

**Community Development Block Grant Disaster Recovery Program (CDBG-DR)
Owner Occupied Rehabilitation and Rebuilding Program (OORR)**

(#1773) 369 HUBBARD ROAD, HIGGANUM, CT

**Addendum # 01
September 13, 2017**

GENERAL / CLARIFICATIONS

Pre Bid Attendance List	(see attached)
Revised Drawings	(see attached)
Revised Bid Form	(see attached)

Clarification

1. All roofing to be removed. (Plywood to be replaced should be identified as a SF Unit Price).
2. Add Gutter and leader at South Side eve of Bonus Room. Reuse all other gutters and downspouts. Provide splash guard – see plans.
3. Bonus Room entire floor to be and refinished after repairing damaged areas. Note 11' x 11' area for the Hot Tub to remain – see plans.
4. Owner shall empty Bonus Room Furniture. Contractor to remove, store, reinstall Gas Stove.
5. Within Bonus Room, only damaged Drywall shall be replaced. Ceilings shall have two new expansion Joints at full length.
6. Entire Bonus Room Walls and Ceilings to be painted.
7. Add Unit costs to bid form for new roof rafter replacement (each). Replacement shall be determined in the field.
8. Garage Ceiling shall be patch at areas of deterioration.
9. Entire Garage Ceiling shall be painted.
10. Install crown molding in dining room – see plans.

END OF ADDENDUM #1

Superstorm Sandy – Connecticut Department of Housing – CDBG-DR

REHABILITATION / RECONSTRUCTION WORK FOR

PETER & GLADYS LABAS – 369 HUBBARD ROAD – HIGGANUM, CT

SEPTEMBER 12, 2017

PRE-BID WALK-THROUGH SIGN-IN SHEET

Name	Company	Address	Phone & Fax	Email
Jonathan Pudlo	C Donovan Associates		860 642 0700	bonnie@cdonovan.com
Daniel Hayden	MDW Abtchen		203-591-7471	MDW Abtchen@gmail.com
Robert S. Kleber	Vase Co.		203-294-7682	Robert@VaseManagement.com
Robert D. Warner	Kenneth Warner & Sons Inc	65-3 N. BFD Rd Branford, Ct 06405	203-982-3481	Robertwarner42@Icloud.com
Bob Riedeman	Oregon Bob LLC	202 merwin ave Miford Ct 06460	203-656-1475	Oregonbob1225@yahoo.com
MIKE CASEY	CASEY Roofing	257 SCOTT RD BPT CT 06605	203-334-0854	CASEY Roofing CO INC @GMAIL.COM
Jim Rasm	J.R. Rasm, LLC			
Kelly Claffey	Pinck & Co.	2389 main St Glastenbury, CT	413-237-3403	kclaffey@pinck-co.com

REVISED BID FORM

The undersigned, being familiarized with the local conditions affecting the cost of the work and with the Drawings, Specifications, Invitation to Bidders, Instructions to Bidders, General Conditions, Bid Form, Form of Contract and Form of Bonds for Project No. **1773 EE** and Addenda No. _____ and _____ thereto, as prepared by Quisenberry Arcari Architects, LLC at 318 Main Street, Farmington, CT 06032, and on file in the office of DOH, hereby proposes to furnish all permits, labor, materials, tools, equipment and related items required for the rehabilitation and reconstruction including general construction, site improvements, plumbing, heating, electrical and finish items for said Project No. **1773 EE** located at **369 Hubbard Road, Fairfield**, State of Connecticut, all in accordance with the Drawings and Specifications, for the sum of :

_____ Dollars (\$ _____)

<i>Section #</i>	<i>Scope of Work</i>	<i>Subcontractor</i>	<i>Labor Cost</i>	<i>Material</i>	<i>Total</i>
TOTAL COST					

ALLOWANCES

#1 **(\$5,000) For Miscellaneous Improvements**

Contractor to initial to acknowledge
inclusion of allowance in base bid price

UNIT PRICES

#1 **Plywood Roof Sheathing/SF \$ _____**

Contractor to initial to acknowledge
inclusion of allowance in base bid price

#2 **Roof Rafters/unit \$ _____**

Contractor to initial to acknowledge
inclusion of allowance in base bid price



QUISENBERRY ARCARI ARCHITECTS, LLC

318 Main Street, Farmington, CT 06032 www.qa-architects.com t (860) 677 - 4594 f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

PETER & GLADYS LABAS

APPLICANT #1773

ISSUE DATE: 07/07/17

369 HUBBARD ROAD

HIGGANUM, CT

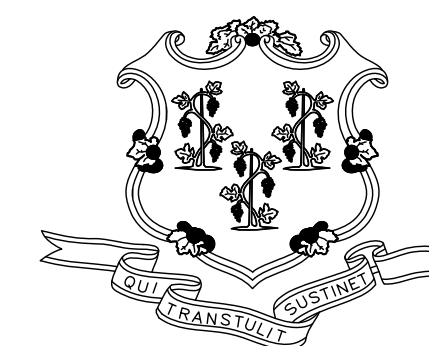
LIST OF DRAWINGS

G1.0 COVER
A1.0 GENERAL NOTES
REPAIR PLANS

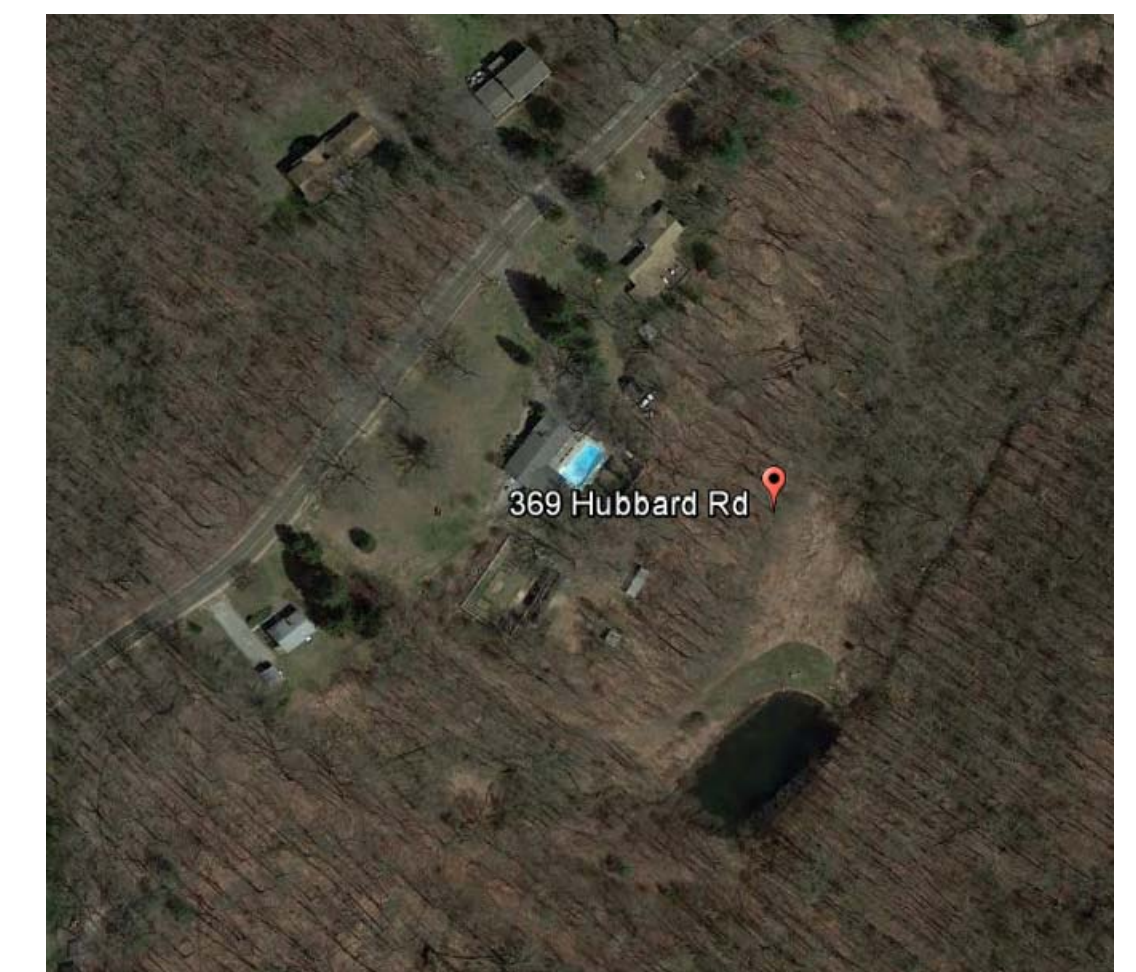
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

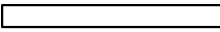




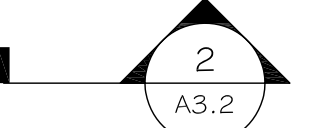
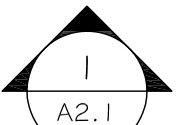
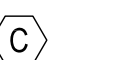

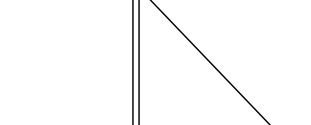

OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING



LOCATION MAP

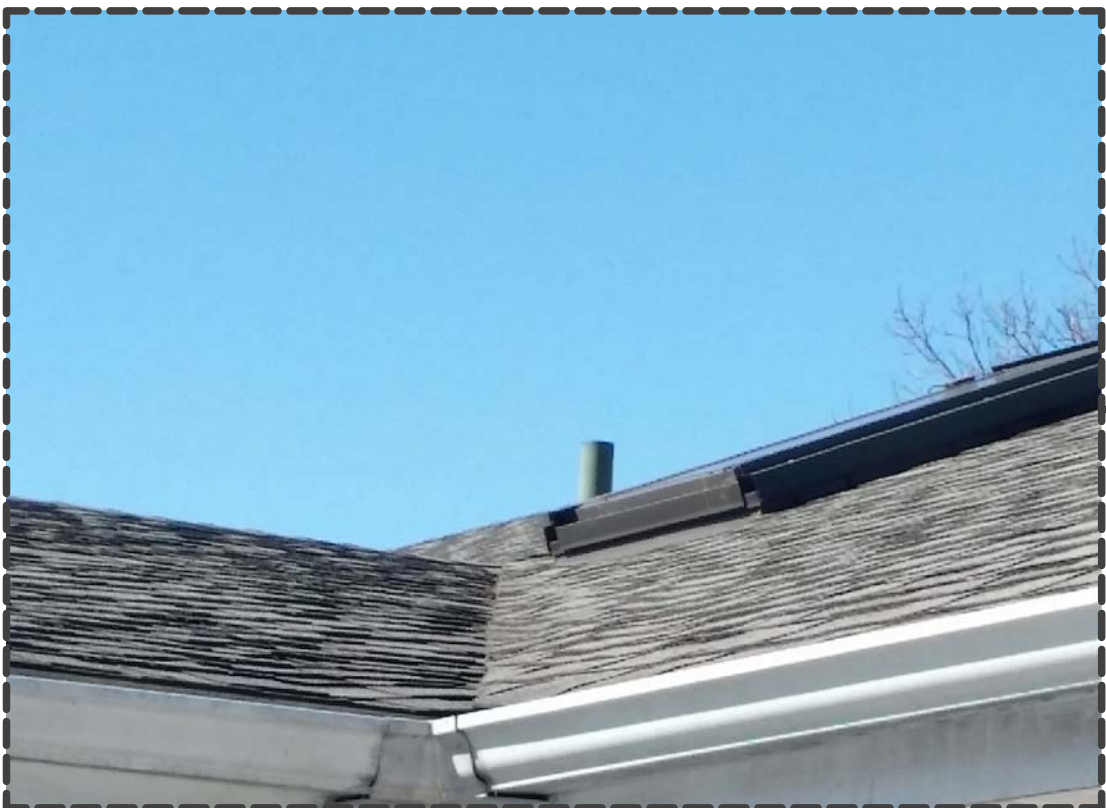


ABBREVIATIONS				DESIGN CRITERIA	
A.F.F.	Above Finish Floor	HGT.	Height	CODES THIS PROJECT WAS DESIGNED TO:	
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal	2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT	
A.C.T.	Acoustical Tile	HORIZ.	Horizontal	2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT	
A/C	Air Conditioning	H.B.	Hose Bibb	2011 NATIONAL ELECTRICAL CODE (NEPA 70) W/ 2013 CONNECTICUT AMENDMENT	
A.H.U.	Air Handling Unit	IN.	Inch	ARCHITECTURAL SYMBOLS	
ALT.	Alternate	INCL.	Included		EXISTING WALL
ALUM.	Aluminum	INFO.	Information		WALL TO BE DEMOLISHED
ALF.	Aluminum Frame	I.D.	Inside Diameter		NEW STUD WALL
ANCH.	Anchor, Anchorage	INSUL.	Insulation		NEW CMU WALL
AB.	Anchor Bolt	INT.	Interior		NEW FOUNDATION WALL
L	Angle	JT.	Joint	KITCHEN HARDWOOD 1'-0"x1'-2'-0"	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
ANOD.	Anodized	K.P.	Kick Plate		SECTION MARKER
APPR.	Approved	LAB	Laboratory		ELEVATION MARKER
ARCH.	Architect, Architectural	LAV.	Lavatory		WINDOW IDENTIFICATION
ASB.	Asbestos	LTG.	Lighting		ELEVATION MARKER
A.P.B.O.	As Provided By Owner	MACH.	Machine		EXISTING DOOR
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance		NEW DOOR
ASPH.	Asphalt	MFRG.	Manufacturer	FINISHES	
ASSY.	Assembly	M.B.D.	Marker Board	GYPSUM BOARD	
ASST.	Assistant	MA5.	Masonry	1. PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.	
AUTO.	Automatic	M.O.	Masonry Opening	2. PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.	
BM	Beam	MAT.	Matenal	3. PROVIDE 1/2" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. 3/4" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.	
BRG.	Beaming	MAX.	Maximum	PAINT	
BEV.	Bevel, Beveled	MECH.	Mechanical	1. APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.	
BIT.	Bituminous	MEZZ.	Mezzanine	THERMAL & MOISTURE PROTECTION	
BLK.	Block	MIN.	Minimum	1. PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING: A. EXTERIOR WALLS: R-19 MINIMUM B. SLOPED CEILINGS: R-30 MINIMUM C. FLAT CEILINGS: R-38 MINIMUM D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM E. CEILINGS OVER BASEMENT: R-21 MINIMUM	
BLKG.	Blocking	MISC.	Miscellaneous	2. INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.	
BD.	Board	N	North	3. DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.	
BOT.	Bottom	N.I.C.	Not In Contract	4. INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.	
B.O.	Bottom Of	N.T.S.	Not To Scale	GENERAL NOTES	
B.E.J.	Brck Expansion Joint	OFF.	Office	1. ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.	
BLDG.	Building	O.C.	On Center	2. NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.	
B.U.R.	Built Up Roofing	O.H.	Overhead	3. THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.	
CAB.	Cabinet	O.D.	Outside Diameter	4. UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.	
C.U.H.	Cabinet Unit Heater	PTD.	Painted	5. PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE OWNER.	
CAP.	Capacity	PR.	Pair	6. EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.	
CASE	Casement	P.T.D.	Paper Towel Dispenser	PROPOSED RENOVATIONS TO:	
CLG.	Ceiling	PASS.	Passage		
CLGHT.	Ceiling Height	PERP.	Perpendicular	PETER & GLADYS LABAS	
CEM.	Cement	PLAS.	Plaster		
CTR.	Center	PLAM.	Plastic Laminat	Higganum, CT	
CL.	Centerline	PL.	Plate		
C.T.	Ceramic Tile	PLUMB.	Plumbing	369 HUBBARD ROAD	
C.BD.	Chalk Board	PLYWD.	Plywood		
CLO.	Closet	PVC.	Polyvinylchloride	Sheet Description:	
COL.	Column	P.E.J.	Precast Expansion Joint		
CONC.	Concrete	PREFAB.	Prefabricated	GENERAL NOTES	
CONF.	Conference	QTY.	Quantity		
CJ	Control Joint	Q.T.	Quarry Tile	Issue Dates:	
CONT.	Continuous	RAD.	Radius		
CONTR.	Contractor	RWC	Rain Water Conductor	July 7, 2017	
CORR.	Corridor	REC.V.	Receiving		
CRS.	Course, Courses	REFR.	Refrigerator	No Scale	
DEG.	Degree	REINF.	Reinforce		
DEMO.	Demolition	REM	Remove	Project #:	
DEPT.	Department	REQ'D	Required		
DET.	Detail	REV.	Revised, Revision	QA 1730-02	
DIA.	Diameter	R.	Riser		
DIM.	Dimension	R.D.	Roof Drain	CpH	
DIST.	Distance	RM.	Room		
DR.	Door	S.N.D.	Sanitary Napkin Dispenser	Sheet #:	
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle		
D.H.	Double Hung	SCHED.	Schedule	G1.0	
DN	Down	SC.	Scupper		
D.S.	Downspout	SECT.	Section	QA 1730-02	
DWG.	Drawing	S.J.	Seismic Joint		
D.F.	Drinking Fountain	SHT.	Sheet	CpH	
EA.	Each	SIM.	Similar		
ELEC.	Electric, Electrical	S.D.	Soap Dispenser	G1.0	
EW.C.	Electric Water Cooler	S.T.D.	Sound Transmission Class		
EL.	Elevation	S.T.C.	Sound Transmission Coefficient	G1.0	
ELEV.	Elevator	SPEC.	Specifications		
EMERG.	Emergency	SQ.	Square	G1.0	
EQ.	Equal	S.F.	Square Feet		
EQUIP.	Equipment	S.S.	Stainless Steel	G1.0	
EXIST.	Existing	STD.	Standard		
E.T.R.	Existing To Remain	STL.	Steel	G1.0	
EXP.	Expansion	STOR.	Storage		
E.J.	Expansion Joint	STRUCT.	Structure, Structural	G1.0	
EXT.	Exterior	S.STL.	Structural Steel		
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension	G1.0	
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling		
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board	G1.0	
FIN.	Finish, Finished	THRU	Through		
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser	G1.0	
F.R.	Fire Retardant	T.M.E.	To Match Existing		
FPRFG.	Fireproofing	T&G	Tongue and Groove	G1.0	
FIXT.	Fixture	T.O.	Top Of		
FLASH	Flashing	T.	Tread	G1.0	
FLR.	Floor	TYP.	Typical		
F.D.	Floor Drain	U.L.	Underwnter's Laboratory	G1.0	
FLR.FIN.	Floor Finish	U.H.	Unit Heater		
FTG.	Footing	U.V.	Unit Ventilator	G1.0	
FDN	Foundation	U.O.N.	Unless Otherwise Noted		
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule	G1.0	
FURR.	Furred, Furnng	VCT.	Vinyl Composition Tile		
GA.	Gauge	W.P.	Waterproofing	G1.0	
GALV.	Galvanized	W.W.F.	Welded Wire Fabnc		
GYP..BD.	Gypsum Board	W.BD.	White Board	G1.0	
G.C.	General Contractor	W/	With		
H.C.	Handicapped	WD.	Wood	G1.0	

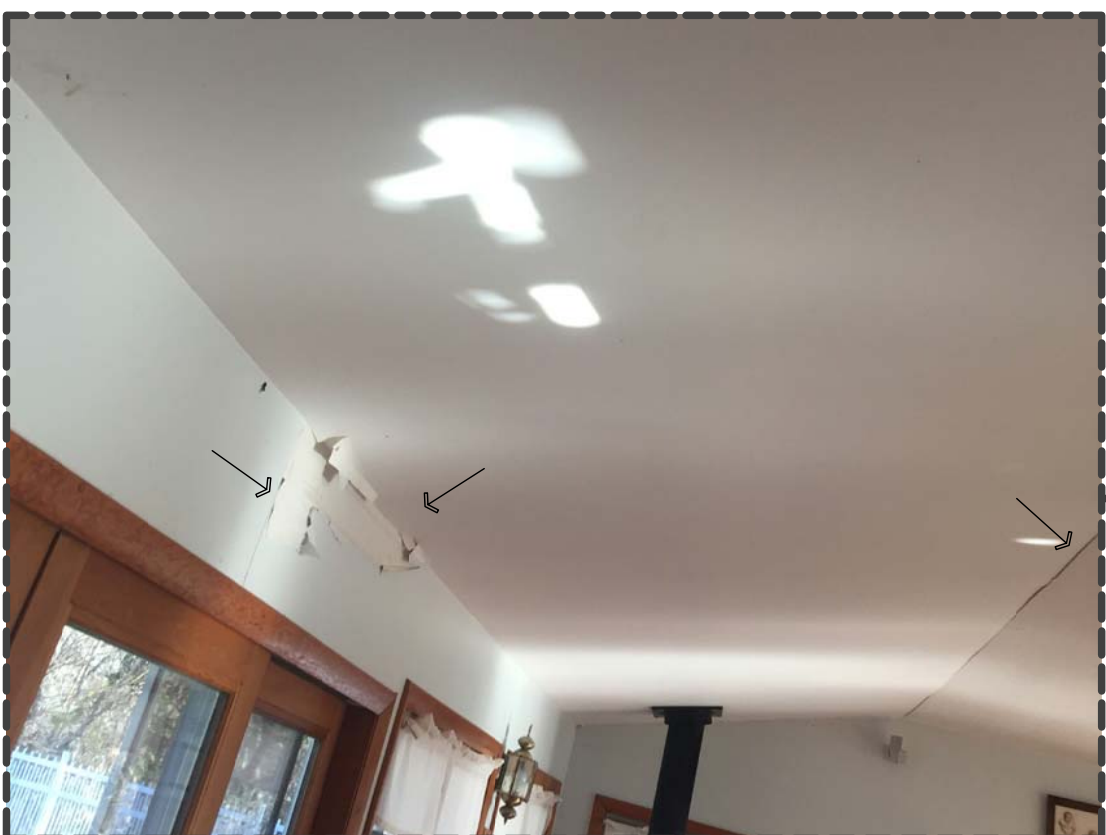
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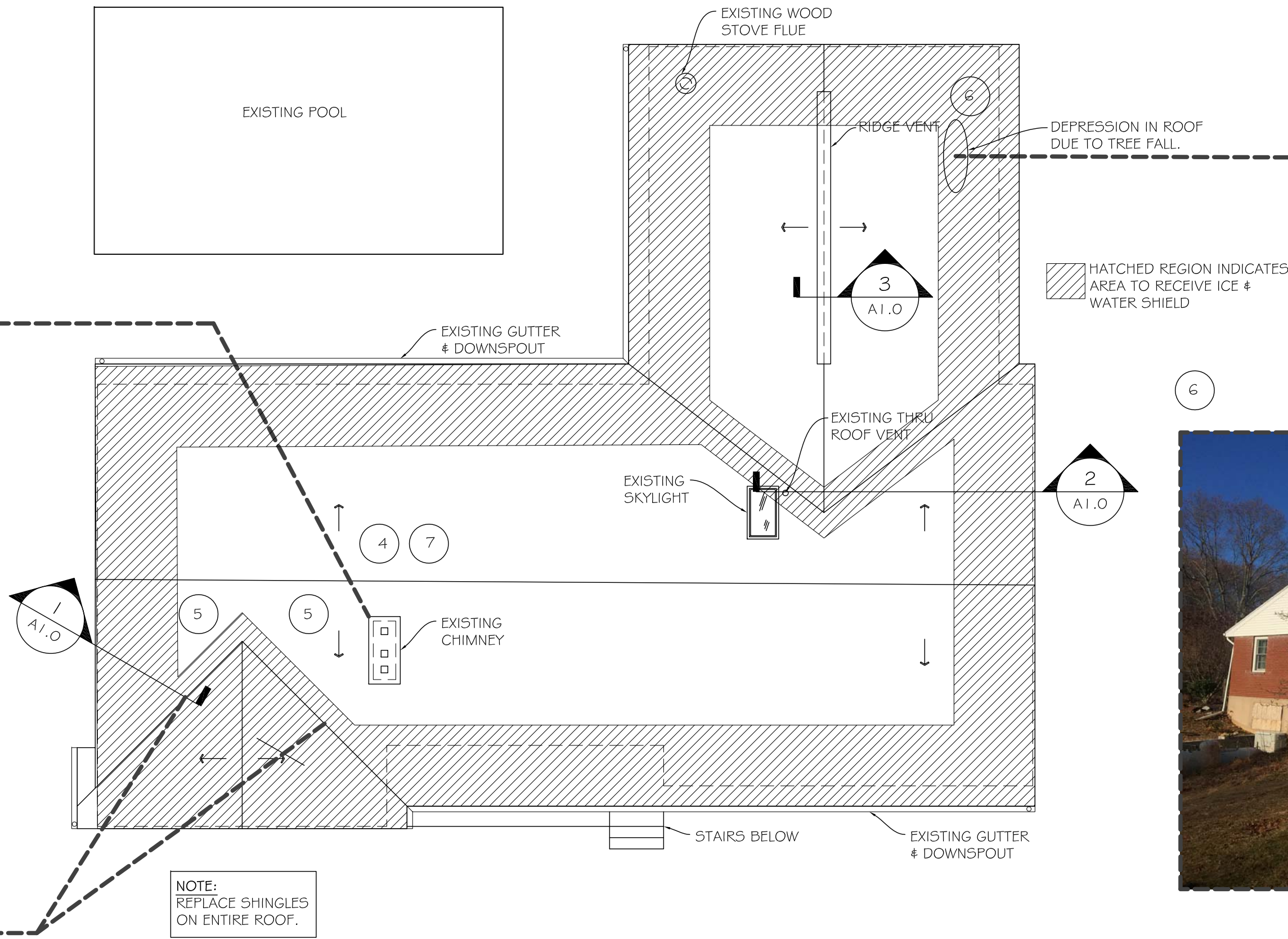
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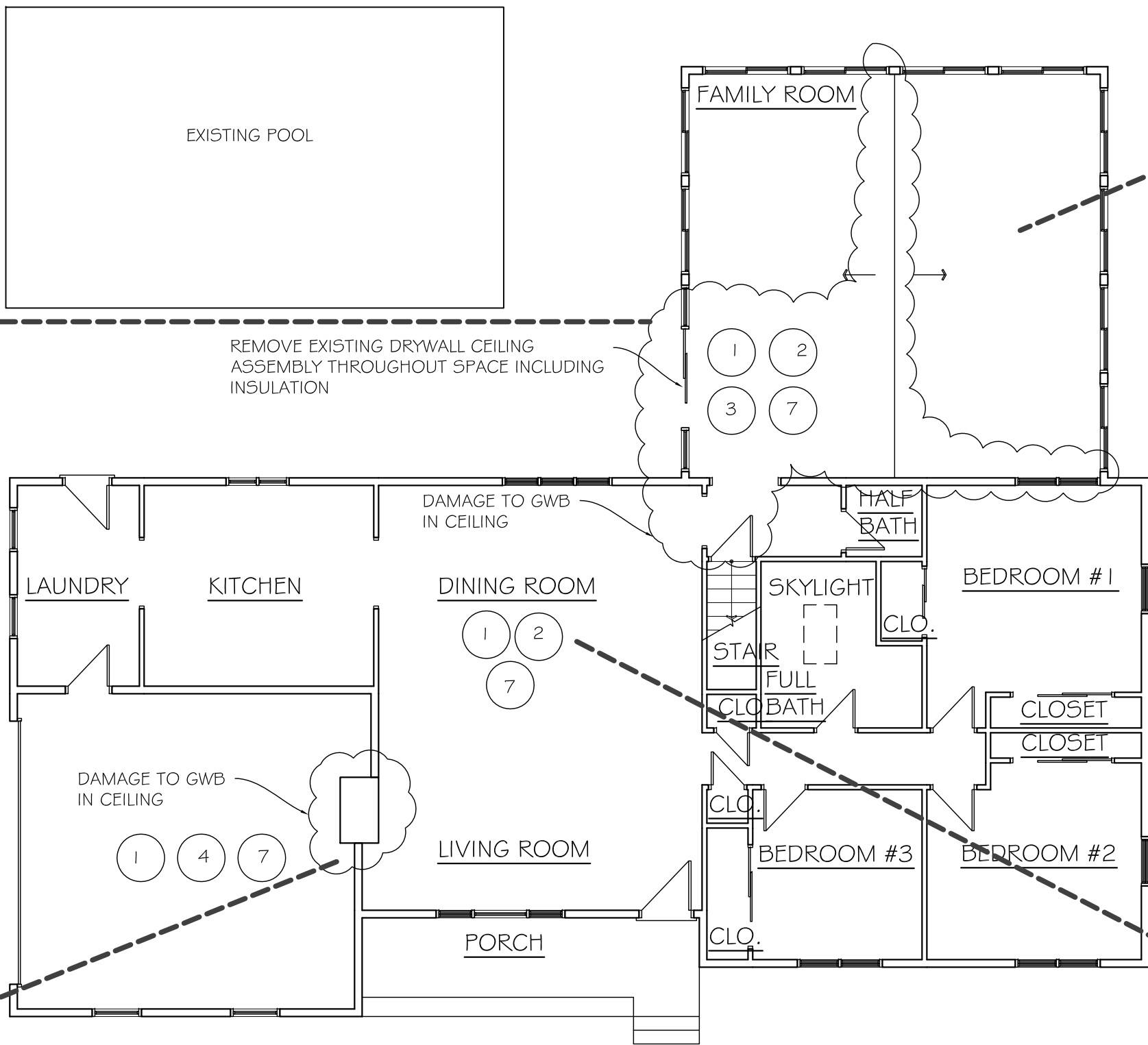
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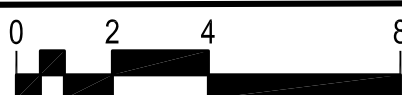
EXISTING ROOF PLAN
SCALE: 1/8"=1'-0"



5



EXISTING FLOOR PLAN
SCALE: 1/8"=1'-0"



4

6



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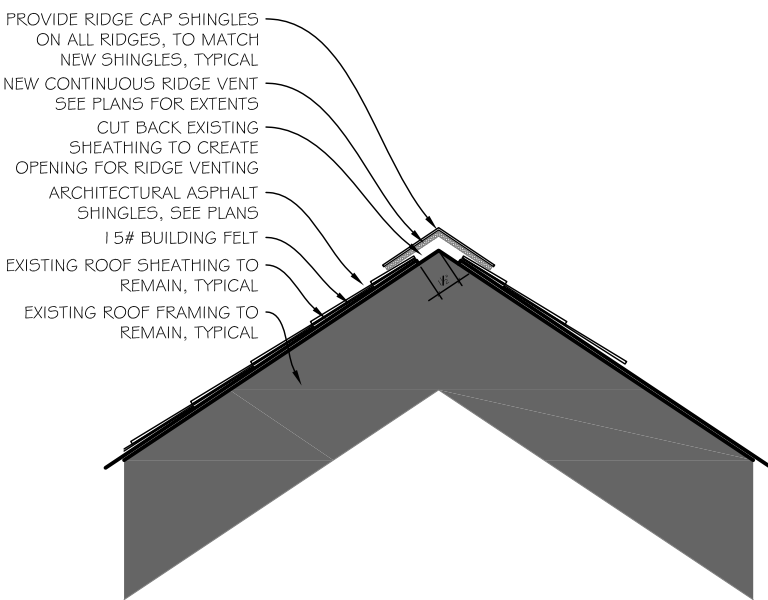


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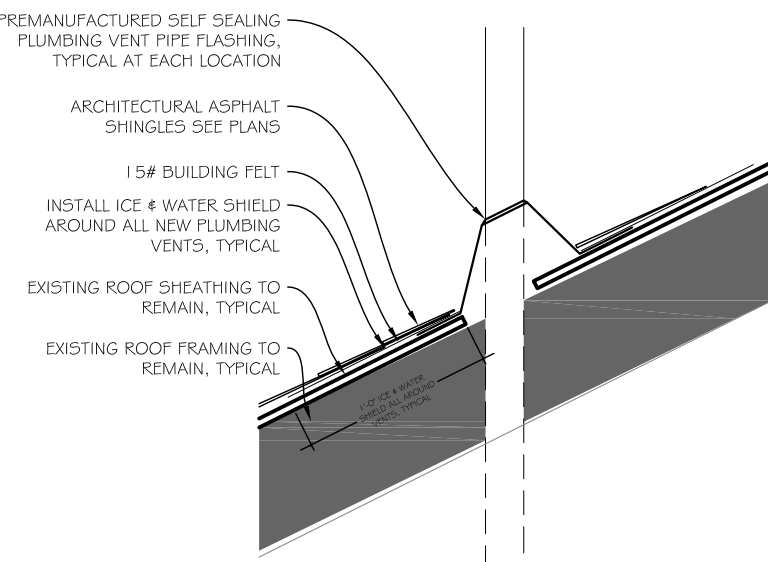
KEY NOTES

1. PREP, PRIME & PAINT EXISTING GYPSUM BOARD CEILINGS. GYPSUM BOARD CEILING TO BE TAPED, PRIMED AND PAINTED TO MATCH EXISTING. EXACT EXISTING GYPSUM BOARD CEILING CONSTRUCTION, THICKNESS AND HEIGHT AND FINISH TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
2. PREP, PRIME & PAINT EXISTING DRYWALL. PATCH & REPAIR DRYWALL AS REQUIRED TO PROVIDE A SMOOTH PAINTABLE FINISH TO MATCH EXISTING.
3. REPAIR HARDWOOD FLOORING WHERE THERE IS BUCKLING AND/OR WATER DAMAGE. STRIP, SAND, AND REFINISH EXISTING FLOORS. REMOVE, STORE, RE-INSTALL AND REPAINT ALL BASE TRIM AS REQD.
4. REPAIR OR REPLACE FLASHING AROUND CHIMNEY ABOVE GARAGE.
5. REMOVE EXISTING SHINGLES AND INSPECT VALLEY TO ENSURE THAT IS FLASHED PROPERLY. REPLACE ROOF SHINGLES AS REQD. AND TO MATCH EXISTING.
6. OPEN UNACCESSIBLE PORTION OF ROOF (ABOVE FAMILY ROOM) AND INSPECT EXTENT OF STRUCTURAL DAMAGE BY TREEFALL. REPAIR AND / OR REPLACE AS REQUIRED NEAR NEW WORK AND AS DAMAGED BY SANDY.
7. AS REQUIRED REMEDIATE HAZARDOUS MATERIALS. SEE HAZMAT REPORT AND SPECIFICATIONS FOR ABATEMENT LOCATIONS AND PROCEDURES.



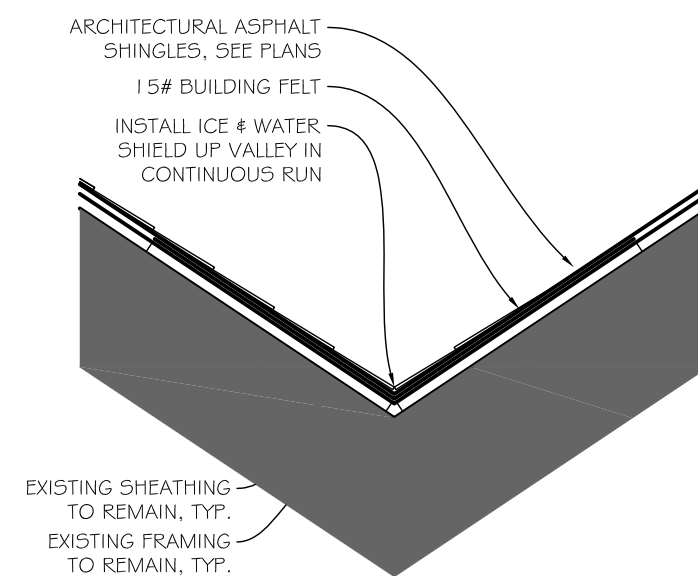
TYP. RIDGE VENT DETAIL
SCALE: 1"=1'-0"

3



TYP. VENT DETAIL
SCALE: 1"=1'-0"

2



TYP. VALLEY DETAIL
SCALE: 1"=1'-0"

1



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PROPOSED RENOVATIONS TO:

PETER & GLADYS LABAS

Higganum, CT

369 HUBBARD ROAD

Sheet Description:

REPAIR PLANS

Issue Dates:

July 7, 2017

Project #:

QA 1730-02

CpH

Sheet #:

A1.0