



QUISENBERRY ARCARI ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

PETER & GLADYS LABAS

APPLICANT #1773

ISSUE DATE: 07/07/17

369 HUBBARD ROAD

HIGGANUM, CT

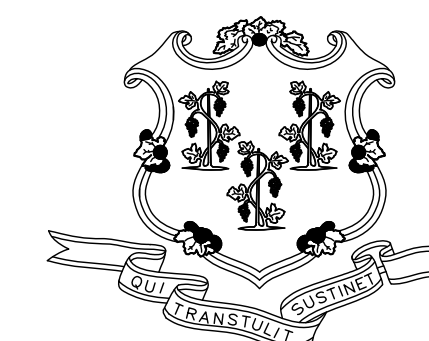
LIST OF DRAWINGS

G1.0 COVER
A1.0 GENERAL NOTES
REPAIR PLANS

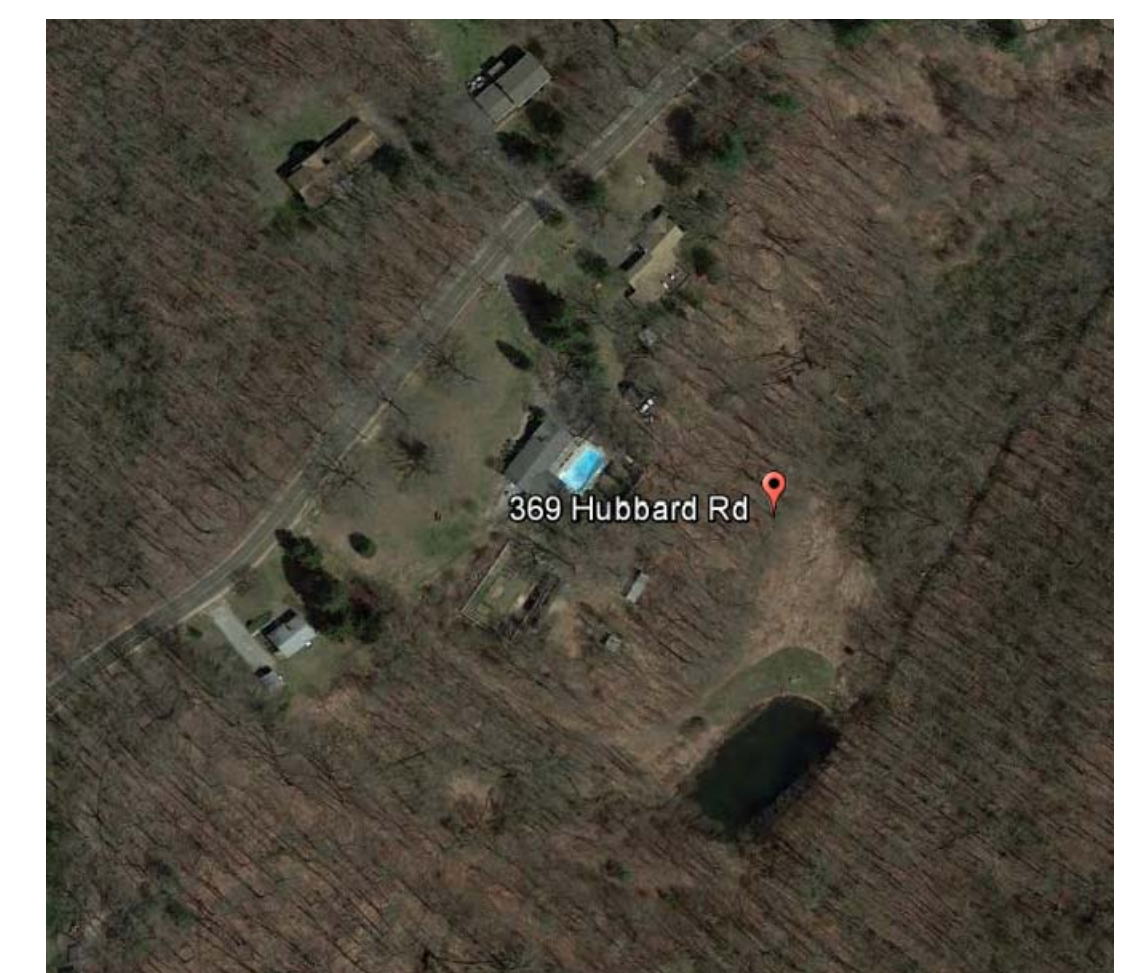
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

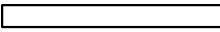
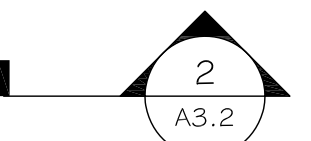
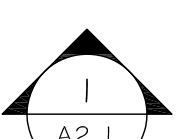
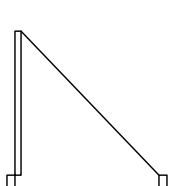
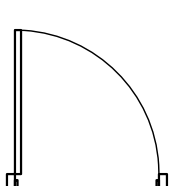
OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING



LOCATION MAP



ABBREVIATIONS				DESIGN CRITERIA	
A.F.F.	Above Finish Floor	HGT.	Height	CODES THIS PROJECT WAS DESIGNED TO:	
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal	2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT	
A.C.T.	Acoustical Tile	HORIZ.	Horizontal	2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT	
A/C	Air Conditioning	H.B.	Hose Bibb	2011 NATIONAL ELECTRICAL CODE (NEPA 70) W/ 2013 CONNECTICUT AMENDMENT	
A.H.U.	Air Handling Unit	IN.	Inch	ARCHITECTURAL SYMBOLS	
ALT.	Alternate	INCL.	Included		EXISTING WALL
ALUM.	Aluminum	INFO.	Information		WALL TO BE DEMOLISHED
ALF.	Aluminum Frame	I.D.	Inside Diameter		NEW STUD WALL
ANCH.	Anchor, Anchorage	INSUL.	Insulation		NEW CMU WALL
AB.	Anchor Bolt	INT.	Interior		NEW FOUNDATION WALL
L	Angle	JT.	Joint	KITCHEN HARDWOOD 1'-5"-0"x1 2'-0"	
ANOD.	Anodized	K.P.	Kick Plate		SECTION MARKER
APPR.	Approved	LAB	Laboratory		ELEVATION MARKER
ARCH.	Architect, Architectural	LAV.	Lavatory		WINDOW IDENTIFICATION
ASB.	Asbestos	LTG.	Lighting		ELEVATION MARKER
A.P.B.O.	As Provided By Owner	MACH.	Machine		
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance		
ASPH.	Asphalt	MFRG.	Manufacturer	EXISTING DOOR	
ASSY.	Assembly	M.BD.	Marker Board	NEW DOOR	
ASST.	Assistant	MA5.	Masonry	FINISHES	
AUTO.	Automatic	M.O.	Masonry Opening	GYPSUM BOARD	
BM	Beam	MAT.	Matenal	1. PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREDY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.	
BRG.	Beaming	MAX.	Maximum	2. PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.	
BEV.	Bevel, Beveled	MECH.	Mechanical	3. PROVIDE 1/2" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. 3/4" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.	
BIT.	Bituminous	MEZZ.	Mezzanine	PAINT	
BLK.	Block	MIN.	Minimum	1. APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.	
BLKG.	Blocking	MISC.	Miscellaneous	THERMAL & MOISTURE PROTECTION	
BD.	Board	N	North	1. PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING:	
BOT.	Bottom	N.I.C.	Not In Contract	A. EXTERIOR WALLS: R-19 MINIMUM	
B.O.	Bottom Of	N.T.S.	Not To Scale	B. SLOPED CEILINGS: R-30 MINIMUM	
B.E.J.	Brck Expansion Joint	OFF.	Office	C. FLAT CEILINGS: R-30 MINIMUM	
BLDG.	Building	O.C.	On Center	D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM	
B.U.R.	Built Up Roofing	O.H.	Overhead	E. CEILINGS OVER BASEMENT: R-21 MINIMUM	
CAB.	Cabinet	O.D.	Outside Diameter	2. INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.	
C.U.H.	Cabinet Unit Heater	PTD.	Painted	3. DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.	
CAP.	Capacity	PR.	Pair	4. INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.	
CASE	Casement	P.T.D.	Paper Towel Dispenser	GENERAL NOTES	
CLG.	Ceiling	PASS.	Passage	1. ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.	
CLGHT.	Ceiling Height	PERP.	Perpendicular	2. NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.	
CEM.	Cement	PLAS.	Plaster	3. THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.	
CTR.	Center	PLAM.	Plastic Laminat	4. UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.	
CL.	Centerline	PL.	Plate	5. PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE OWNER.	
C.T.	Ceramic Tile	PLUMB.	Plumbing	6. EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.	
C.BD.	Chalk Board	PLYWD.	Plywood		
CLO.	Closet	PVC.	Polyvinylchloride		
COL.	Column	P.E.J.	Precast Expansion Joint		
CONC.	Concrete	PREFAB.	Prefabricated		
CONF.	Conference	QTY.	Quantity		
CJ	Control Joint	Q.T.	Quarry Tile		
CONT.	Continuous	RAD.	Radius		
CONTR.	Contractor	RWC	Rain Water Conductor		
CORR.	Corridor	REC.V.	Receiving		
CRS.	Course, Courses	REFR.	Refrigerator		
DEG.	Degree	REINF.	Reinforce		
DEMO.	Demolition	REM	Remove		
DEPT.	Department	REQ'D	Required		
DET.	Detail	REV.	Revised, Revision		
DIA.	Diameter	R.	Riser		
DIM.	Dimension	R.D.	Roof Drain		
DIST.	Distance	RM.	Room		
DR.	Door	S.N.D.	Sanitary Napkin Dispenser		
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle		
D.H.	Double Hung	SCHED.	Schedule		
DN	Down	SC.	Scupper		
D.S.	Downspout	SECT.	Section		
DWG.	Drawing	S.J.	Seismic Joint		
D.F.	Drinking Fountain	SHT.	Sheet		
EA.	Each	SIM.	Similar		
ELEC.	Electric, Electrical	S.D.	Soap Dispenser		
EW.C.	Electric Water Cooler	S.T.D.	Sound Transmission Class		
EL.	Elevation	S.T.C.	Sound Transmission Coefficient		
ELEV.	Elevator	SPEC.	Specifications		
EMERG.	Emergency	SQ.	Square		
EQ.	Equal	S.F.	Square Feet		
EQUIP.	Equipment	S.S.	Stainless Steel		
EXIST.	Existing	STD.	Standard		
E.T.R.	Existing To Remain	STL.	Steel		
EXP.	Expansion	STOR.	Storage		
E.J.	Expansion Joint	STRUCT.	Structure, Structural		
EXT.	Exterior	S.STL.	Structural Steel		
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension		
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling		
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board		
FIN.	Finish, Finished	THRU	Through		
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser		
F.R.	Fire Retardant	T.M.E.	To Match Existing		
FPRFG.	Fireproofing	T&G	Tongue and Groove		
FIXT.	Fixture	T.O.	Top Of		
FLASH	Flashing	T.	Tread		
FLR.	Floor	TYP.	Typical		
F.D.	Floor Drain	U.L.	Underwnter's Laboratory		
FLR.FIN.	Floor Finish	U.H.	Unit Heater		
FTG.	Footing	U.V.	Unit Ventilator		
FDN	Foundation	U.O.N.	Unless Otherwise Noted		
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule		
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile		
GA.	Gauge	W.P.	Waterproofing		
GALV.	Galvanized	W.W.F.	Welded Wire Fabnc		
GYP..BD.	Gypsum Board	W.BD.	White Board		
G.C.	General Contractor	W/	With		
H.C.	Handicapped	WD.	Wood		

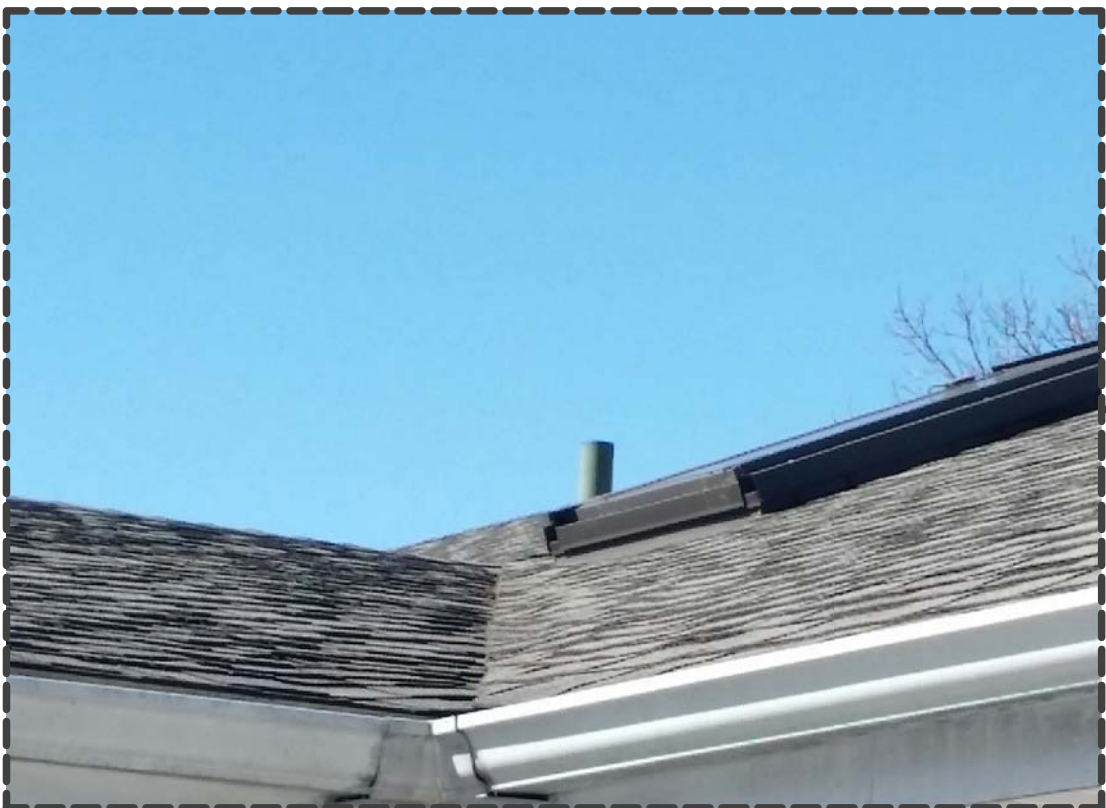
PROPOSED RENOVATIONS TO:	
PETER & GLADYS LABAS	
Higganum, CT	
369 HUBBARD ROAD	

SHEET DESCRIPTION:	
GENERAL NOTES	
Issue Dates:	
July 7, 2017	
No Scale	
Project #:	CpH
QA 1730-02	
Sheet #:	
G1.0	

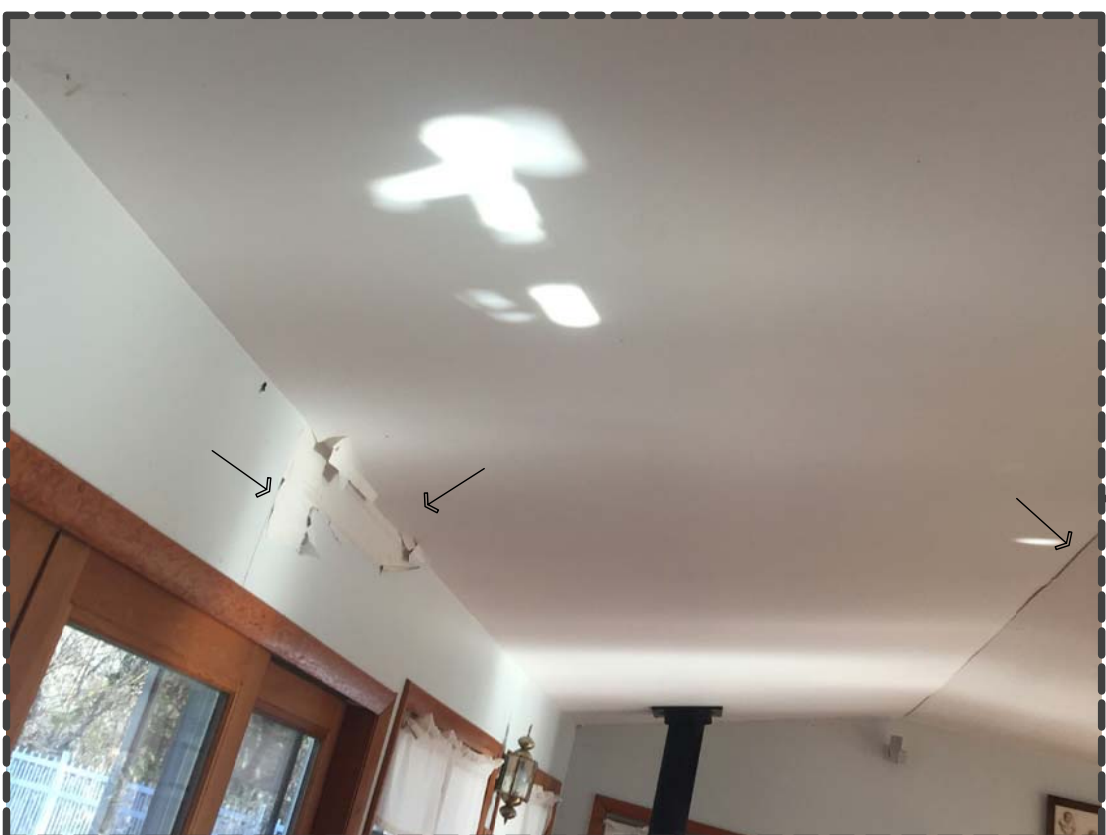
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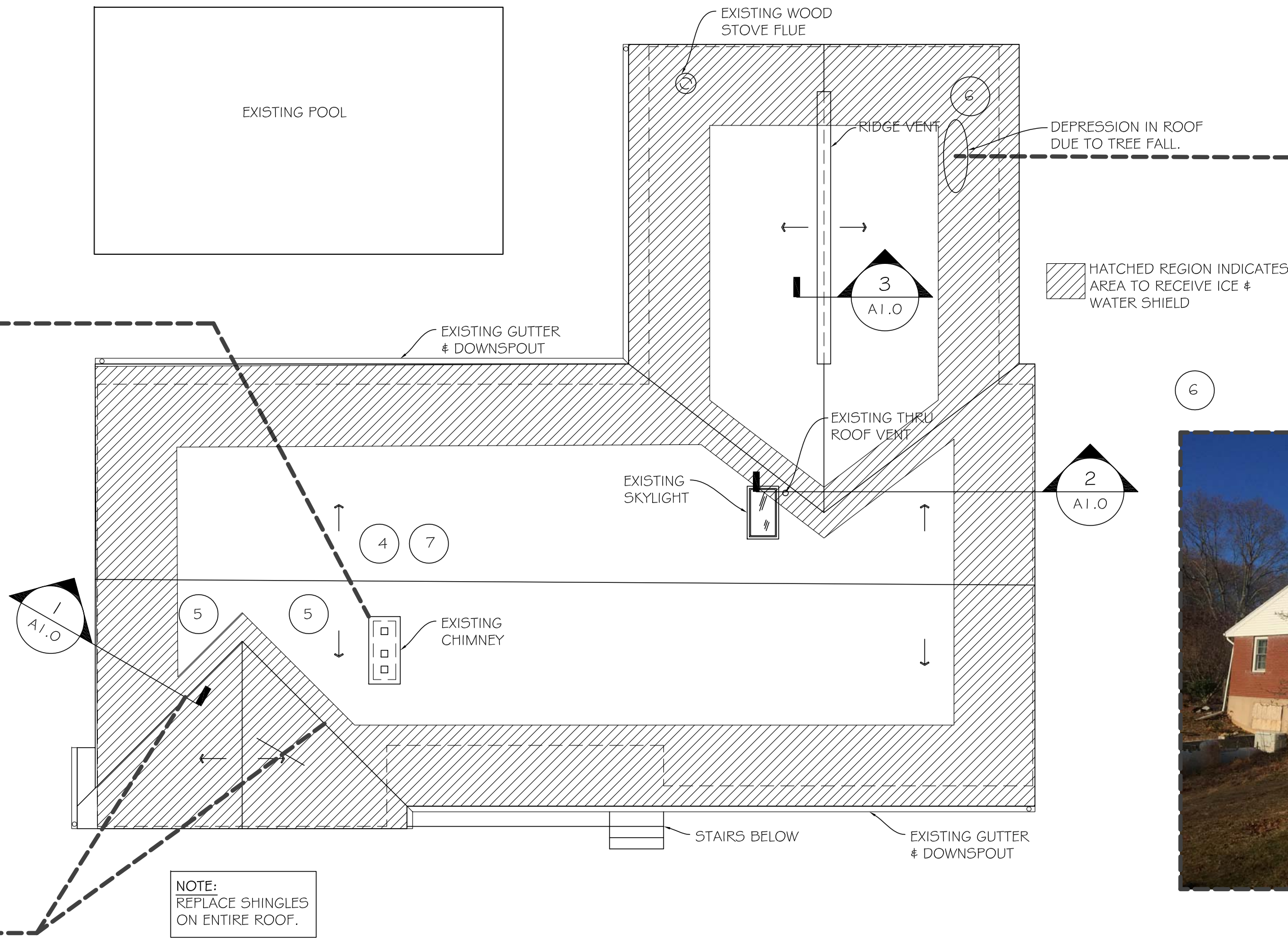
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1 2 7



1 4 7

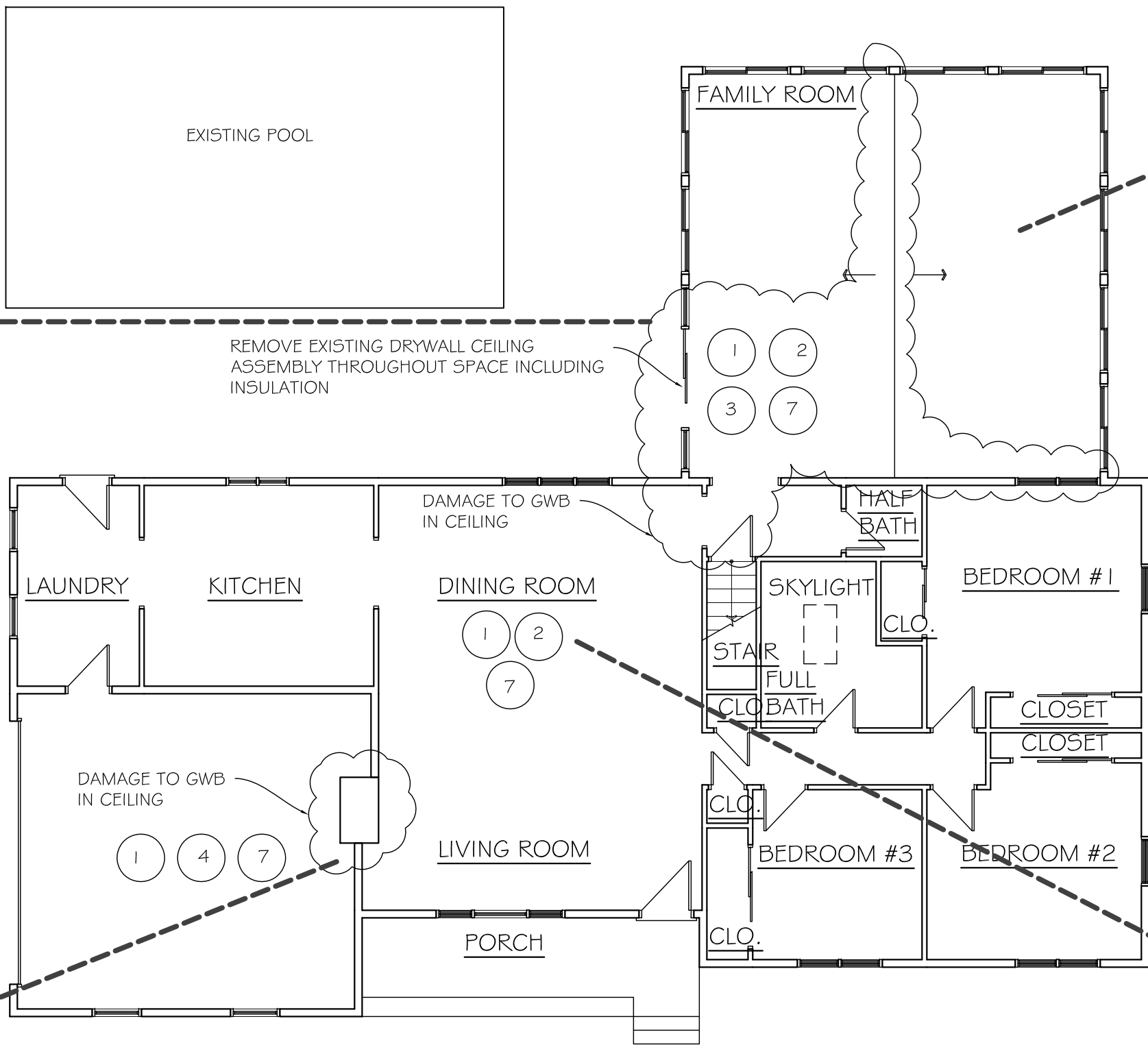


EXISTING ROOF PLAN

SCALE: 1/8"=1'-0"



5



EXISTING FLOOR PLAN

SCALE: 1/8"=1'-0"



4

6



1 2 3 7

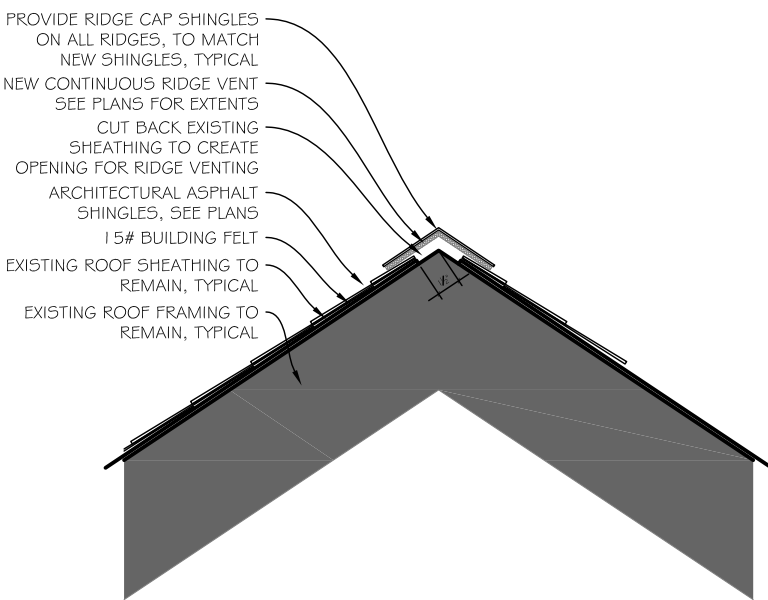


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KEY NOTES

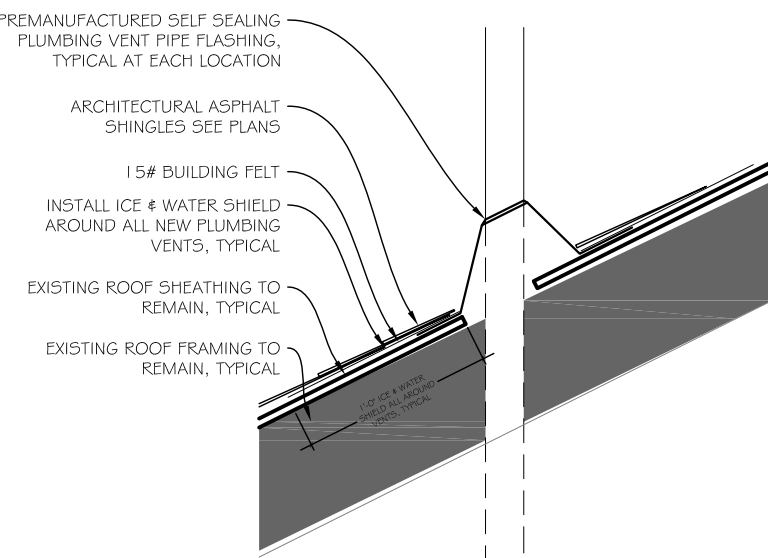
1. PREP, PRIME & PAINT EXISTING GYPSUM BOARD CEILINGS. GYPSUM BOARD CEILING TO BE TAPED, PRIMED AND PAINTED TO MATCH EXISTING. EXACT EXISTING GYPSUM BOARD CEILING CONSTRUCTION, THICKNESS AND HEIGHT AND FINISH TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
2. PREP, PRIME & PAINT EXISTING DRYWALL. PATCH & REPAIR DRYWALL AS REQUIRED TO PROVIDE A SMOOTH PAINTABLE FINISH TO MATCH EXISTING.
3. REPAIR HARDWOOD FLOORING WHERE THERE IS BUCKLING AND/OR WATER DAMAGE. STRIP, SAND, AND REFINISH EXISTING FLOORS. REMOVE, STORE, RE-INSTALL AND REPAINT ALL BASE TRIM AS REQD.
4. REPAIR OR REPLACE FLASHING AROUND CHIMNEY ABOVE GARAGE.
5. REMOVE EXISTING SHINGLES AND INSPECT VALLEY TO ENSURE THAT IS FLASHED PROPERLY. REPLACE ROOF SHINGLES AS REQD. AND TO MATCH EXISTING.
6. OPEN UNACCESSIBLE PORTION OF ROOF (ABOVE FAMILY ROOM) AND INSPECT EXTENT OF STRUCTURAL DAMAGE BY TREEFALL. REPAIR AND / OR REPLACE AS REQUIRED NEAR NEW WORK AND AS DAMAGED BY SANDY.
7. AS REQUIRED REMEDIATE HAZARDOUS MATERIALS. SEE HAZMAT REPORT AND SPECIFICATIONS FOR ABATEMENT LOCATIONS AND PROCEDURES.



TYP. RIDGE VENT DETAIL

SCALE: 1"=1'-0"

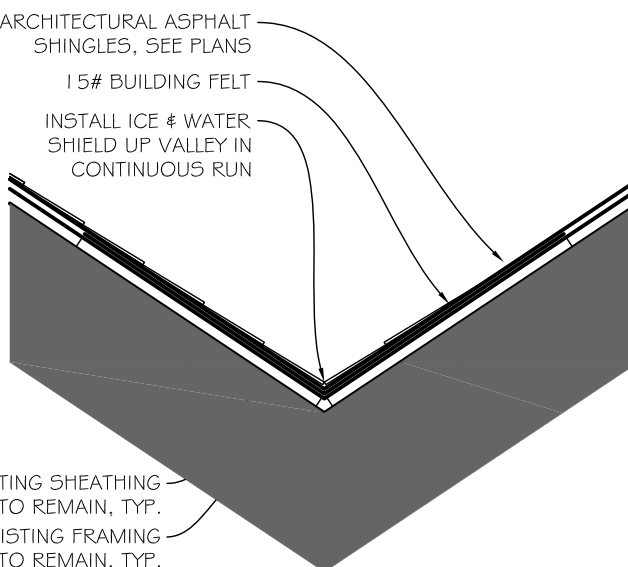
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TYP. VENT DETAIL

SCALE: 1"=1'-0"

2



TYP. VALLEY DETAIL

SCALE: 1"=1'-0"

1



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REPAIR PLANS

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