

PROJECT 2149 - 896-898 HOWARD AVENUE, BRIDGEPORT, CT

COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION AND REBUILDING
CONNECTICUT DEPARTMENT OF HOUSING
HARTFORD, CONNECTICUT 06112

GENERAL NOTES:

1. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS.
2. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MARTINEZ COUCH & ASSOCIATES IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MARTINEZ COUCH & ASSOCIATES PRIOR TO BIDDING.

DRAWING INDEX

SHEET TITLE

TITLE SHEET
SCHEMATIC LAYOUT – ROOF PLAN & WORK NOTES
SCHEMATIC LAYOUT – GRADE LEVEL & WORK NOTES

SHEET NUMBER

T–0.0
A–1.0
A–1.1

THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

PROJECT 2149 - 896-898 HOWARD AVENUE
BRIDGEPORT, CT 06605

NO.	DATE	REVISIONS					BY	CHK	APPV
DRAWN BY: MBR		CHECKED BY: REC		SCALE: AS NOTED		DATE: 02/06/2015			

TITLE SHEET

	JOB NO.	DRAWING NUMBER	SHEET
	33-262-2149	BASEMAP 33-262-2149.dwg	Title T-0.0

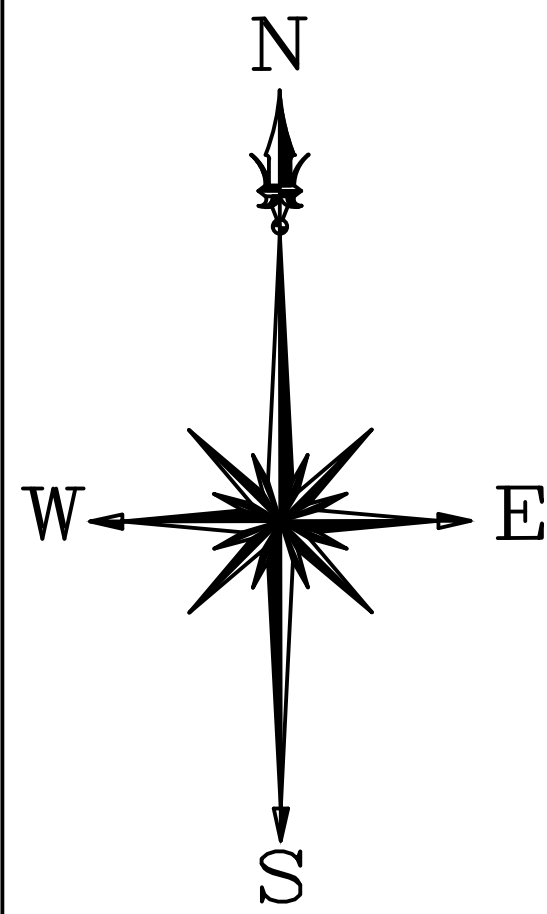


A graphic scale bar with three segments. The first segment on the left is 2.5 feet long and is divided into five equal squares, alternating black and white. The second segment is 0 feet long, marked with a vertical line. The third segment is 5 feet long and is solid black. Below the bar, a label indicates that 1 inch on the drawing represents 5 feet.



- 8 REFER TO CONTRACT SPECIFICATIONS

[illegible]

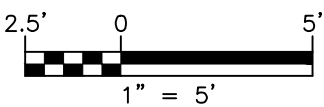


PLAN NORTH



GRADE LEVEL PLAN

SCALE 1" = 5'



THIS MAP IS A COPYRIGHTED WORK OF MARTINEZ COUCH AND ASSOCIATES, LLC. ALL RIGHTS RESERVED.



1084 Cromwell Avenue, Suite A-2
Rocky Hill, CT 06067
Telephone: (860) 436-4364
Fax: (860) 436-4626
www.martinezcouch.com

PROJECT 2149 - 896-898 HOWARD AVENUE
BRIDGEPORT, CT 06605



PHOTO 1
REAR PORCH – FIRST AND SECOND FLOOR
(N.T.S.)

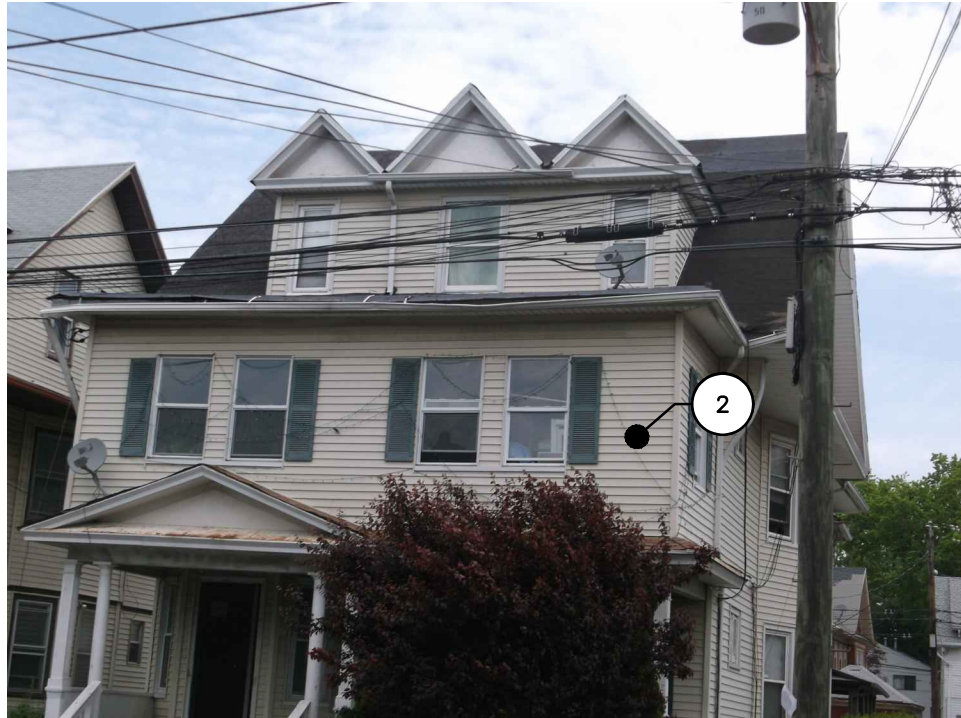


PHOTO 2
ENCLOSED SECOND FLOOR FRONT PORCH AS SEEN FROM HOWARD AVENUE
(N.T.S.)

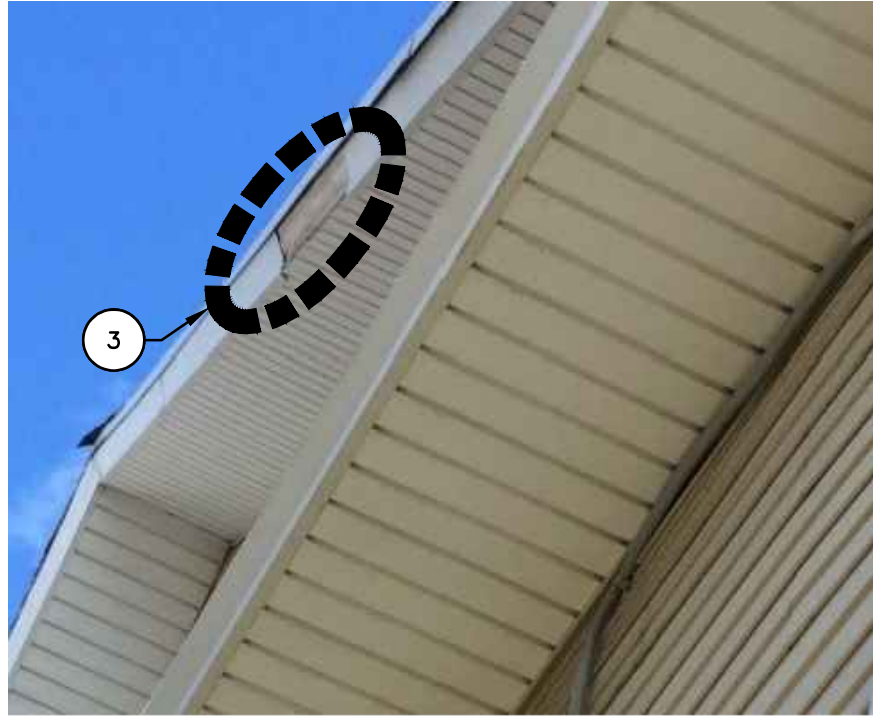


PHOTO 3
NON-INTACT LEADED PAINT SURFACE ON BUILDING FASCIA WALL 3
(N.T.S.)

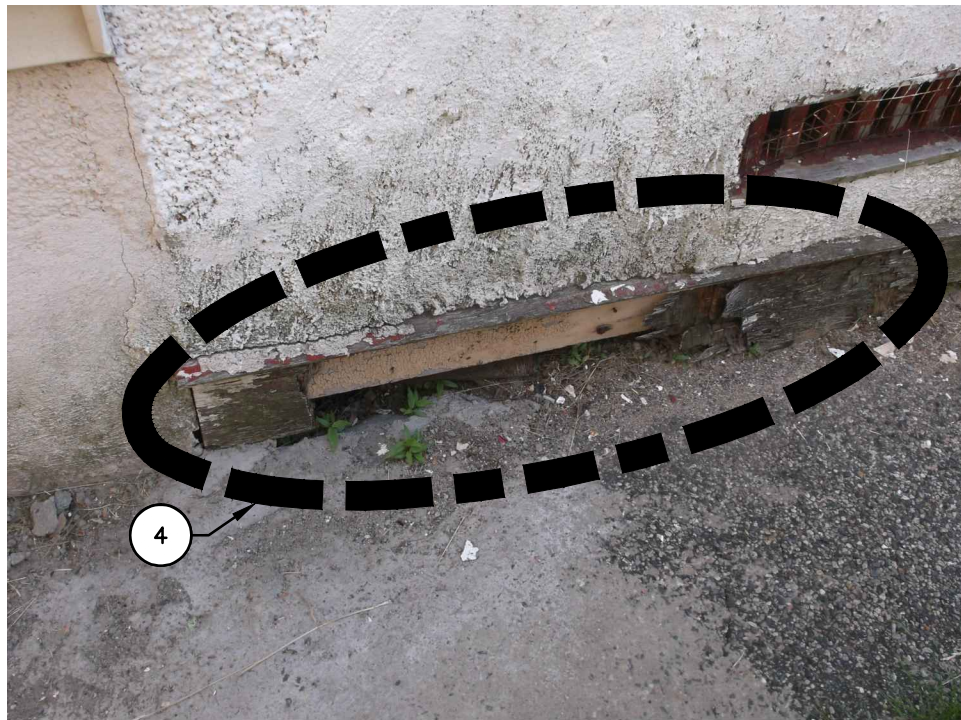


PHOTO 4
PORTION OF NON-INTACT LEADED PAINT SURFACE SHOWN
FRONT PORCH WALL 2
(N.T.S.)



PHOTO 5
NON-INTACT LEADED SURFACE BASEMENT WINDOW TRIM
ONE OF MULTIPLE WINDOWS SHOWN
(N.T.S.)

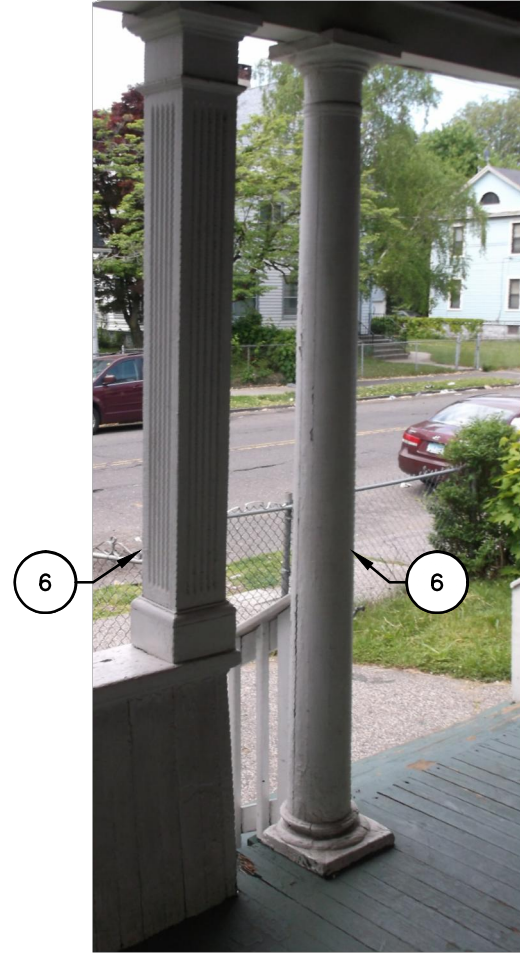


PHOTO 6
NON-INTACT LEADED SURFACE FRONT PORCH COLUMNS,
TWO OF MULTIPLE COLUMNS SHOWN
(N.T.S.)



PHOTO 7
NON-INTACT LEADED SURFACE FRONT PORCH ROOF TRIM
(N.T.S.)

GENERAL NOTES

- ALL DRAWINGS SHOWN ARE SCHEMATIC LAYOUTS. CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS AND CONTRACT SPECIFICATIONS AND/OR SCOPE OF WORK SHALL BE SUBMITTED IN WRITING TO MARTINEZ, COUCH, & ASSOCIATES FOR RESOLUTION.
- WORK SHALL BE IN ACCORDANCE WITH ALL CONTRACT DOCUMENTS AND SPECIFICATIONS.
- ANY AND ALL FINISHES, SITE FEATURES, OR OTHER PROPERTY OF THE OWNER IF DAMAGED BY THE CONTRACTOR DURING PROJECT WORK SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER OR THE CONNECTICUT DEPARTMENT OF HOUSING.

LEAD PAINT ABATEMENT
GENERAL NOTES

FOR COMPREHENSIVE LEAD INSPECTION REPORT AND FULL LEAD ABATEMENT PLAN SEE CONTRACT SPECIFICATIONS. ALL LEAD ABATEMENT WORK TO BE PERFORMED IN ACCORDANCE WITH CONTRACT SPECIFICATIONS AND LEAD ABATEMENT PLAN PREPARED BY GILBERTO LEAD INSPECTIONS LLC. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS APPLICABLE TO PROJECT ABATEMENT WORK AND AS INDICATED IN ABATEMENT SPECIFICATION SECTION 02 83 19.13 OF THE CONTRACT SPECIFICATIONS

ALL SURFACES SCHEDULED FOR REMOVAL OF LEADED PAINT SHALL BE REPAINTED TO MATCH ADJACENT FINISHES AS BEST POSSIBLE COLOR MATCHING

- SECOND FLOOR REAR PORCH
 - TRANSOM – LIQUID ENCAPSULATE OR REMOVE PAINT
 - THRESHOLD – REMOVAL OF LEADED PAINT
 - DOOR JAMB – REMOVAL OF LEADED PAINT
- ENCLOSED SECOND FLOOR FRONT PORCH
 - WINDOW SILLS – LIQUID ENCAPSULATE
 - WOOD WALLS – LIQUID ENCAPSULATE
 - CLAPBOARD – LIQUID ENCAPSULATE WALL 3
- EXTERIOR FASCIA RIGID ENCAPSULATE WITH METAL COIL STOCK
- EXTERIOR WOOD TRIM UNDER FRONT PORCH RIGID ENCAPSULATE WITH METAL COIL STOCK
- EXTERIOR BASEMENT WINDOW TRIM LIQUID ENCAPSULATE
- EXTERIOR FRONT PORCH COLUMNS LIQUID ENCAPSULATE
- EXPOSED WOOD ROOF TRIM ON FRONT PORCH RIGID ENCAPSULATE WITH METAL COIL STOCK
- EXTERIOR REAR DOOR CASING LIQUID ENCAPSULATE