

PROJECT 2203 - 700 EAST BROADWAY, MILFORD, CT

COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM

OWNER OCCUPIED REHABILITATION AND REBUILDING
CONNECTICUT DEPARTMENT OF HOUSING
HARTFORD, CONNECTICUT 06118

GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

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STREET VIEW
(N.T.S.)

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PROJECT 2203
700 EAST BROADWAY
MILFORD, CONNECTICUT 06460

ISSUED FOR BIDDING
NOT FOR CONSTRUCTION

3	8/29/2017	ISSUED FOR RE-BID	MBR	MBR	REC	
2	4/26/2017	ISSUED FOR BIDDING	MBR	MBR	REC	
1	4/14/2017	ISSUED FOR REVIEW	MBR	MBR	REC	
NO.	DATE	REVISIONS	BY	CHK	APPV	
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE: 3/2/2017	

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	33-262-2203 - BASEMAP.dwg	T-0.0

SURVEY NOTES

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.
ELEVATIONS BASED ON NAVD 1988.

PARCEL OWNER OF RECORD: HOLLY J. GOSS
700 EAST BROADWAY
MILFORD, CT 06460

PARCEL AREA = 4,318 SQ. FT., 0.100 ACRES.

PARCEL IS IN THE R5 ZONING DISTRICT.

PARCEL ID: MAP 22, BLOCK 460, LOT 4, MILFORD ASSESSOR'S MAPPING.

SUBJECT PARCEL IS IN ZONE AE (EL. 11) AND ZONE AE (EL. 13) FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT PANEL 529 OF 635, MAP NUMBER 09009C0529J, MAP REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

REFERENCE MAPS:

1) IMPROVEMENT LOCATION SURVEY SHOWING PROPOSED CONDITIONS
PREPARED FOR JOHN LEMARIER #697 EAST BROADWAY MILFORD,
CONNECTICUT. SCALE 1"=10' MARCH 18, 2013.

ZONING REGULATIONS (R-5)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQ.FT.)	5,000	4,347**	4,347**
MIN. LOT WIDTH (FT.)	50	132.02	132.02
MIN. LOT DEPTH (FT.)	70	75.86	75.86
MIN. FRONT YARD (FT.)	10	**4.1'/**1.3'	**4.1'/***1.4'
MIN. SIDE YARD (FT.)	5/10**	20.9°/6.3°/5.4°/6.6'	20.9°/17.1°/5.4°/6.6'
MIN. REAR YARD (FT.)	20	**17.3°/12.5'	**17.3°/15.4'
MAX BLDG. COVERAGE	45%	39.9%	39.9%
MAX. BLDG. HGT. (FT.)	35	27.7	34.8
LOT COVERAGE	65%	**71%	54%

* ONE SIDE TEN (10) FEET; OTHER SIDE FIVE (5) FEET.

** PRE-EXISTING NON-COMFORMITY
*** SETBACK FOR MINIMAL STAIR BY SECTION 4.1.4.3 FOR HOME RAISING FOR SECTION 5.8 COMPLIANCE

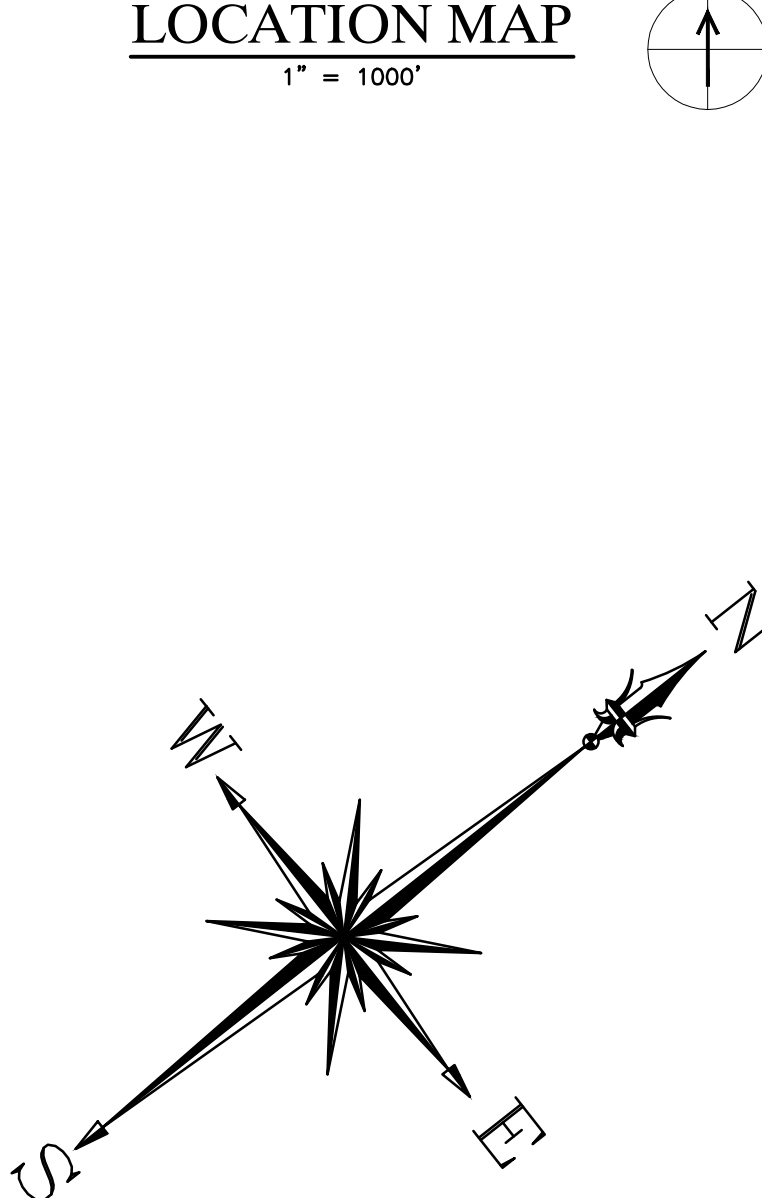
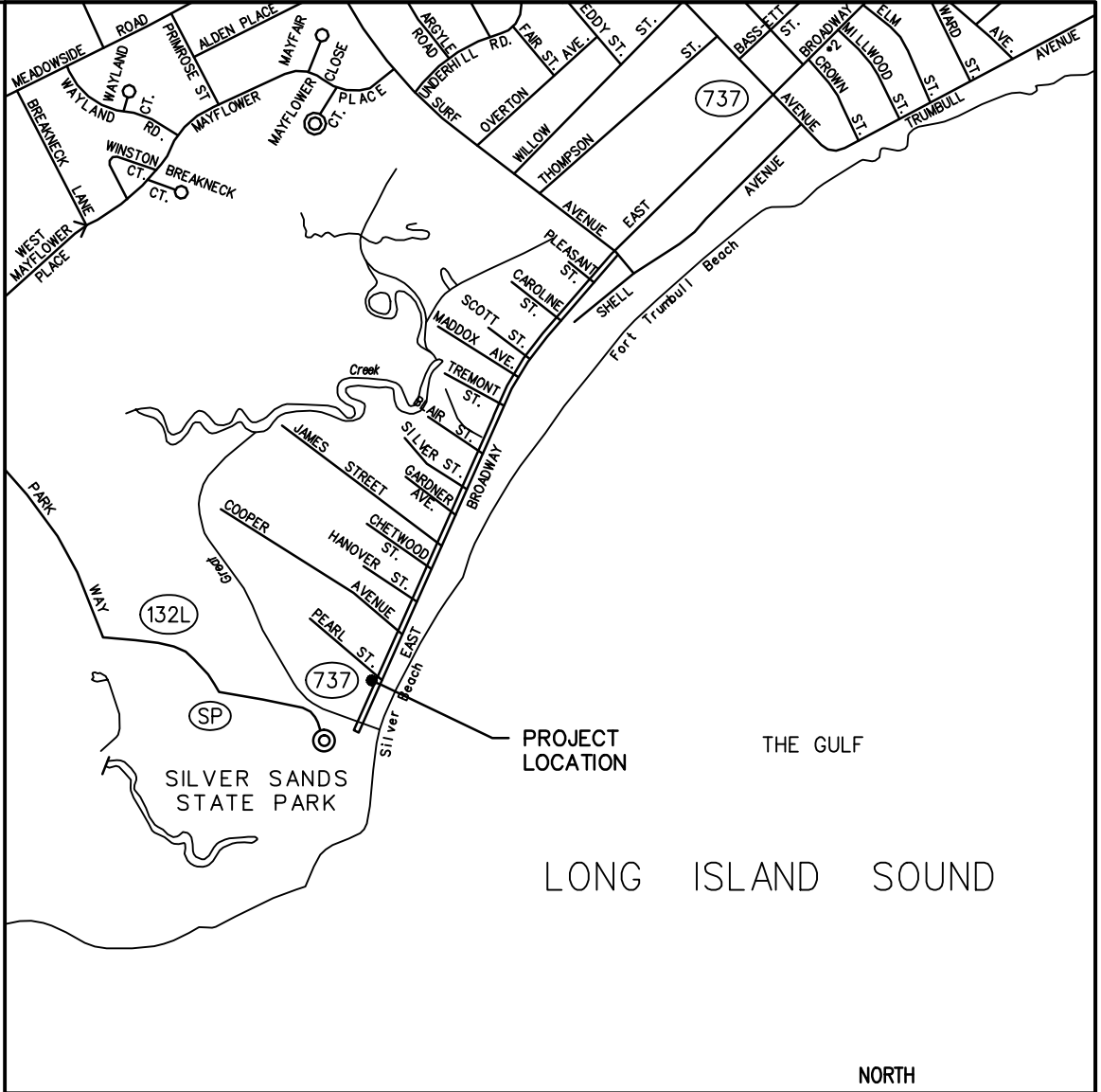
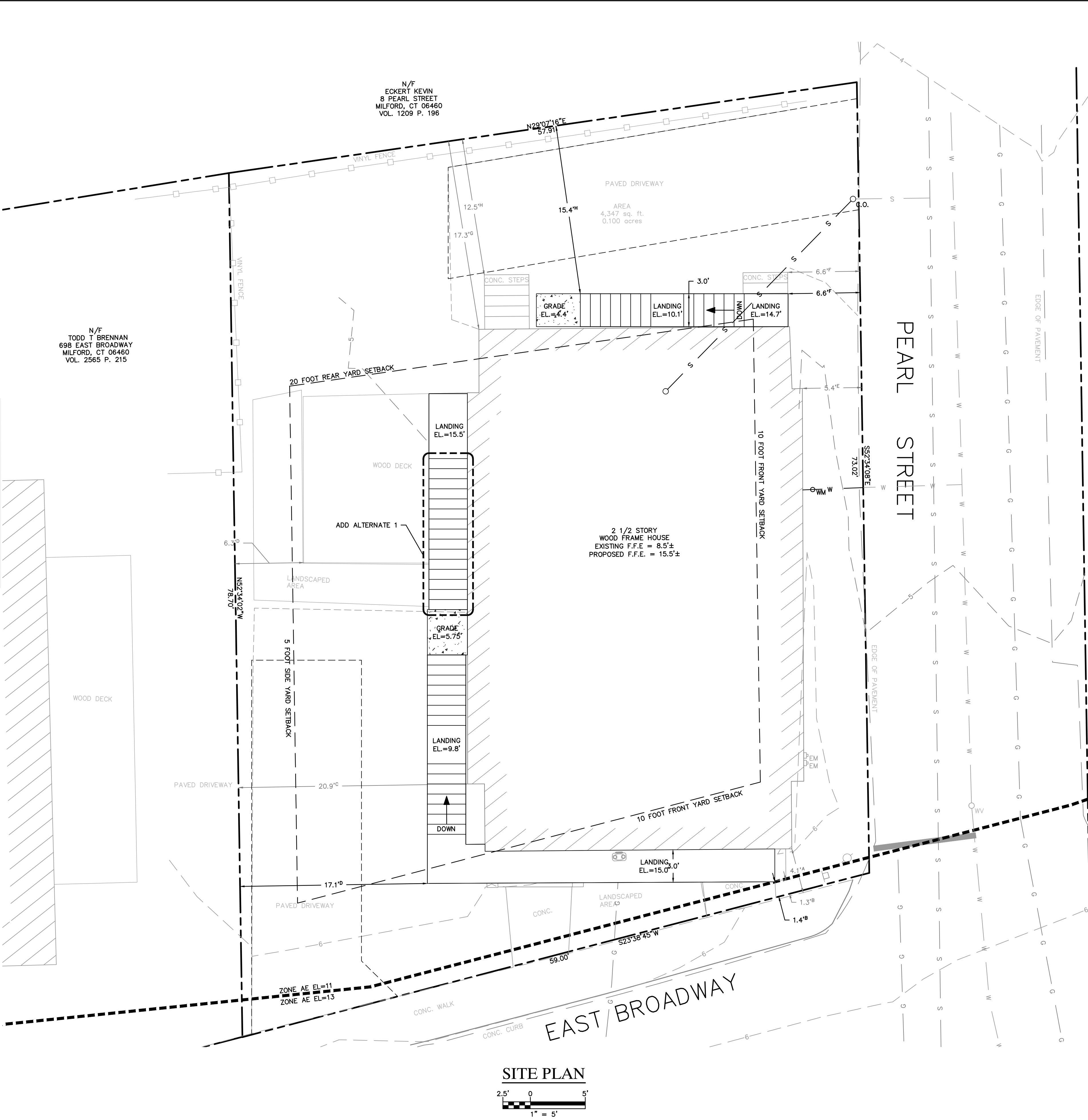
A: SETBACK FROM PRINCIPAL BUILDING TO EAST LOT LINE
B: SETBACK FROM PROJECTING DECK TO EAST LOT LINE
C: SETBACK FROM PRINCIPAL BUILDING TO SOUTH SIDE LOT LINE
D: SETBACK FROM PROJECTING DECK/STAIRS TO SOUTH SIDE LOT LINE
E: SETBACK FROM PRINCIPAL BUILDING TO NORTH LOT LINE
F: SETBACK FROM PROJECTING DECK/STAIRS TO NORTH LOT LINE
G: SETBACK FROM PRINCIPAL BUILDING TO WEST LOT LINE
H: SETBACK FROM PROJECTING DECK/STAIRS TO WEST LOT LINE

SYMBOLS LEGEND

	EXISTING UTILITY POLE		PROPERTY LINE
	EXISTING WATER VALVE		EXISTING VINYL FENCE
	EXISTING WATER METER		EXISTING CONTOUR
	EXISTING GAS METER		PROPOSED CONTOUR
	EXISTING ELECTRIC METER		EXISTING OVERHEAD WIRE
	EXISTING CATCH BASIN		PROPOSED OVERHEAD WIRE
	PROPOSED WATER METER		EXISTING EDGE OF PAVEMENT
	PROPOSED GAS METER		EXISTING GAS LINE
	PROPOSED ELECTRIC METER		PROPOSED GAS LINE
	EXISTING SPOT GRADE		EXISTING SEWER LINE
	PROPOSED SPOT GRADE		PROPOSED SEWER LINE
	WETLAND FLAG LABEL		EXISTING WATER LINE
	LIMIT OF WETLANDS		PROPOSED WATER LINE
	SOIL TYPE LABEL		

REFERENCE MAP:
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 700 EAST
BROADWAY, MILFORD, CONNECTICUT; DATE: xx--xx--2016; SCALE: 1"=10';
PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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AVERAGE GRADE CALCULATION	
AVERAGE GRADE ELEVATION	= (Σ(POINT ELEVATIONS)) / (NUMBER OF POINTS)
	= (4.38 + 4.58 + 4.37 + 5.20 + 5.61 + 5.99 + 5.92 + 5.84 + 6.44 + 6.19 + 5.37) / (11 POINTS)
	= (59.89) / (11 POINTS)
AVERAGE GRADE ELEVATION	= 5.44



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IMPROVEMENT
LOCATION PLAN

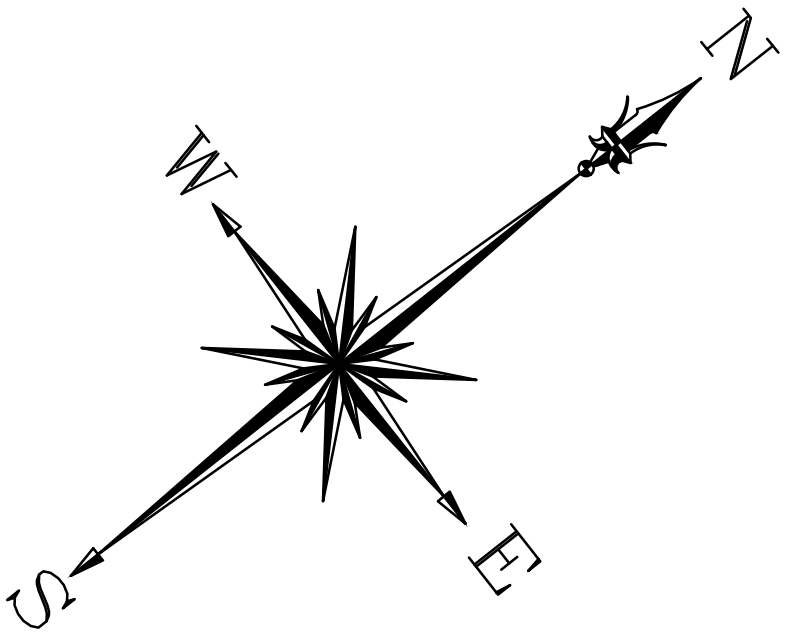
JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	33-262-2203 - BASEMAP.dwg	C-1.0

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

SOIL EROSION AND SEDIMENT CONTROL/
DEMOLITION NOTES

1. INSTALL 8' HIGH CHAIN LINK FENCING AS SHOWN ON PLAN AND PROVIDE SECURE AND SAFE SITE; INSTALL 10' WIDE DOUBLE LEAF GATE AT FRONT OF DRIVEWAY. INSTALL CONSTRUCTION ENTRANCE ON TRACK PAD ONSITE AND MAINTAIN FOR DURATION OF PROJECT
2. INSTALL SILTATION FENCE AS SHOWN ON PLAN. MAINTAIN SYSTEM FOR DURATION OF PROJECT.
3. DO NOT STOCKPILE SOIL ONSITE. CHARACTERIZE, REMOVE, AND DISPOSE OFFSITE EXCAVATION SURPLUS SOIL.
4. DEMOLISH, REMOVE AND DISPOSE OF OFF SITE DECK AND DECK FOUNDATION
5. DEMOLISH, REMOVE AND DISPOSE OF OFF SITE CONCRETE STAIRS TO GRADE INCLUDING FOUNDATION IF PRESENT AT REAR SIDE OF HOUSE
6. DEMOLISH, REMOVE AND DISPOSE OF OFF SITE CONCRETE STAIRS TO GRADE AND WALLS INCLUDING FOUNDATION IF PRESENT AT FRONT SIDE OF HOUSE. DEMOLISH REMOVE, AND DISPOSE OF OFF SITE CONCRETE SIDEWALK FROM STEPS TO PROPERTY LINE
7. COORDINATE UTILITY DISCONNECTS AND RECONNECTS, INCLUDING WATER, ELECTRIC, GAS, SEWER, AND TELECOMMUNICATIONS; SEE SHEET C-1.3
8. SAWCUT EXISTING BITUMINOUS DRIVEWAY AS SHOWN ON PLAN, REMOVE AND DISPOSE OF OFFSITE;
9. SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
10. DEMOLISH EXISTING FOUNDATION INCLUDING ALL SUBSURFACE ELEMENTS; REMOVE AND DISPOSE OF OFF SITE
11. REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE EROSION AND SEDIMENTATION CONTROLS AFTER STABILIZATION IS COMPLETE
12. EXISTING SITE FEATURE NOT TO BE DISTURBED BY CONSTRUCTION, IF DAMAGE IS CAUSED BY CONSTRUCTION ACTIVITIES REPLACEMENT IN KIND SHALL BE PAID FOR BY CONTRACTOR AT NO ADDITIONAL COMPENSATION

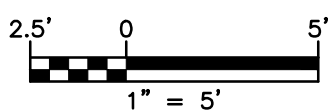


LEGEND

- 1 WORK NOTE
- [Hatched Box] SITE FEATURE TO BE DEMOLISHED
- [Dotted Box] BITUMINOUS CONCRETE TO BE DEMOLISHED
- LIMIT OF WORK
- (#/C-2.X) DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- [Wavy Line] SILT FENCE
- [X] CHAIN LINK FENCE
- EDGE OF EXISTING PAVEMENT
- EDGE OF EXISTING DRIVEWAY
- LIMIT OF EXISTING HOUSE AND FOUNDATION
- [Mailbox Icon] EXISTING MAILBOX
- [OH] EXISTING OVERHEAD LINE
- [POLE #XXXX] EXISTING UTILITY POLE
- [DEM] EXISTING ELECTRIC METER
- [GAS METER] EXISTING GAS METER
- [WV] EXISTING WATER VALVE
- [WM] EXISTING WATER METER
- [CB] EXISTING CATCH BASIN
- 3 --- EXISTING CONTOUR WITH ELEVATION LABEL
- 2x.97 EXISTING SPOT GRADE
- PROPERTY LINE
- EASEMENT LINE
- G --- EXISTING GAS LINE
- S --- EXISTING SEWER LINE
- W --- EXISTING WATER LINE

REFERENCE MAP:
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SITE PLAN



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SOIL EROSION, SEDIMENT
CONTROL, AND
DEMOLITION PLAN

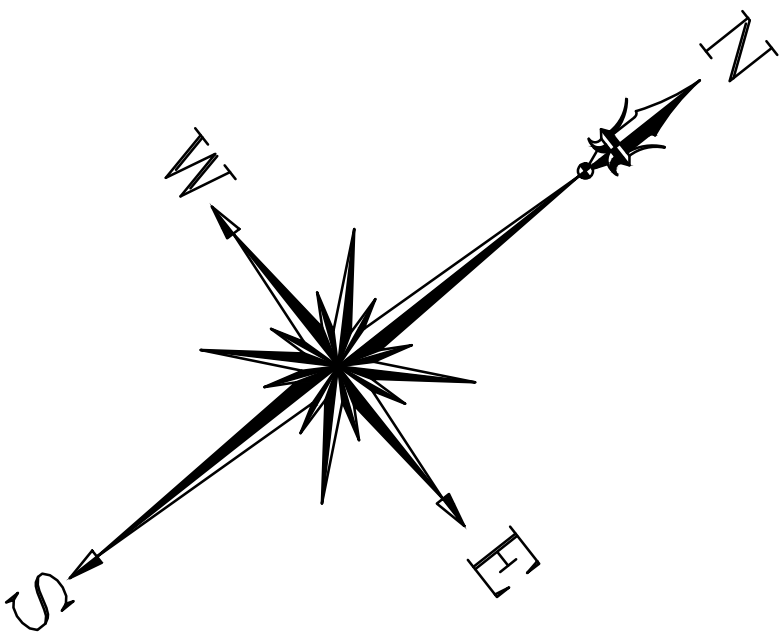
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5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
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GENERAL NOTES

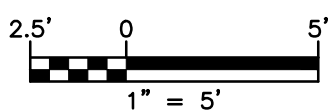
- 1 SUPPORT HOUSE; LIFT TO PROPOSED ELEVATION
- 2 INSTALL NEW FOUNDATION UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS, AS SHOWN ON STRUCTURAL DRAWINGS
- 5 FURNISH AND INSTALL NEW DECKS, AT FRONT, SIDE, AND BACK OF HOUSE, AND STAIRS AT PROPOSED ELEVATIONS
ADD ALTERNATE 1: FURNISH AND INSTALL STAIRS TO GRADE AND FOUNDATION FROM LANDING AT SIDE DOOR OF HOUSE
- 6 COORDINATE CONNECTION OF OVERHEAD ELECTRICAL SERVICE TO SERVICE MAST AT FRONT OF HOUSE; COORDINATE INSTALLATION OF NEW ELECTRICAL METER WITH UTILITY PROVIDER IN APPROVED LOCATION ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION
- 7 COORDINATE FOR AND FURNISH AND INSTALL ALL MATERIALS FOR NEW GAS SERVICE LINE TO HOUSE FROM PROPERTY LINE; COORDINATE INSTALLATION OF GAS METER WITH UTILITY PROVIDER; INSTALL TWO BOLLARDS IN FRONT OF GAS METER AS SHOWN ON PLAN. FURNISH AND INSTALL ALL MATERIALS FOR UTILITY CHASE ADJACENT TO GAS METER.
- 8 COORDINATE FOR AND FURNISH AND INSTALL ALL REQUIRED MATERIALS FOR NEW DOMESTIC WATER SERVICE FROM PROPERTY LINE TO BUILDING. EXTEND SERVICE TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT PER CONTRACT SPECIFICATIONS. FURNISH AND INSTALL ALL MATERIALS FOR UTILITY CHASE AT NEW STRUCTURAL COLUMN FOR WATER LINE.
- 9 COORDINATE FOR AND FURNISH AND INSTALL ALL REQUIRED MATERIALS FOR NEW SANITARY SEWER LATERAL FROM PROPERTY LINE TO BUILDING. EXTEND SERVICE TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT PER CONTRACT SPECIFICATIONS. FURNISH AND INSTALL ALL MATERIALS FOR UTILITY CHASE AT NEW STRUCTURAL COLUMN FOR SANITARY SEWER LATERAL.
- 10 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES
- 12 FURNISH AND INSTALL ALL MATERIALS FOR LOWER REPAIR OF SIDEWALK DRIVEWAY, AS SHOWN ON STRUCTURAL DRAWINGS. COORDINATE REPAIR TO EXISTING DRIVEWAY AVERAGE GRADE
- 13 FURNISH AND INSTALL ALL MATERIALS TO LOAM AND SEED AREAS PREVIOUSLY COVERED BY WALKWAYS OR DRIVEWAY NOT COVERED BY NEW DRIVEWAY, AS WELL AS ANY BARE AREAS
- 14 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 15 RESTORE EXTERIOR AREAS TO EXISTING CONDITIONS OR BETTER



LEGEND

- | | |
|------------|--|
| 1 | WORK NOTE |
| --- | LIMIT OF WORK |
| #
C-2.X | DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER |
| --- | EDGE OF PROPOSED DRIVEWAY |
| --- | EDGE OF EXISTING DRIVEWAY |
| --- | EDGE OF EXISTING PAVEMENT |
| --- | LIMIT OF ELEVATED STRUCTURE |
| MB | EXISTING MAILBOX |
| OH | EXISTING OVERHEAD LINE |
| OH | PROPOSED OVERHEAD LINE |
| POLE #XXXX | EXISTING UTILITY POLE |
| DEM | PROPOSED ELECTRIC METER |
| GB | PROPOSED GAS METER |
| WV | EXISTING WATER VALVE |
| WM | EXISTING WATER METER |
| CB | EXISTING CATCH BASIN |
| WM | PROPOSED WATER METER |
| C.O. | PROPOSED SANITARY CLEANOUT |
| R.L. | PROPOSED ROOF LEADER |
| 3 | EXISTING CONTOUR |
| 3 | PROPOSED CONTOUR |
| 2x.97 | EXISTING SPOT GRADE |
| 2x.8 | PROPOSED SPOT GRADE |
| --- | PROPERTY LINE |
| --- | EASEMENT LINE |
| G | EXISTING GAS LINE |
| G | PROPOSED GAS LINE |
| S | EXISTING SEWER LINE |
| S | PROPOSED SEWER LINE |
| W | EXISTING WATER LINE |
| W | PROPOSED WATER LINE |

SITE PLAN



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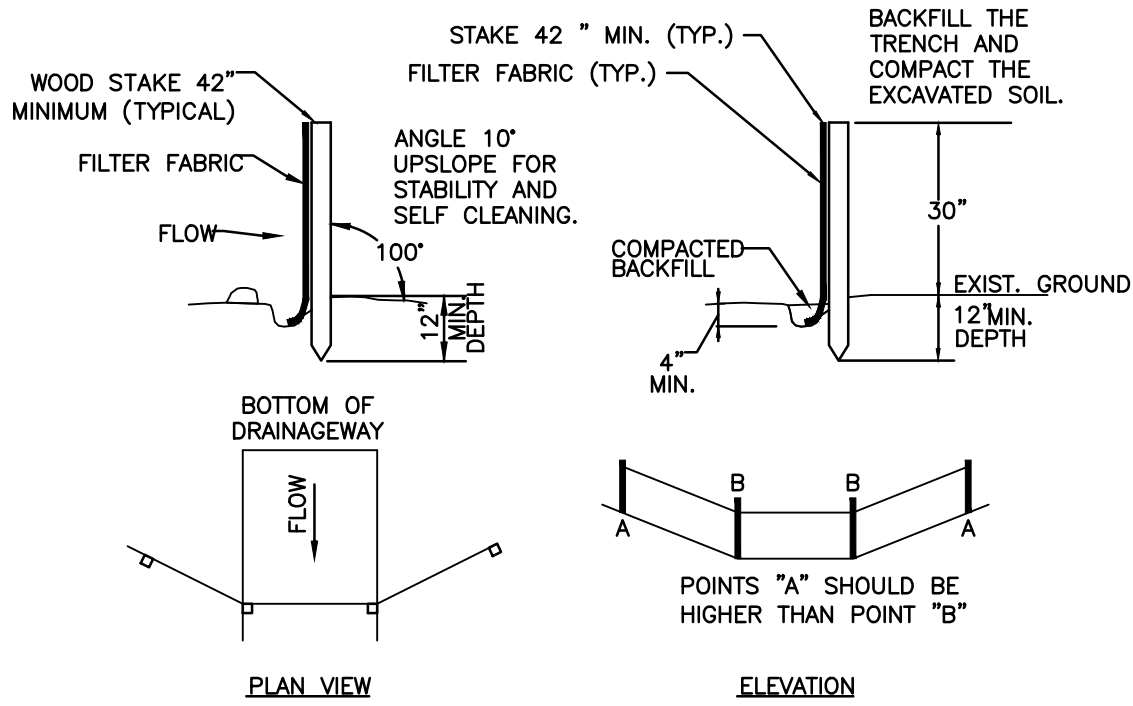
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SITE PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	33-262-2203 - BASEMAP.dwg	C-1.2

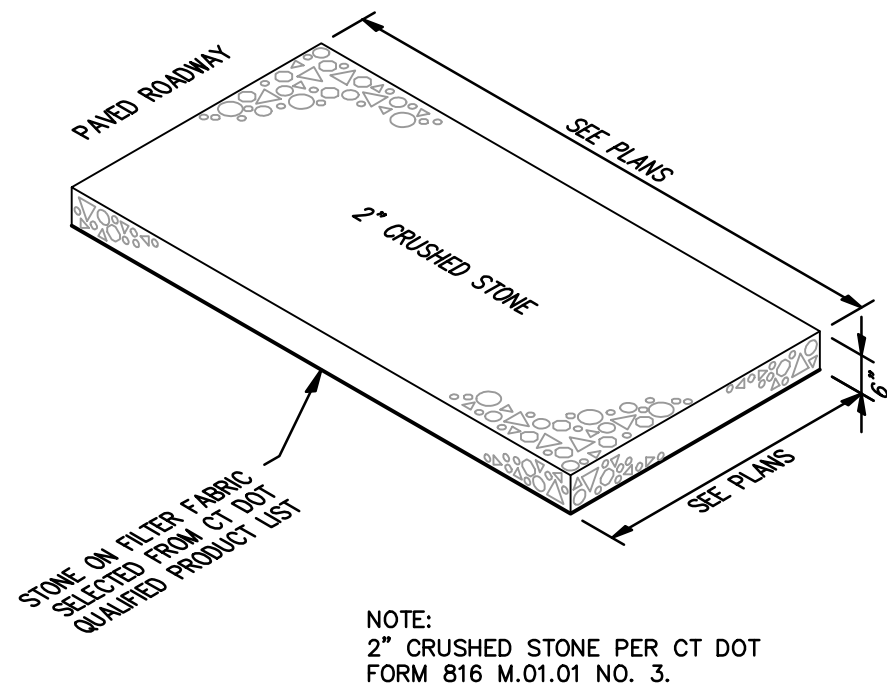
SEEDING SCHEDULE				
PERMANENT SEEDING				
PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:				
KIND OF AREA:				
LAWNS AND HIGH MAINTENANCE AREAS				
SEED MIXTURE	LBS./ACRE	LBS/1,000 SQ.FT.		
KENTUCKY BLUEGRASS	20	0.45		
CREEPIING RED FESCUE	20	0.45		
PERENNIAL RYEGRASS	5	0.1		
TOTAL	45	1.0		
TEMPORARY SEEDING RATES AND DATES				
SEED MIXTURE	LBS./ACRE	LBS/1,000 SQ.FT.	DATE (1)(3)	DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1	0.5 INCHES
			3/1-6/15	
SEEDING NOTES:				
(1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED.				
(2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS.				
SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT				
ORGANIC MULCH MATERIALS AND APPLICATION RATES				
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES	
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COARSE MATTER. MUST BE ANCHORED.	
			SPREAD WITH MULCH BLOWER OR BY HAND.	

1 TYPICAL SEEDING SCHEDULE
C-2.0 N.T.S.



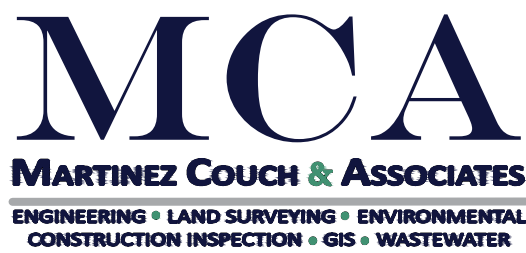
- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
B) MAXIMUM POST SPACING IS 10 L.F.
C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6\"/>

2 TYPICAL SILTATION FENCE
C-2.0 N.T.S.



3 TYPICAL CONSTRUCTION TRACKPAD
C-2.0 N.T.S.

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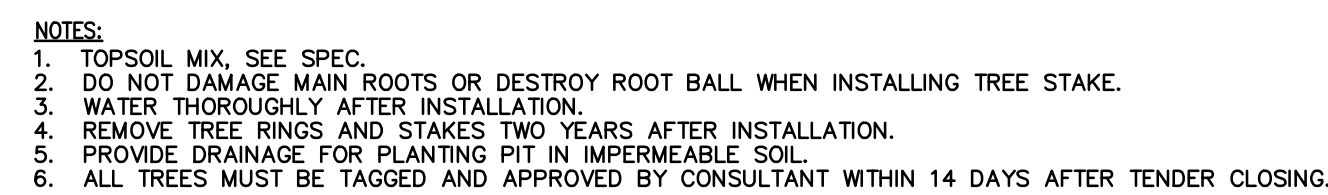
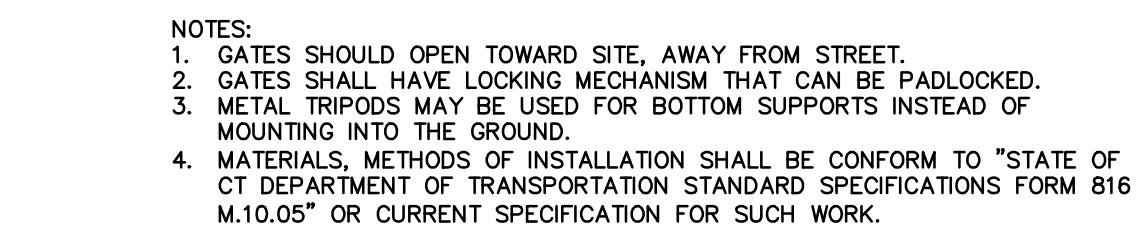
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SOIL EROSION AND
SEDIMENT CONTROL DETAILS

	JOB NO.	DRAWING NUMBER	SHEET
	33-262-2203	33-262-2203 - BASEMAP.dwg	C-2.0



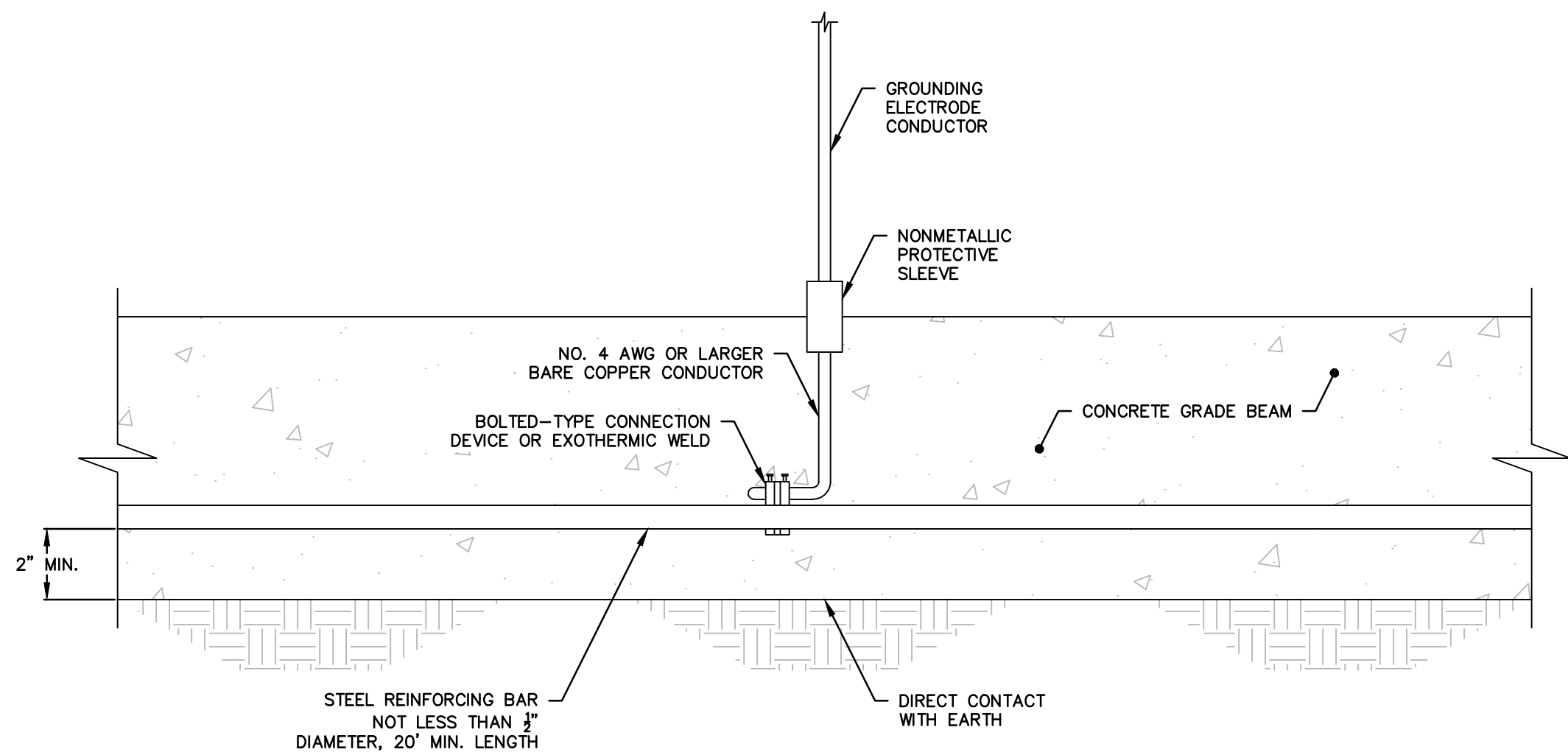
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PROJECT 2203
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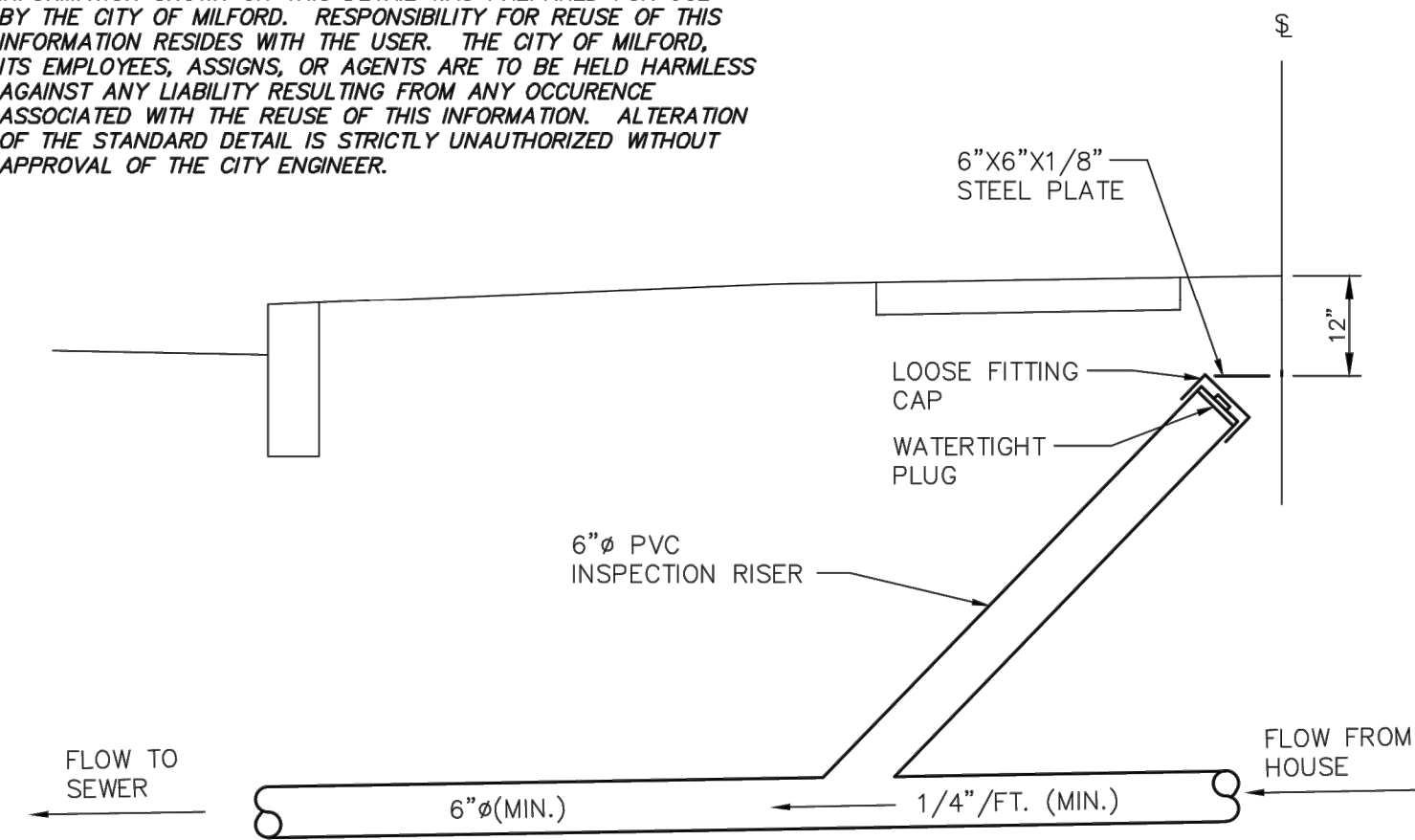
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1 CONCRETE-ENCASED ELECTRODE
C-2.2 N.T.S.

INFORMATION SHOWN ON THIS DETAIL WAS PREPARED FOR USE BY THE CITY OF MILFORD. RESPONSIBILITY FOR REUSE OF THIS INFORMATION RESIDES WITH THE USER. THE CITY OF MILFORD, ITS EMPLOYEES, AGENTS, OR AGENTS ARE TO BE HELD HARMLESS AGAINST ANY LIABILITY RESULTING FROM ANY OCCURENCE ASSOCIATED WITH THE REUSE OF THIS INFORMATION. ALTERATION OF THE STANDARD DETAIL IS STRICTLY UNAUTHORIZED WITHOUT APPROVAL OF THE CITY ENGINEER.

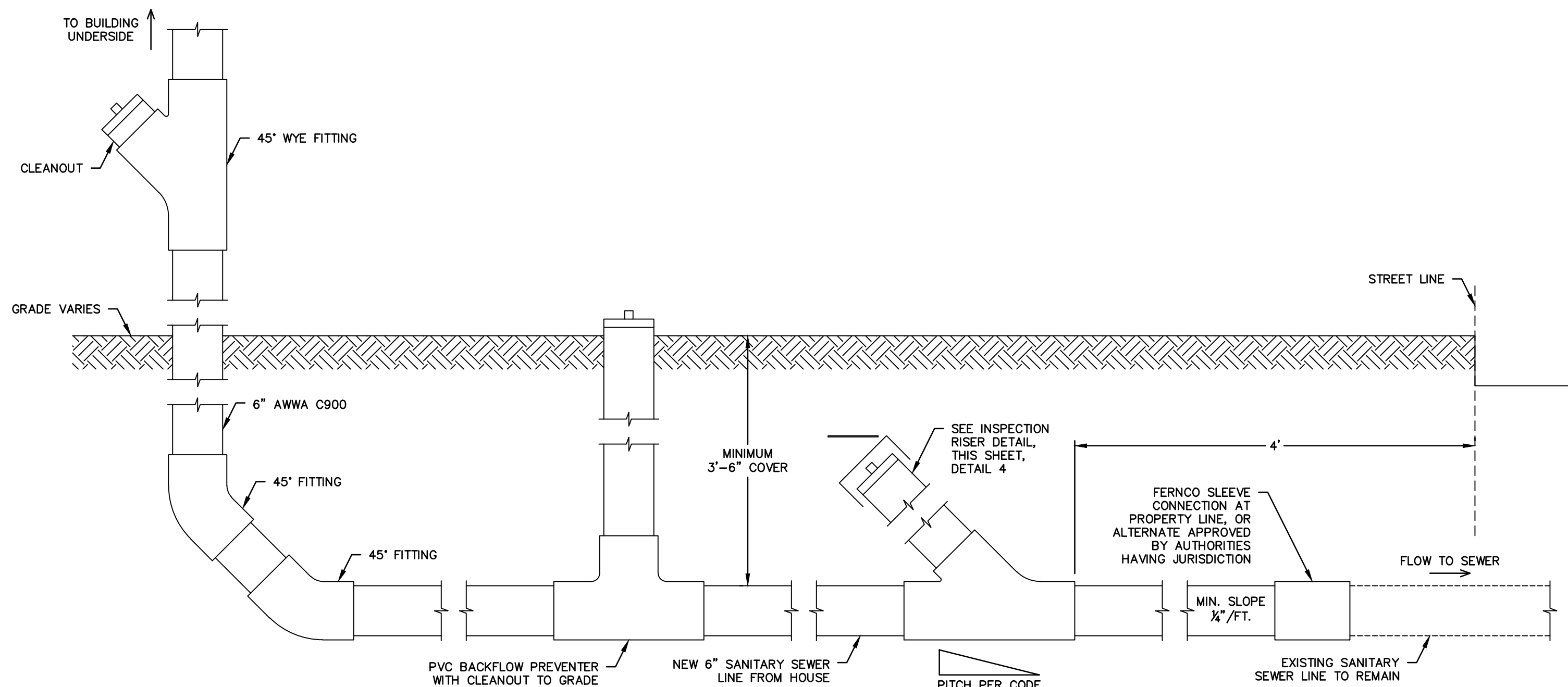


2 INSPECTION RISER
C-2.2 N.T.S.

A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION*. A 6" PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"X6"X1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.



3 SANITARY DRAIN SCHEMATIC
C-2.2 1" = 1'-0"

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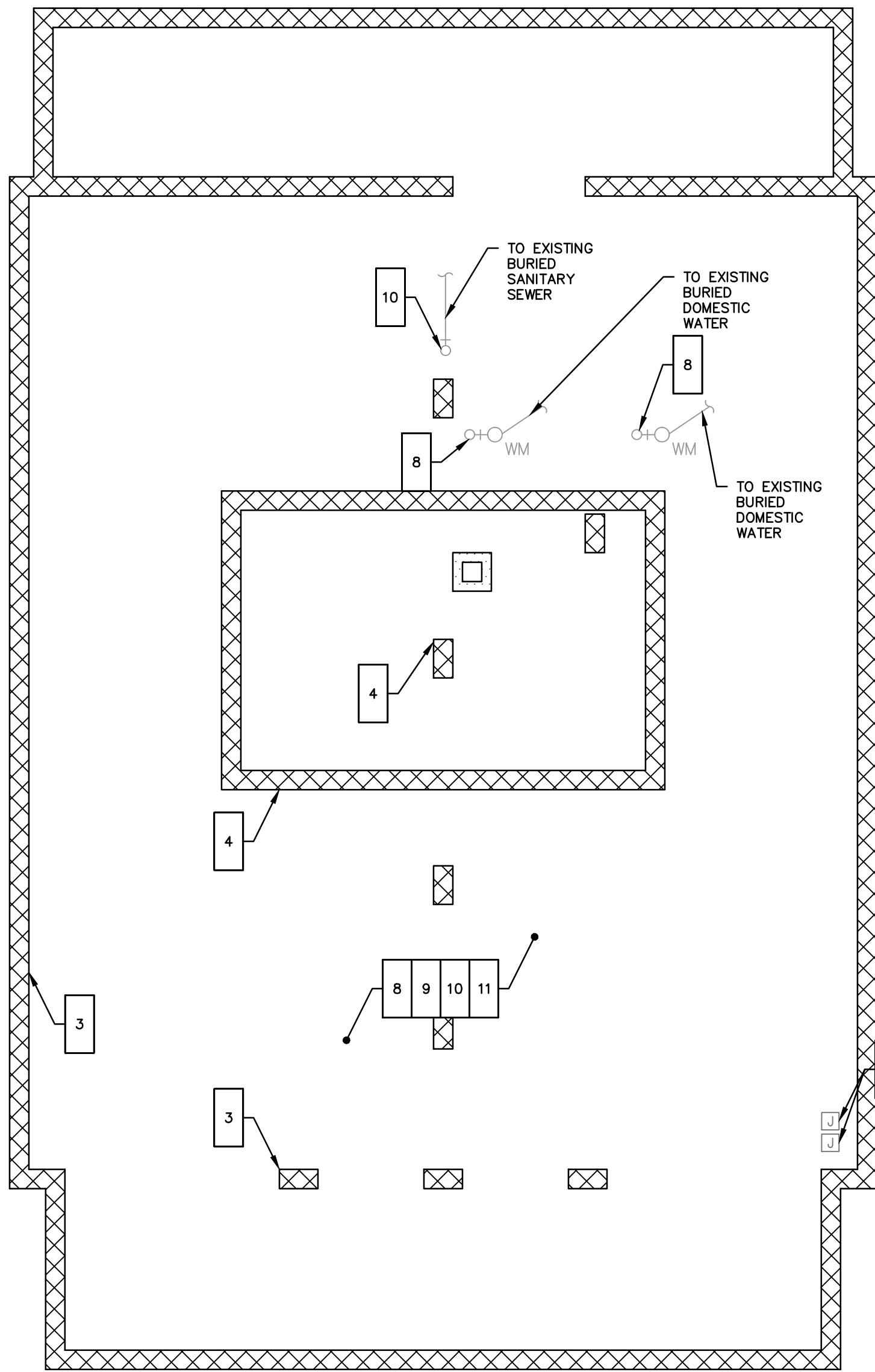
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SITE UTILITY DETAILS

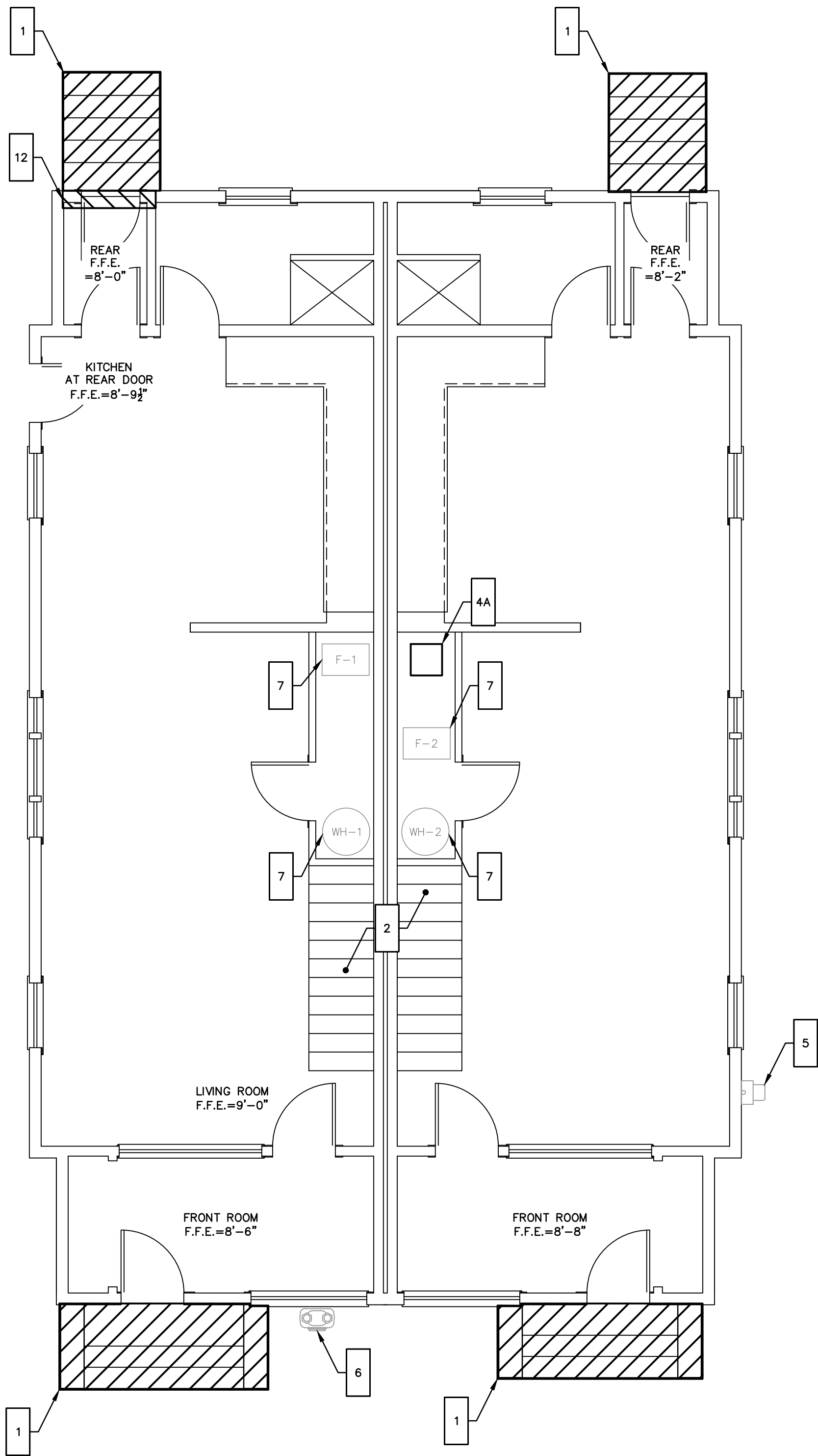
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33-262-2203	33-262-2203 - BASEMAP.dwg	C-2.2



CRAWLSPACE LEVEL

0 4' 8' 12'

1/4" = 1'-0"



FIRST FLOOR

0 4' 8' 12'

1/4" = 1'-0"

GENERAL NOTES

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5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 DEMOLISH EXISTING FRONT AND REAR STEPS AND DISPOSE OF OFFSITE
- 2 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 3 DEMOLISH, REMOVE, AND DISPOSE OFFSITE ENTIRE BUILDING FOUNDATION, FOOTING BELOW GRADE, INTERMEDIATE PIERS, AND OTHER SUPPORTS, WHETHER SHOWN ON DRAWING OR NOT.
- 4 DEMOLISH, REMOVE, AND DISPOSE OFFSITE CHIMNEY, CHIMNEY FOUNDATION, CEMENT PAD, AND BLOCK WALL BENEATH HOUSE
- 4A DEMOLISH, REMOVE, AND DISPOSE OFFSITE EXISTING BRICK MASONRY CHIMNEY UP THROUGH THIRD FLOOR AND ROOF; CUT AND PATCH INTERIOR FINISHES AS REQUIRED. MINIMIZE DISTURBANCE TO FINISHES
- 5 DEMOLISH, REMOVE, AND DISPOSE OFFSITE ELECTRIC SERVICE MAST. REMOVE AND RESET ELECTRIC METER, DISCONNECT, AND EQUIPMENT FOR REINSTALLATION ON NEW STRUCTURAL COLUMN
- 5A EXISTING JUNCTION BOXES TO BE REMOVED, TEMPORARILY SUPPORT AND MOUNT ON NEW STRUCTURAL FRAMING
- 6 SALVAGE GAS METER FOR REINSTALLATION OR REMOVE OFFSITE AND DISPOSE AS REQUIRED BY UTILITY PROVIDER.
- 7 EXISTING MECHANICAL AND PLUMBING EQUIPMENT; DISCONNECT, TEMPORARILY RELOCATE, AND REINSTALL AS REQUIRED FOR PROJECT WORK. SEE BUILDING UTILITY PLAN SHEET C-1.3 AND PROPOSED FLOOR PLANS. PROTECT ALL EQUIPMENT FOR PROJECT DURATION; REPLACE EQUIPMENT NOT ABLE TO BE REINSTALLED OR DAMAGED BY CONTRACTOR WORK OPERATIONS
- 8 REMOVE AND DISPOSE EXISTING DOMESTIC WATER PIPING TO FLOOR PENETRATIONS AT UNDERSIDE OF FIRST FLOOR;
- 9 REMOVE AND DISPOSE EXISTING NATURAL GAS PIPING TO PENETRATIONS AT UNDERSIDE OF FIRST FLOOR
- 10 REMOVE AND DISPOSE EXISTING SANITARY DRAIN PIPING TO PENETRATIONS AT UNDERSIDE OF FIRST FLOOR
- 11 REMOVE AND DISPOSE EXISTING DUCTING TO PENETRATIONS AT FIRST FLOOR
- 12 DEMOLISH, REMOVE, AND DISPOSE OFFSITE REAR DOOR AS INDICATED; REMOVE TRIM, FRAME, SILL. PROTECT BUILDING ENVELOPE UNTILL PERMANANT WALL CONSTRUCTION IS COMPLETE

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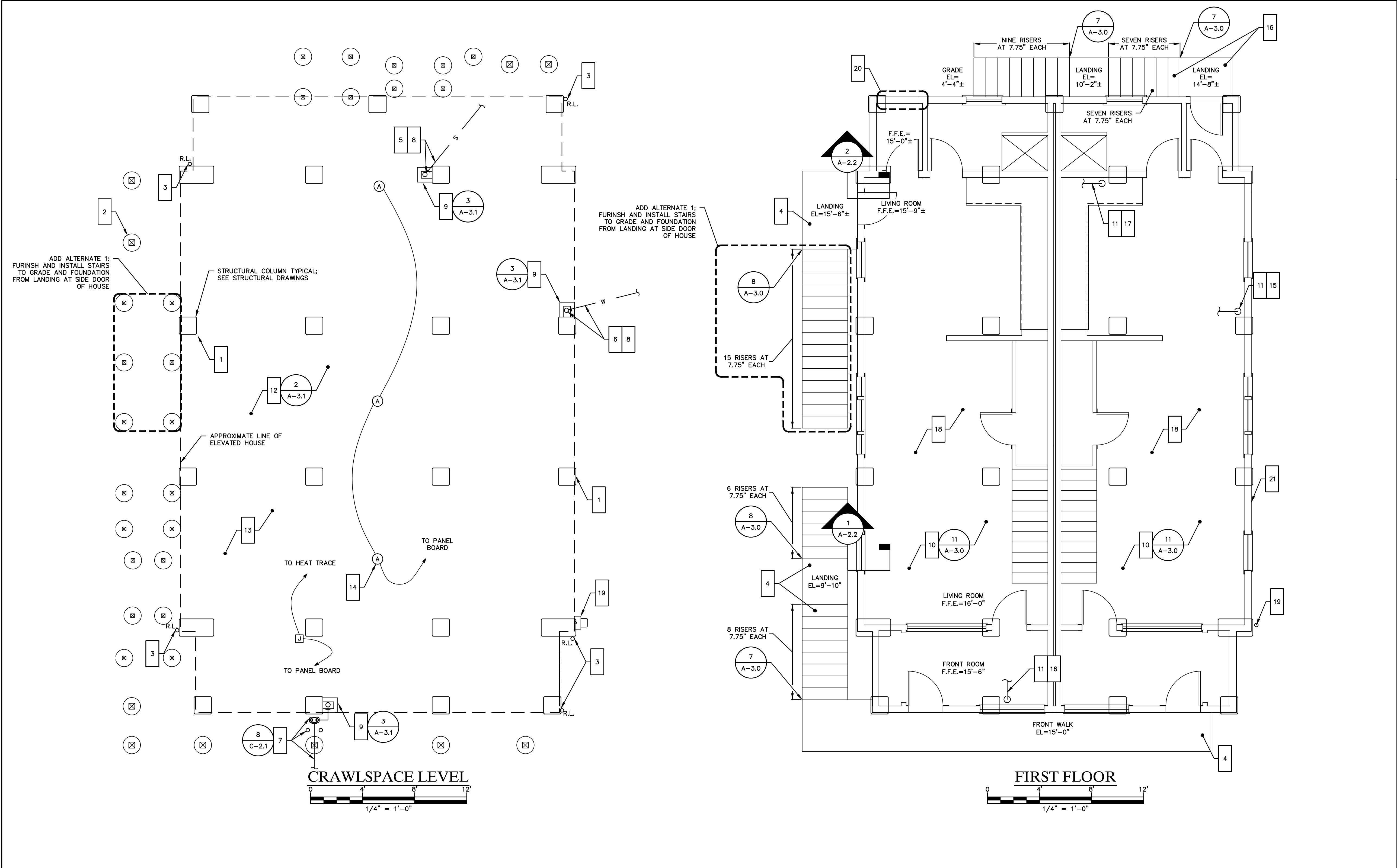
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EXISTING FLOOR PLANS

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GENERAL NOTES

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7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 HOUSE FOUNDATION; SEE STRUCTURAL DRAWINGS
- 2 NEW STAIR FOUNDATION; SEE STRUCTURAL DRAWINGS
- 3 FURNISH AND INSTALL ROOF DOWNSPOUTS TO GRADE, SECURE TO NEW STRUCTURAL COLUMN; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS AT GRADE.
- 4 FURNISH AND INSTALL NEW DECKS, AT FRONT, SIDE, AND BACK OF HOUSE, AND STAIRS AT PROPOSED ELEVATIONS
ADD ALTERNATE 1: FURNISH AND INSTALL STAIRS TO GRADE AND FOUNDATION FROM LANDING AT SIDE DOOR OF HOUSE
- 4A INSTALL ACCESS PLATFORM FOR ELECTRIC METER
- 5 FURNISH AND INSTALL SANITARY DRAIN PIPING FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. SEE SANITARY DRAIN SCHEMATIC SHEET C-2.2; REFER TO CIVIL DRAWINGS FOR CONTINUATION OF BURIED SANITARY DRAIN LINE
- 6 DOMESTIC WATER SERVICE LINE TO BE REPLACED AS DISTURBED BY CONSTRUCTION ACTIVITY, BUT NOT BEYOND PROPERTY LINE. EXTEND SERVICE LINE TO UNDERSIDE OF BUILDING AND CONNECT TO BUILDING PIPING, SEE CIVIL PLANS FOR CONTINUATION OF BURIED DOMESTIC WATER LINE.
- 7 COORDINATE INSTALLATION OF GAS METER WITH UTILITY PROVIDER; INSTALL TWO BOLLARDS IN FRONT OF GAS METER AS SHOWN ON PLAN. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION AND CONNECT TO BUILDING PIPING. COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN. SEE CIVIL DRAWINGS FOR CONTINUATION OF BURIED NATURAL GAS LINE
- 8 FURNISH AND INSTALL ALL MATERIALS FOR NEW HEAT TRACE ON DOMESTIC WATER SERVICE AND SANITARY SEWER DRAIN PIPING PER SPECIFICATIONS. HEAT TRACE DOMESTIC WATER LINE TO 42" BELOW GRADE.
- 9 FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL PLANS FOR LOCATION OF STRUCTURAL COLUMNS.
- 10 FURNISH AND INSTALL ALL MATERIALS TO INSULATE UNDERSIDE OF ELEVATED HOUSE.
- 11 FURNISH AND INSTALL ALL MATERIALS TO CONSTRUCT HORIZONTAL UTILITY CHASES AT UNDERSIDE OF HOUSE FOR NATURAL GAS, DOMESTIC WATER AND SANITARY SEWER SERVICE LINES PROJECTING BELOW TOP OF NEW PSL BEAMS. HEAT TRACE DOMESTIC WATER AND SANITARY SEWER PIPING SET BELOW TOP OF NEW PSL BEAMS.
- 12 FURNISH AND INSTALL ACCESS DOORS AT SEWER CLEANOUTS AND SHUTOFF VALVES BENEATH HOUSE. VERIFY LOCATIONS IN FIELD WITH ENGINEER.
- 13 FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSH STONE BENEATH ENTIRE STRUCTURE, DECKS, AND STAIRS; TOP OF LAYER TO BE AT EXISTING GRADE
- 14 FURNISH AND INSTALL LIGHTING FIXTURES AND MOTION DETECTION OPERATION AT UNDERSIDE OF ELEVATED HOUSE. FURNISH AND INSTALL NEW 20 AMP CIRCUIT ON EXISTING PANEL BOARD. CABLE TO BE NON-METALLIC SHEATHED TYPE NM-C. PROVIDE 2-#12, 1-#12 GROUND. PROVIDE ELECTRIC METALLIC TUBING AS CONDUIT FOR CABLEING AT BUILDING UNDERSIDE FROM FIXTURES TO NEW SWITCH ON FIRST FLOOR OF HOUSE
- 15 FURNISH AND INSTALL NEW DOMESTIC WATER PIPING WHERE REMOVED; REFEED AND RECONNECT ALL EXISTING FIXTURES AND EQUIPMENT. MATCH EXISTING PIPE SIZES OR PROVIDE NEW SIZE AS REQUIRED BY CODE. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
- 16 FURNISH AND INSTALL NEW NATURAL GAS PIPING WHERE REMOVED; REFEED AND RECONNECT ALL EXISTING EQUIPMENT. MATCH EXISTING PIPE SIZES OR PROVIDE NEW SIZE AS REQUIRED. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
- 17 FURNISH AND INSTALL NEW SANITARY DRAIN PLUMBING WHERE REMOVED BENEATH HOUSE; REFEED AND RECONNECT ALL FIXTURES AND LINES. MATCH EXISTING PIPE SIZES OR PROVIDE NEW SIZE AS REQUIRED BY CODE. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
- 18 FURNISH AND INSTALL NEW DUCTING AT UNDERSIDE OF FIRST FLOOR WHERE REMOVED, MATCH EXISTING DUCTING SIZES AND ROUTING
- 19 FURNISH AND INSTALL NEW ELECTRIC METER, METER SOCKET, DISCONNECT, GALVANIZED RIGID CONDUIT AND SERVICE WIRE; CONNECT TO EXISTING PANEL BOARD
- 20 FURNISH AND INSTALL ALL MATERIALS TO INFILL WALL IN OPENING LOCATION OF FORMER DOOR; MATCH EXISTING ADJACENT PROFILES, SECTIONS, AND MATERIALS FOR FLUSH EXTERIOR AND INTERIOR FINISH. PATCH ADJACENT CONSTRUCTION AS REQUIRED. MATCH SIDING MATERIALS WITH BEST POSSIBLE COLOR AND TEXTURE
- 21 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AROUND ENTIRE STRUCTURE

BUILDING UTILITY GENERAL NOTES

1. PLAN REPRESENTATION OF BUILDING UTILITIES ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PREPARE AND SUBMIT ALL COORDINATION DRAWINGS AS REQUIRED BY SPECIFICATION DIVISIONS 22, 23, AND 28 AND SUBMIT TO THE ENGINEER FOR APPROVAL.
2. FOR COMPLETE BUILDING UTILITY WORK REQUIREMENTS REFER TO CONTRACT SPECIFICATIONS.
3. IT IS THE PROJECT INTENT TO TURN OVER COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS TO THE OWNER FOR FINAL ACCEPTANCE OF PROJECT WORK.
4. FINAL PAYMENT WILL NOT BE PROCESSED WITHOUT SUBMITTAL OF ALL TESTING REPORTS OR EVIDENCE THEREOF FOR COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS, AS REQUIRED BY CONTRACT SPECIFICATIONS AND AUTHORITIES HAVING JURISDICTION.
5. ALL BUILDING PENETRATIONS TO BE SEALED WITH INTUMESCENT FIRE STOP PUTTY, HITL FS-ONE OR APPROVED EQUAL. ALL FINISHES TO BE PATCHED TO MATCH EXISTING ADJACENT CONDITIONS.
6. ANY SPECIAL REQUIREMENTS OR CONDITIONS OF UTILITY PROVIDERS FOR FOR UTILITY SERVICE RECONNECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND

1

1/3
A-2.3

C-2.X

WORK NOTE

SECTION REFERENCE

DETAIL REFERENCE

GAS METER

ELECTRIC METER AND METER CAN

JUNCTION BOX

PIPE ELBOW UP

PIPE ELBOW DOWN

LIGHT FIXTURE, LITHONIA VR2 OR EQUAL

MOTION DETECTOR

ROOF LEADER

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PROPOSED FLOOR PLANS

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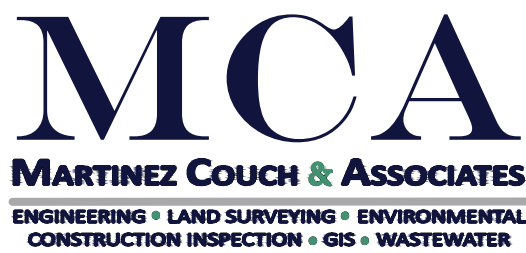
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6. SALVAGE GAS METER FOR REINSTALLATION OR REMOVE OFFSITE AND DISPOSE AS REQUIRED BY UTILITY PROVIDER.
7. DEMOLISH EXISTING MASONRY CHIMNEY AND REMOVE OFF SITE; PROTECT BUILDING ENVELOPE UNTIL PERMANENT ROOF PATCHING IS COMPLETE

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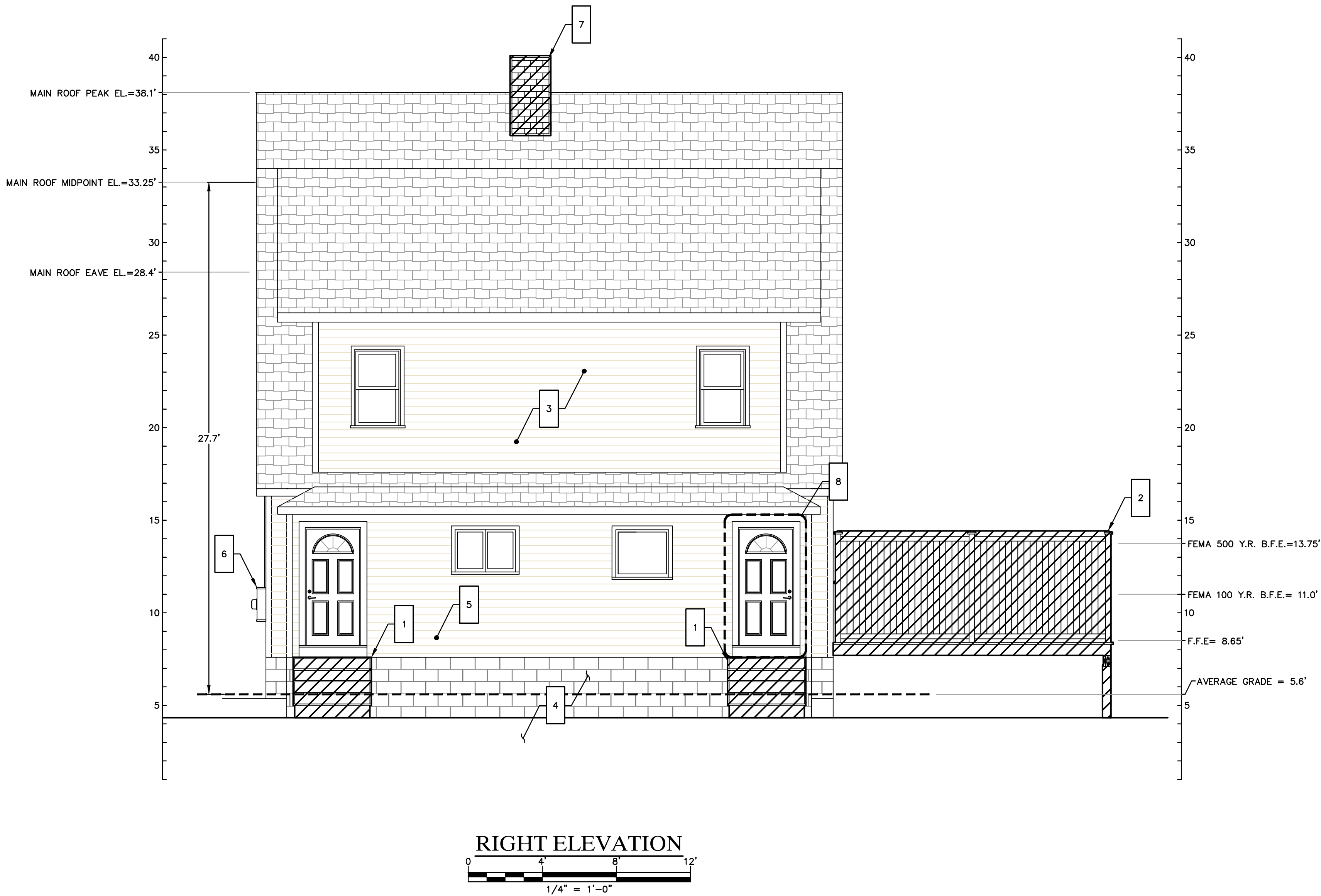
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- 2 DEMOLISH, REMOVE, AND DISPOSE OFFSITE DECK AT SIDE OF HOUSE
- 3 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 4 DEMOLISH EXISTING FOUNDATION INCLUDING ALL SUBSURFACE ELEMENTS; REMOVE AND DISPOSE OF OFF SITE
- 5 DEMOLISH EXISTING HOSE BIB AND PLUMBING BACK TO SOURCE, PATCH OPENING IN BUILDING ENVELOPE
- 6 DEMOLISH, REMOVE, AND DISPOSE OFFSITE ELECTRIC METER, METER SOCKET AND SERVICE WIRE
- 7 DEMOLISH EXISTING MASONRY CHIMNEY AND REMOVE OFF SITE; PROTECT BUILDING ENVELOPE UNTIL PERMANENT ROOF PATCHING IS COMPLETE
- 8 DEMOLISH, REMOVE, AND DISPOSE OFFSITE REAR DOOR AS INDICATED; REMOVE TRIM, FRAME, SILL. PROTECT BUILDING ENVELOPE UNTILL PERMANANT WALL CONSTRUCTION IS COMPLETE

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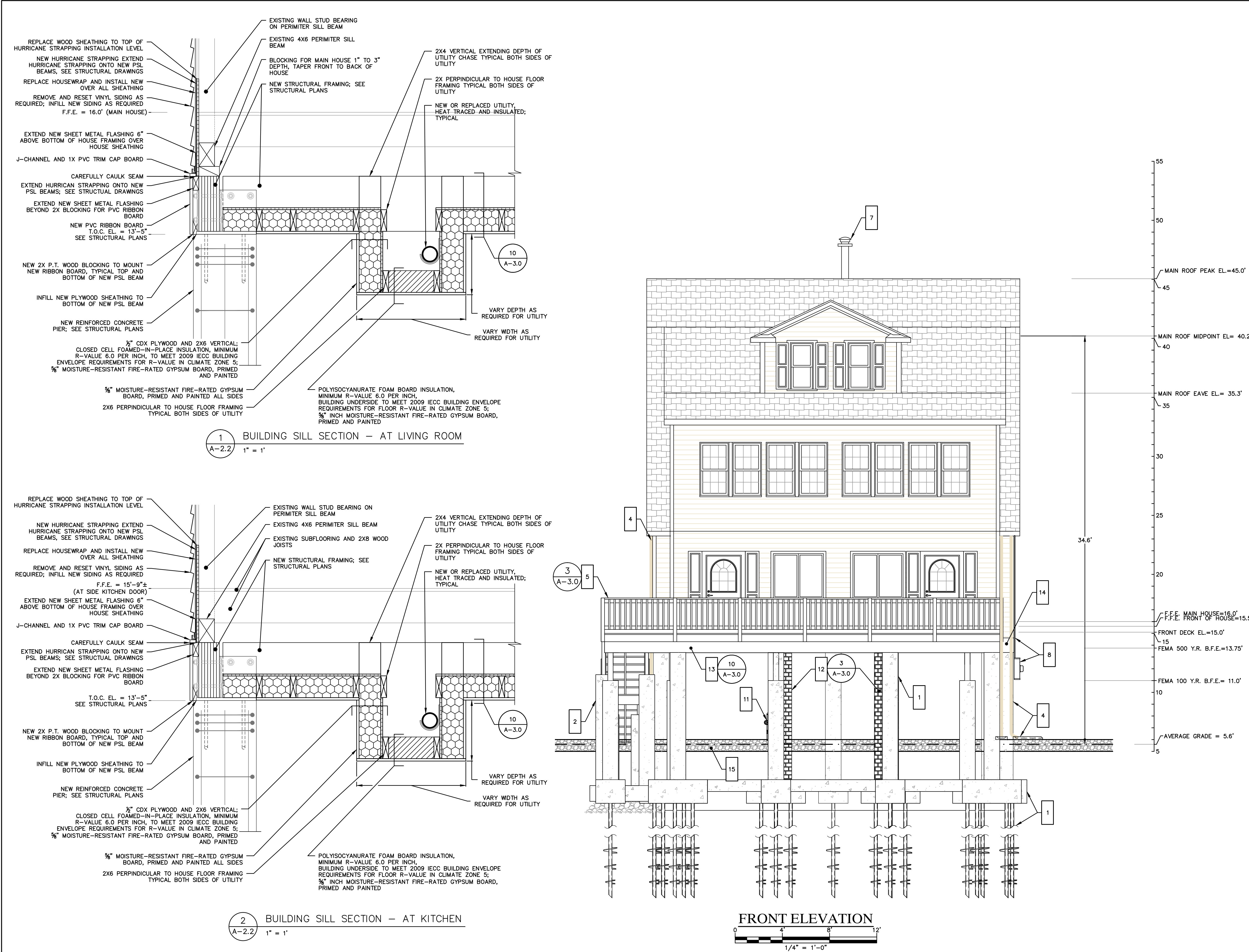
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33-262-2203	33-262-2203 - BASEMAP.dwg	A-2.1



GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 HOUSE FOUNDATION; SEE STRUCTURAL DRAWINGS
- 2 STAIR FOUNDATION; SEE STRUCTURAL DRAWINGS
- 3 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS, AS SHOWN ON STRUCTURAL DRAWINGS
- 4 EXTEND ROOF DOWNSPOUTS TO GRADE, SECURE TO NEW STRUCTURAL COLUMN; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS AT GRADE, TYPICAL ALL EXISTING DOWNSPOUTS SHOWN ON DRAWING OR NOT.
- 5 FURNISH AND INSTALL NEW DECKS, AT FRONT, SIDE, AND BACK OF HOUSE, AND STAIRS AT PROPOSED ELEVATIONS. ADD ALTERNATE 1; FURNISH AND INSTALL STAIRS TO GRADE AND FOUNDATION FROM LANDING AT SIDE DOOR OF HOUSE
- 6 FURNISH AND INSTALL ALL MATERIALS FOR ACCESS PLATFORM FOR ELECTRIC METER
- 7 FURNISH AND INSTALL ALL MATERIALS TO PATCH ROOF WHERE CHIMNEY WAS REMOVED; MATCH ADJACENT EXISTING CONDITIONS AND ADJACENT CONSTRUCTION. FURNISH AND INSTALL NEW TRIPLE WALL CLASS A STAINLESS STEEL INSULATED METAL FLUE FOR CONNECTED APPLIANCES AND MECHANICAL EQUIPMENT; FLUE TO TERMINATE 3' ABOVE ROOF PEAK AND HAVE RAIN GUARD, FLASH AND SEAL ROOF PENETRATION FOR NEW FLUE
- 8 FURNISH AND INSTALL NEW ELECTRIC METER, METER SOCKET, GALVANIZED CONDUIT AND SERVICE WIRE; CONNECT TO EXISTING PANEL BOARDS
- 9 FURNISH AND INSTALL SANITARY DRAIN PIPING FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. SEE SHEET A-1.1 AND C-1.2 AND SEE SANITARY DRAIN SCHEMATIC SHEET C-2.2.
- 10 DOMESTIC WATER SERVICE LINE TO BE REPLACED AS DISTURBED BY CONSTRUCTION ACTIVITY, BUT NOT BEYOND PROPERTY LINE. EXTEND SERVICE LINE TO UNDERSIDE OF BUILDING AND CONNECT TO BUILDING PIPING. SEE SHEET C-1.2. INSULATE AND HEAT TRACE WATER LINE FROM 42" BELOW GRADE TO ABOVE INSULATION CAVITY AT UNDERSIDE OF HOUSE SUCH THAT LINE WILL NOT FREEZE.
- 11 COORDINATE INSTALLATION OF GAS METER WITH UTILITY PROVIDER; INSTALL TWO BOLLARDS IN FRONT OF GAS METER AS SHOWN ON PLAN. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION AND CONNECT TO BUILDING PIPING. COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN.
- 12 FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL PLANS FOR LOCATION OF STRUCTURAL COLUMNS.
- 13 FURNISH AND INSTALL ALL MATERIALS TO INSULATE UNDERSIDE OF ELEVATED HOUSE.
- 14 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AND BUILDING SILL CONSTRUCTION AROUND ENTIRE STRUCTURE
- 15 FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSH STONE BENEATH ENTIRE STRUCTURE, DECKS, AND STAIRS; TOP OF LAYER TO BE AT EXISTING GRADE

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MILFORD, CONNECTICUT 06460

ISSUED FOR BIDDING
NOT FOR CONSTRUCTION

3	8/28/2017	ISSUED FOR RE-BID	MBR	MBR	REC
2	4/26/2017	ISSUED FOR BIDDING	MBR	MBR	REC
1	4/14/2017	ISSUED FOR REVIEW	MBR	MBR	REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: CP/MBR			CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED
			DATE: 3/2/2017		

PROPOSED ELEVATIONS - 1

JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	33-262-2203 - BASEMAP.dwg	A-2.2

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2 STAIR FOUNDATION; SEE STRUCTURAL DRAWINGS

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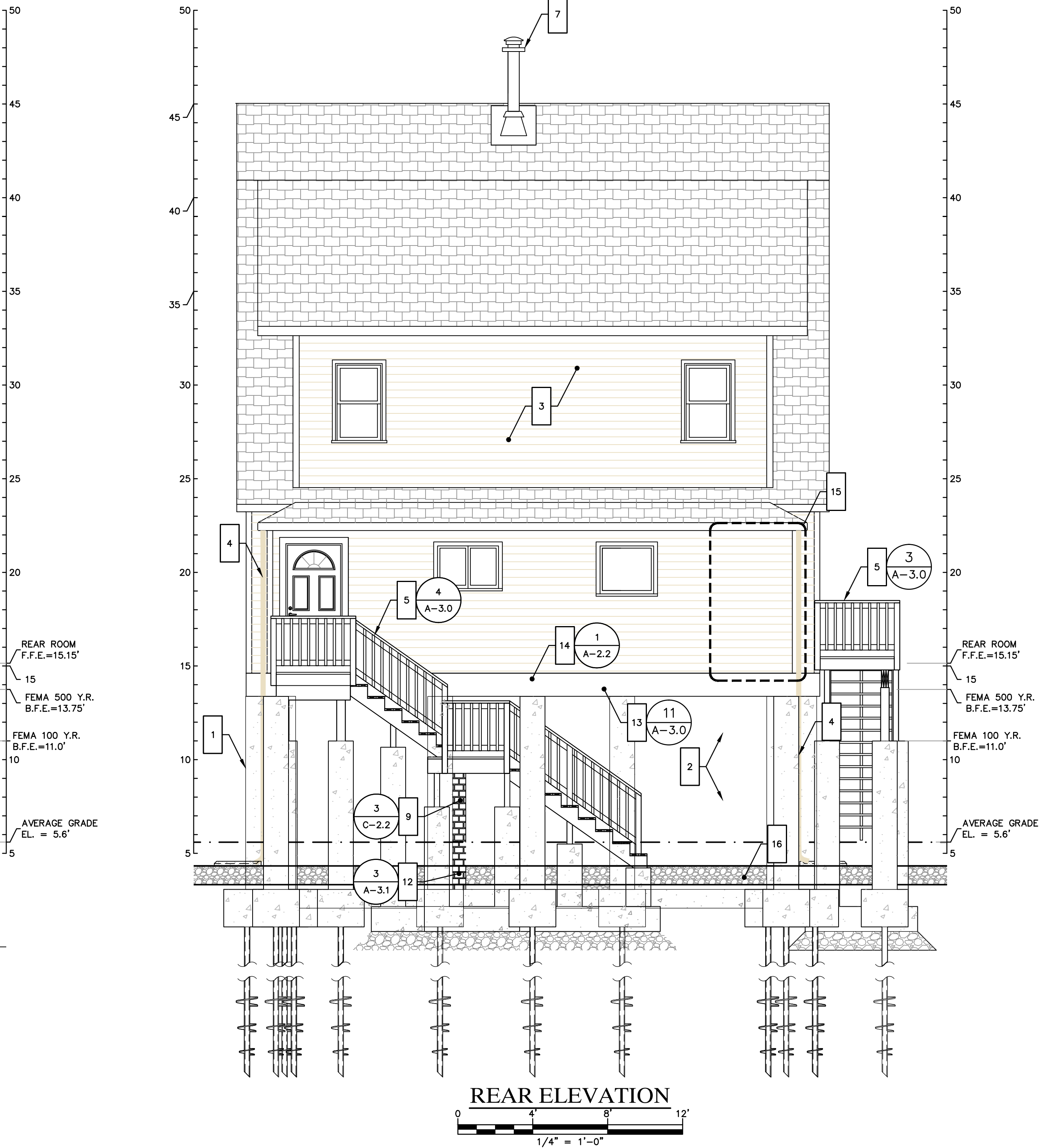
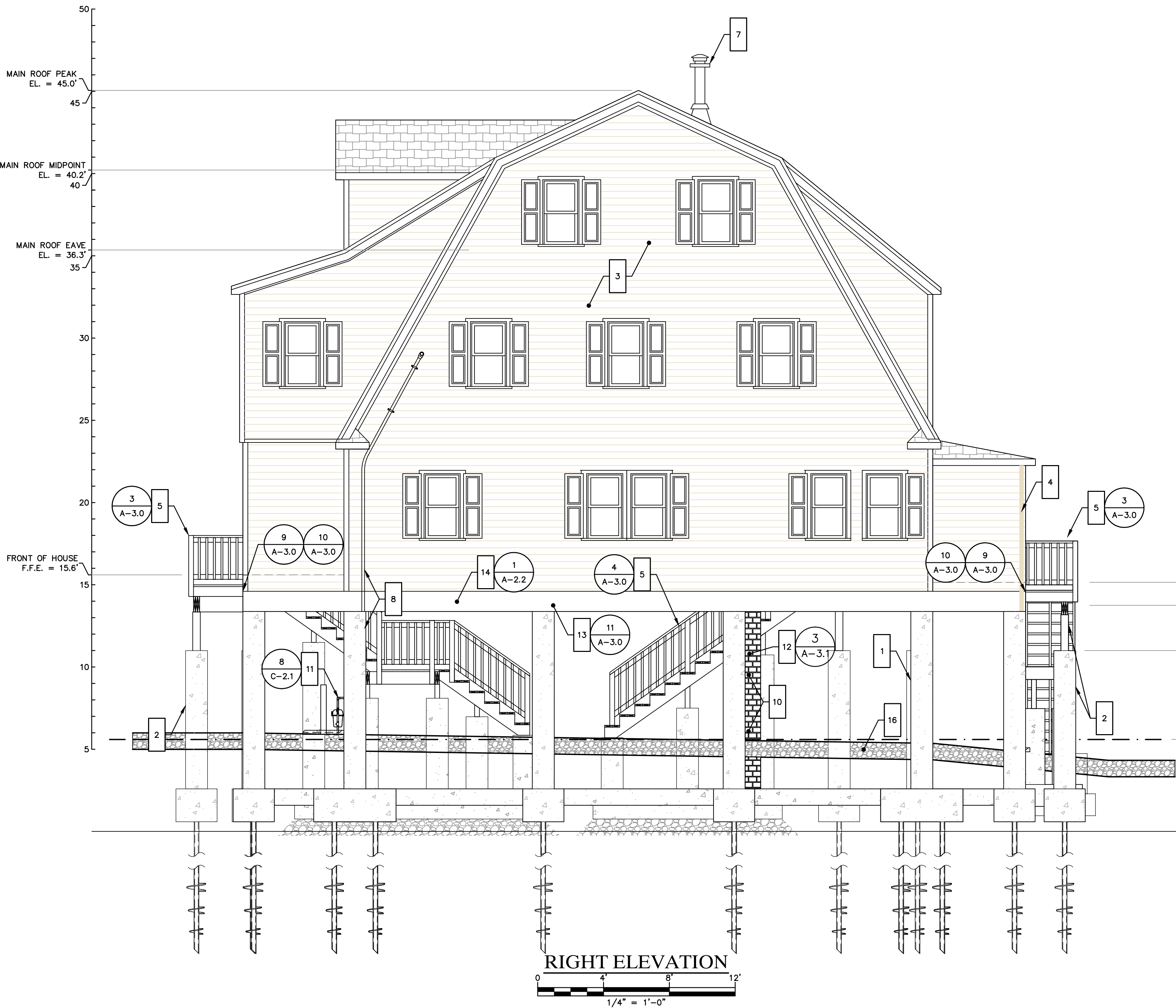
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15 FURNISH AND INSTALL ALL MATERIALS TO INFILL WALL IN OPENING IN LOCATION OF FORMER DOOR; MATCH EXISTING ADJACENT PROFILES, SECTIONS, AND MATERIALS FOR FLUSH EXTERIOR FINISH; PATCH ADJACENT CONSTRUCTION AS REQUIRED; MATCH SIDING MATERIALS WITH BEST POSSIBLE COLOR AND TEXTURE

16 FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSH STONE BENEATH ENTIRE STRUCTURE, DECKS, AND STAIRS; TOP OF LAYER TO BE AT EXISTING GRADE



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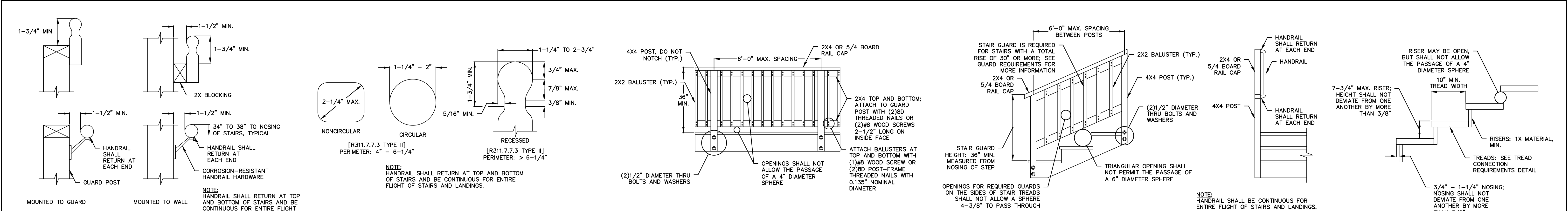
PROJECT 2203
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DRAWN: CP/MBR		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE: 3/2/2017				

PROPOSED ELEVATIONS - 2

JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	33-262-2203 - BASEMAP.dwg	A-2.3



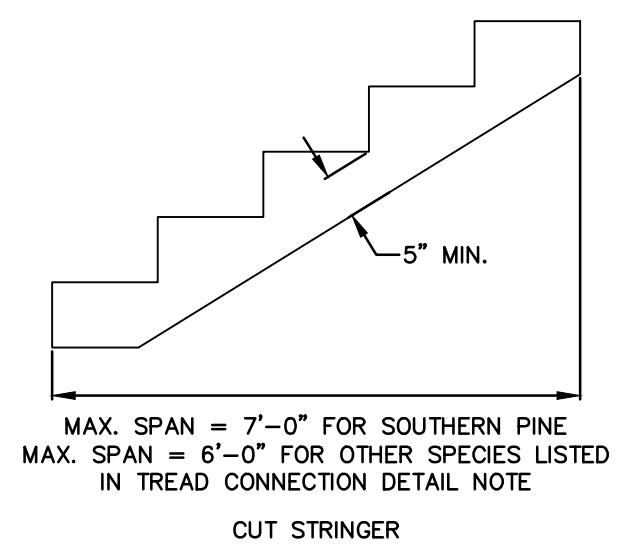
1 TYPICAL HANDRAIL MOUNTING
A-3.0 N.T.S.

2 TYPICAL HANDRAIL GRIP SIZE
A-3.0 N.T.S.

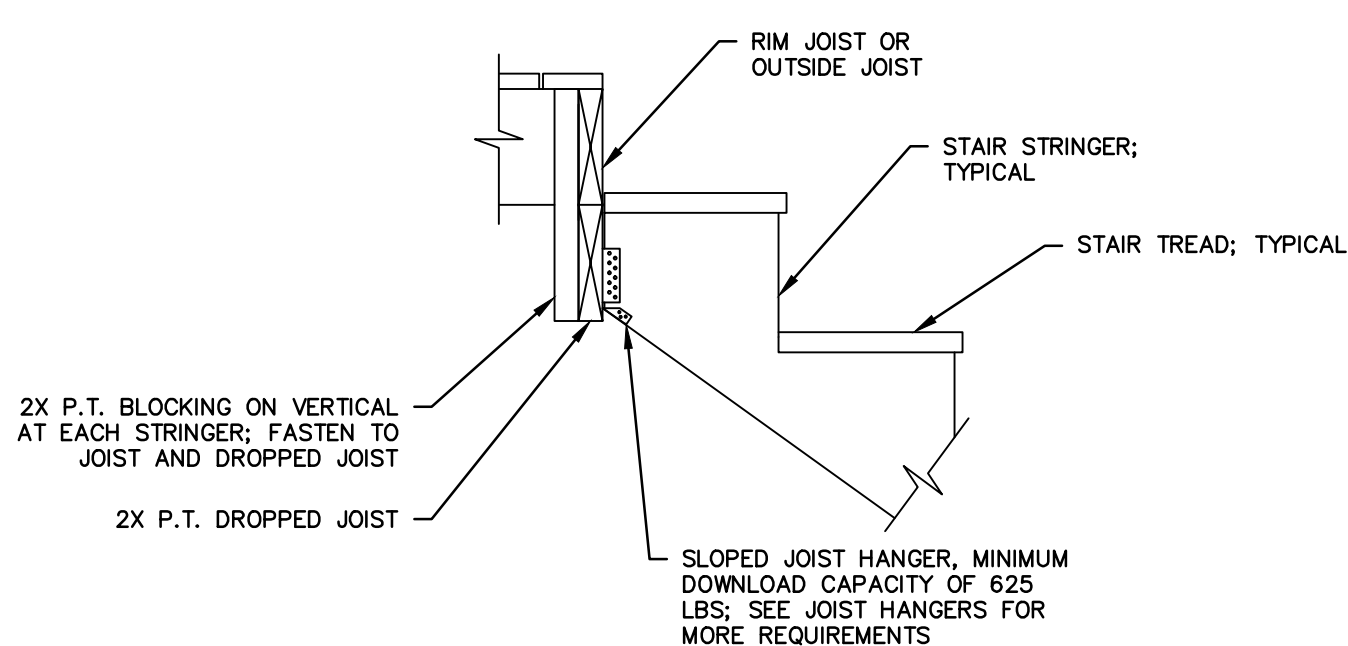
3 TYPICAL DECK RAILING GUARD
A-3.0 N.T.S.

4 TYPICAL STAIR GUARD REQUIREMENTS
A-3.0 N.T.S.

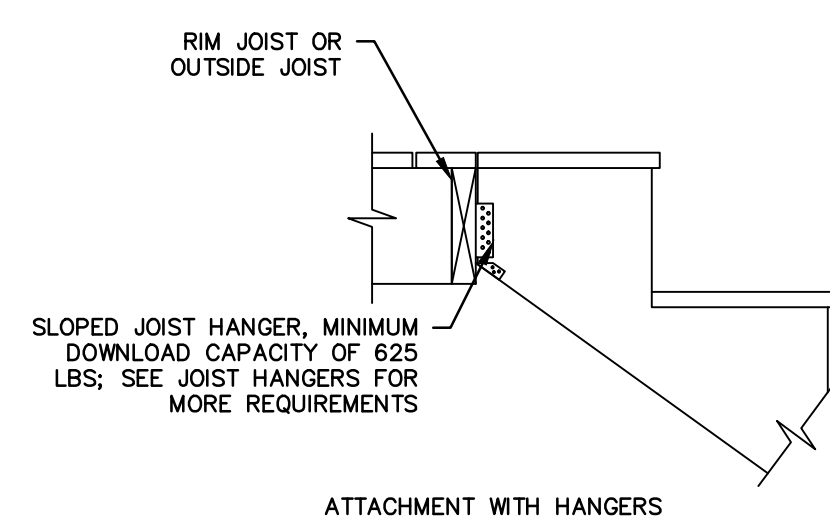
5 TYPICAL TREAD AND RISER
A-3.0 N.T.S.



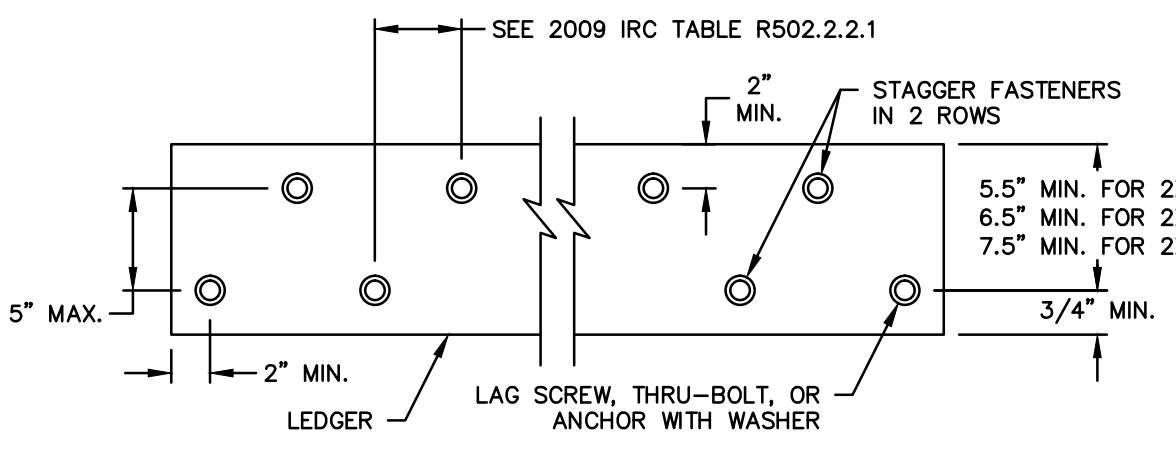
6 TYPICAL STAIR STRINGER REQUIREMENTS
A-3.0 N.T.S.



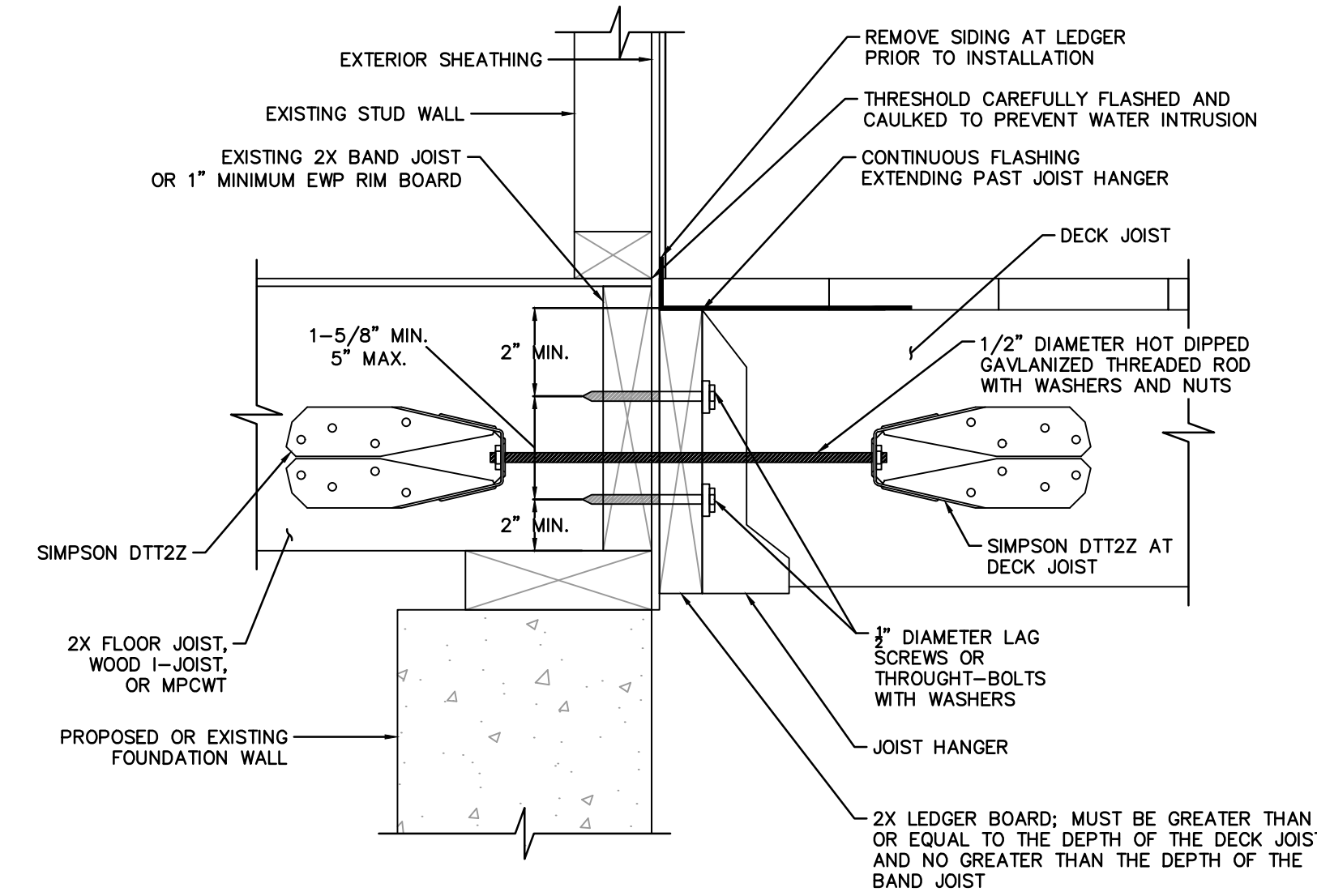
7 TYPICAL STAIR DROP STRINGER ATTACHMENT
A-3.0 N.T.S.



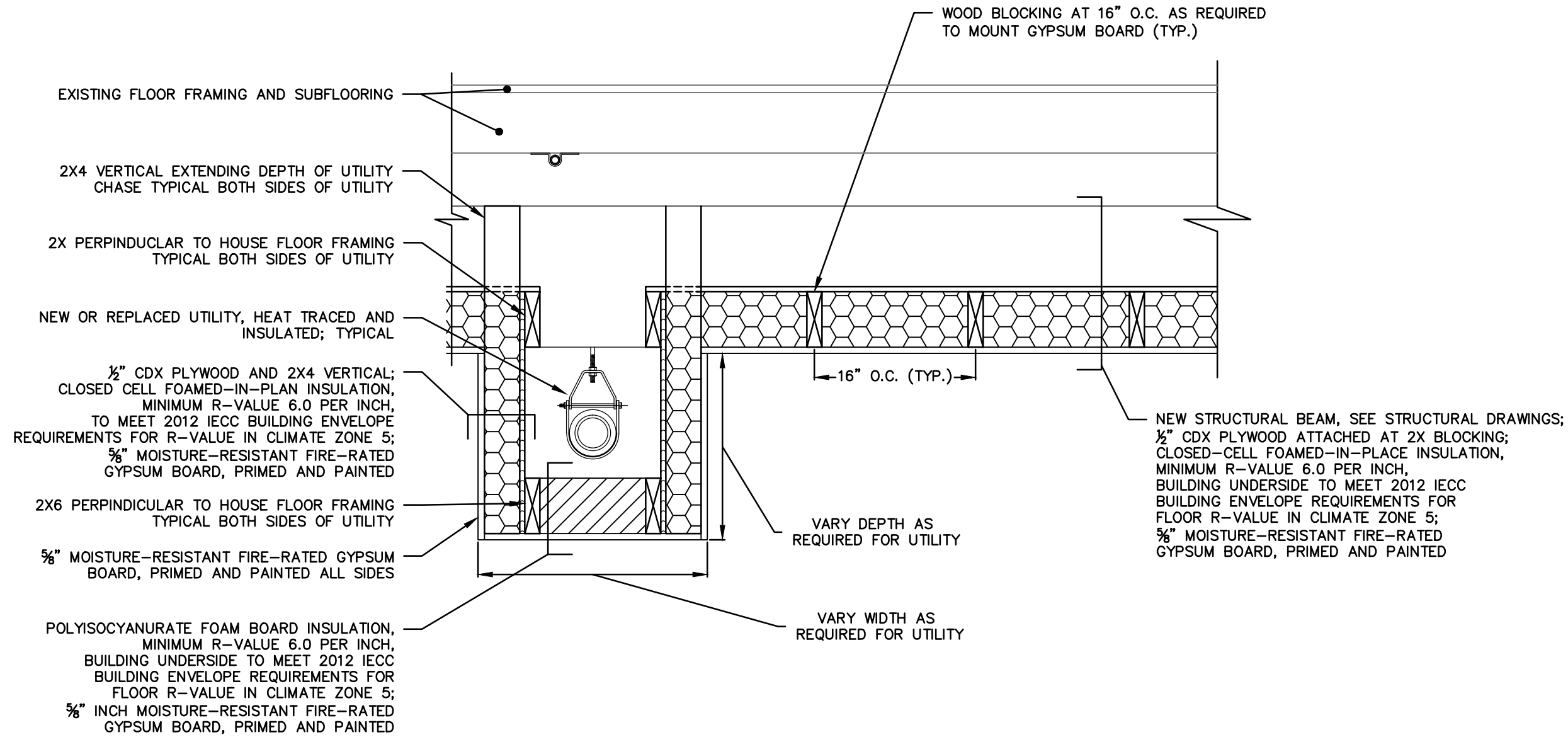
8 TYPICAL STAIR STRINGER ATTACHMENT
A-3.0 N.T.S.



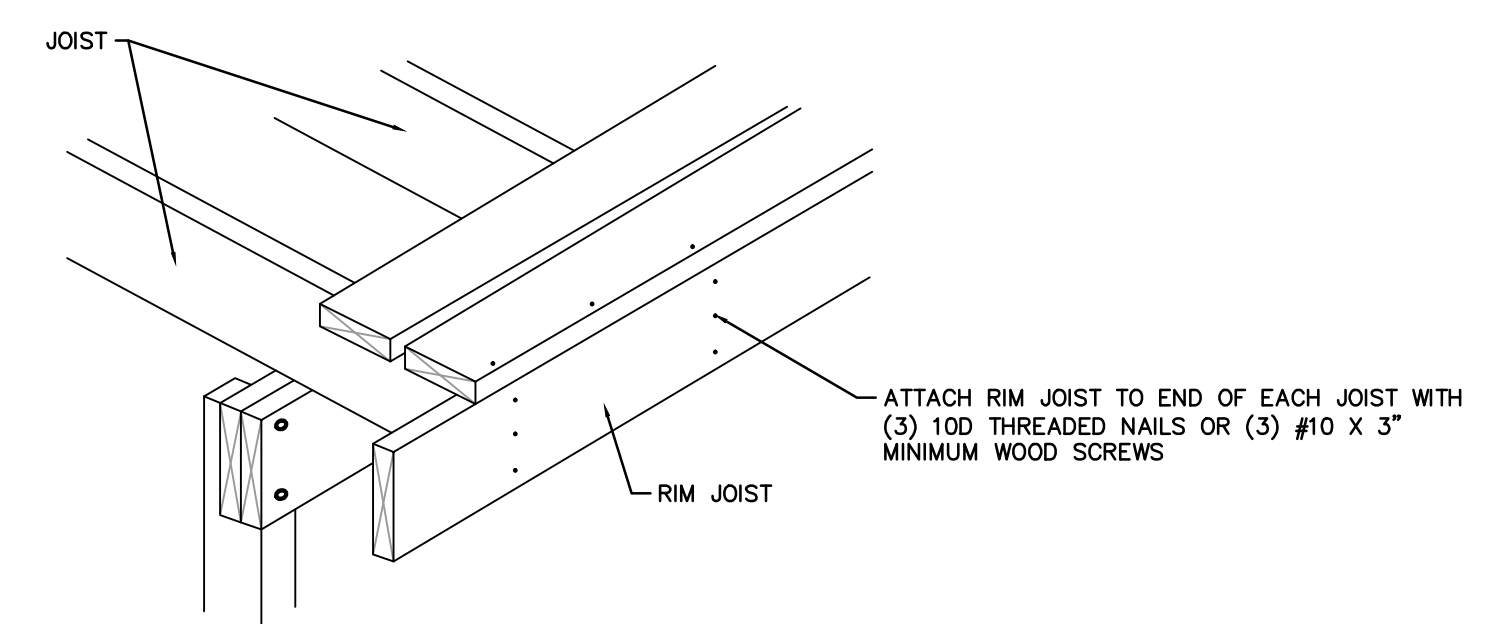
9 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE
A-3.0 N.T.S.



10 TYPICAL GENERAL ATTACHMENT OF LEDGER
A-3.0 N.T.S.



11 TYPICAL FLOOR CAVITY INSULATION DETAIL
A-3.0 1/2" = 1'-0"



12 TYPICAL RIM JOIST CONNECTION
A-3.0 N.T.S.

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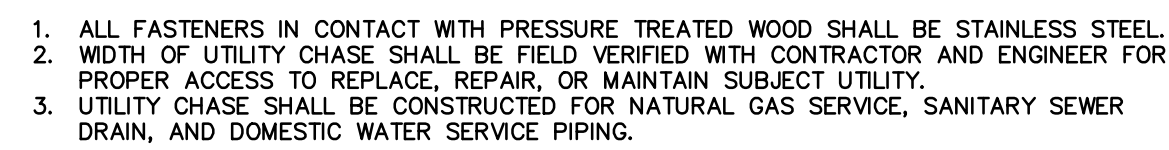
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DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE: 3/2/2017				

ARCHITECTURAL DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	33-262-2203 - BASEMAP.dwg	A-3.0



EXISTING FRAMING; SEE STRUCTURAL DRAWINGS

EXISTING ELECTRIC JUNCTION/PULL BOX

INSULATION CAVITY; SEE SHEET A-3.0, DETAIL 10

BLOCKING AS NECESSARY TO MOUNT NEMA 4X BOX

NEMA 4X MARINE GRADE JUNCTION BOX WITH STAINLESS STEEL TORX FASTENER CLOSING SCREWS. JUNCTION BOX SHALL HAVE CONFIGURABLE KNOCK-OUT BACK PLATE.

1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL
2. CONTRACTOR SHALL VERIFY IN FIELD AND REVIEW WITH ENGINEER LOCATIONS OF EXISTING JUNCTION/PULL BOXES FOR NEW ACCESS BOX INSTALLATION.
3. NEMA JUNCTION BOX SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, FLUSH WITH SURROUNDING GYPSUM BOARD, WITH WEATHER TIGHT SEAL

Diagram illustrating a building utility chase configuration:

- STRUCTURAL COLUMN**: Indicated by an arrow pointing to the top of the chase.
- NOTE: CHASE TO EXTEND FROM BUILDING UNDERSIDE TO TOP OF GRADE BEAM.**: Text describing the chase extension.
- 4" x 16" NOMINAL CMU BLOCK, FULLY GROUTED (TYP. OF 3)**: Indicated by an arrow pointing to the chase wall.
- BUILDING UTILITY - GAS, WATER, ELECTRICAL, SEWER LINES**: Indicated by an arrow pointing to the utility lines within the chase.
- PROVIDE LOCKING ACCESS DOOR**: Indicated by an arrow pointing to the access door at the bottom of the chase.

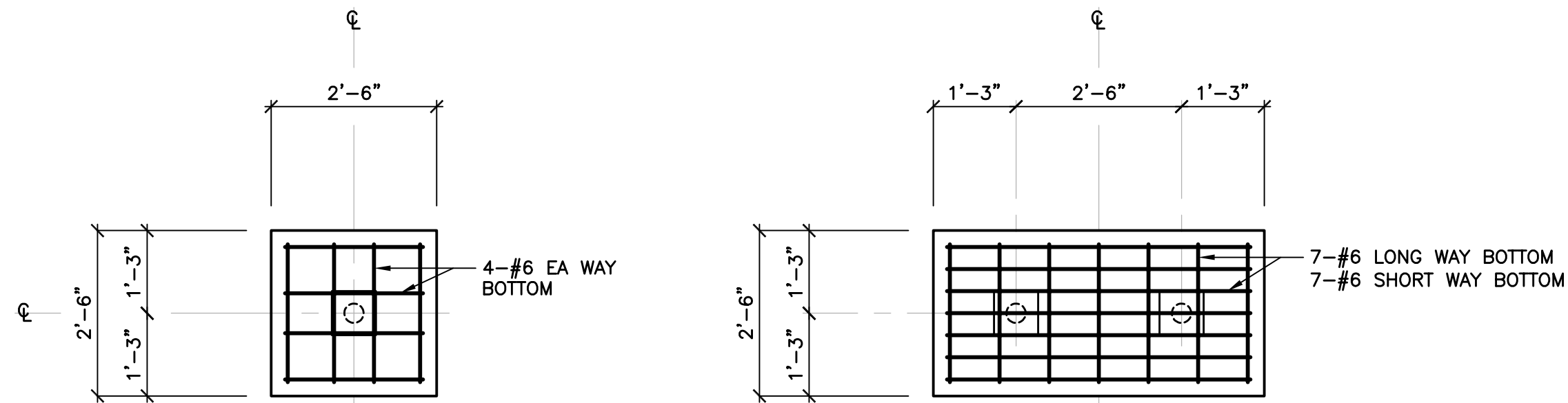
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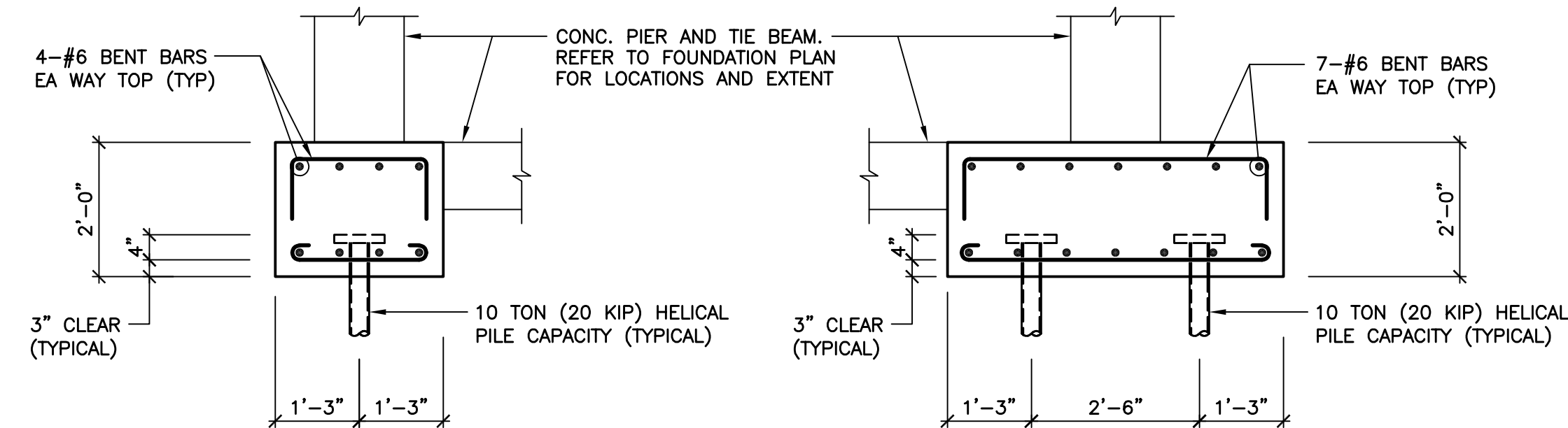
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JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	33-262-2203 - BASEMAP.dwg	A-3.1



PLAN - P1 CAP

PLAN - P2 CAP



SECTION - P1 CAP

SECTION - P2 CAP

TYPICAL CONCRETE PILE CAP DETAILS

SCALE: 1/2" = 1'-0"

16" CONC. FILLED SONOTUBE PIER REINF. w/ 4-#8 DOWELS w/ #3 CLOSED TIES @ 12" o.c. PROVIDE 3-#3 SEISMIC TIES IN TOP 4" OF PIER. SONOTUBE PIERS SHALL BE CENTERED BELOW WOOD DECK & STAIR POSTS. REFER TO FRAMING PLAN FOR WOOD POST LOCATIONS. TOP OF SONOTUBE PIER EL. 10'-8" UNLESS OTHERWISE NOTED. (TYPICAL)

NOTE: STEP DOWN TOP OF SONOTUBE PIERS AS REQ'D TO ACCOMMODATE NEW STAIR RUN.

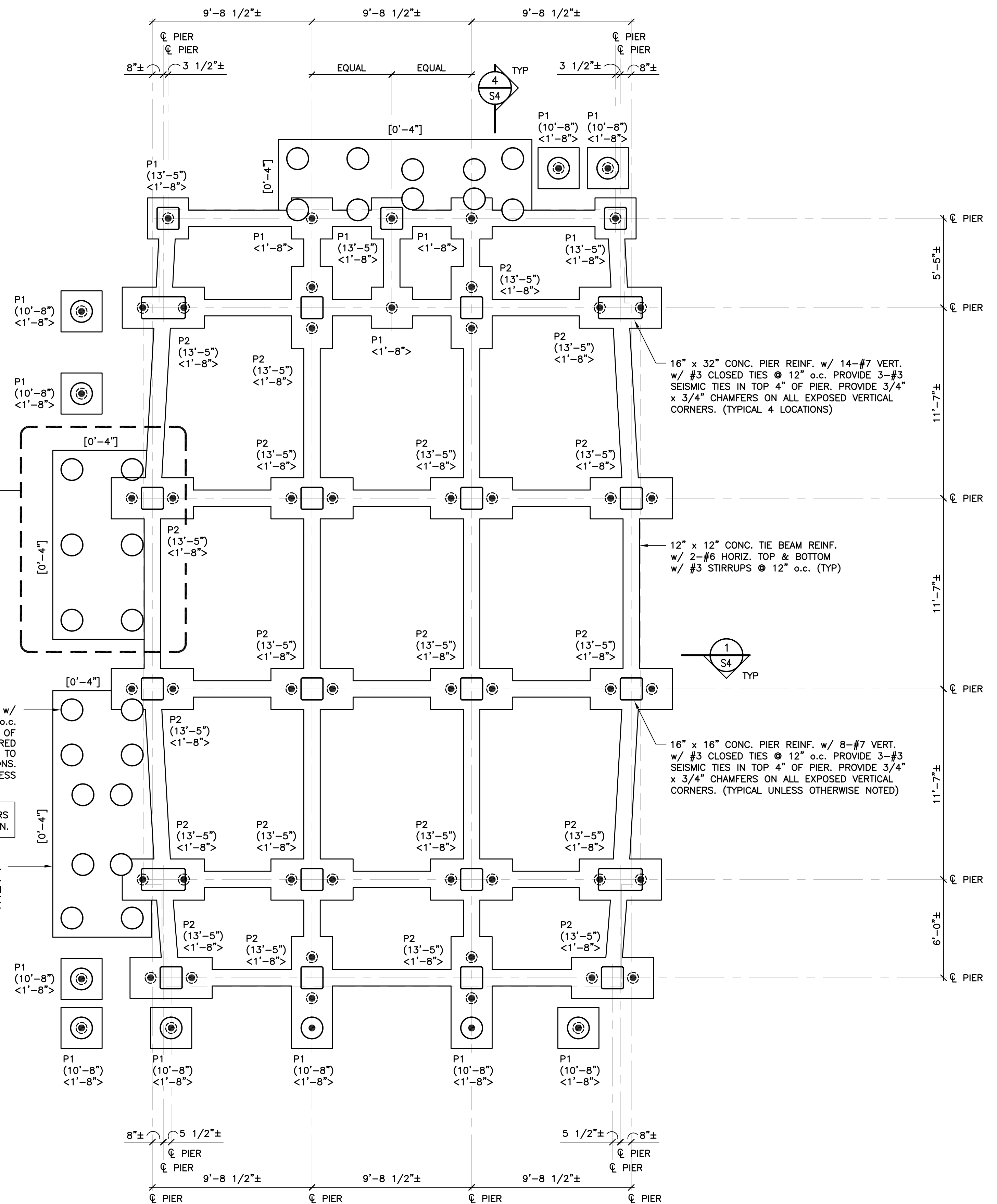
1'-4" THICK CONCRETE MAT FOOTING REINF. w/ #5 @ 16" o.c. EA. WAY TOP & BOTTOM. PROVIDE 6" MINIMUM CLEARANCE BETWEEN PERIMETER OF SONOTUBE PIER AND EDGE OF MAT FOOTING ALL AROUND. (TYPICAL AT WOOD STAIR AND LANDING POST LOCATIONS)

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

LEGEND:

- P# PILE CAP MARK (SEE DETAILS THIS DWG)
- <....> EL. TOP OF CONC. PILE CAP
- (.....) EL. TOP OF CONC. PIER
- [.....] EL. BOTTOM OF CONC. MAT FOOTING
- ⊙ DENOTES 10 TON (20 KIP) CAPACITY HELICAL PILE. FIELD VERIFY ALL HELICAL PILE LOCATIONS.



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NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN BY: DEB		CHECKED BY: TAT	SCALE: AS NOTED	DATE: 3/2/2017	THOMAS A. TORRENTI, P.E.

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FOUNDATION DESIGN

FOUNDATION PLAN

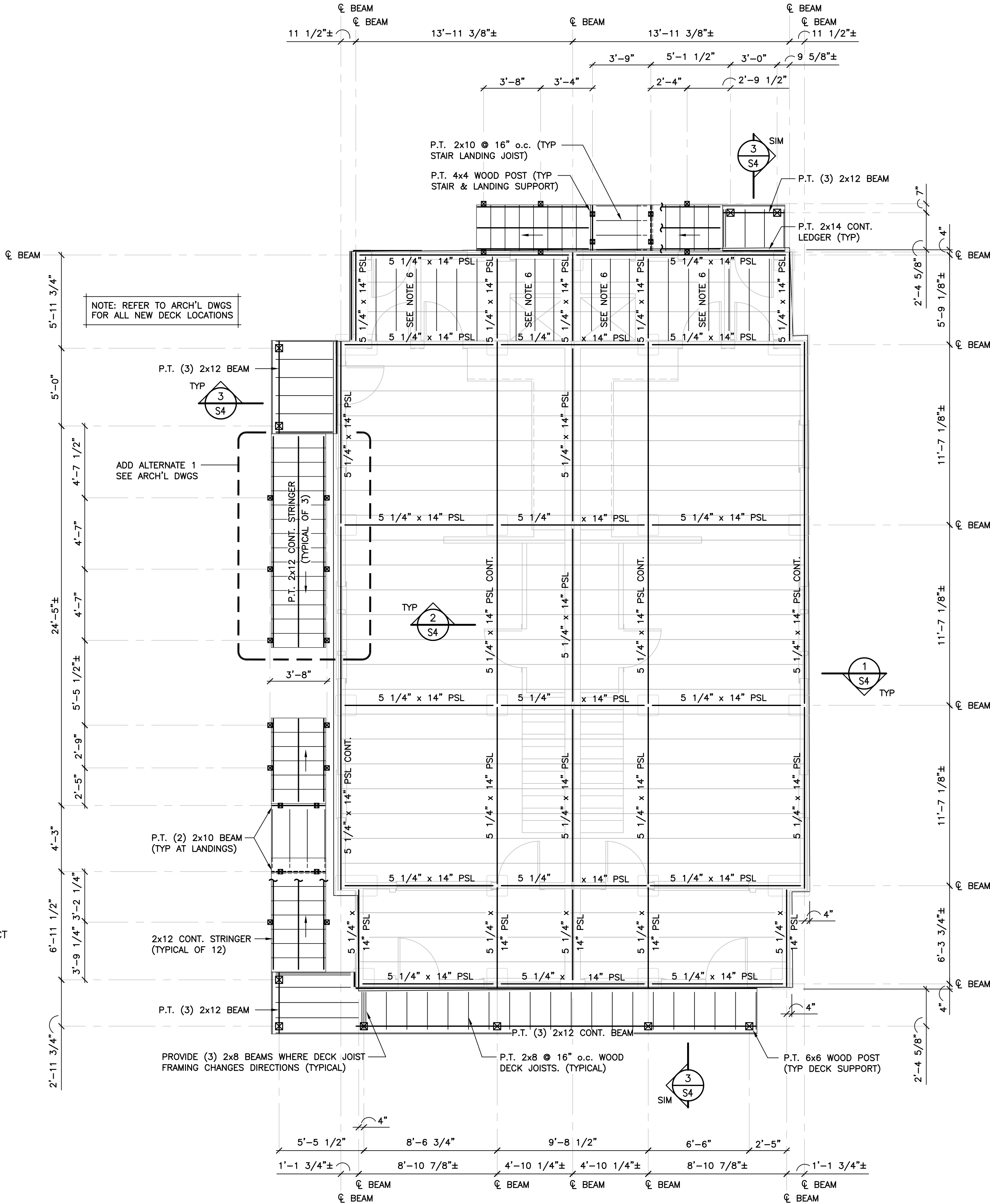
JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	21706 S1-S4.dwg	S2

FIRST FLOOR FRAMING SUPPORT PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. FINISH FLOOR EL. VARIES. REFER TO ARCH'L DRAWINGS FOR ALL ELEVATIONS.
2. SETTING AND ANCHORAGE OF THE SUPERSTRUCTURE TO NEW CONCRETE FOUNDATION IS THE RESPONSIBILITY OF CONTRACTOR.
4. PROVIDE P.T. CONTINUOUS NAILERS AT ALL NEW FLOOR FRAMING MEMBERS SUPPORTING EXISTING FLOOR JOISTS AS REQUIRED.
5. PROVIDE 2x WOOD INFILL FRAMING AT EXISTING FLOOR OPENINGS TO BE ABANDONED. MATCH INFILL FRAMING WITH ADJACENT JOIST MEMBERS.
6. NEW P.T. 2x10 @ 16" o.c. BENEATH EXISTING 2" x 4" AND 2" x 6" FLOOR FRAMING (V.I.F.) AT SINGLE STORY SECTION OF STRUCTURE. PROVIDE 18 GAGE GALV. FACE MOUNT HANGERS (SIMPSON "LUS" SERIES OR EQUAL) EACH END OF NEW 2x10 MEMBERS. PROVIDE TWO (2) 18 GAGE GALV. HURRICANE TIES (SIMPSON H2.5T OR EQUAL) AT EXISTING WOOD FLOOR JOIST.
7. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.
8. REFER TO DRAWING S4 FOR ADDITIONAL CONSTRUCTION ITEMS & REQUIREMENTS NOT SHOWN FOR CLARITY ON FRAMING PLAN.



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Orange, CT 06477-7153 ttorrenti@optonline.net

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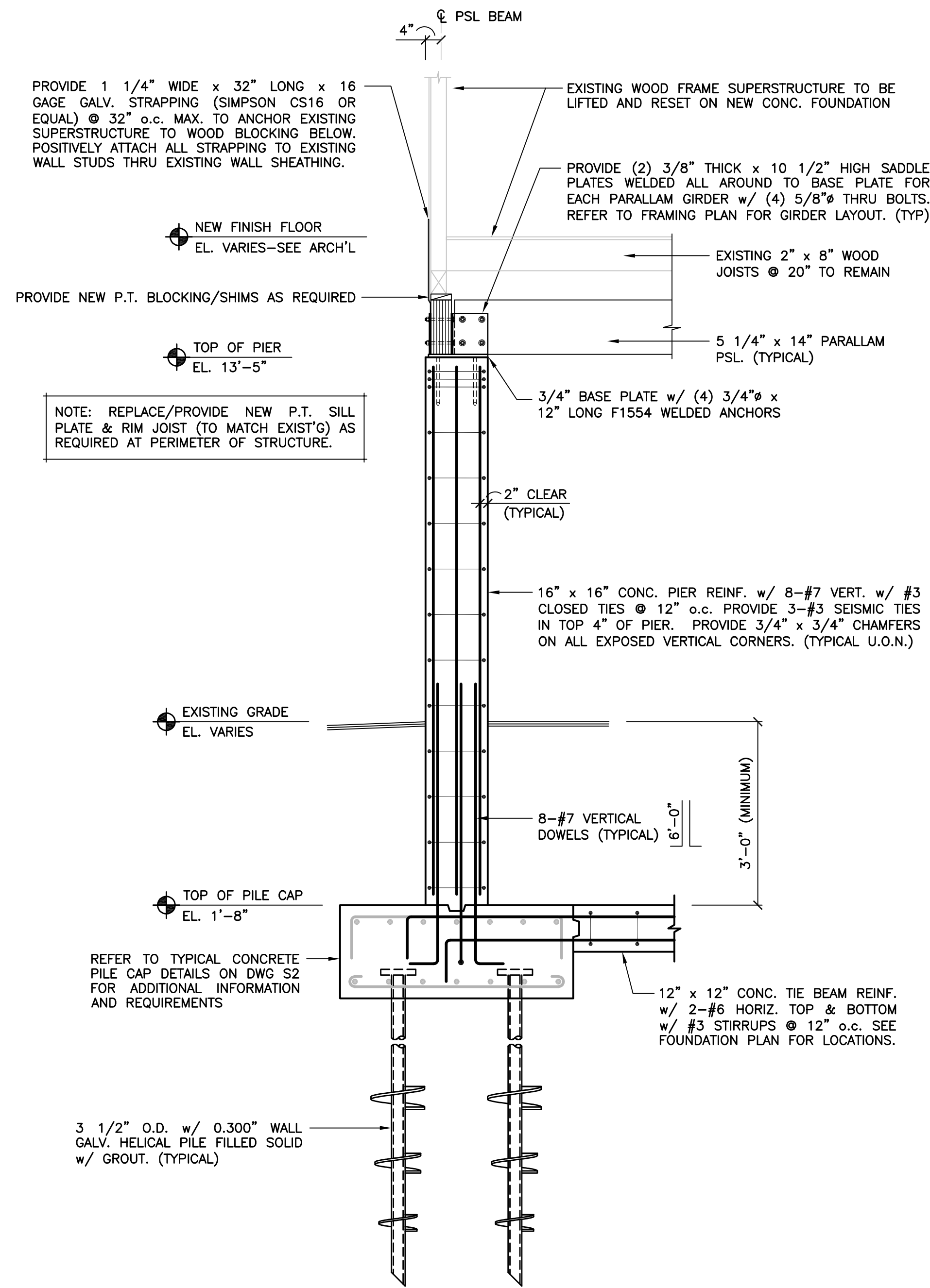
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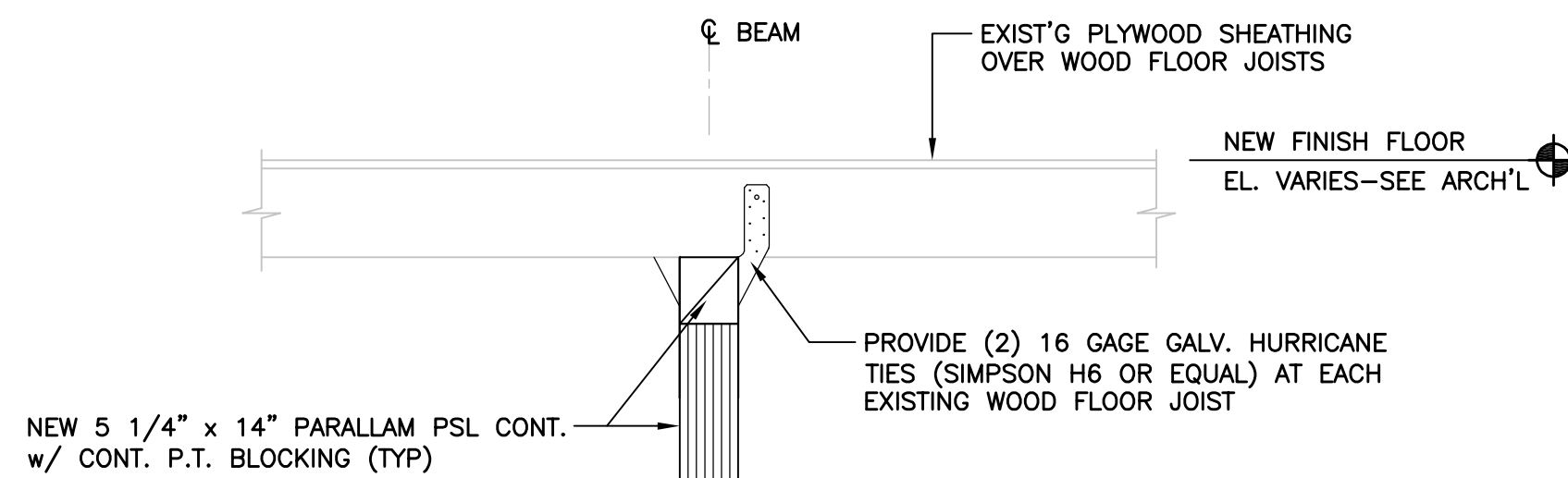
FOUNDATION DESIGN

FIRST FLOOR FRAMING
SUPPORT PLAN

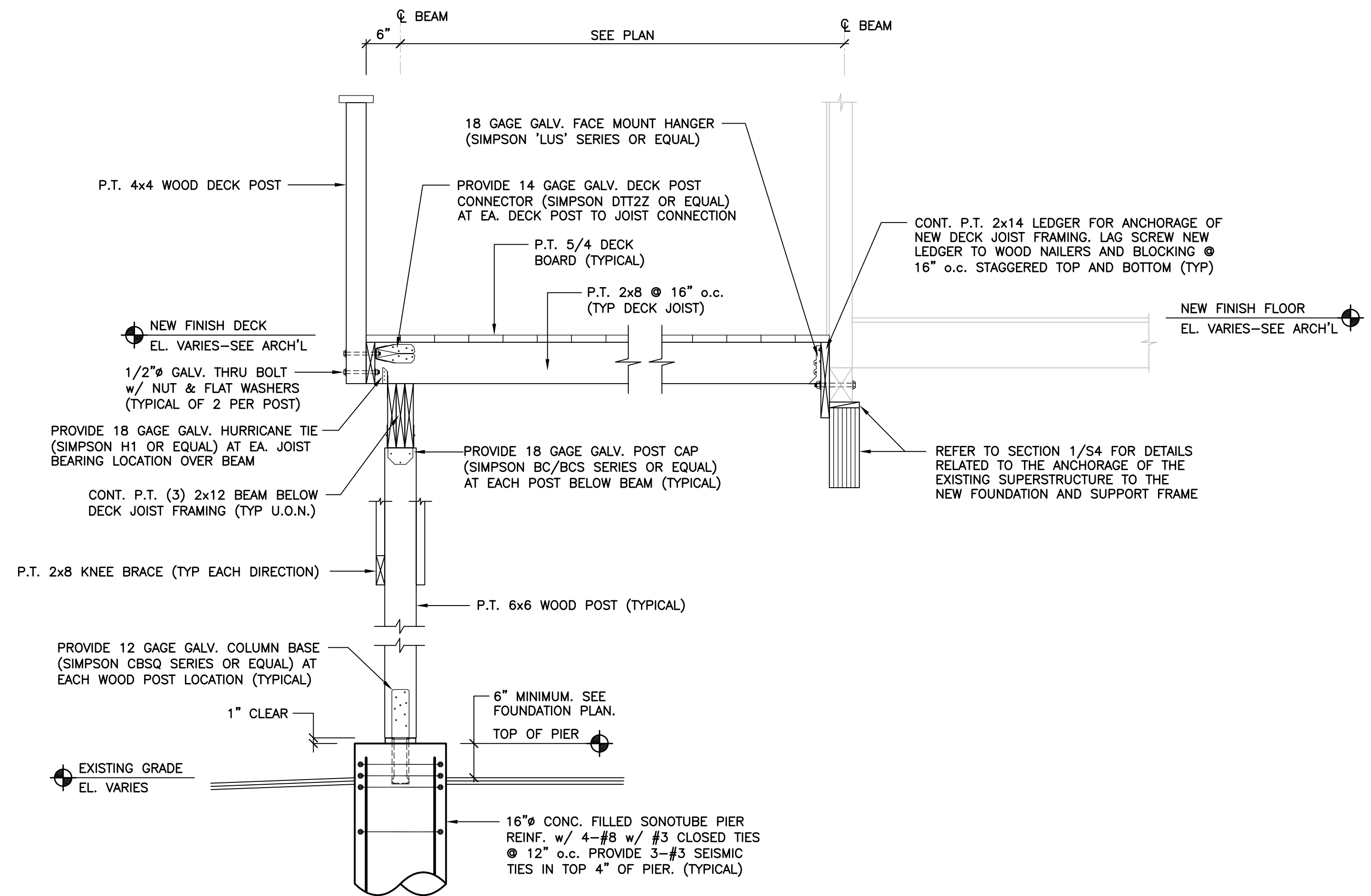
JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	21706 S1-S4.dwg	S3



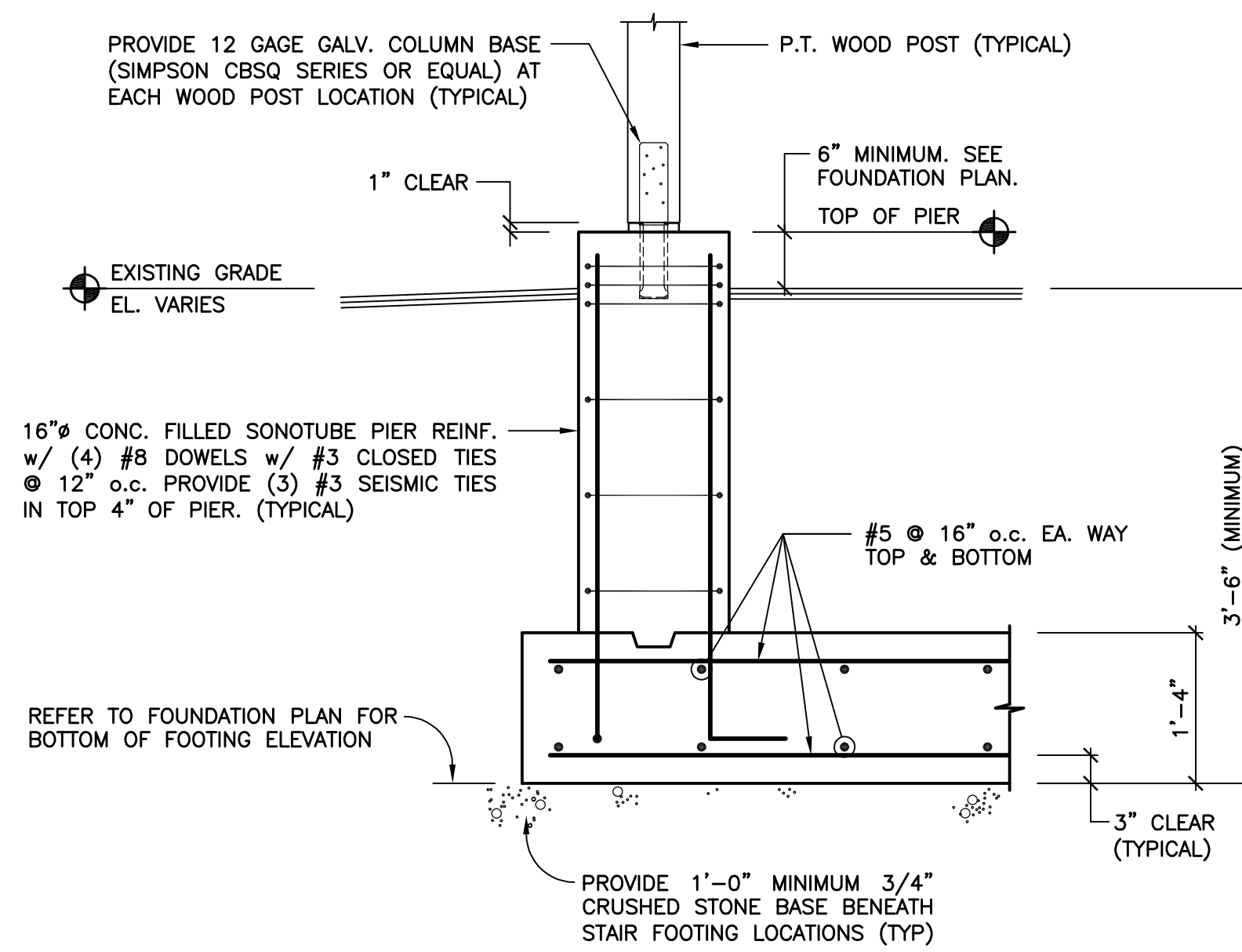
SECTION 1
SCALE: 1/2" = 1'-0"



SECTION 2
SCALE: 3/4" = 1'-0"



SECTION 3
SCALE: 3/4" = 1'-0"



SECTION 4
NO SCALE

(TYPICAL STAIR/LANDING FOUNDATION)

NO.	DATE	REVISIONS	BY	CHK	APPV
3	8/29/2017	ISSUED FOR RE-BID	DEB	TAT	TAT
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DRAWN BY: DEB			CHECKED BY: TAT		
SCALE: AS NOTED			DATE: 3/2/2017		

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AND SEAL

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FOUNDATION DESIGN

SECTIONS

JOB NO.	DRAWING NUMBER	SHEET
33-262-2203	21706 S1-S4.dwg	S4