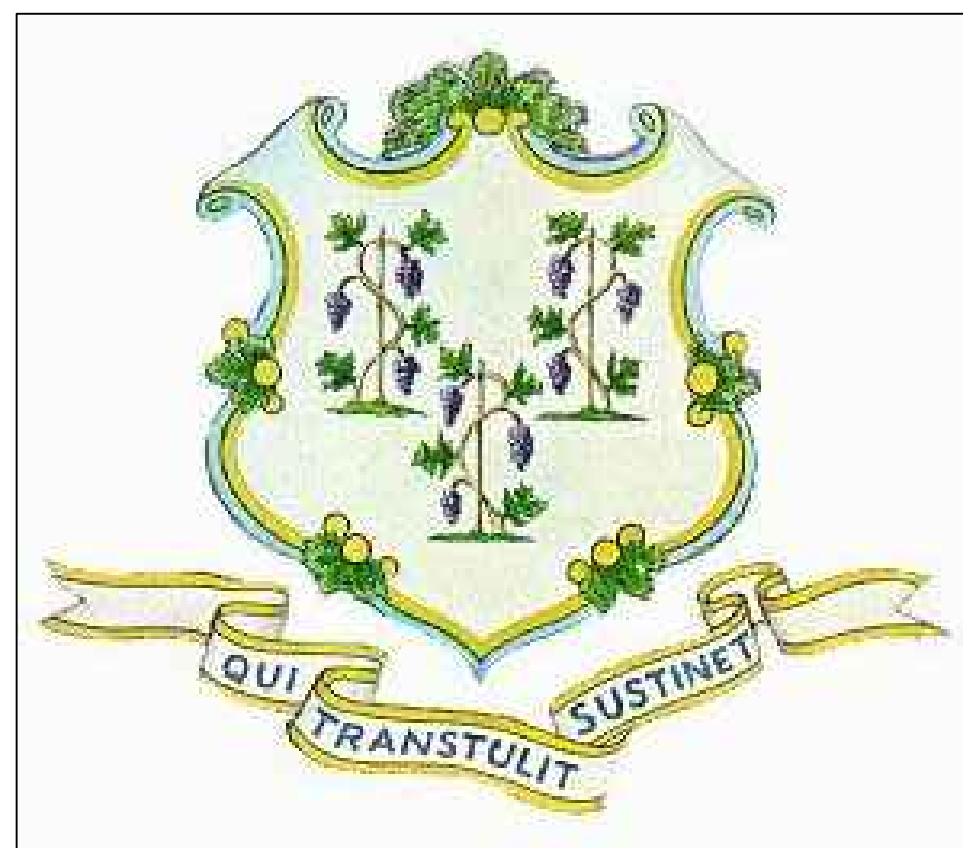


# THE STATE OF CONNECTICUT DEPARTMENT OF HOUSING (DOH) COMMUNITY DEVELOPMENT BLOCK GRANT - DISASTER RECOVERY (CDBG-DR) OWNER OCCUPIED REHABILITATION and REBUILDING PROGRAM (OORR)

June 14, 2017

csa project 1347-54  
Issued for: Bidding and Construction

## Groelinger Residence Rehabilitation and Reconstruction Application No. 1587 130 Anchorage Drive Bridgeport, CT 06605



### Architect

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### ABBREVIATIONS

Conc.	_____	Concrete
Exst.	_____	Existing
Gyp. Brd.	_____	Gypsum Board
O/C	_____	On center
P.T.	_____	Pressure Treated
R	_____	Riser
w/	_____	with
cont.	_____	continuous

### LEGEND

	REVISION NUMBER
	DETAIL NUMBER
	DETAIL NUMBER SHEET NUMBER
	ELEVATION MARK (HEIGHT)
	CENTERLINE
	SECTION MARKER
	DETAIL NUMBER SHEET NUMBER
	EXISTING WALL
	WALL TO BE REMOVED
	NEW WALL

### DEMOLITION NOTES:

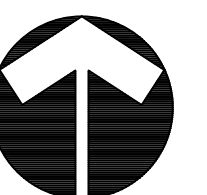
- 1) ALL DEMOLITION SHOWN ON THESE DRAWINGS IS DIAGRAMMATIC. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORK NECESSARY TO PROPERLY COMPLETE THE PROJECT, REGARDLESS OF WHETHER DEMOLITION WORK IS SHOWN ON DRAWINGS OR NOT.
- 2) ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST STATE OF CONNECTICUT BUILDING AND FIRE SAFETY CODES.
- 3) PERMITS REQUIRED FOR THE WORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SECURE ALL REQUIRED LOCAL AND STATE OF CONNECTICUT PERMITS PRIOR TO COMMENCING WORK. ALL COSTS OF SECURING PERMITS SHALL BE PAID BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR LEGAL DISPOSAL OF ALL CONSTRUCTION WASTE AND REMOVED ELEMENTS, UNLESS NOTED OTHERWISE ON DRAWINGS. DEBRIS SHALL BE COLLECTED ON A DAILY BASIS.
- 5) ALL EXISTING OR NEW CONSTRUCTION DISTURBED OR DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED TO MATCH EXISTING ADJACENT SURFACES OR ORIGINAL CONSTRUCTION.
- 6) THE CONTRACTOR SHALL PROVIDE ALL STRUCTURAL SHORING, BRACING AND SHEATHING AS REQUIRED FOR SAFETY AND FOR PROPER EXECUTION OF WORK AND HAVE SAME REMOVED WHEN WORK IS COMPLETED.
- 7) THE OWNER RETAINS THE RIGHT TO SALVAGE ANY DEMOLISHED OR CONTRACTOR REMOVED MATERIALS. CONTACT OWNER BEFORE REMOVAL FROM SITE.

### DRAWING NOTES:

- 1) CONTRACTOR TO FIELD MEASURE ALL SPACES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- 2) NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES BETWEEN DRAWINGS AND GENERAL CONDITIONS.
- 3) DRAWINGS ARE + OR - AND ARE BASED ON BEST INFORMATION AVAILABLE AT THE TIME OF PRODUCTION.
- 4) DO NOT SCALE DRAWINGS.
- 5) DO NOT PROCEED WITH CHANGE IN SCOPE OF WORK WITHOUT WRITTEN APPROVAL FROM ARCHITECT.

### LOCATION PLAN

not to scale



### Drawing List

TITLE SHEET  
A-1.1 FLOOR PLAN

### GENERAL CONSTRUCTION NOTES:

- 1) ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE STATE OF CONNECTICUT BUILDING AND FIRE SAFETY CODES.
- 2) WORK PERMITS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SECURE ALL REQUIRED LOCAL AND STATE OF CONNECTICUT PERMITS PRIOR TO COMMENCING WORK. ALL COSTS OF SECURING PERMITS SHALL BE PAID BY THE CONTRACTOR.
- 3) ALL MATERIALS AND EQUIPMENT THAT WILL BE USED IN THE CONSTRUCTION OF THIS PROJECT ARE SUBJECT TO THE APPROVAL OF THE OWNER. ALL MATERIALS AND EQUIPMENT REQUIRED BY NOTES OR SPECIFICATIONS SHALL BE SUBMITTED IN THE FORM OF SAMPLES AND SHOP DRAWINGS FOR APPROVAL BY OWNER. WHERE COLOR SELECTIONS ARE REQUIRED, COMPLETE SAMPLES SHALL BE FURNISHED TO THE OWNER.
- 4) ALL EXISTING OR NEW CONSTRUCTION DISTURBED OR DAMAGED DURING THE COURSE OF THIS WORK SHALL BE RESTORED TO MATCH EXISTING ADJACENT SURFACES OR ORIGINAL CONSTRUCTION.
- 5) PRECAUTION MUST BE EXERCISED AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. THE SAFETY PROVISIONS OF APPLICABLE LAWS AND CONSTRUCTION CODES MUST BE OBSERVED. CONTRACTOR SHALL TAKE OR CAUSE TO BE TAKEN SUCH ADDITIONAL SAFETY AND HEALTH MEASURES AS ARE REASONABLY NECESSARY. MACHINERY, EQUIPMENT AND OTHER HAZARDS GUARDED IN ACCORDANCE WITH SAFETY PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, TO THE EXTENT THAT SUCH PROVISIONS ARE NOT IN CONTRAVENTION OF APPLICABLE LAWS.
- 6) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AND PRESERVE IN OPERATIONAL CONDITION ALL UTILITIES TRAVERSING THE WORK AREA. DAMAGE TO ANY UTILITY DUE TO WORK UNDER THIS CONTRACT SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITION COST TO THE OWNER. UTILITY SHUT DOWNS MUST BE COORDINATED WITH THE OWNER.
- 7) EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF WITH THE CONDITIONS WHICH HOLD IN ANY MANNER AFFECT THE WORK UNDER THE CONTRACT OR ALTERNATE WORK AND HAVE NO LATER CLAIMS FOR EXTRA COMPENSATION FOR LABOR, MATERIALS AND EQUIPMENT WHICH COULD HAVE BEEN FORESEEN BY SUCH EXAMINATION WILL BE RECOGNIZED. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASUREMENTS FOR HIS WORK AT THE SITE AND SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS GIVEN ON THE DRAWINGS. DO NOT SCALE DRAWINGS.
- 8) PROVIDE TEMPORARY WEATHER PROTECTION AND SECURITY DEVICES DURING THE PERIOD OF CONSTRUCTION. G.C. TO ENSURE THAT NO WATER LEAKAGE OCCURS TO EXISTING SPACES. ANY DAMAGE THAT DOES OCCUR MUST BE REPAIRED BY THE G.C. TO ITS PRE-CONSTRUCTION CONDITION.
- 9) WHERE FINISHES ARE SHOWN TO BE REMOVED FROM EXISTING CONSTRUCTION, REPAIR AND PATCH REMAINING SUBSTRATE AND PREPARE FOR NEW FINISH. REPAIR AND PATCH ALL REMAINING SUBSTRATES THAT WERE ORIGINALLY CONCEALED BY EXISTING FINISHES, BUT WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- 10) EACH INDIVIDUAL TRADE SHALL PROVIDE ALL DRAWINGS, DOCUMENTS, OR SPECIFICATIONS REQUIRED TO SECURE NECESSARY PERMITS RELATIVE TO THEIR TRADES.

**General Renovations for the GROELINGER RESIDENCE**  
130 Anchorage Drive, Bridgeport, Connecticut



REPLACE INSULATING GLAZING UNIT IN BEDROOM 101 (EXTERIOR VIEW) [ref. Keynote 2]



REPLACE INSULATING GLAZING UNIT IN BEDROOM 101 (INTERIOR VIEW) [ref. Keynote 2]



CLEAN DISCOLORED GARAGE DOOR [ref. Keynote 3]



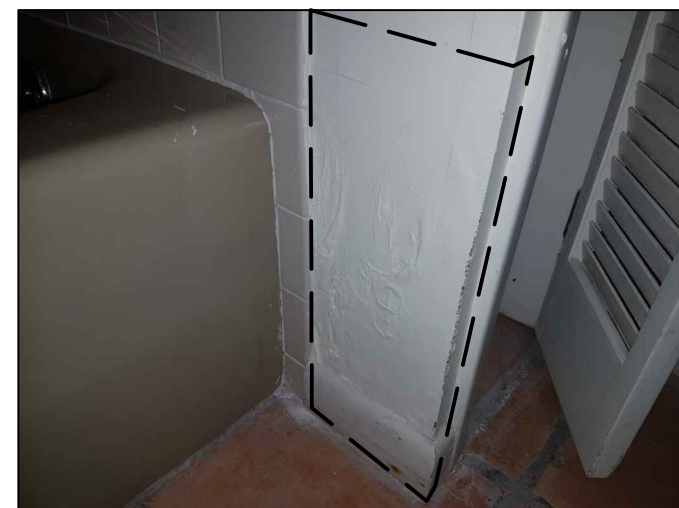
EXAMPLE OF TWO (2) BASEBOARD HEATERS TO BE REPLACED [ref. Keynote 4]



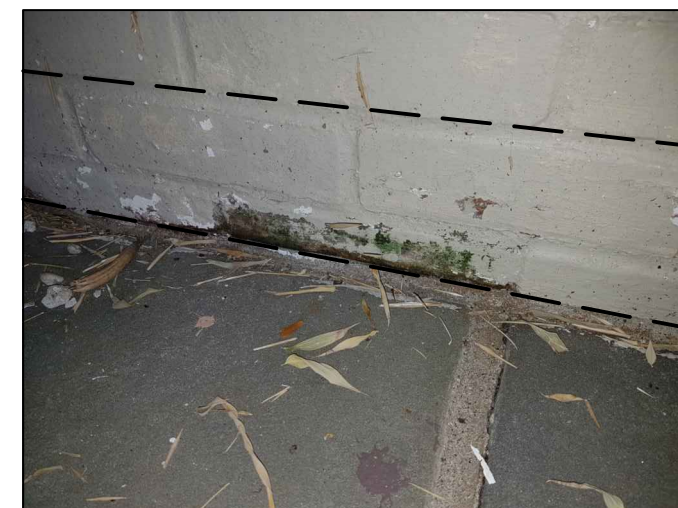
EXAMPLE OF TYPE 1 TILE TO BE REPLACED [ref. Keynote 5]



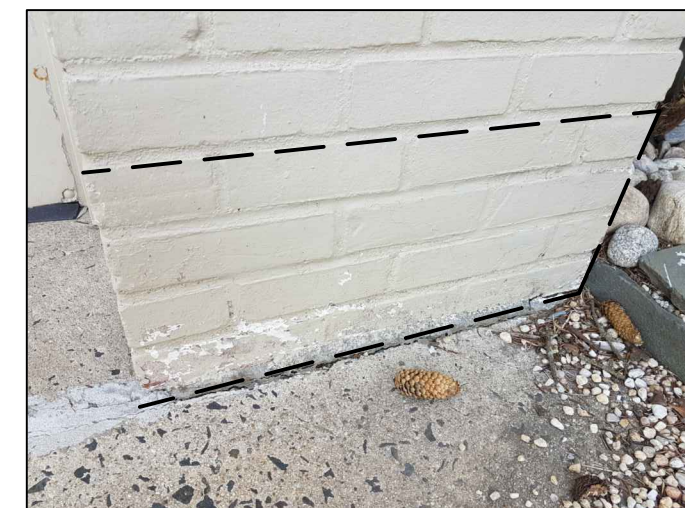
EXAMPLE OF TYPE 2 TILE TO BE REPLACED [ref. Keynote 5]



AREA OF GYPSUM BOARD TO BE REPLACED AND PAINTED TO MATCH- LOCATED IN BATHROOM 104. [ref. Keynote 6&7]



EXAMPLE OF LOWER AREA OF OUTSIDE WALL TO BE SCRAPED/STRIPPED THEN PAINTED TO MATCH [ref. Keynote 7]

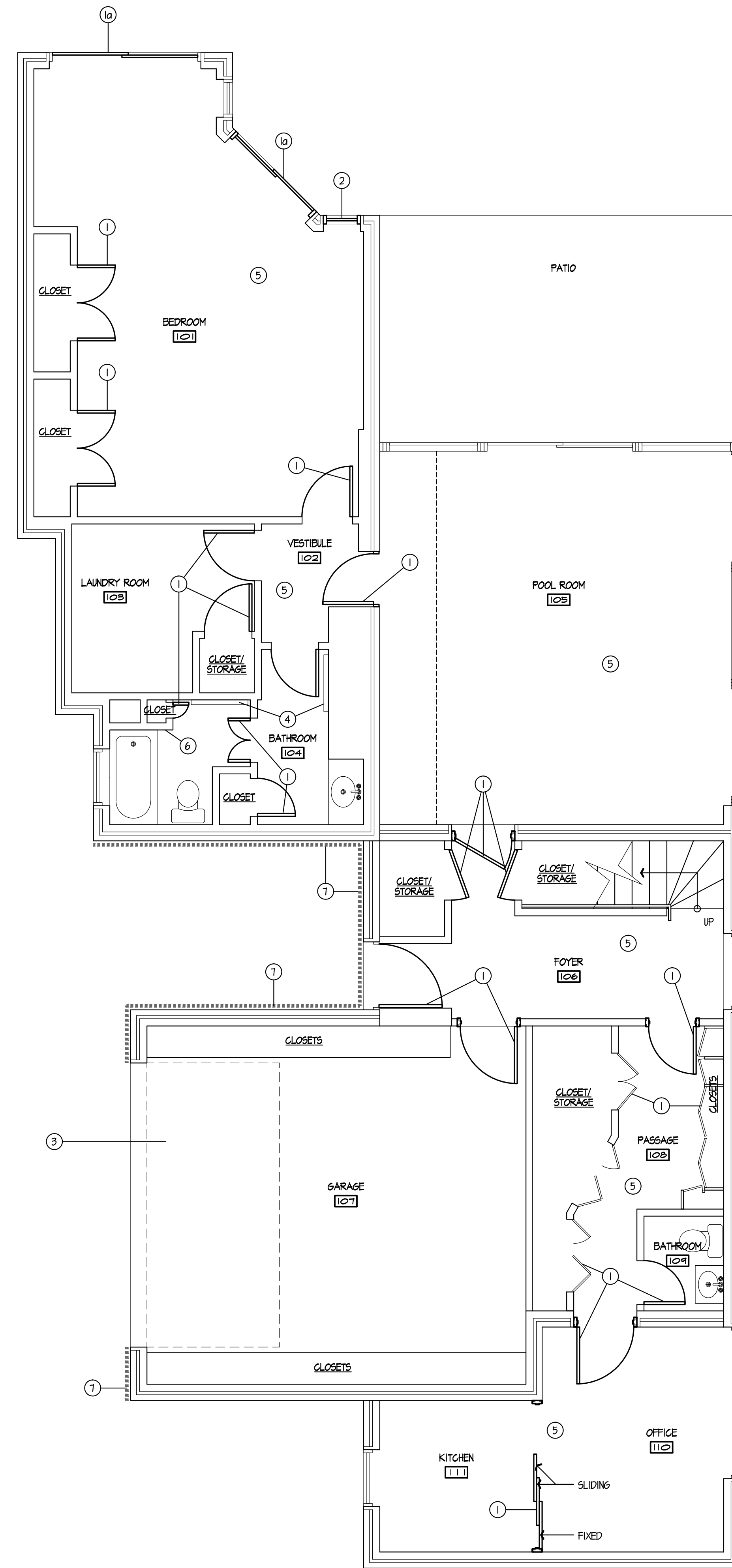


EXAMPLE OF LOWER AREA OF OUTSIDE WALL TO BE SCRAPED/STRIPPED THEN PAINTED TO MATCH [ref. Keynote 7]

2 PHOTOS OF DAMAGE AND/OR SCOPE OF WORK

A-1.1 NO SCALE

NEW WORK KEYNOTES	
1	REPLACE DOOR & HARDWARE. MATCH EXIST'G TYPE & FINISH AT EACH LOCATION. FOR WOOD JAMBS, RE-PAIN TO MATCH DOORS. FOR METAL JAMBS, SCRAPE/SAND OR OTHERWISE PREPARE. EXIST'G METAL FRAME TO BE RE-PAINTED TO MATCH DOORS.
1a	REPLACE TWO (2) EXTERIOR SLIDING DOORS & HARDWARE IN BEDROOM 101- MATCH EXIST. SEE LOCATIONS ON PLAN.
2	REPLACE ONE (1) INSULATING GLASS UNIT IN EXIST'G FRAME/SASH IN BEDROOM 101- MATCH EXIST. SEE LOCATION ON PLAN.
3	CLEAN DISCOLORED GARAGE DOOR. RESTORE TO PRE-STORM CONDITION.
4	REPLACE TWO (2) BASEBOARD HEATERS IN BATHROOM 104- MATCH EXIST'G TYPE & BTU OUTPUT.
5	REPLACE FLOOR TILES: TILE REPLACEMENT (MATCH EXIST): - TYPE 1 TILE (TO BE DETERMINED BY OWNER)- REPLACE APPROX. 25 SQ. FT. OF EXIST'G CERAMIC/QUARRY TILE IN ALL AREAS INCLUSIVE OF: BEDROOM 101, VESTIBULE 102, LAUNDRY 103, BATHROOM 104 & POOL ROOM 105- MATCH EXIST. GROUT - TYPE 2 TILE (TO BE DETERMINED BY OWNER)- REPLACE APPROX. 10 SQ. FT. OF EXIST'G CERAMIC TILE IN ALL AREAS INCLUSIVE OF: FOYER 106, PASSAGE 108, BATHROOM 104, OFFICE 110 & KITCHEN 111- MATCH EXIST. GROUT
6	REPLACE PORTION OF DRYWALL: GYPSUM BOARD REPLACEMENT IN BATHROOM 104: - APPROX. 25 SQ. FT. TO BE REPLACED - TEMPORARILY REMOVE EXIST. BASE TRIM IN THIS AREA TO INSTALL NEW GYP. BD. (PRIME AND PAINT- 2 COATS FINISH). REINSTALL REMOVED BASE TRIM. PAINT (2 COATS FINISH) TO MATCH.
7	SCRAPE/PREPARE THREE (3) BRICK MASONRY WALL SURFACES. SPOT PRIME AS REQUIRED & PROVIDE TWO (2) FINISH COATS OVER ENTIRE WALL SURFACES.



1 FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

date	description	no.
revisions		

FLOOR PLAN

A-1.1

date	14 JUNE 2017
drawn	DP
scale	AS NOTED
checked	JP; KG
project no.	1341-54