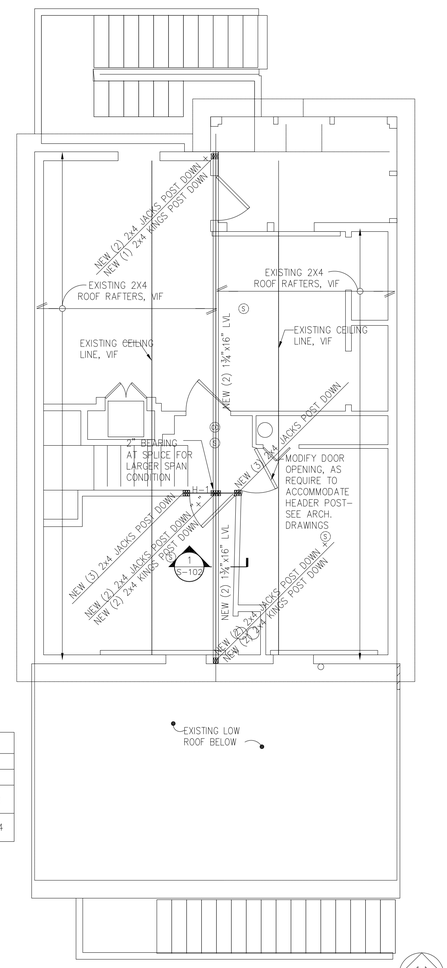
NOTE:
1. REMOVE PORTION OF CEILING TO ACCOMMODATE RIDGE BEAM AND POST INSTALLATION.
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO INSTALLING NEW BEAM AND NOTIFIED ARCH./ENGINEER OF ANY DISCREPANCIES.



HEADER SCHEDULE			
MARK	HEADER	JAMB	
		JACK's	KING's
H–1 OPENING < 3'–0"	(2) 1¾"x9½"	(3) 2x4	(1) 2X4
H–2 OPENING < 3'–0"	(2) 1¾"x 5½" LVL	(2) 2X4	(1) 2X4

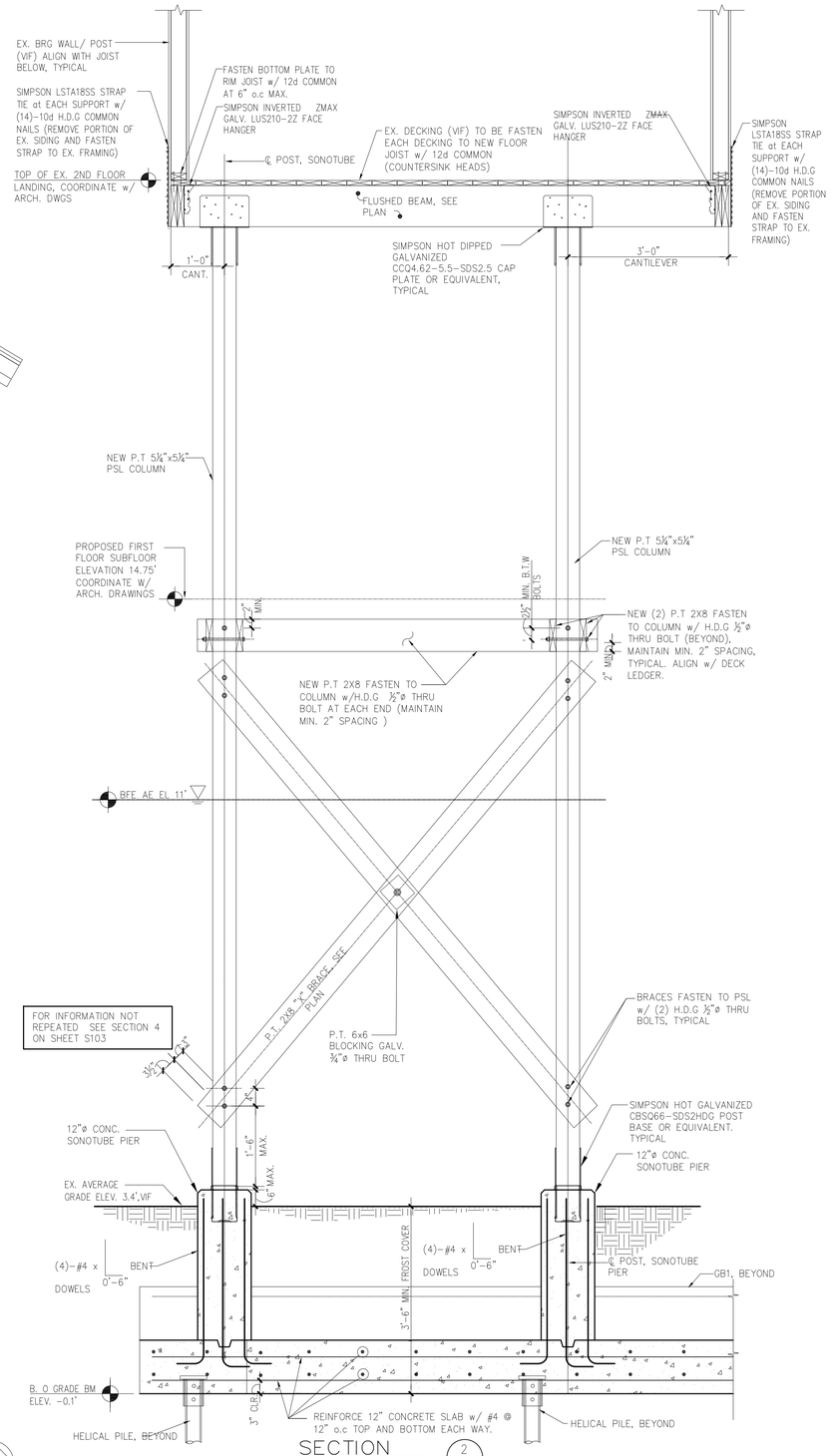
SECOND FLOOR FRAMING PLAN
¼" = 1'–0"

NOTES:
1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.
2. REMOVE EXISTING NON–SUPPORTING BEAMS AND PLACE NEW FLOOR FRAMING TO SUPPORT ENCLOSED BALCONY AREA.



ROOF FLOOR FRAMING PLAN
¼" = 1'–0"

NOTES:
1. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SITE CONDITIONS.



SECTION 2/S–102
3/4" = 1'–0"

NOTE:
- NOT ALL FRAMING SHOWN FOR CLARITY
- EXISTING DROPPED PERIMETER JOIST TO BE REMOVED.
- CONTRACTOR TO PROVIDE TEMPORARY SUPPORT UNTIL EXISTING FRAMING IS FULLY SUPPORTED

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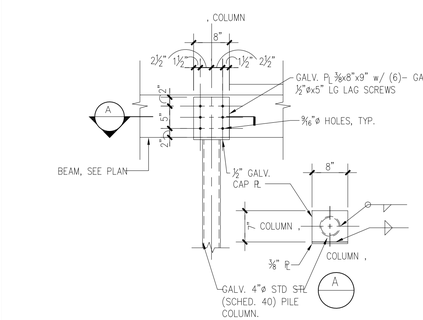
SECOND AND ROOF FLOOR FRAMING PLAN, SECTIONS

PROJECT NO.: 1524–34 | SCALE AS NOTED

DRAWING NO.:

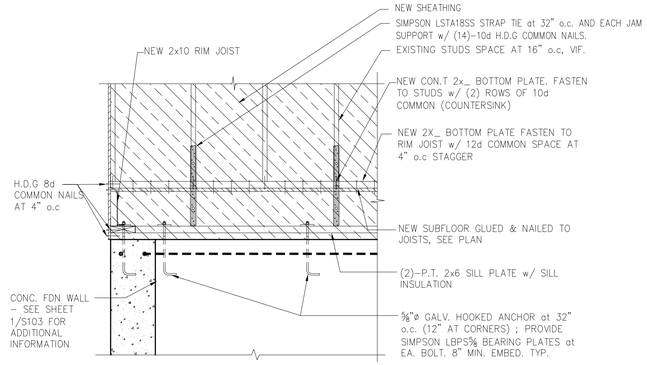
S–102

N:\10 PROJECTS\Housing–Residential\1524–34 – CT DOH CDBG–DR – 10 Chetwood St., Milford (#5065)\1524–34_Drawings\1524–34_15_0630_Active Drawings\1524–34_Structural DWGs\15–211–10 Chetwood Street.dwg



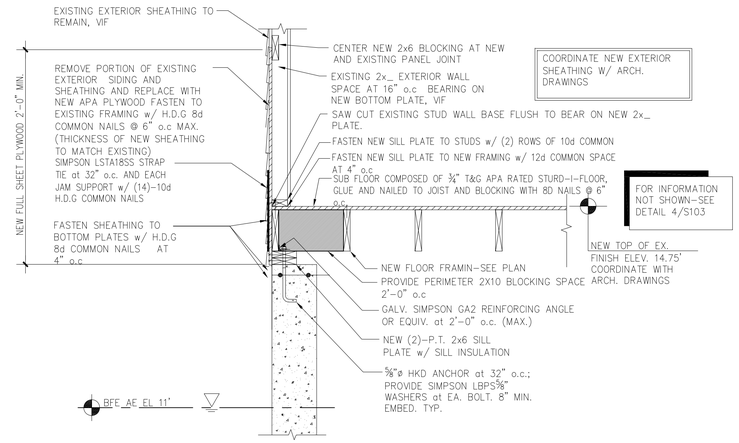
BEAM AND COLUMN CAP SECTION (1/S103)

¾" = 1'-0"



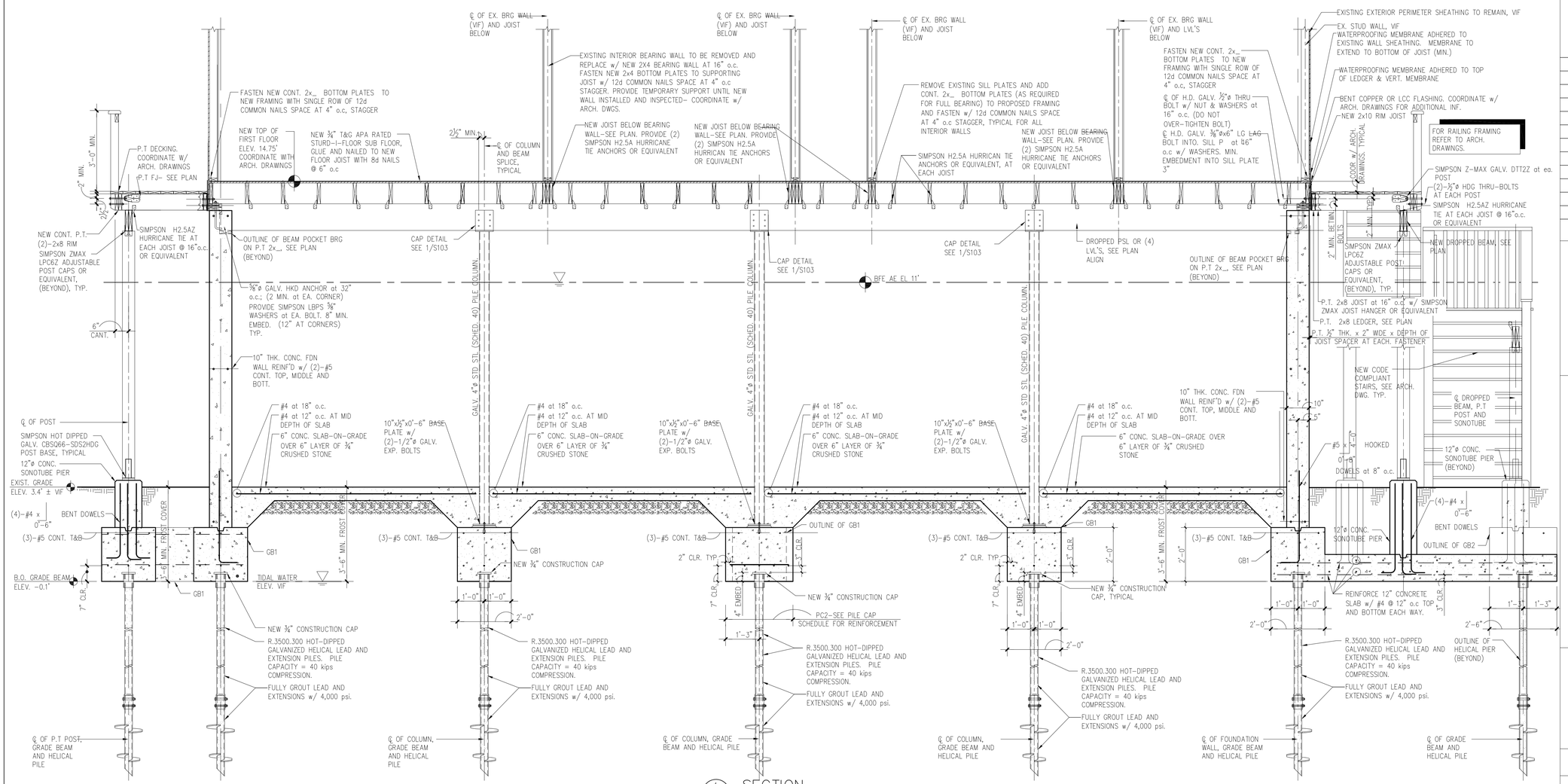
FOUNDATION ANCHORAGE DETAIL (2/S103)

¾" = 1'-0"



PERIMETER WALL SECTION (3/S-103)

¾" = 1'-0"



SECTION (4/S103)

½" = 1'-0"

NOTE:

1. FOR BOLTING MULTIPLE LVL' SHEET SEE DETAIL 1 ON SHEET S104
2. CONTRACTOR SHALL PROVIDE TEMPORARY BRACE AND SUPPORT DURING LIFT EXISTING HOUSE

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STRUCTURAL SECTIONS

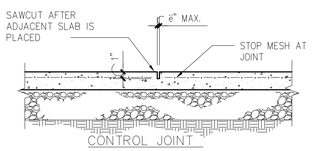
PROJECT NO.: 1524-34 | SCALE | AS NOTED

DRAWING NO.:

S-103

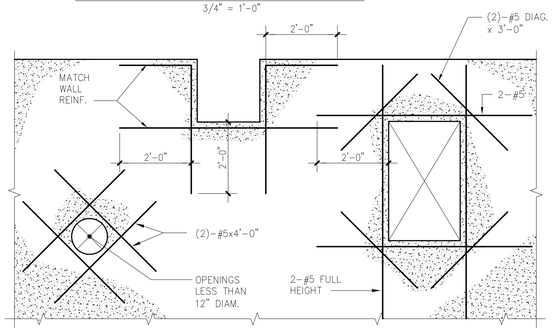
N:\10 PROJECTS\Housing-Residential\1524-34 - CT DOH CDBG-DR - 10 Chetwood St, Milford (#9065)\1524-34_Drawings\1524-34_15_0630_Active Drawings\1524-34_Structural DWGs\15-211-10 Chetwood Street.dwg

NOTE:
WWM SHALL BE SUPPLIED IN SHEETS. ROLLS ARE NOT ACCEPTABLE. LAP MESH MIN OF 6" AND TIE ALL JOINTS.



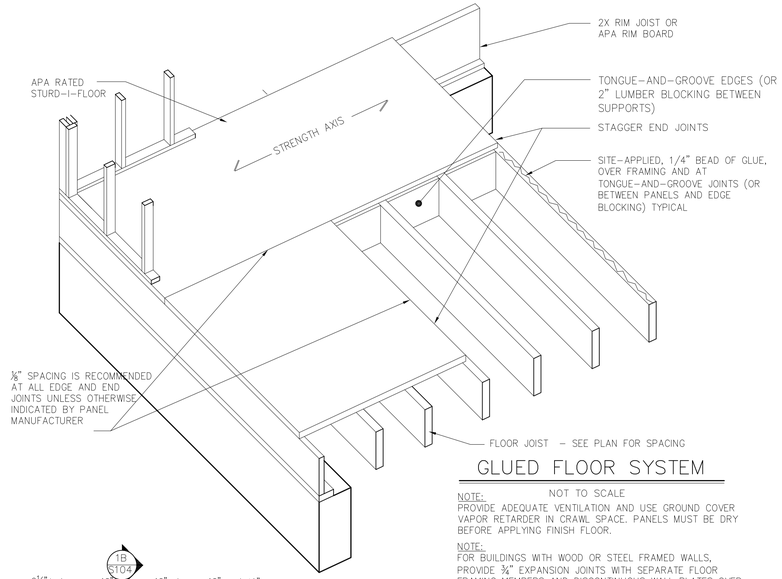
SLAB-ON-GRADE DETAILS

3/4" = 1'-0"



TYPICAL REINFORCING AT WALL OPENINGS

NO SCALE

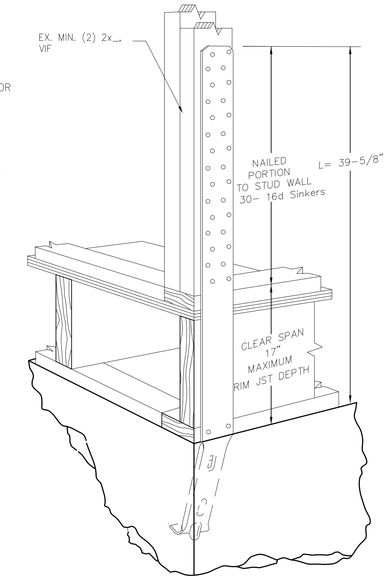


GLUED FLOOR SYSTEM

NOT TO SCALE

NOTE:
PROVIDE ADEQUATE VENTILATION AND USE GROUND COVER VAPOR RETARDER IN CRAWL SPACE. PANELS MUST BE DRY BEFORE APPLYING FINISH FLOOR.

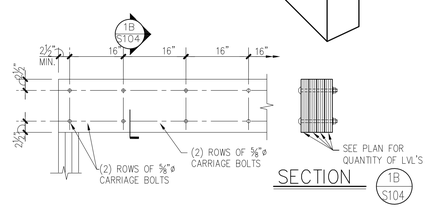
NOTE:
FOR BUILDINGS WITH WOOD OR STEEL FRAMED WALLS, PROVIDE ⅜" EXPANSION JOINTS WITH SEPARATE FLOOR FRAMING MEMBERS AND DISCONTINUOUS WALL PLATES OVER THE JOINTS, AT INTERVALS THAT LIMIT CONTINUOUS FLOOR AREAS TO 80 FEET MAXIMUM IN LENGTH OR WIDTH, TO ALLOW FOR ACCUMULATED EXPANSION DURING CONSTRUCTION IN WET WEATHER CONDITIONS.



SIMPSON STHD14RJ DETAIL

NOT TO SCALE

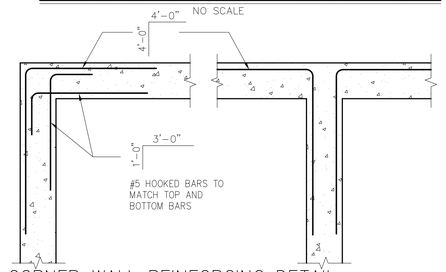
INSTALL STRAP PER MANUFACTURE SPECIFICATIONS. REMOVE EXISTING WALL SIDING AND INSTALL STRAP DIRECTLY TO FRAMING. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING STUDS AND ADD STUDS AS REQUIRED.



SECTION 1B/S104

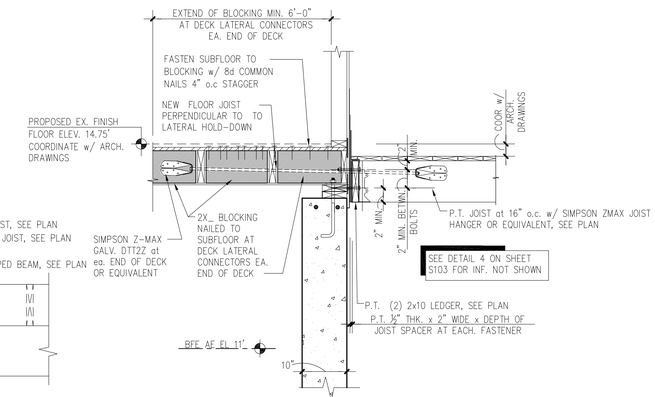
MULTIPLE LVL'S BOLTING DETAIL 1/S-104

N.T.S



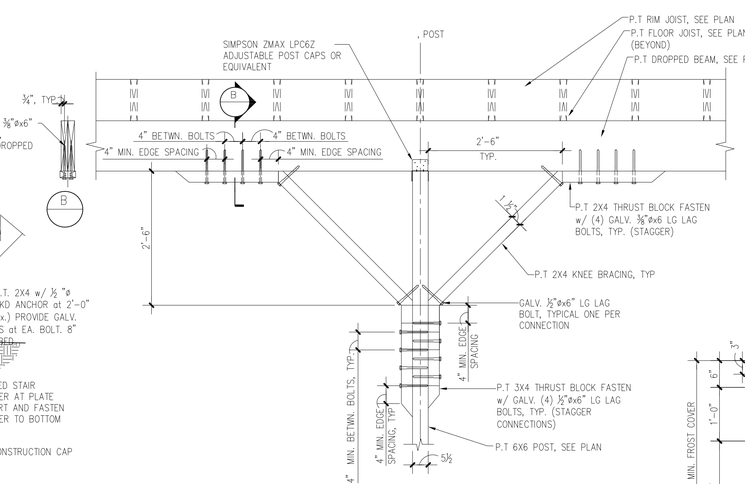
CORNER WALL REINFORCING DETAIL

3/4" = 1'-0"



SECTION 2/S104

3/4" = 1'-0"

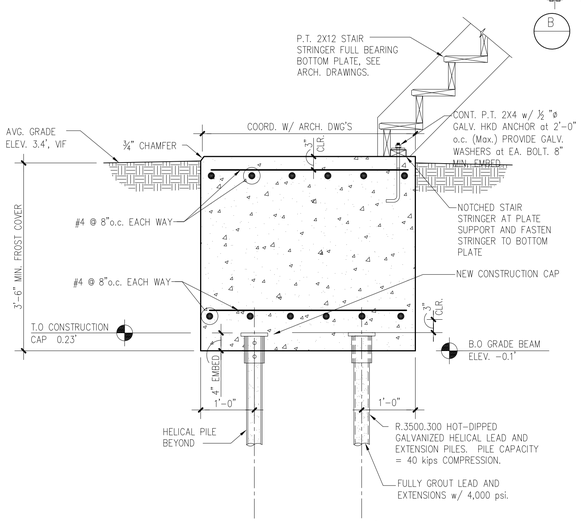


TYPICAL KNEE BRACING 4/S-104

N.T.S

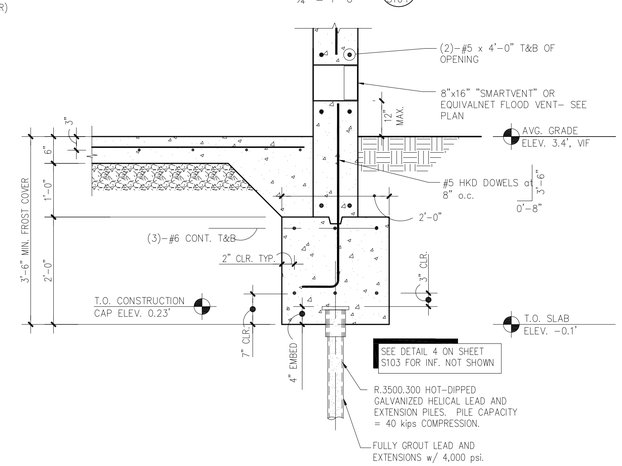
NOTE:

NOT ALL ITEMS SHOWN FOR CLARIFY



SECTION 5/S104

3/4" = 1'-0"



WALL SECTION AT VENT OPENINGS 3/S-104

3/4" = 1'-0"

Lothrop

Lothrop Associates LLP Architects
100 Pearl Street
14th Floor
Hartford, Connecticut 06103
860-249-7251

White Plains Rochester Red Bank Hartford

ISSUE NO.	ISSUE DATE	DESCRIPTION
1	25 SEPTEMBER 2015	ISSUED FOR BID

State Of Connecticut
Department Of Housing
505 Hudson Street
Hartford, Connecticut 06106

Application No. 5065

HAZARDOUS MATERIAL ABATEMENT,
NEW FOUNDATIONS,
ELEVATE EXISTING RESIDENCE AND MINOR INTERIOR ALTERATIONS
FOR
CHARLES & BARBARA DEGOURSEY
10 Chetwood Street
Milford, Connecticut 06460

TYPICAL STRUCTURAL SECTIONS

PROJECT NO.: 1524-34 | SCALE AS NOTED

DRAWING NO.:

S-104

N:\10 PROJECTS\Housing-Residential\1524-34 - CT DOH CDBG-DR - 10 Chetwood St, Milford (#5065)\1524-34_Drawings\1524-34_15_0630_Active Drawings\1524-34_Structural DWGs\15-211-10 Chetwood Street.dwg

STRUCTURAL NOTES

GENERAL:

- All details shall be considered typical and shall apply at all same and similar conditions.
- The Contractor shall field measure and verify all dimensions of the existing building and all dimensions related thereto.
- The Contractor shall be responsible for all temporary shoring and bracing required to maintain the structural stability of the building during construction.
- All work shall be in accordance with Connecticut state residential code (CSRC) which includes the 2009 international Residential Code, and the Connecticut 2013 amendments.
- The Contractor shall be solely responsible for construction site safety.

DESIGN LOADS:

- The foundation structure have been engineered to resist the following design loads in accordance with 2009 IRC chapter 3 and the Connecticut 2013 Amendments.
- Floor live loads:
  First Floor: 40 psf
  Deck: 40 psf
- Snow load:
  Ground Snow Load - Pg = 30 psf

  The roof structure was engineered for a minimum snow load of 30 psf in accordance with ***CSRC*** Chapter 3, Snow Loads.
- Wind load:
  Main Wind Force - Resisting System
  Basic Wind Speed, (3 sec gust), V = 100 mph
  Exposure Classification - C
  Importance Factor - I = 1.00
  Velocity Pressure Exposure Coefficient, Kz = 0.91
  Wind Directionality Factor, Kd = 0.85
  Topographical Factor, Kzt = 1.00
  Product of Internal Pressure Coefficient and Gust Factor, GCpi = ±0.18
  Gust Effect Factor, G = 0.85
  External Pressure Coefficient, Cp = varies
  Windward Wall, Cp = 0.85
  Leeward Wall, Cp = -0.50
  Side Wall, Cp = -0.70
  Velocity Pressure, qz = 0.00256 x Kz x Kzt x Kd xV^2 x I = 21 psf
  Design Wind Pressure, p = q x (G x Cp) - qi x (GCpi) use 16 psf
- Earthquake load:
  Site classification - C
  Occupancy Category, General Building - I
  Seismic Use Group, I
  Occupancy Importance Factor, I = 1.0
  Seismic Design Category = B

Earthquake loads for single-family residences are exempt for SDC = B

FOUNDATION

- The Contractor shall be responsible for all dewatering, shoring, sheeting, or bracing required to maintain a safe, dry, and stable excavation.
- No pile caps shall be placed in water.
- Soil adjacent to and below footings shall be kept from freezing at all times.
- Provide a granular sub-base under all slabs on grade. Where the slab is exposed to frost, the sub-base shall be 6 inches of ¾ inch crushed stone.
- The Contractor shall verify the location of all underground utility lines, sewers, and fuel storage tanks to avoid any damage to these. Contractor shall contact "Call Before You Dig" prior to any excavation.
- Backfill for foundation walls and retaining walls shall be compacted granular soil with not more than 10% passing the #200 sieve. If on-site soil does not meet this specification, the Contractor shall bring in soil from off-site at his own expense.

HELICAL PILES:

- All piles shall be patented helical piles and appurtenances as manufactured by A.B. Chance or an approved equal.
- Project is located in the vicinity of Long Island Sound, ground water elevation is tidal. Schedule pile installation during periods of low tide.
- All helical piles shall be installed by factory certified installers.
- All helical pile installations operations shall be supervised by a professional Engineer (Pile Engineer), licensed in the State of Connecticut, and hired by architect and who has experience with the installation and monitoring of helical piles
- The helical piles shall be installed to achieve an ultimate bearing capacity of 80 kips compression. The design capacity of the piles is 40 kips providing a safety factor of 2. The pile contractor shall submit, for review, calculations indicating the minimum pile depth, helix diameter and required torque to achieve the required load based upon the soil boring.
- If the minimum torque has not been achieved at the depth level, the contractor shall have the following options:
  a. Install the pile deeper, using additional extensions until the specified torque has been obtained.
  b. Remove the existing pile and install a pile with a larger and/or more helices. The revised pile shall be installed beyond the termination depth of the original pile, as directed by the engineer.
  c. Add additional piles as recommended by the engineer.
- Helical piles leads shall have a RS3500.300 inch shaft with three helices. The lower helix shall have a minimum diameter of 8 Inches; the middle helix shall be 10 inches; the upper helix shall be 12 inches in diameter. Minimum embedment = 10 feet.
- The helical piles, extensions, and appurtenances shall be hot dipped galvanized in accordance with ASTM A153.
- Helical piles shall be installed as shown on the drawings. All changes to the pile locations must be approved by the engineer.
- If underground obstructions are encountered during the installation, the contractor shall have the option of removing the obstruction if possible, or relocating the pile with the engineer's approval. The latter option may require the relocation of adjacent piles or the installation of additional piles.
- Pipe columns should be fully grouted during pile installation.
- The grout columns shall have a minimum compressive strength of 4,000 psi.
- Written installation records shall be obtained for each helical pile. The records shall include, but are not limited to, the following:
  a. Project name and location
  b. Name of contractor's foreman and representative who witnessed the installation.
  c. Date and time of installation.
  d. Location and/or reference number of each pile.
  e. Description of lead section and extensions installed.
  f. Overall depth of installation referenced from bottom of existing pile.
  g. Torque reading for the last three feet of installation.
  h. Any other relevant information relation the installation, such as but not limited to, depth of any obstructions encountered, sudden loss of torque, offset from plan location.

FOR ESTIMATE PURPOSE:

- All piles shall be installed to a depth of 26 feet below elevation -0.1 ft. The exact embedment lengths shall be verified and recorded in the field by Pile Engineer. Final payment for installation length shall be determined using a constant unit price.

STRUCTURAL STEEL:

- ASTM A992 for rolled shapes
- ASTM A36 for angles, channels, plates, and miscellaneous sections
- ASTM A500 GRADE B For tube shapes
- ASTM A501 OR A53 For structural pipe
- Anchor rods: ASTM F1554, ¾-Inch diameter
- Shop primer: One coat of red oxide rust inhibitive primer, except for members which are to be encased in concrete, spray fireproofed, or within 2 inches of field welds.
- Steel work shall be in accordance with AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."
- Welders shall be certified in accordance with aws standard qualification procedures.
- Welding electrodes: ASTM A233, E70xx series for all structural connections.

CAST-IN-PLACE CONCRETE

- Concrete strength at 28 days:
  3,000 psi for foundation footings, grade beams, and pile caps.
  3,500 psi for concrete slabs-on-grade.
- Air-entrain all concrete, except for concrete for interior slabs-on-grade.
- Reinforcing steel: ASTM A615 grade 60.
- Concrete work shall be in accordance with ACI 301-99 and ACI 318-02.
- Maximum slump:
  4 inches for slabs
  5 inches for all other concrete.
- Minimum cover on reinforcing steel:

concrete cast against the earth	3"
concrete exposed to earth or weather	
#6 and larger	2"
#5 and smaller	1½"
interior slabs and walls	¾"

- Saw cut control joints in slabs on grade at 25'-0" on center maximum. Joints shall be cut within 24 hours of slab pour. Stop reinforcing mesh 6" on either side of joints. Location of joints shall be approved by the architect.
- Interior floor slab shall receive a steel trowel finish. Exterior slabs and sidewalks shall receive a coarse broom finish. Coordinate with architect.
- Grout and rub all exposed surfaces of foundation walls within 48 hours of pour.
- Admixtures containing calcium chloride shall not be used.
- Apply curing compound to slabs immediately following final troweling.
- The testing laboratory shall cast 4 test cylinders for each 50 yards or each day's pour. Slump tests shall be performed when cylinders are cast. Test 1 cylinder at 7 days and 3 cylinders at 28 days.

ENGINEERED LUMBER NOTES:

- Laminated veneer lumber, LVL, shall be Microllam as manufactured by iLevel by Weyerhaeuser.
- LVL material shall have the following minimum allowable stresses:
  - Flexural stress, Fb = 2,600 psi.
  - Modulus of elasticity, E = 1,900,000 psi.
  - Compression perpendicular to grain, $Fc^{\perp}$ = 750 psi
  - Compression parallel to grain, Fcll = 2,510 psi
  - Horizontal shear, Fv = 285 psi.
- Parallel strand lumber, PSL, beams shall be Wolmanized Parallam as manufactured by Trus Joist, Service Level 1.

  PSL column material shall have the following minimum allowable stresses:
  - Flexural stress, Fb = 2,117 psi.
  - Modulus of elasticity, E = 1.660x10^6 psi.
  - Compression perpendicular to grain, Fc = 533 psi
  - Compression parallel to grain, Fcll = 2,030 psi
  - Tension Stress , Ft = 1,519 psi
  - Horizontal shear, Fv = 241psi.
- Parallel strand lumber, PSL, columns shall be Wolmanized Parallam as manufactured by Trus Joist, Service Level 2.

  PSL column material shall have the following minimum allowable stresses:
  - Flexural stress, Fb = 1,512 psi.
  - Modulus of elasticity, E = 1.314x10^6 psi.
  - Compression perpendicular to grain, Fc = 150 psi
  - Compression parallel to grain, Fcll = 1,300 psi
  - Tension Stress , Ft = 1,211 psi
  - Horizontal shear, Fv = 120 psi.
- Unless otherwise noted on drawings, multiple plies of flush LVL or PSL material shall be bolted together with (2) rows of 5/8 inch diameter, A307 thru-bolts, spaced at 16 inches on center. Bolt holes are to be the same diameter as the bolt, and be located 2½ inches from the top and bottom of the member. Washers should be used under the head and nut of the bolts. Do not tighten bolts to the point of crushing wood fibers. Bolts are to be snug tight. Members noted as dropped shall be connected with (3) rows of 16d common wire nails at 12" on center.

ROUGH CARPENTRY

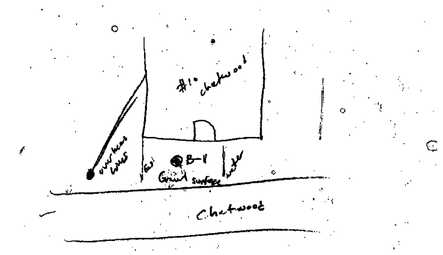
- All framing lumber and plywood shall be clearly marked with a grade stamp.
- All wood framing in contact with concrete or masonry shall be ACQ preservative treated in accordance with AWPA Standards.
- Keep materials under cover and dry. Protect against exposure to weather and contact with damp or wet surfaces. Stack lumber and plywood and other panels; provide air circulation within and around stacks and under temporary coverings including polyethylene and similar material.
- Provide lumber with 19% maximum moisture content at time of enclosure for sizes 2" or less in nominal thickness, unless otherwise indicated.
- Wall studs: use (2x6's, 10' and shorter) provide Douglas Fir-Larch, "Stud" grade lumber or better, unless otherwise indicated.
- For structural framing (2" to 4" thick, 5" and wider), provide Douglas Fir-Larch No. 2 grade or better, except preservative treated lumber shall be Southern Pine No. 2 or better.
- All plywood shall be manufactured from a Group 1 or Group 2 species.
- Combination Subfloor-Underlayment: APA RATED STURD-I-FLOOR.
- Exposure Durability Classification: EXPOSURE 1.
- Span Rating: As required to suit joist spacing indicated or as noted on drawings.
- Edge Detail: Tongue and groove.
- Wall Sheathing: APA RATED SHEATHING.
- Exposure Durability Classification: EXTERIOR.
- Span Rating: 12/0, 16/0, 20/0 for stud spacing of 16" or less.
- Fasteners and Anchorages: Provide size, type, material and finish as indicated and as recommended by applicable standards, complying with applicable Federal Specifications for nails, staples, screws, bolts, nuts, washers and anchoring devices. Provide metal hangers and framing anchors of the size and type recommended by the manufacturer for each use including recommended nails.
- Where rough carpentry work is exposed to weather, in ground contact, or in area of high relative humidity, provide fasteners and anchorages with a hot-dip zinc coating (ASTM A 153).
- Sill Sealer Gaskets: Glass fiber resilient insulation fabricated in strip form for use as a sill sealer; 1" nominal thickness compressible to 1/32"; selected from manufacturer's standard widths to suit width of sill members indicated.
- Carefully select all members. Select individual pieces so that knots and obvious defects will not interfere with placing bolts or proper nailing or making connections.
- Cut out and discard all defects which will render a piece unable to serve its intended function. Lumber may be rejected by the Engineer, whether or not it has been installed, for excessive warp, twist, bow, crook, mildew, fungus, or mold, as well as for improper cutting and fitting.
- Do not shim sills, joists, studs, or other framing components.
- Set carpentry work to required levels and lines, with members plumb and true and cut and fitted.
- Securely attach carpentry work to substrate by anchoring and fastening as shown and as required by recognized standards.
- Countersink nail heads on exposed carpentry work and fill holes.
- Use common wire nails or spikes of the dimensions shown on the nailing schedule, except as otherwise indicated. Use finishing nails for finish work. Select fasteners of size that will not penetrate members where opposite side will be exposed to view or will receive finish materials. Make tight connections between members. Install fasteners without splitting of wood; pre-drill as required.
- Drill bolt holes 1/16 inch larger in diameter than the bolts being used. Drill straight and true from one side only. Use washers under head and nut. Do not tighten nut to the point of crushing wood fibers.
- Lag bolts and wood screws shall be screwed into place and not driven with a hammer.

STUD FRAMING

- Make all studs single length, unspliced, and platform framed, unless notes to be balloon framed on plan.
- Unless otherwise shown, use 2x6 studs on exterior walls spaced 16" o.c..
- Provide single bottom plate and double-top plates at all walls.
- Construct corners and intersections with not less than 3 studs. Provide miscellaneous blocking and framing as shown and as required for support of facing materials, fixtures, specialty items and trim.
- Provide continuous horizontal blocking row at mid-height of single-story partitions over 8' high, at midpoint of multi- story partitions, and at all horizontal plywood joints.

Plywood Installation

- Place all plywood with face grain perpendicular to supports and continuous over at least two supports. Center joints accurately over supports and stagger the end joints. Install horizontal 2x blocking, to match wall framing at all horizontal plywood joints
- Fill and sand edge joints of subflooring-underlayment receiving resilient flooring.
- Allow 1/8" spacing at panel ends and 1/4" at panel edges for square edge panels. Allow 1/8" spacing at panel ends and edges for tongue and groove edge panels.



BORING LOCATION PLAN
NTS

SOILTESTING, INC.
80 DONOVAN RD.
OXFORD, CT 06478
CT (203) 262-9328
NY (914) 946-4850

CLIENT: Lothrop Associates LLP
PROJECT NO. G80-002-15
PROJECT NAME: Degoursey Residence
LOCATION: 10 Chetwood Street, Milford, CT
FOREMAN - DRILLER: BD
INSPECTOR:
GROUND WATER OBSERVATIONS: AT 3'6" FT AFTER 0 HOURS; AT FT AFTER HOURS

	CASING	SAMPLER	CORE BAR
TYPE	HSA	SS	
SIZE I.D.	4 1/2"	1 3/8"	
HAMMER WT.	140#		BIT
HAMMER FALL	30"		

SHEET 1 OF 1
HOLE NO. B-1
BORING LOCATIONS: per Plan
OFFSET:
DATE START: 4/1/15
DATE FINISH: 4/1/15
SURFACE ELEV.:
GROUND WATER ELEV.:

DEPTH	CASING BLOWS PER FOOT	SAMPLE NO	Type	PEN	REC	DEPTH @ BOT	BLOWS PER 6 IN ON SAMPLER (FORCE ON TUBE) 0-6 6-12 12-18		CORE TIME PER FT (MIN)	DENSITY OR CONSIST MOIST	STRATA CHANGE DEPTH ELEV	FIELD IDENTIFICATION OF SOIL REMARKS INCL. COLOR, LOSS OF WASH WATER, BEAMS IN ROCK, ETC.
												12" CONCRETE
												C Gravel, sm F gravel
5		1	ss	24"	24"	6'0"	WOR	24"		moist v soft		blk ORGANICS gry ORGANIC SILTY CLAY, lt F-M sand
		2	ss	24"	18"	8'0"	5	5		wet compact	7'0"	
							5	12		wet		gry FMC SAND
10		3	ss	24"	18"	10'0"	11	14				
							16	19				
		4	ss	24"	18"	12'0"	13	14		wet dense		SAME
							19	20				
15												
		5	ss	24"	18"	17'0"	18	17		wet dense		
							19	20				
20												
		6	ss	24"	20"	22'0"	21	22		wet dense		gry FMC SAND, tr F gravel
							19	18				
25												
		7	ss	24"	18"	27'0"	19	22		wet dense		SAME
							25	24				
30												
		8	ss	24"	18"	32'0"	27	32		wet v dense		brn VF SAND & SILT
							40	37				
35												
		9	ss	24"	18"	37'0"	28	33		wet v dense	37'0"	SAME
							32	28				
40												E.O.B. 37'0"

NOTE: Subsoil conditions revealed by this investigation represent conditions at specific locations and may not represent conditions at other locations or times.

GROUND SURFACE TO ___ FT USED CASING THEN CASING TO ___ FT. HOLE NO. B-1
A = AUGER UP = UNDISTURBED PISTON T = THINWALL V = VANE TEST
WOR = WEIGHT OF RODS WOH = WEIGHT OF HAMMER & RODS C = COARSE
SS = SPLIT TUBE SAMPLER H.S.A. = HOLLOW STEM AUGER M = MEDIUM
PROPORTIONS USED: TRACE = 0 - 10% LITTLE = 10 - 20% SOME = 20 - 35% AND = 35 - 50% F = FINE

Lothrop

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White Plains Rochester Red Bank Hartford

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505 Hudson Street
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Application No. 5065

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NEW FOUNDATIONS,
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FOR
CHARLES & BARBARA DEGOURSEY
10 Chetwood Street
Milford, Connecticut 06460

STRUCTURAL NOTES AND BORING LOGS

PROJECT NO.: 1524-34 | SCALE: AS NOTED

DRAWING NO.:

S-105

N:\10 PROJECTS\Housing-Residential\1524-34 - CT DOH CDBG-DR - 10 Chetwood St, Milford (#5065)\1524-34_Drawings\1524-34_15_0630_Active Drawings\1524-34_Structural DWGs\S-211-10 Chetwood Street.dwg