

PROJECT 1236 - 12 OLIVER STREET, NORWALK, CT

**COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**

OWNER OCCUPIED REHABILITATION AND REBUILDING

**CONNECTICUT DEPARTMENT OF HOUSING
HARTFORD, CONNECTICUT 06118**

GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

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STREET VIEW
(N.T.S.)

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NO.	DATE	REVISIONS	BY	CHK	APPV
2	11/17/2016	ISSUED FOR BIDDING	MBR	MBR	REC
1	2/11/2016	ISSUED FOR CT DOH REVIEW & APPROVAL	MBR	MBR	REC

DRAWN: CMP/MBR CHECKED: MBR APPROVED: REC SCALE: N.T.S. DATE:

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	BASEMAP 33-262-1236.dwg	T-0.0

SURVEY NOTES

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.
ELEVATIONS BASED ON NAVD 1988.

PARCEL OWNER OF RECORD: **RAYMOND R REYNOLDS & DIANE M CLARK**
12 OLIVER STREET,
NORWALK, CT 06854
PARCEL AREA = 4562 SQ. FT., 0.105 ACRES.

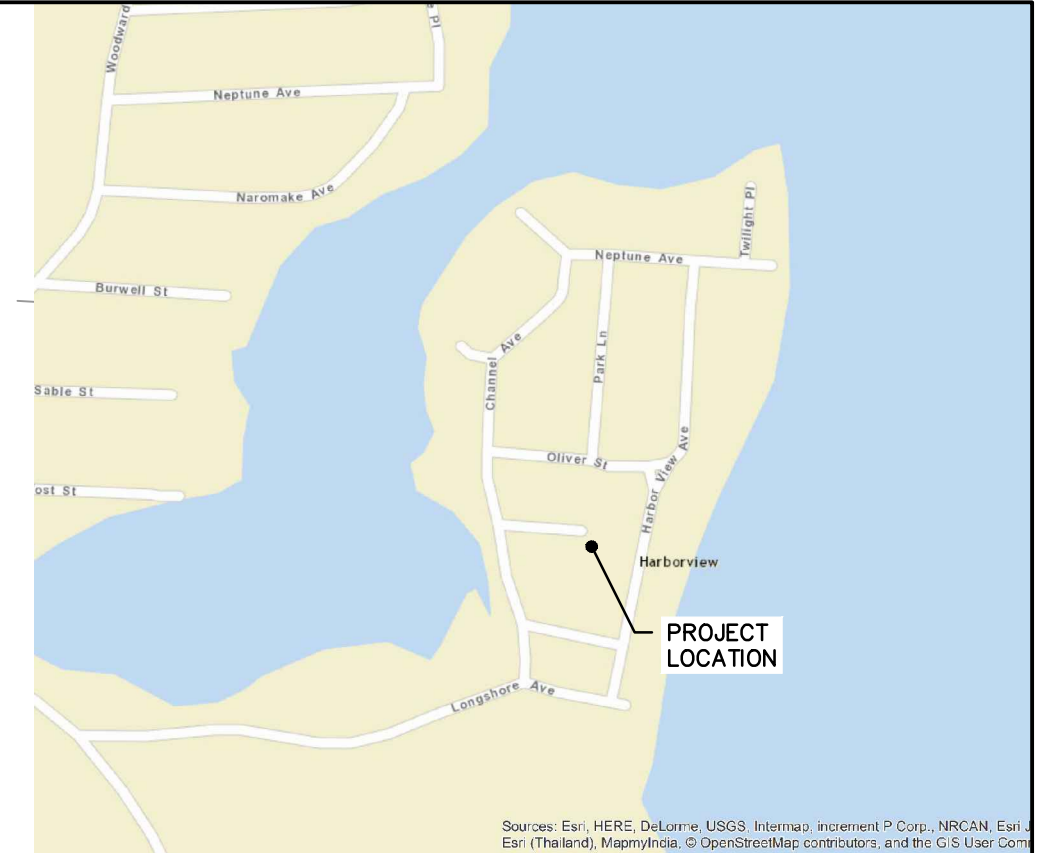
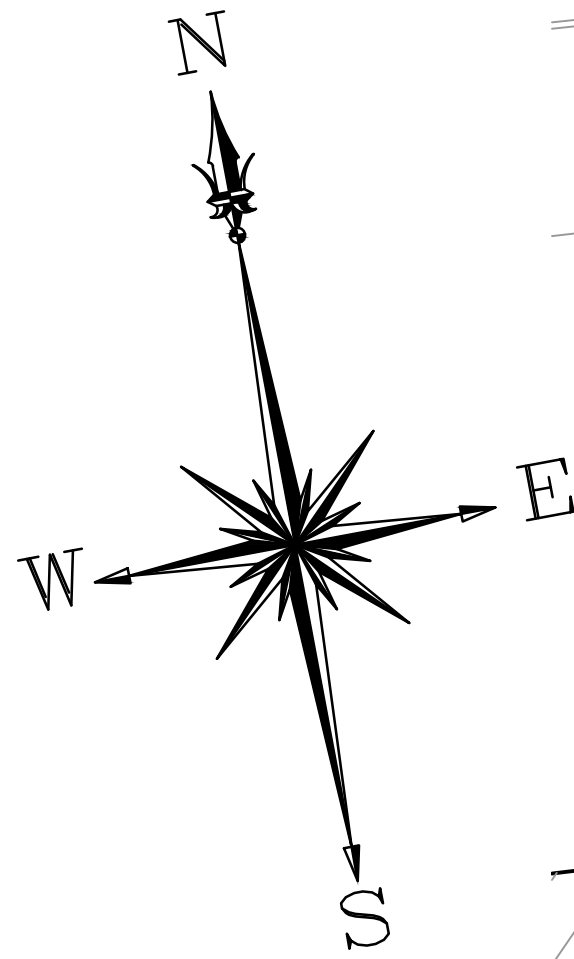
PARCEL IS IN THE B ZONING DISTRICT.

PARCEL ID: MAP 25, BLOCK 85C, LOT 89 NORWALK ASSESSOR'S MAPPING.

ENTIRE SUBJECT PARCEL IS IN ZONE AE(EL 13) FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, CONNECTICUT PANEL 533 OF 626, MAP NUMBER 09001C0533G, REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

REFERENCE MAPS:

- "MAP SHOWING LAYOUTS OF LOTS OWNED BY JENNIE G. WHITEHEAD AT HARBOR VIEW BEACH, SOUTH NORWALK, CT. SCALE 1=60' 1909" PREPARED BY S W HOYT, JR.,



LOCATION MAP
1" = 500'

ZONING REGULATIONS (B)

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SQ.FT.)	6250	*4562	*4562
MIN. LOT WIDTH (FT.)	50	49.1	49.1
MIN. AGGREGATE SIDE	12.2	14.5	14.5
MIN. FRONT YARD (FT.)	30	18.2	18.2
MIN. EACH SIDE YARD (FT.)	6	*4.8/9.7	*4.8/9.7
MIN. REAR YARD (FT.)	15% NOT TO EXCEED 15 FT	14.5	14.5
MAX. BUILDING HEIGHT (FT.)	31, MAXIMUM 39 FT. TO PEAK	19.9 TO MIDPOINT 20.8 TO PEAK	30.7 TO MIDPOINT 31.6 TO PEAK
MAX. BUILDING COVERAGE	35%	25.7%	25.7%
MINIMUM DRIVEWAY WIDTH (FT.)	8	8.6	8.6
MAX. NUMBER OF STORIES	2.5	2	2

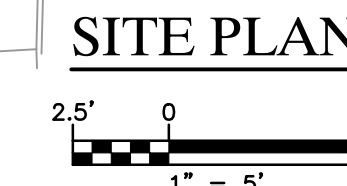
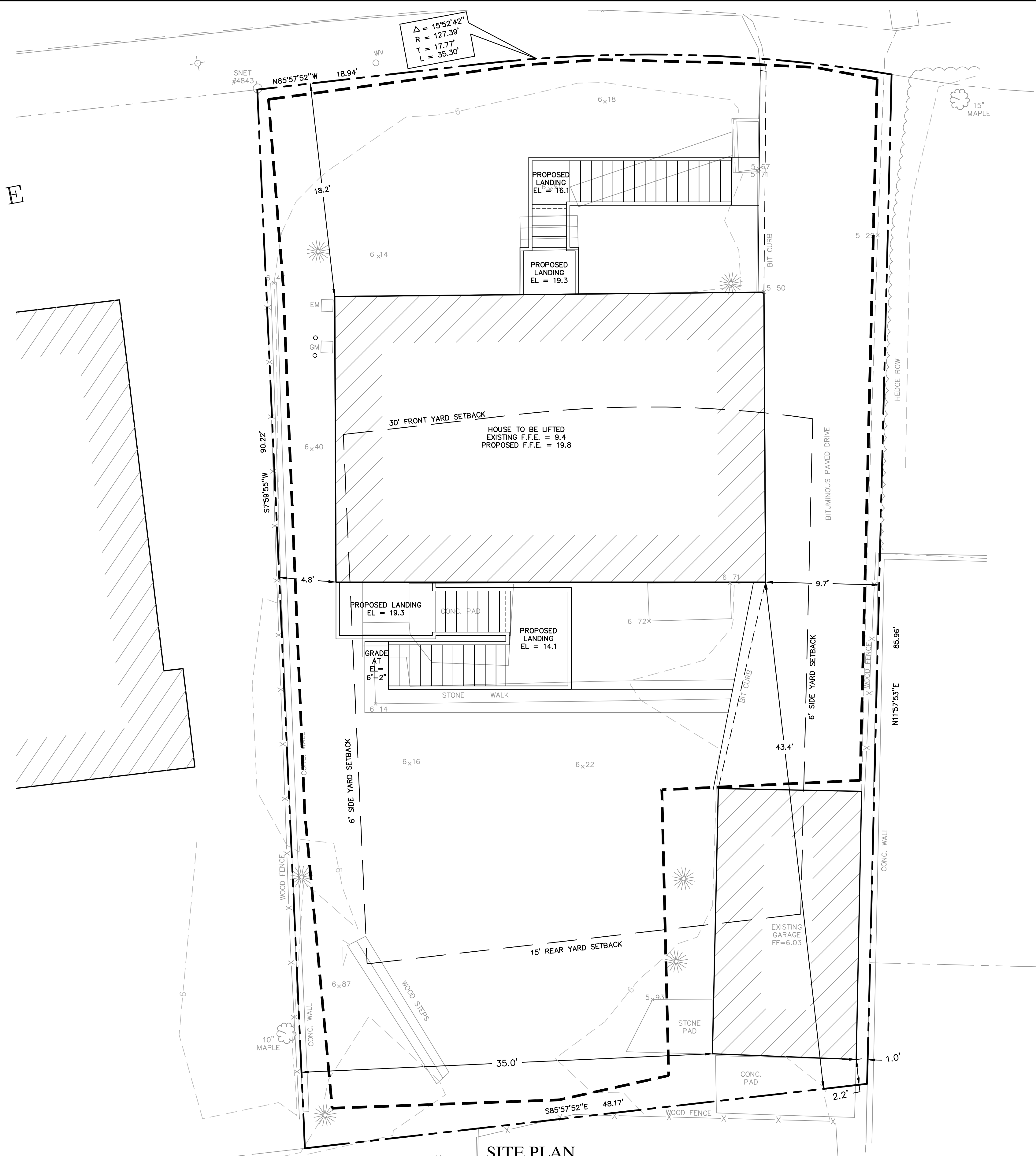
*** PREEXISTING NONCONFORMITY**

- NOTES:
1. MINIMUM AGGREGATE YARD IS 25% OF LOT WIDTH
2. PROPERTIES IN FEMA FLOOD ZONE'S ARE PERMITTED ONE (1) ADDITIONAL FOOT FOR BUILDING MIDPOINT AND PEAK HEIGHT

AVERAGE GRADE CALCULATION
AVERAGE GRADE ELEVATION = $(\sum(\text{POINT ELEVATIONS})) / (\text{NUMBER OF POINTS})$
= $(6.16+6.22+6.40+5.29+6.47+6.14+6.18 + 6.30+6.72+6.71+5.50+6.87) / (12 \text{ POINTS})$
= $(74.96) / (12 \text{ POINTS})$
AVERAGE GRADE ELEVATION = 6.24

SYMBOLS LEGEND

□ Monument	○ IP(FD)	Iron Pin Found
○ Utility Post	— OH —	Overhead Utility
□ "CL" Catch Basin	— x —	Property Line
Deciduous Tree	— 100 —	Fence
Spot Grade	WV	Contour Line
Fire Hydrant	— w —	Water Valve
GM Gas Meter	— w —	Hedge Row
EM Electric Meter		



REFERENCE MAP:
1. "BOUNDARY & TOPOGRAPHIC SURVEY" FOR CT DOH AT 12 OLIVER STREET, NORWALK, CONNECTICUT; DATE: 5-6-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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IMPROVEMENT LOCATION PLAN

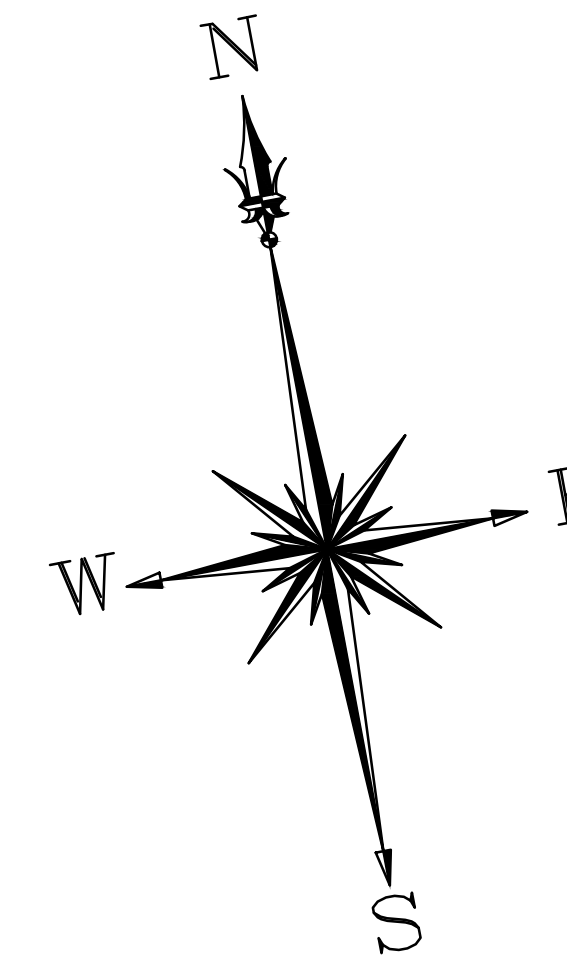
JOB NO.	DRAWING NUMBER	SHEET
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GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

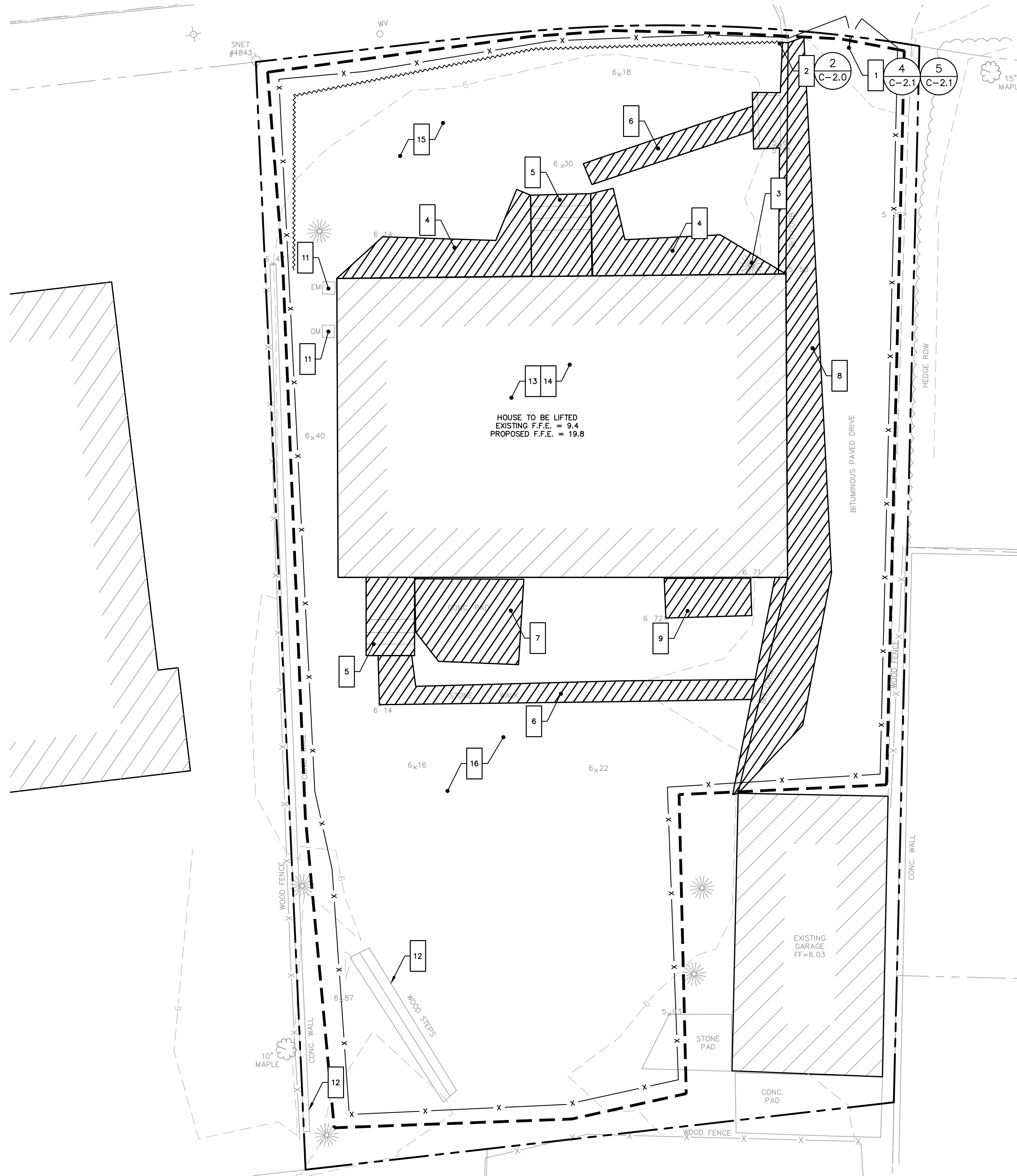
SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION NOTES

- 1 FURNISH AND INSTALL 8' HIGH CHAIN LINK FENCING ACROSS DRIVEWAY AND ALONG NORTHEASTERN EDGE OF DRIVEWAY TO PROTECT HEDGE; FURNISH AND INSTALL 12' WIDE DOUBLE LEAF GATE AT FRONT OF DRIVEWAY
- 2 FURNISH AND INSTALL SILT FENCE ALONG PROPERTY AS SHOWN AND AS DIRECTED BY MCA
- 3 REMOVE TREE AT NORTHEAST CORNER OF HOUSE AND DISPOSE OFF SITE
- 4 REMOVE HEDGES AT FRONT OF HOUSE AND DISPOSE OFF SITE
- 5 DEMOLISH FRONT AND REAR CONCRETE STEPS AND DISPOSE OFF SITE
- 6 DEMOLISH SIDEWALKS AT FRONT AND REAR OF HOUSE AND DISPOSE OFF SITE
- 7 DEMOLISH CONCRETE PATIO AT REAR OF HOUSE AND DISPOSE OFF SITE
- 8 SAWCUT AND REMOVE PAVED DRIVE AND CURBING AS REQUIRED TO COMPLETE WORK AND DISPOSE OFF SITE
- 9 REMOVE CONCRETE TANK PAD AND DISPOSE OFF SITE. PROPERLY CHARACTERIZE HEATING FUEL STORAGE TANK, ANY EXISTING HEATING FUEL IN TANK, AND ASSOCIATED PIPING; REMOVE AND DISPOSE OF OFFSITE.
- 10 DEMOLISH FULL HEIGHT OF CHIMNEY AND PROTECTION FROM TOP TO BELOW GRADE (NOT SHOWN) AND DISPOSE OFF SITE; PROTECT ROOF PENETRATION FROM THE ELEMENTS UNTIL PERMANENT ROOF PATCH IS COMPLETE
- 11 COORDINATE UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, GAS, AND TELECOMMUNICATIONS (NOT SHOWN); SEE SHEET C-1.3
- 12 DO NOT DISTURB EXISTING CONCRETE WALL AND EXISTING WOOD STEPS
- 13 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 14 DEMOLISH EXISTING FOUNDATION AND REMOVE OFF SITE
- 15 REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE E&S CONTROLS AFTER STABILIZATION IS COMPLETE
- 16 FIELD LOCATE SEPTIC TANK NO LONGER IN USE; REMOVE AND DISPOSE OF TANK IF REQUIRED FOR NEW CONSTRUCTION WORK. WORK TO BE COMPLETED BY CONNECTICUT LICENSED SEPTIC INSTALLER.



LEGEND

- 1 WORK NOTE
- [Hatched Box] SITE FEATURE TO BE DEMOLISHED
- LIMIT OF WORK
- (#/C-2.X) DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- ~ SILT FENCE
- x- CHAIN LINK FENCE
- x- EXISTING METAL FENCE
- o- EXISTING WOOD FENCE
- o- EXISTING PLASTIC FENCE
- - - EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- LIMIT OF EXISTING HOUSE AND FOUNDATION
- OH EXISTING OVERHEAD LINE
- G EXISTING GAS LINE
- [Cloud] EXISTING HEDGE
- - - B - - - EXISTING CONTOUR WITH ELEVATION LABEL
- B₃₆ EXISTING SPOT GRADE
- PROPERTY LINE



SITE PLAN



REFERENCE MAP:
1. "BOUNDARY & TOPOGRAPHIC SURVEY" FOR CT DOH AT 12 OLIVER STREET, NORWALK, CONNECTICUT; DATE: 5-6-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION PLAN

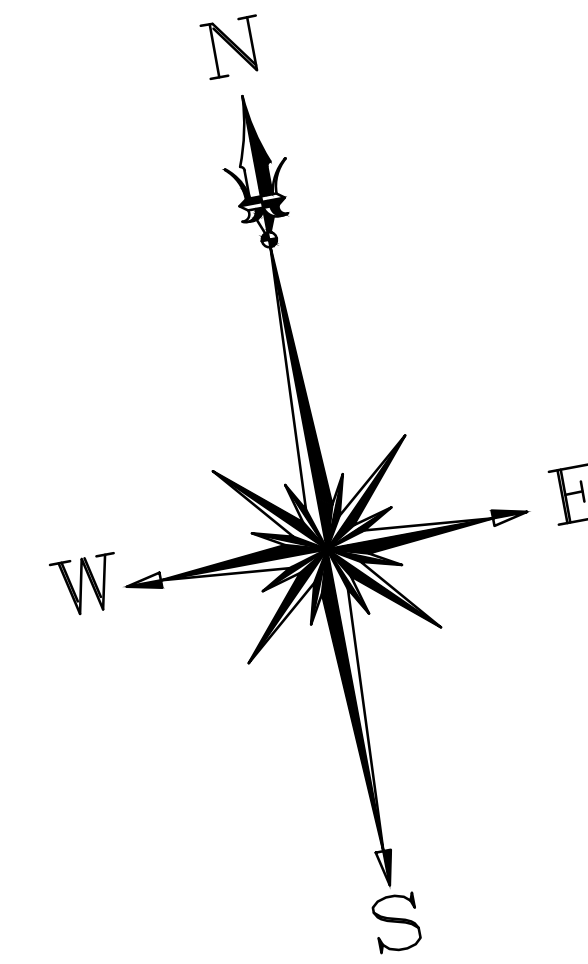
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5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
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7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

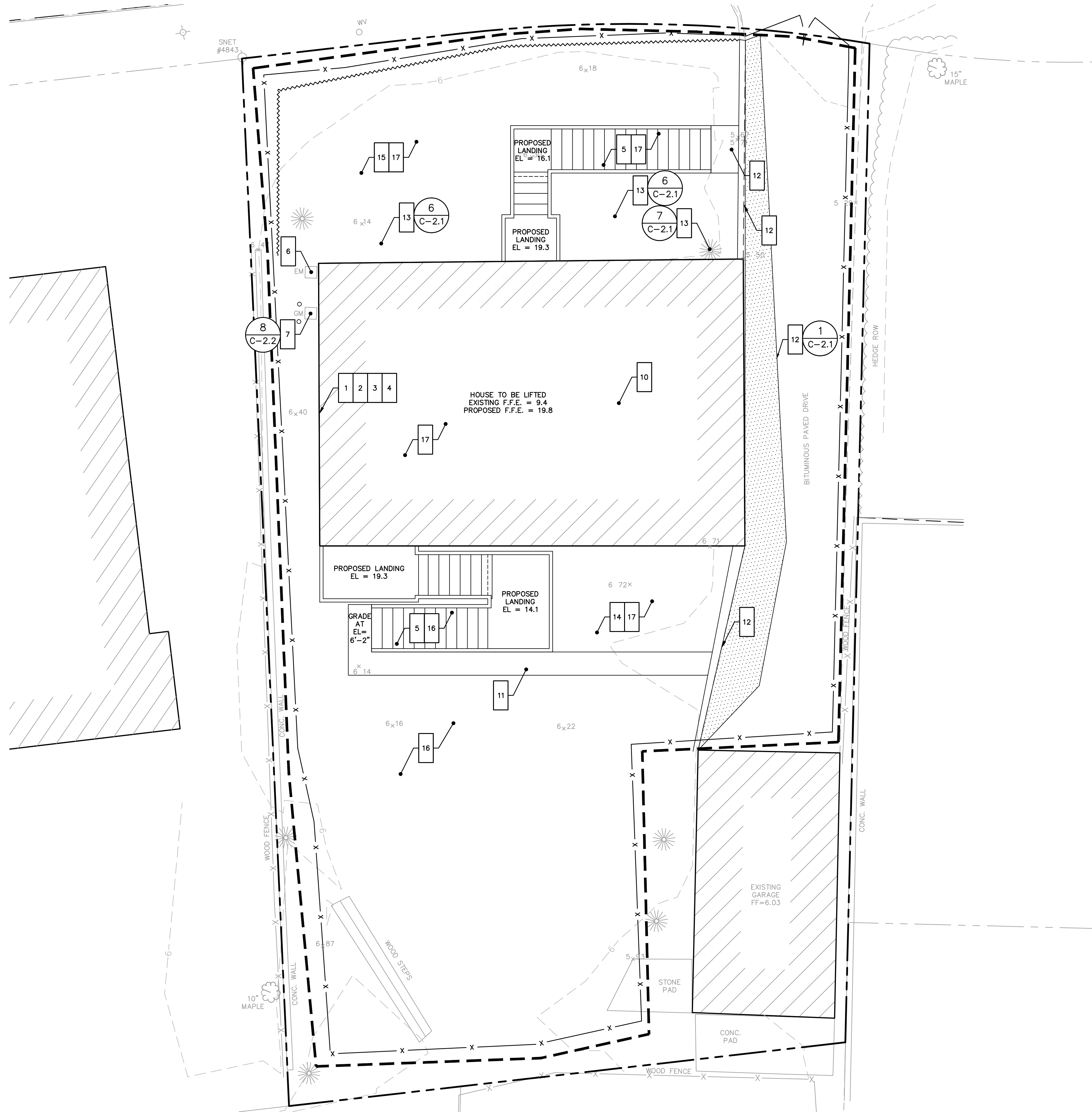
WORK NOTES

- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 2 FURNISH AND INSTALL NEW FOUNDATION ON PILES UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 FURNISH AND INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS; SEE STRUCTURAL DRAWINGS
- 5 FURNISH AND INSTALL ALL MATERIALS FOR NEW STAIRS AND LANDINGS AT FRONT AND REAR OF HOUSE
- 6 COORDINATE CONNECTION AND RELOCATION OF ELECTRIC METER AND SERVICE MAST TO UTILITY PROVIDER APPROVED LOCATION ABOVE FEMA 100-YEAR BASE FLOOD ELEVATION OF 13 (NAVD88)
- 7 RELOCATE OR INSTALL NEW GAS METER ADJACENT TO NEW STRUCTURAL COLUMN AS REQUIRED BY LOCAL UTILITY PROVIDER. INSTALL PIPE BOLLARD SUPPORTS. EXTEND GAS SERVICE PIPE TO BUILDING ENVELOPE.
- 8 EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS
- 9 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES
- 10 FURNISH AND INSTALL ALL MATERIALS TO PATCH ROOF IN LOCATION OF REMOVED CHIMNEY; MATCH EXISTING CONSTRUCTION. FURNISH AND INSTALL DOUBLE WALL INSULATED FLUE FOR VENTED APPLIANCES STARTING AT FIRST FLOOR. TOP OF FLUE TO EXTEND 3' ABOVE ROOF PEAK. PATCH AND PROPERLY FLASH ROOF AS REQUIRED.
- 11 FURNISH AND INSTALL ALL MATERIALS FOR NEW CONCRETE WALK IN REAR OF HOUSE
- 12 FURNISH AND INSTALL ALL MATERIALS FOR NEW BITUMINOUS CONCRETE WALK IN FRONT OF HOUSE. FURNISH AND INSTALL ALL MATERIALS TO REPLACE BITUMINOUS CONCRETE DRIVEWAY AND CURBING AS SHOWN ON PLAN AND AS DISTURBED BY CONSTRUCTION; RESTORE TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
- 13 FURNISH AND INSTALL ALL MATERIALS TO REPLACE SHRUBS AND TREES DISTURBED BY CONSTRUCTION
- 14 FURNISH AND INSTALL ALL MATERIALS TO LOAM AND SEED ALL GRASSED AREAS DISTURBED BY CONSTRUCTION ACTIVITIES
- 15 COMPLETE REMAINING INTERIOR AND EXTERIOR BUILDING WORK
- 16 BACKFILL AND COMPACT AREA OF FORMER SEPTIC TANK IF TANK REMOVAL REQUIRED FOR CONSTRUCTION WORK
- 17 FURNISH AND INSTALL ALL MATERIALS FOR 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH ENTIRE HOUSE FOOTPRINT AND STAIRS. TOP OF GRAVEL LAYER TO BE AT ELEVATION 6.3 (NAVD88). RESTORE EXTERIOR AREAS TO PRE-CONSTRUCTION CONDITIONS OR BETTER.



LEGEND

- 1 WORK NOTE
- LIMIT OF WORK
- # C-2.X DETAIL REFERENCE
= DETAIL NUMBER
X = DETAIL SHEET NUMBER
- X- EXISTING METAL FENCE
- O-O- EXISTING WOOD FENCE
- O-O- EXISTING PLASTIC FENCE
- - - EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- LIMIT OF ELEVATED HOUSE
- OH- EXISTING OVERHEAD LINE
- G- EXISTING GAS LINE
- ☁ EXISTING HEDGE
- - - 8 EXISTING CONTOUR WITH ELEVATION LABEL
- 8x36 EXISTING SPOT GRADE
- 6x22 PROPOSED SPOT GRADE
- PROPERTY LINE



SITE PLAN



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SITE PLAN

JOB NO.	DRAWING NUMBER	SHEET
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BUILDING UTILITY GENERAL NOTES

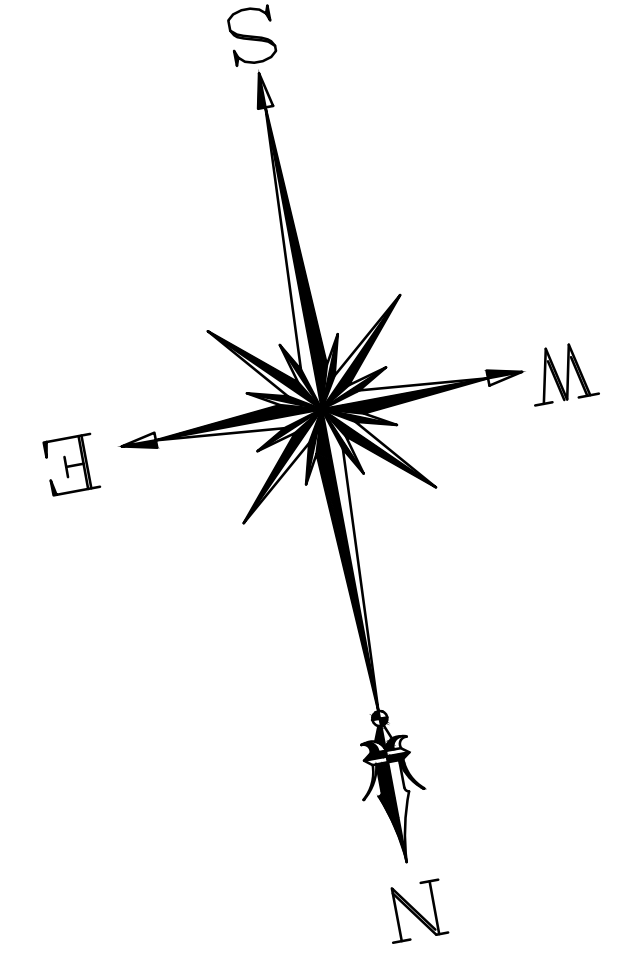
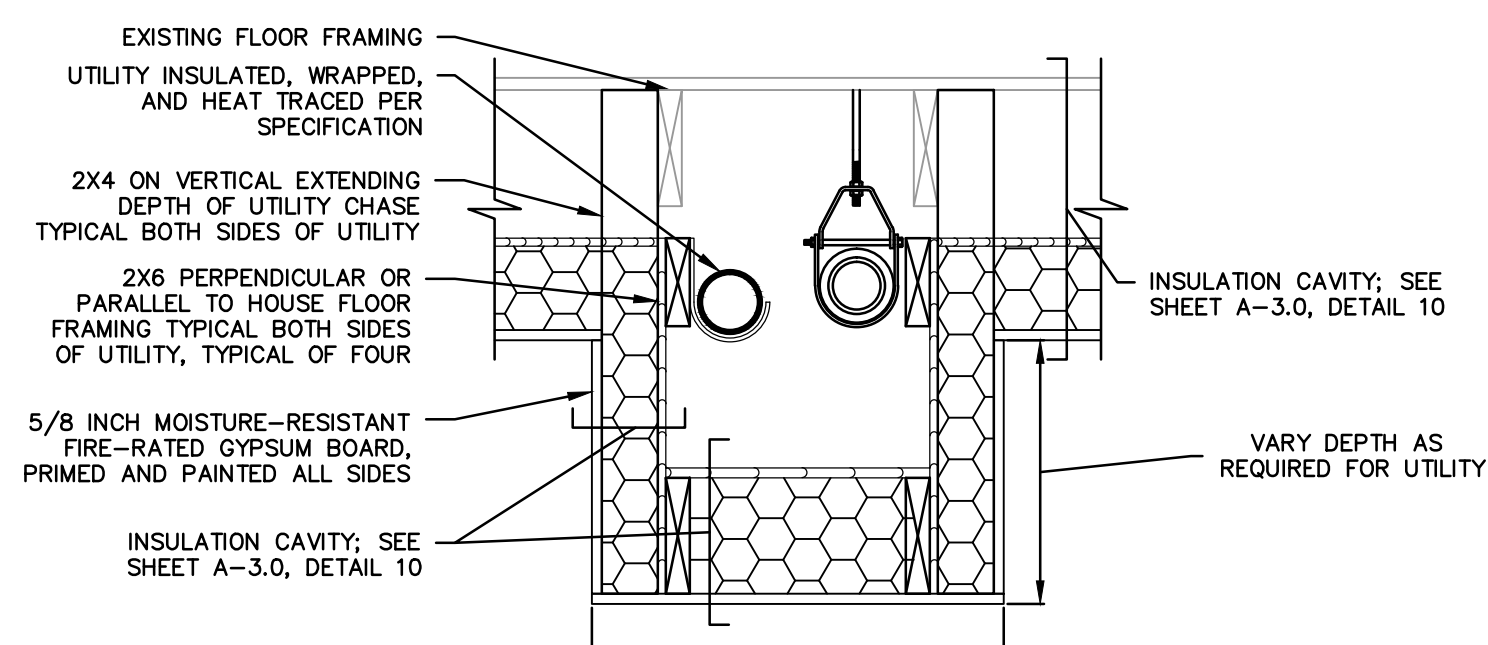
1. PLAN REPRESENTATION OF BUILDING UTILITIES ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PREPARE AND SUBMIT ALL COORDINATION DRAWINGS AS REQUIRED BY SPECIFICATION DIVISIONS 22, 23, AND 26 AND SUBMIT TO THE ENGINEER FOR APPROVAL.
2. FOR COMPLETE BUILDING UTILITY WORK REQUIREMENTS REFER TO CONTRACT SPECIFICATIONS.
3. IT IS THE PROJECT INTENT TO TURN OVER COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS TO THE OWNER FOR FINAL ACCEPTANCE OF PROJECT WORK.
4. FINAL PAYMENT WILL NOT BE PROCESSED WITHOUT SUBMITTAL OF ALL TESTING REPORTS OR EVIDENCE THEREOF FOR COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS, AS REQUIRED BY CONTRACT SPECIFICATIONS AND AUTHORITIES HAVING JURISDICTION.

WORK NOTES

1. COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT NORTH SIDE OF HOUSE. RECONNECT ELECTRICAL SERVICE METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. INSTALL ELECTRICAL SERVICE METER AT UTILITY PROVIDER APPROVED LOCATION ON ELEVATED DECK/WALK ABOVE 100-YEAR FEMA FLOOD ELEVATION 13.0 (NAVD88).
2. EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. CONSTRUCT UTILITY ACCESS CHASES FOR DOMESTIC WATER, SANITARY SEWER, AND NATURAL GAS SERVICE PIPING. MOUNT DOMESTIC WATER, SANITARY SEWER AND NATURAL GAS SERVICE PIPING TO NEW STRUCTURAL COLUMNS WITH GALVANIZED OFFSET PIPE CLAMPS.
3. DISCONNECT HOT WATER STORAGE TANK PRIOR TO HOME ELEVATION IN FRONT CLOSET; RECONNECT, BALANCE, AND COMMISSION AFTER HOME ELEVATION.
4. COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES.
5. EXISTING WEIL MCLAIN WTGO-4 OIL FIRED BOILER TO BE DISCONNECTED AND REMOVED AND DISPOSED OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL AND CHARACTERIZATION OF WASTE MATERIALS.
6. RECENTLY NEW TANKLESS COMBINATION WATER HEATER. DISCONNECT SYSTEM PRIOR TO HOME ELEVATION; BALANCE AND COMMISSION SYSTEM AFTER HOME ELEVATION.
7. RECENTLY NEW ELECTRICAL PANEL BOARD INSTALLED BY OTHERS.
8. FURNISH AND INSTALL FACEPLATES AT ALL RECEPTACLES, SWITCHES AND FIXTURES THROUGHOUT FIRST FLOOR. PROVIDE ONE COLOR SELECTED BY OWNER.
9. RECONNECT GAS METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION; COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN. SECURE GAS LINE TO COLUMN WITH GALVANIZED OFFSET PIPE CLAMPS.
10. COORDINATE WITH UTILITY PROVIDER TO REPLACE EXISTING WATER METER OR RELOCATE EXISTING WATER METER IN CLOSET BENEATH STAIRS TO SECOND FLOOR. COORDINATE WITH REGIONAL WATER AUTHORITY RULES AND REGULATIONS. REPLACE DOMESTIC WATER SERVICE LINE TO PROPERTY LINE AND EXTEND TO HOUSE PIPING.
11. LOCATION OF SANITARY SERVICE LATERAL UNKNOWN. SANITARY DRAIN PIPING TO BE REPLACED FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. NEW SOIL STACK AND HORIZONTAL RUN TO PROPERTY LINE TO BE 6" AWWA C900 PIPE. VERTICAL DROP TO BE LOCATED ADJACENT TO NEW STRUCTURAL COLUMN, AND DRAIN PIPING TO BE REROUTED AS REQUIRED. SEE SANITARY DRAIN SCHEMATIC, THIS SHEET.
12. RELOCATE RELOCATE HOSE BIB TO ELEVATED DECK; FURNISH AND INSTALL NEW NON-FREEZE WALL HYDRANTS.
13. RECESS DOMESTIC WATER PIPING, RADIANT HEATING PIPING, AND SEWER PIPING AT UNDERSIDE OF FIRST FLOOR ABOVE TOP OF NEW PSL BEAMS; FURNISH AND INSTALL NEW FITTINGS FOR RELOCATED PIPING. MATCH EXISTING PIPE SIZES. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE WHERE POSSIBLE.
14. FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL DRAWINGS FOR LOCATION OF STRUCTURAL COLUMNS.
15. FURNISH AND INSTALL ALL MATERIALS TO CONSTRUCT HORIZONTAL UTILITY CHASES AT UNDERSIDE OF HOUSE FOR NATURAL GAS, DOMESTIC WATER AND SANITARY SEWER SERVICE LINES PROJECTING BELOW TOP OF NEW PSL BEAMS. HEAT TRACE DOMESTIC WATER AND SANITARY SEWER PIPING SET BELOW TOP OF NEW PSL BEAMS.
16. FURNISH AND INSTALL ALL MATERIALS FOR NEW HEAT TRACE ON DOMESTIC WATER SERVICE AND SANITARY SEWER DRAIN PIPING PER SPECIFICATIONS. HEAT TRACE WATER LINE TO 42" BELOW GRADE.
17. FURNISH AND INSTALL ALL MATERIALS FOR EXTERIOR LIGHTING FIXTURES AND MOTION DETECTION OPERATION AT UNDERSIDE OF ELEVATED HOUSE; PROVIDE NEW SWITCH ON FIRST FLOOR AND HOMERUN CIRCUIT TO EXISTING PANEL BOARD. PROVIDE TYPE NM CABLE IN GALVANIZED CONDUIT AT UNDERSIDE OF ELEVATED HOUSE. SEE SHEETS A-1.1 AND A-1.2 FOR LIGHTING PLANS.

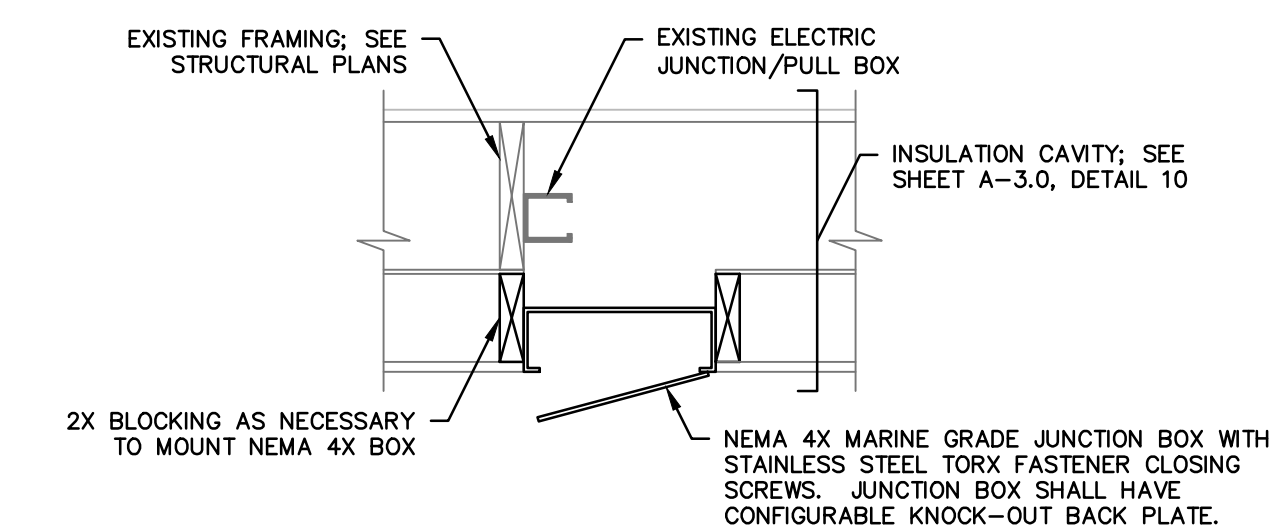
LEGEND

- 1 WORK NOTE
- # DETAIL REFERENCE
- # = DETAIL NUMBER
- X = DETAIL SHEET NUMBER
- LIMIT OF ELEVATED HOUSE
- OH — EXISTING OVERHEAD LINE
- SNET #63 EXISTING UTILITY POLE
- WV EXISTING WATER VALVE



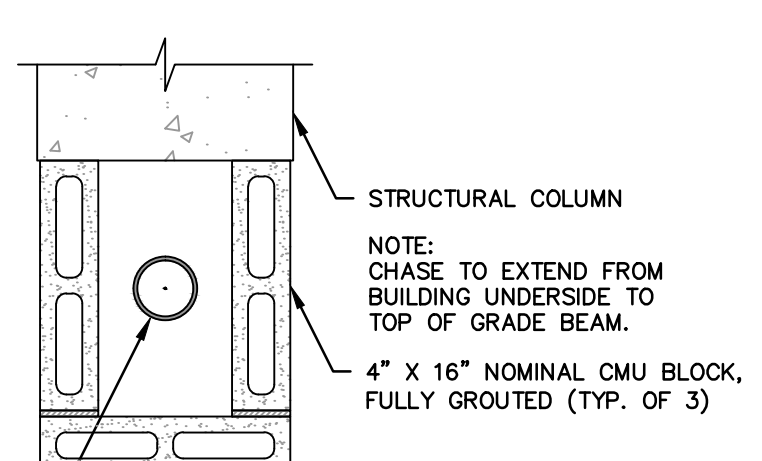
1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. WIDTH OF UTILITY CHASE SHALL BE FIELD VERIFIED WITH CONTRACTOR AND ENGINEER FOR PROPER ACCESS TO REPLACE, REPAIR, OR MAINTAIN SUBJECT UTILITY.
3. UTILITY CHASE SHALL BE CONSTRUCTED FOR NATURAL GAS SERVICE, SANITARY SEWER DRAIN, AND DOMESTIC WATER SERVICE PIPING.

1 UTILITY ACCESS CHASE
C-1.3 1" = 1'

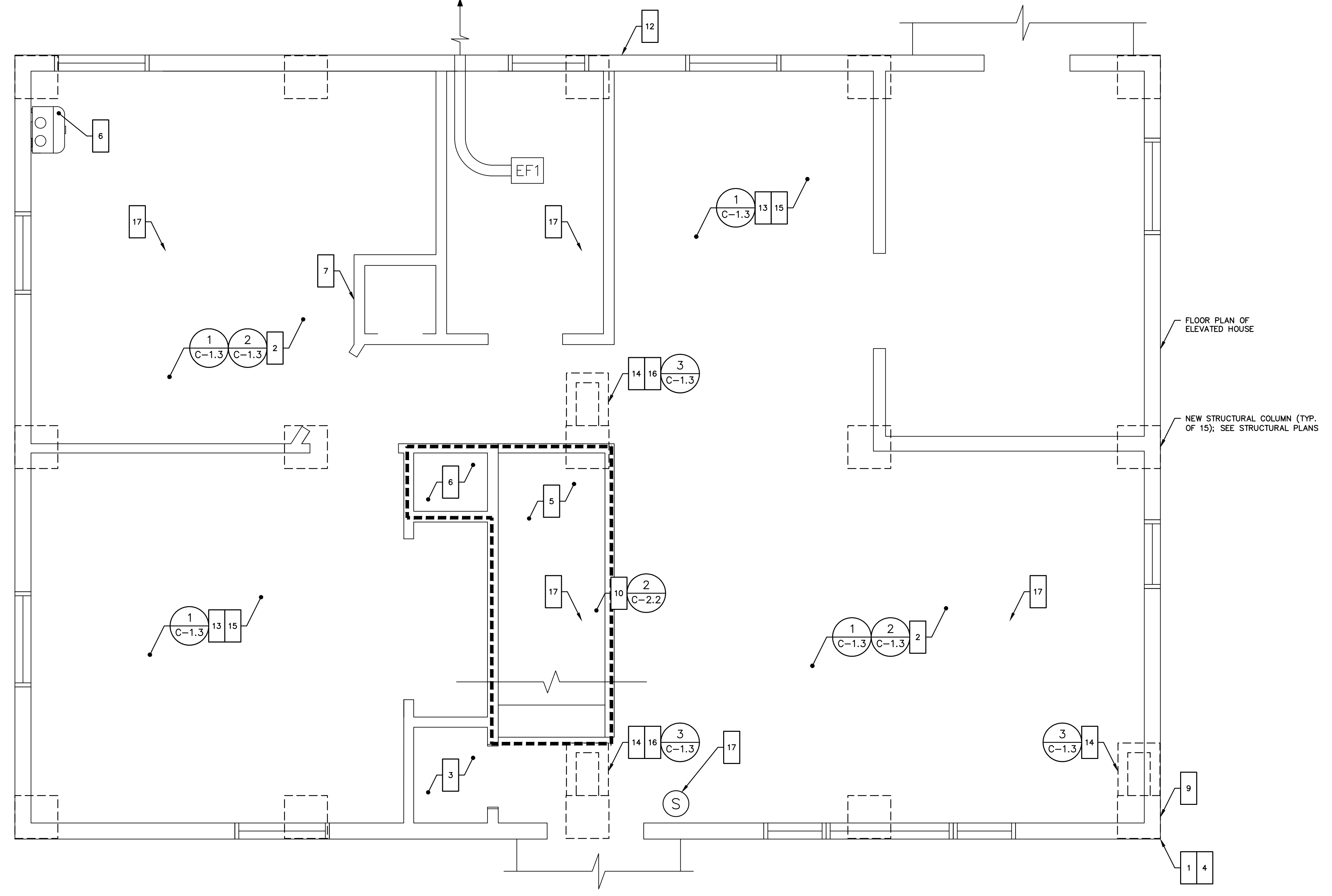


1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. CONTRACTOR SHALL VERIFY IN FIELD AND REVIEW WITH ENGINEER LOCATIONS OF EXISTING JUNCTION/PULL BOXES FOR NEW ACCESS BOX INSTALLATION.
3. NEMA JUNCTION BOX SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, FLUSH WITH SURROUNDING GYPSUM BOARD, WITH WEATHER TIGHT SEAL.

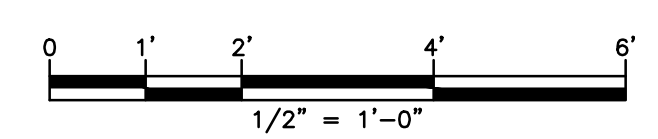
2 ELECTRICAL JUNCTION BOX ACCESS
C-1.3 1" = 1'



3 COLUMN UTILITY CHASE
C-1.3 1" = 1'-0"



FLOOR PLAN



REFERENCE MAP:
1. "BOUNDARY & TOPOGRAPHIC SURVEY" FOR CT DOH AT 12 OLIVER STREET, NORWALK, CONNECTICUT; DATE: 5-6-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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Fax: (860) 436-4626
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NO.	DATE	REVISIONS	BY	CHK	APPV
2	11/17/2016	ISSUED FOR BIDDING		MBR	MBR
1	2/11/2016	ISSUED FOR CT DOH REVIEW & APPROVAL		MBR	MBR
DRAWN: CMP CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE:					

BUILDING UTILITY PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	BASEMAP 33-262-1236.dwg	C-1.3

SEEDING SCHEDULE

PERMANENT SEEDING

PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:

SEED MIXTURE	KIND OF AREA:	
	LAWNS	HIGH MAINTENANCE AREAS
	LBS./ACRE	LBS./1,000 SQ.FT.
KENTUCKY BLUEGRASS	20	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.1
TOTAL	45	1.0

TEMPORARY SEEDING RATES AND DATES

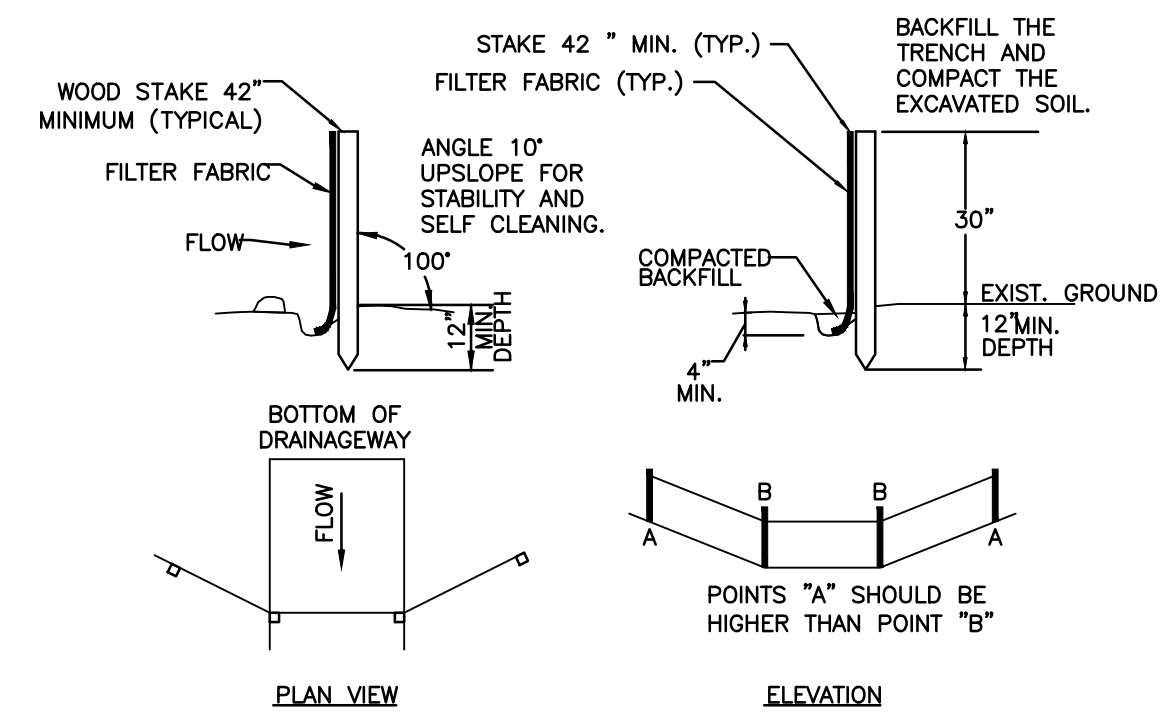
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	DATE (1)(3)	DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1	0.5 INCHES
			3/1-6/15	

SEEDING NOTES:
 (1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED.
 (2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS.
 SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT

ORGANIC MULCH MATERIALS AND APPLICATION RATES

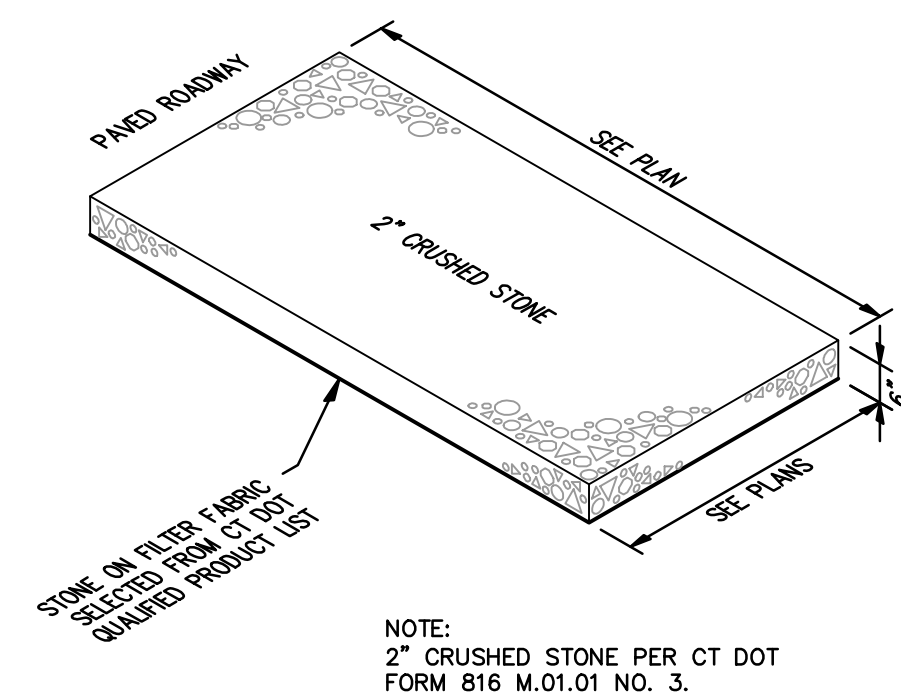
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.

1 TYPICAL SEEDING SCHEDULE
 C-2.0 N.T.S.



- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- B) MAXIMUM POST SPACING IS 10 L.F.
- C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.

2 TYPICAL SILTATION FENCE
 C-2.0 N.T.S.



3 TYPICAL CONSTRUCTION TRACK PAD
 C-2.0 N.T.S.

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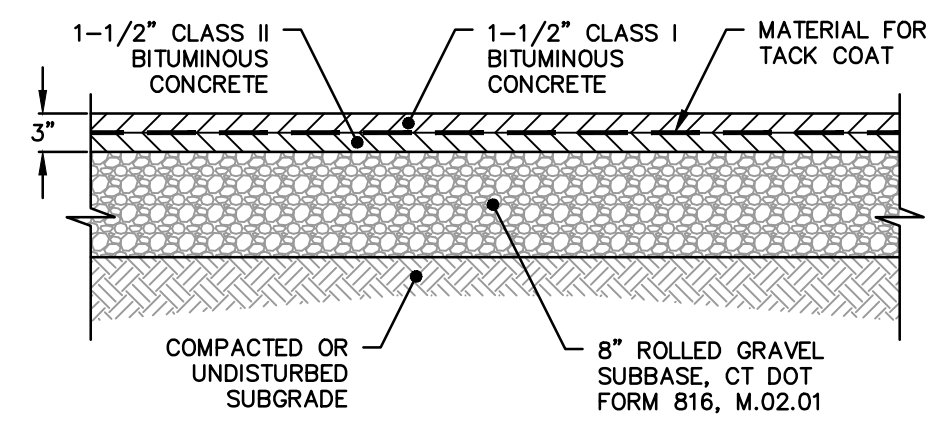
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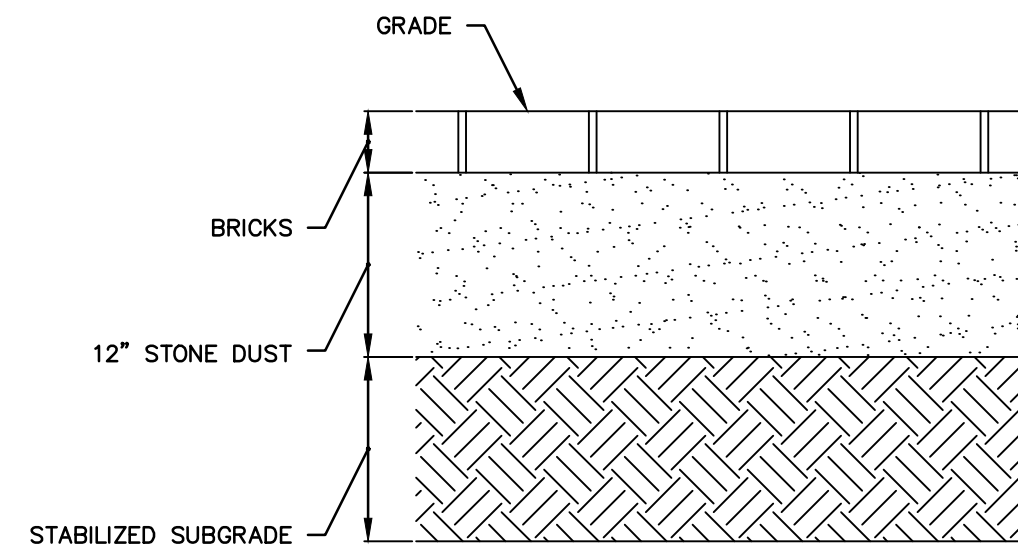
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SOIL EROSION AND
 SEDIMENT CONTROL DETAILS

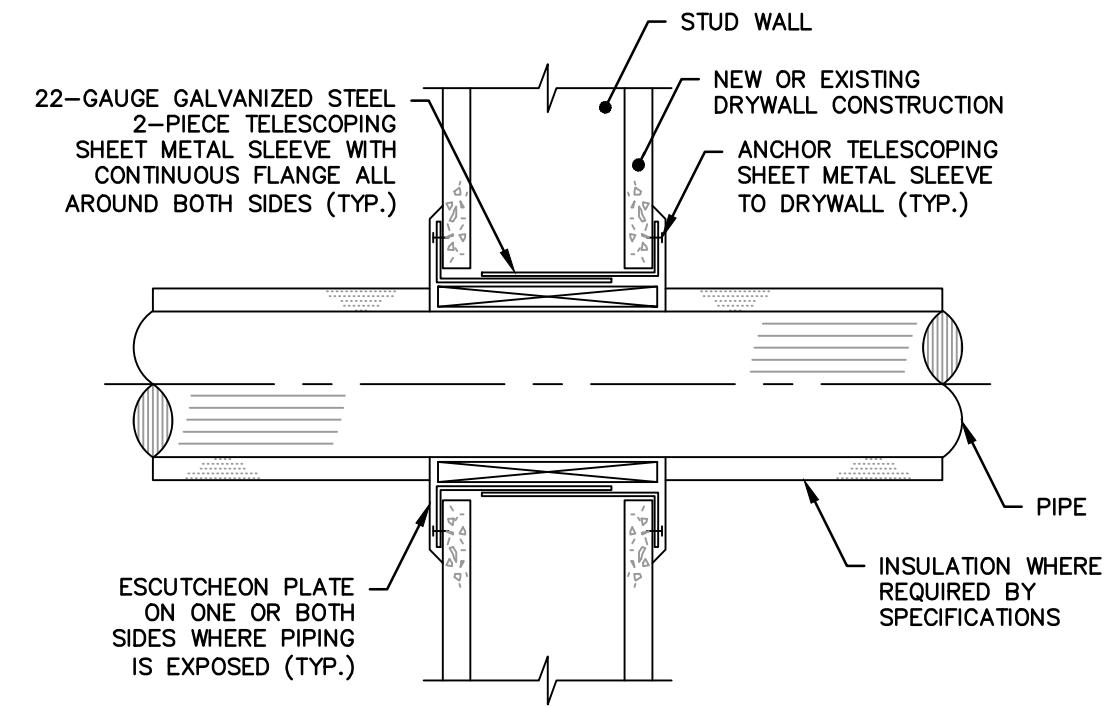
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33-262-1236	BASEMAP 33-262-1236.dwg	C-2.0



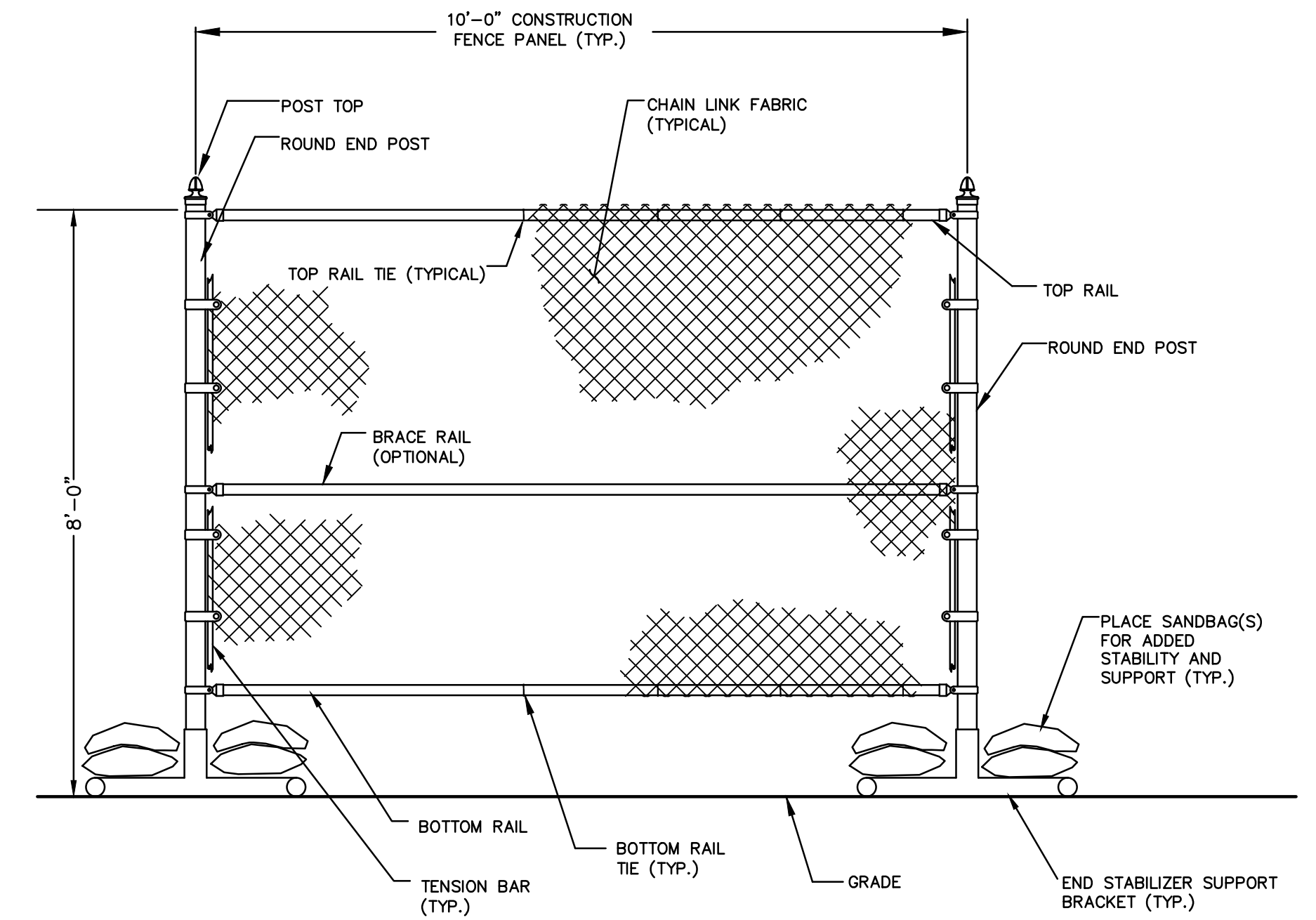
1 TYPICAL BITUMINOUS DRIVEWAY
C-2.1 N.T.S.



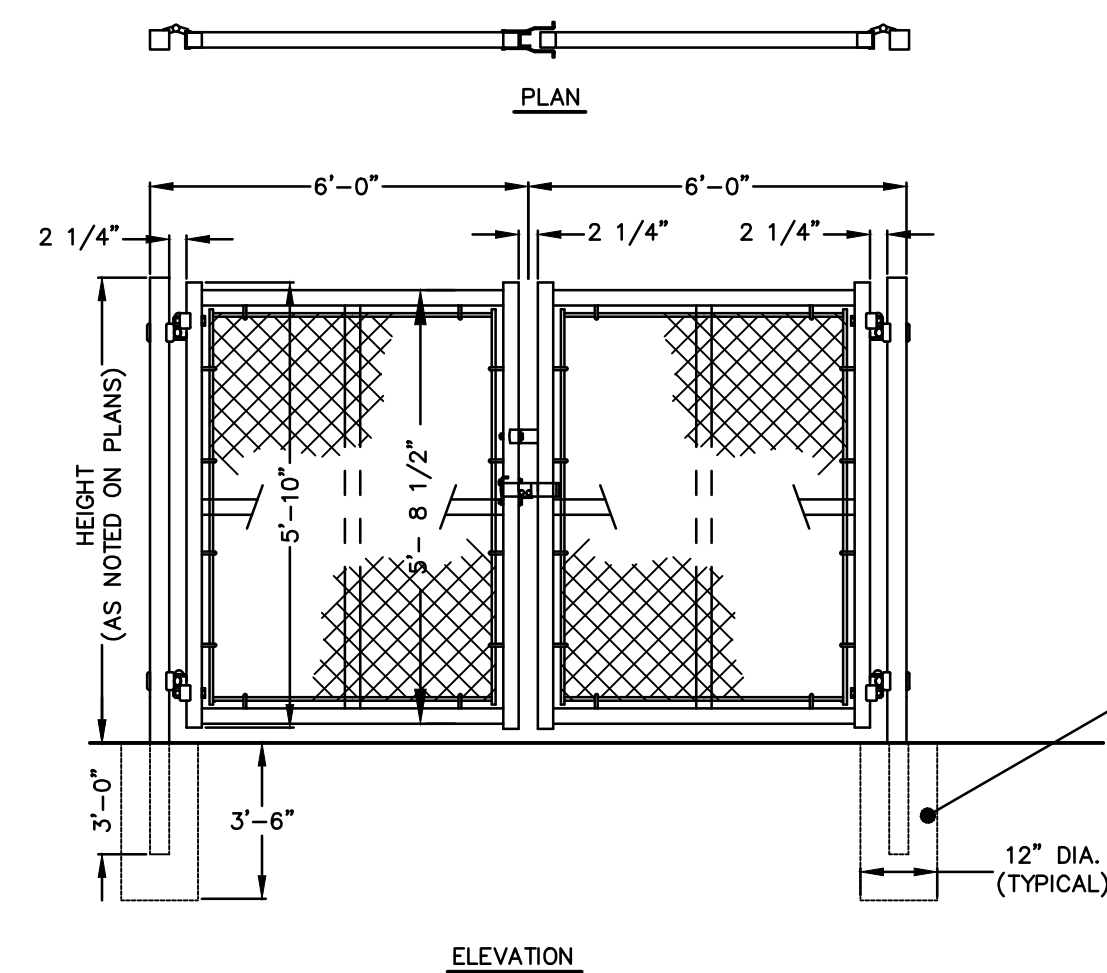
2 TYPICAL BRICK WALKWAY
C-2.1 N.T.S.



3 TYPICAL WALL/FLOOR PENETRATION
C-2.1 N.T.S.

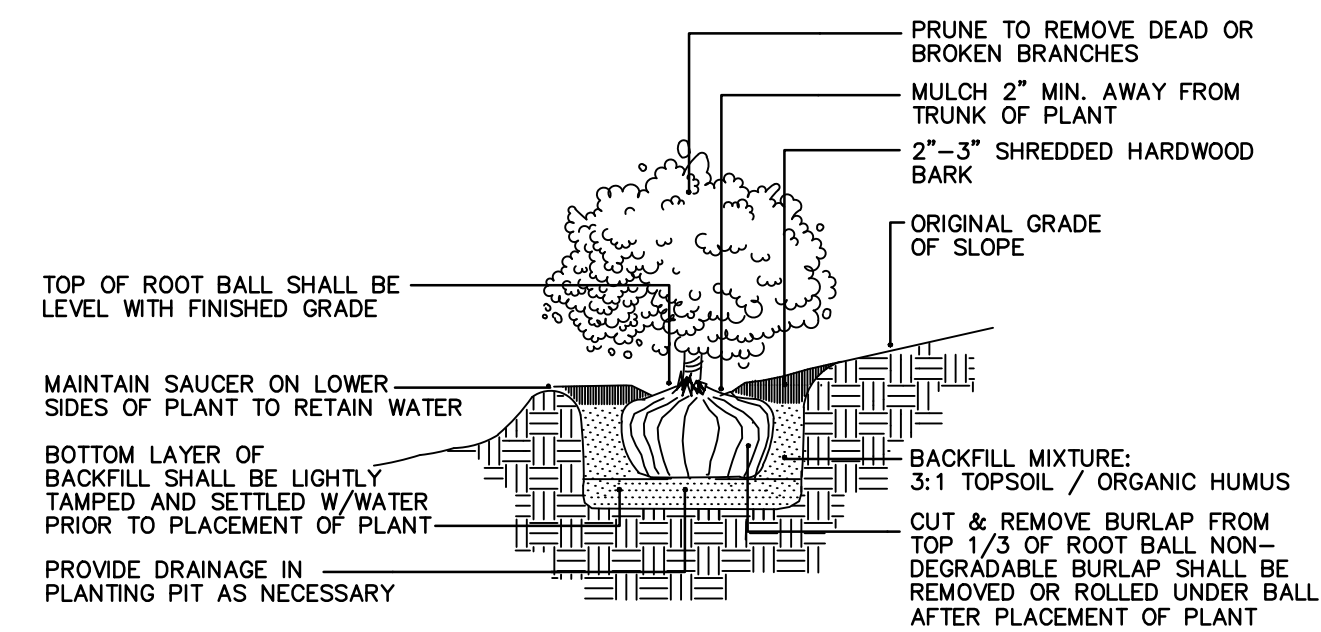


4 TYPICAL PORTABLE CONSTRUCTION CHAIN LINK FENCE
C-2.1 N.T.S.

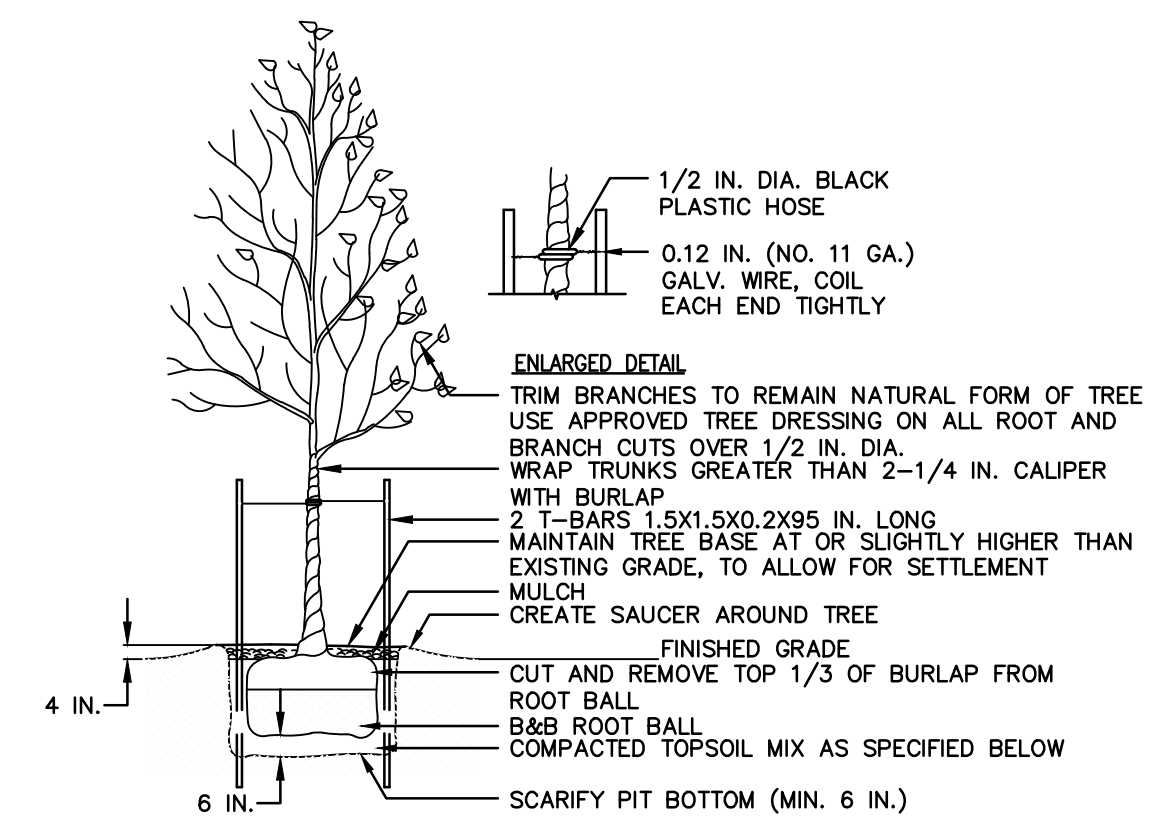


- NOTES:
- GATES SHOULD OPEN TOWARD SITE, AWAY FROM STREET.
 - GATES SHALL HAVE LOCKING MECHANISM THAT CAN BE PADLOCKED.
 - METAL TRIPODS MAY BE USED FOR BOTTOM SUPPORTS INSTEAD OF MOUNTING INTO THE GROUND.
 - MATERIALS, METHODS OF INSTALLATION SHALL BE CONFORM TO "STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 816 M.10.05" OR CURRENT SPECIFICATION FOR SUCH WORK.

5 TYPICAL DOUBLE LEAF CHAIN LINK FENCE GATE
C-2.1 N.T.S.

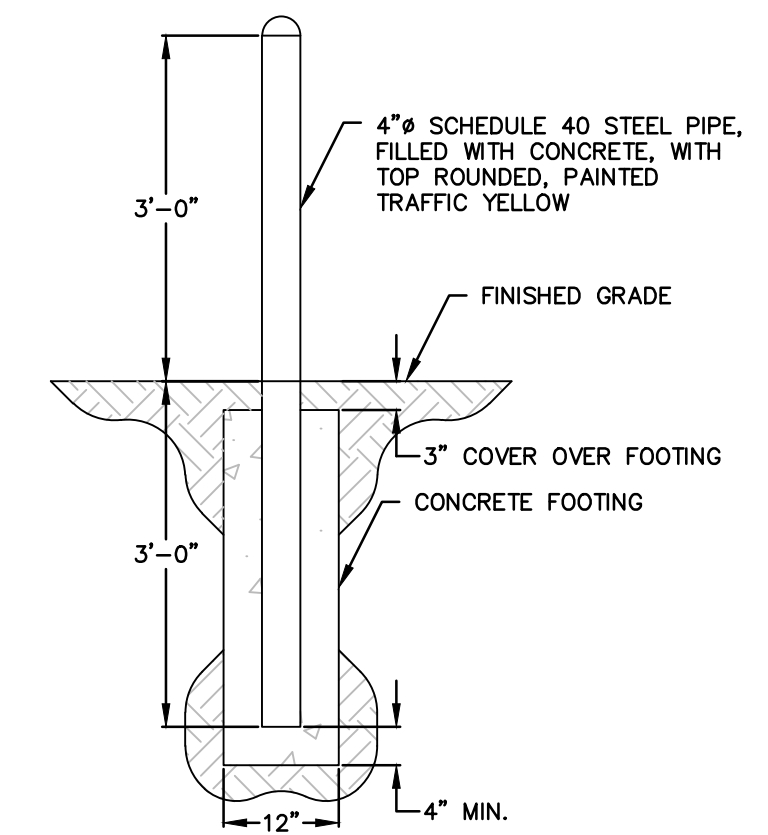


6 TYPICAL SHRUB
C-2.1 N.T.S.



- NOTES:
- TOPSOIL MIX, SEE SPEC.
 - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - WATER THOROUGHLY AFTER INSTALLATION.
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.
 - PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
 - ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

7 TYPICAL DECIDUOUS TREE
C-2.1 N.T.S.



8 TYPICAL BOLLARD
C-2.1 N.T.S.

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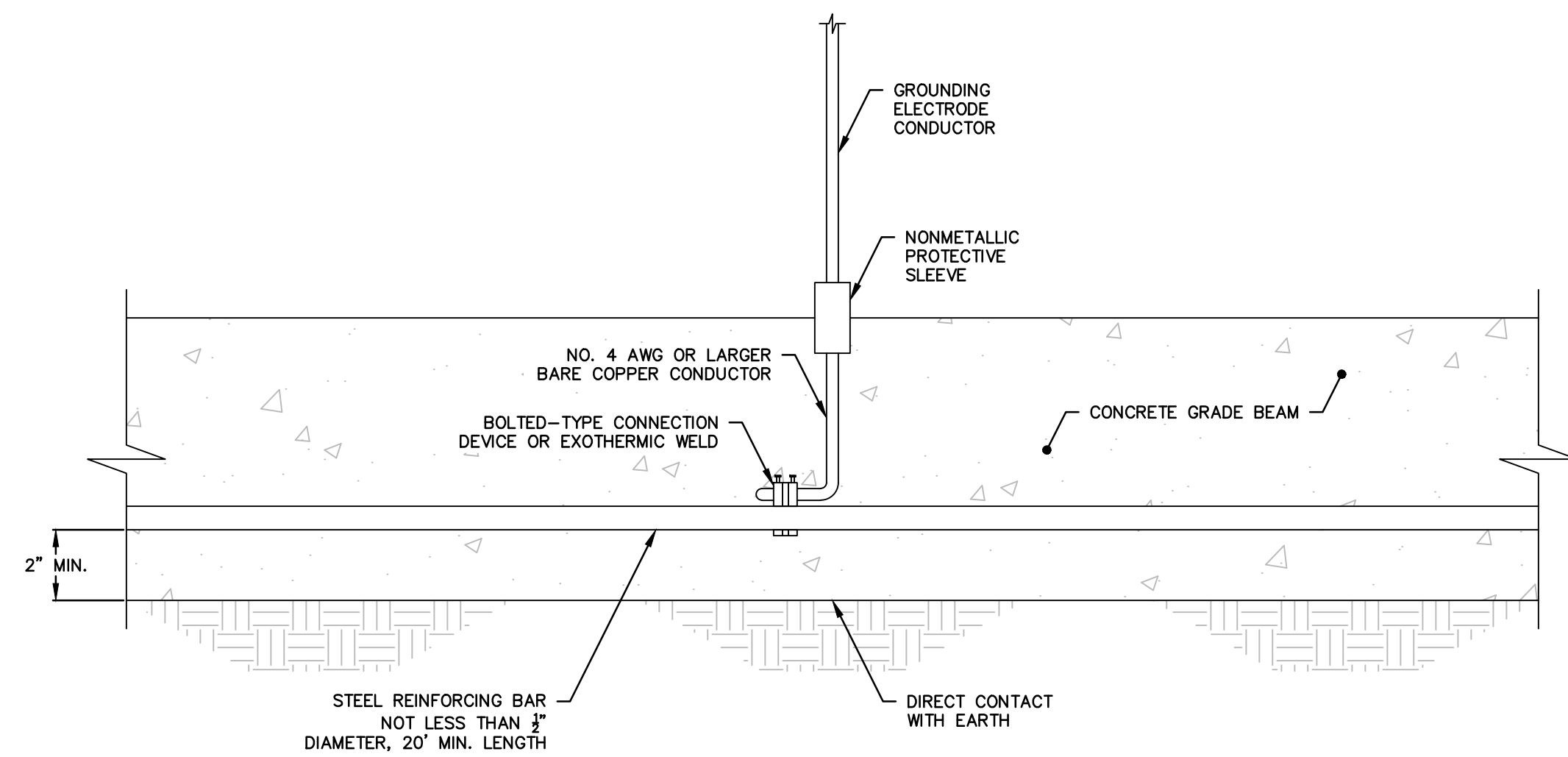
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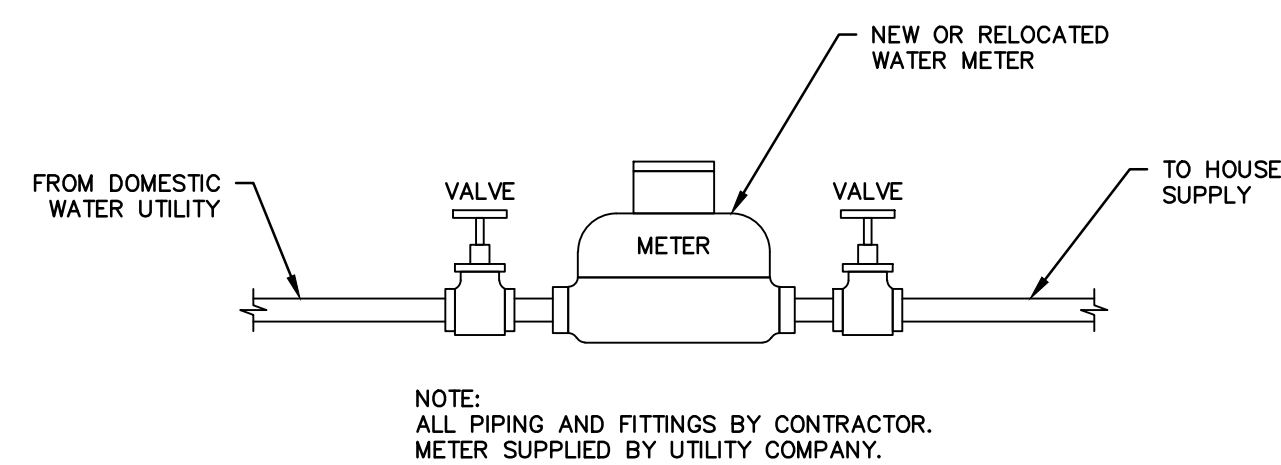
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MISCELLANEOUS DETAILS

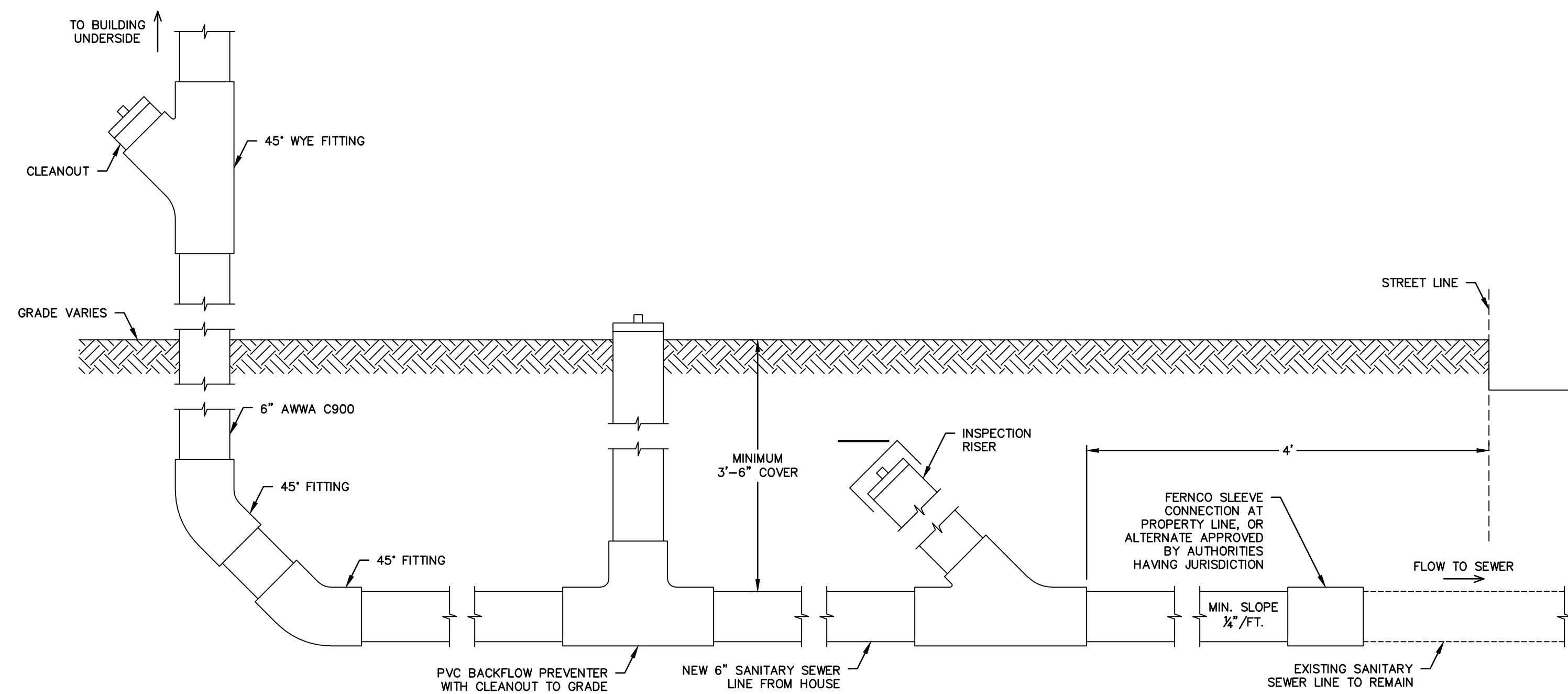
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1 CONCRETE-ENCASED ELECTRODE
C-2.2 N.T.S.



2 WATER METER PIPING
C-2.2 N.T.S.



3 SANITARY DRAIN SCHEMATIC
C-2.2 1" = 1'

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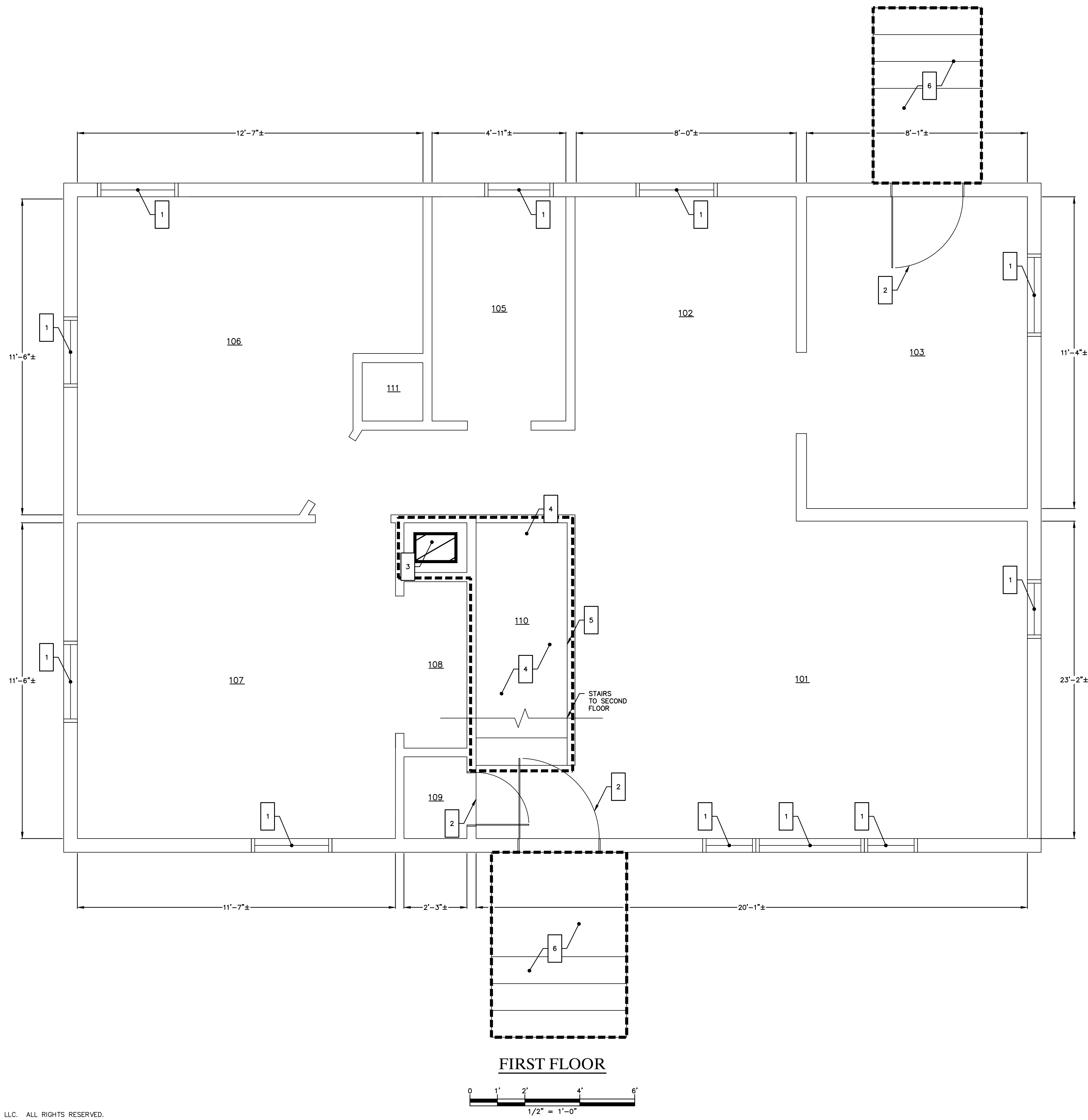
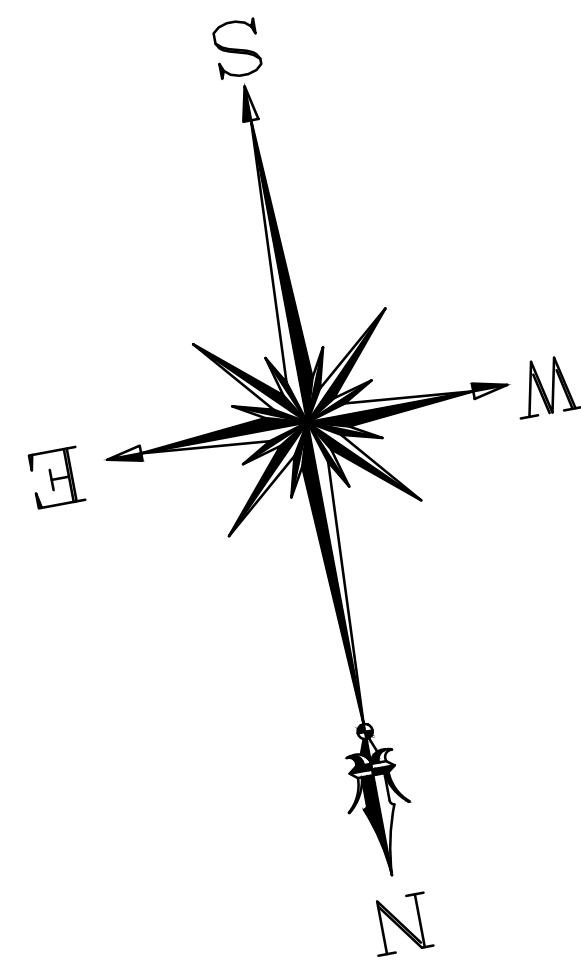
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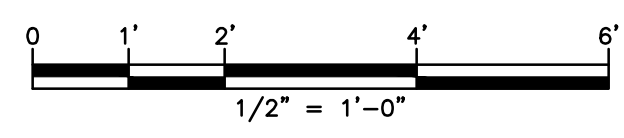
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BUILDING UTILITY DETAILS

JOB NO.	DRAWING NUMBER	SHEET
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FIRST FLOOR



GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 EXISTING WINDOW TO REMAIN
- 2 EXISTING DOORS TO REMAIN
- 3 EXISTING MASONRY CHIMNEY TO BE DEMOLISHED AND DISPOSED OF OFFSITE. PATCH INTERIOR CONSTRUCTION AND FINISHES AS REQUIRED
- 4 FLOOR OPENING TO CRAWLSPACE, LOCATION OF EXISTING BOILER ON MASONRY BLOCKS.
- 5 LIMIT OF FLOOR OPENING TO CRAWLSPACE FOR FRAMING AND FLOORING INFILL. SEE STRUCTURAL DRAWINGS FOR FRAMING INFILL. FURNISH AND INSTALL SUBFLOORING TO MATCH ADJACENT SUBSTRATE
- 6 DEMOLISH AND DISPOSE OF OFFSITE FRONT AND REAR STEPS

ROOM LEGEND	
ROOM ID	ROOM NAME
101	LIVING
102	DINING
103	KITCHEN
104	HALLWAY
105	BATH
106	BEDROOM 1
107	BEDROOM 2
108	BEDROOM 2 CLOSET
109	COAT CLOSET
110	FURNACE CLOSET
111	BATH CLOSET

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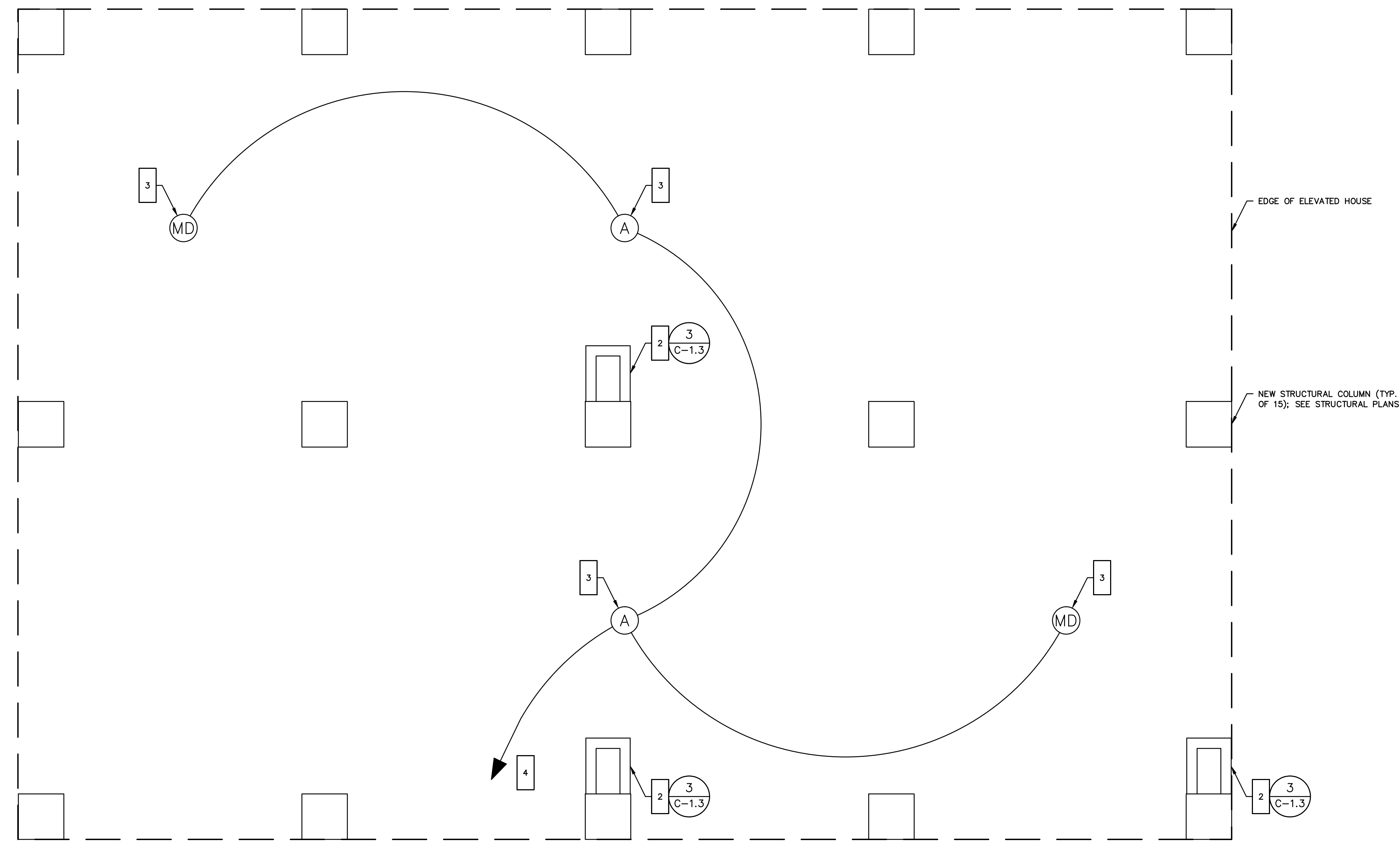
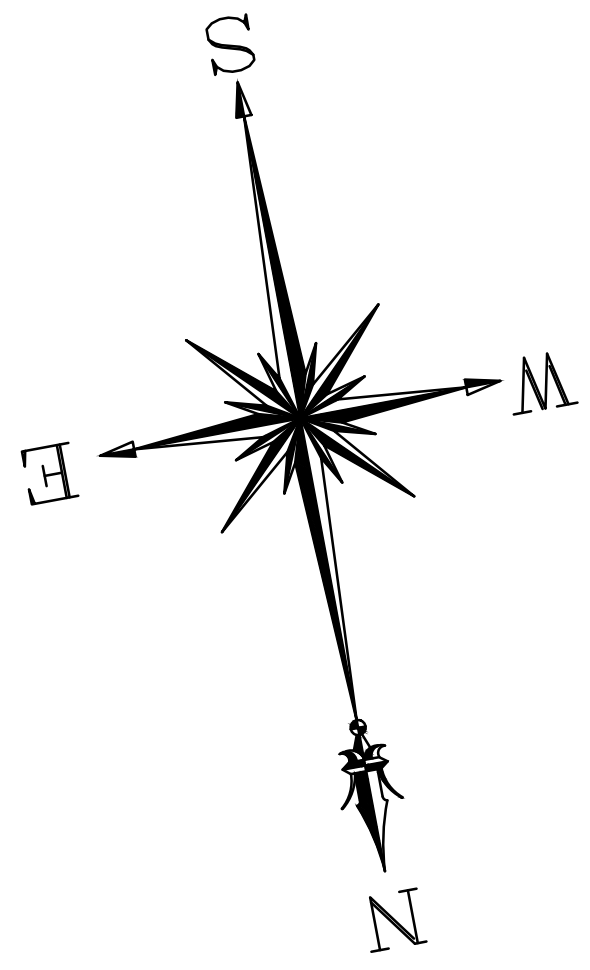
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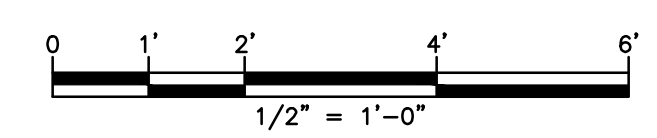
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**FLOOR PLAN-
 EXISTING CONDITIONS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	BASEMAP 33-262-1236.dwg	A-1.0



GRADE LEVEL



GENERAL NOTES

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6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 FURNISH AND INSTALL ALL MATERIALS FOR NEW CONCRETE PAD FOR OUTDOOR HEATING FUEL STORAGE TANK; REINSTALL OUTDOOR HEATING FUEL STORAGE TANK
- 2 FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL DRAWINGS FOR LOCATION OF STRUCTURAL COLUMNS. HEAT TRACE AND INSULATE SANITARY DRAIN PIPING AND DOMESTIC WATER PIPING IN COLUMNS TO 42" BELOW GRADE.
- 3 FURNISH AND INSTALL ALL MATERIALS FOR EXTERIOR LIGHTING FIXTURES AND MOTION DETECTION OPERATION AT UNDERSIDE OF ELEVATED HOUSE.
- 4 CONNECT TO NEW SWITCH ON FIRST FLOOR AND NEW EXTERIOR LIGHTING CIRCUIT ON EXISTING PANEL BOARD. CABLE TO BE NON-METALLIC SHEATHED TYPE NM-B; PROVIDE 2-#12, 1-#12 GROUND. PROVIDE GALVANIZED RIGID CONDUIT FOR CABLING AT BUILDING UNDERSIDE FROM FIXTURES TO FLOOR PENETRATION TO PROPOSED SWITCH AND SUPPLY ON FIRST FLOOR.

LIGHTING LEGEND	
(A)	LIGHT FIXTURE, LITHONIA SERIES VR2
(MD)	MOTION DETECTOR
(S)	LIGHT SWITCH

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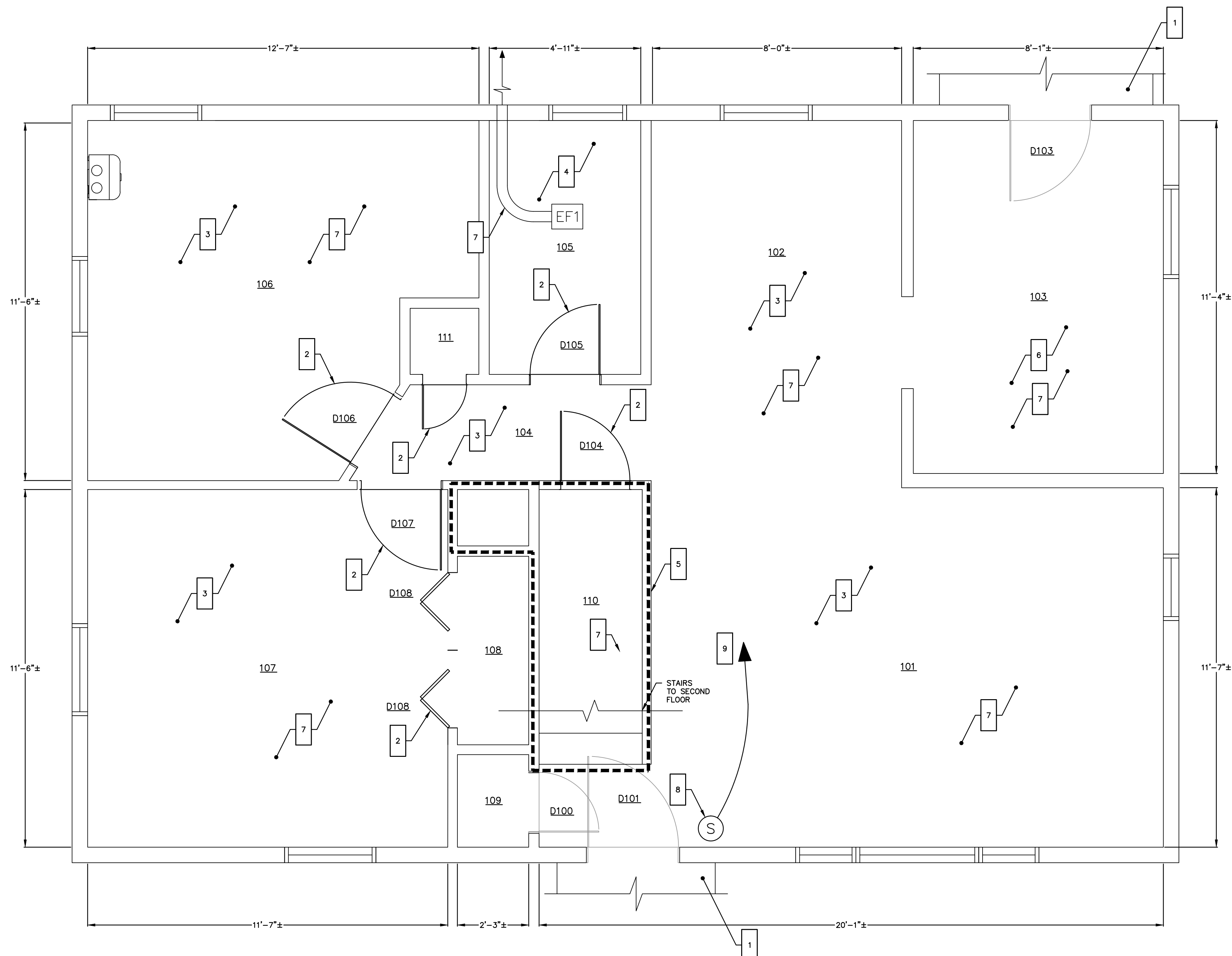
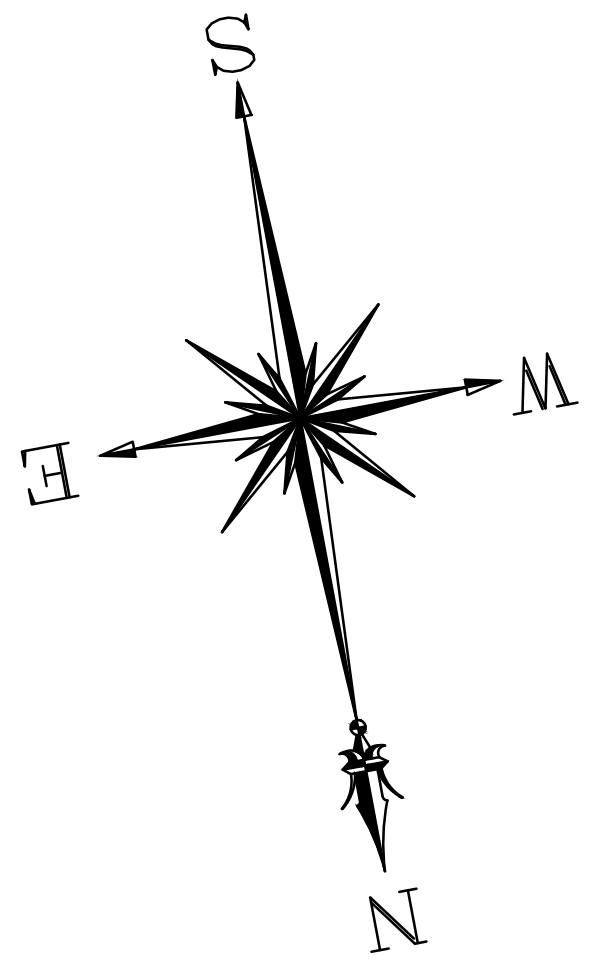
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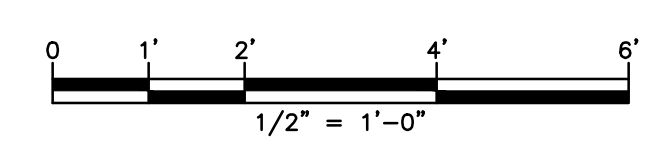
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**FLOOR PLAN-
 PROPOSED CONDITIONS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	BASEMAP 33-262-1236.dwg	A-1.1



FIRST FLOOR



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6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

- 1 SEE CIVIL AND STRUCTURAL DRAWINGS FOR NEW STAIRS
- 2 FURNISH AND INSTALL NEW DOOR IN EXISTING ROUGH OPENING. SEE DOOR SCHEDULE, SHEET A-1.3.
- 3 COMPLETE ALL FINISH WORK ON FIRST FLOOR; SEE FINISH SCHEDULE, SHEET A-1.2. CASE AND TRIM ALL WINDOWS AND DOORS WITH PINE TRIM. STAIN TRIM OWNER-SELECTED COLOR. DOOR AND WINDOW CASINGS TO BE COLONIAL WM351 PROFILE OR SIMILAR. WINDOW APRON, SILL, AND STOOL INSTALLATION TO COORDINATE WITH EXISTING WINDOWS. SUBMIT PROFILES FOR INSTALLATION TO MCA FOR APPROVAL.
- 4 COMPLETE ALL FINISH WORK IN FIRST FLOOR BATHROOM; SEE FINISH SCHEDULE SHEET A-1.3. SEE SPECIFICATION FOR ALLOWANCES FOR BATHROOM FIXTURES.
- 5 LIMIT OF FLOOR OPENING TO CRAWLSPACE FOR FRAMING AND FLOORING INFILL; SEE STRUCTURAL DRAWINGS FOR FRAMING INFILL. FURNISH AND INSTALL SUBFLOORING TO MATCH ADJACENT SUBSTRATE.
- 6 COMPLETE ALL FINISH WORK IN KITCHEN; SEE FINISH SCHEDULE, SHEET A-1.2. DISCONNECT AND RECONNECT ALL APPLIANCES. REINSTALL EXISTING CABINETS; COORDINATE WITH OWNER FOR LAYOUT.
- 7 COMPLETE LIGHTING INSTALLATION THROUGHOUT FIRST FLOOR. FURNISH AND INSTALL BROAN 678 50 CFM SONES2.5 COMBINATION LIGHT VENT FAN IN FIRST FLOOR BATHROOM. ROUTE EXHAUST FROM VENT FAN THROUGH SIDE WALL OF HOUSE WITH BROAN WVK2A SIDE VENT KIT; FLASH AND SEAL EXTERIOR PENETRATIONS.
- 8 FURNISH AND INSTALL ALL MATERIALS FOR NEW SWITCH ON FIRST FLOOR, TO CONTROL EXTERIOR LIGHTING BENEATH HOUSE
- 9 CONNECT TO NEW EXTERIOR LIGHTING CIRCUIT ON EXISTING PANEL BOARD

LIGHTING LEGEND	
(A)	LIGHT FIXTURE, LITHONIA SERIES VR2
(MD)	MOTION DETECTOR
(S)	LIGHT SWITCH

ROOM LEGEND	
ROOM ID	ROOM NAME
101	LIVING
102	DINING
103	KITCHEN
104	HALLWAY
105	BATH
106	BEDROOM 1
107	BEDROOM 2
108	BEDROOM 2 CLOSET
109	COAT CLOSET
110	FURNACE CLOSET
111	HALL CLOSET

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 Telephone: (860) 436-4364
 Fax: (860) 436-4626
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**FLOOR PLAN-
 PROPOSED CONDITIONS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	BASEMAP 33-262-1236.dwg	A-1.2

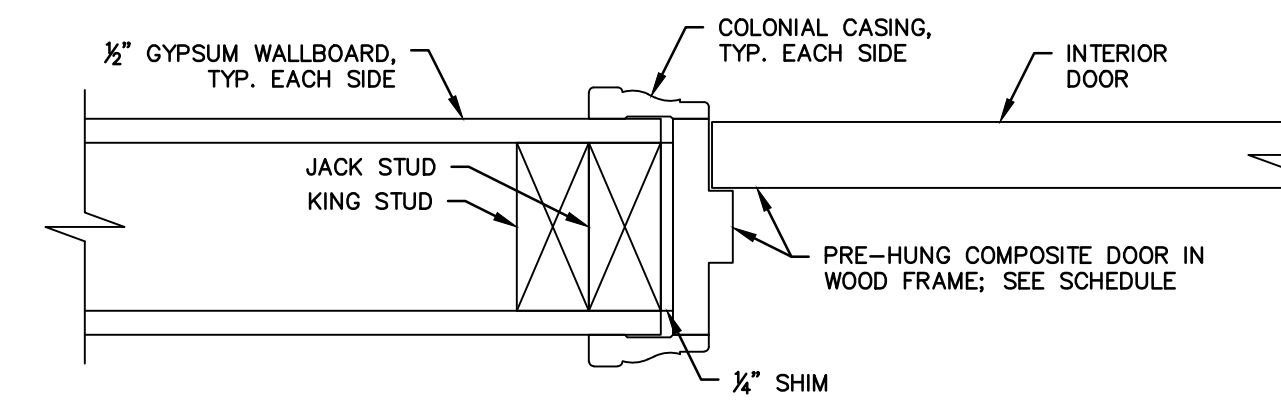
DOOR SCHEDULE

DOOR NUMBER	ROOM NUMBER	ROUGH OPENING WIDTH*	DOOR WIDTH	TYPE**	DOOR		FRAME		HARDWARE SET***	REMARKS
					MATERIAL	FINISH	MATERIAL	FINISH		
D100	101	-	-	-	-	-	-	-	-	PREVIOUSLY INSTALLED BY OTHERS
D101	101	-	-	-	-	-	-	-	-	PREVIOUSLY INSTALLED BY OTHERS
D103	103	-	-	-	-	-	-	-	-	PREVIOUSLY INSTALLED BY OTHERS
D104	104	32-1/2"	2'-8"	A	COMPOSITE	FACTORY	WOOD	PAINTED	2	
D105	105	30-1/2"	2'-6"	A	COMPOSITE	FACTORY	WOOD	PAINTED	1	
D106	106	32-3/4"	2'-8"	A	COMPOSITE	FACTORY	WOOD	PAINTED	1	
D107	107	33"	2'-8"	A	COMPOSITE	FACTORY	WOOD	PAINTED	1	
D108	108	49-1/2"	2'-8"	B	COMPOSITE	FACTORY	WOOD	PAINTED	3	
D111	111	30"	2'-0"	B	COMPOSITE	FACTORY	WOOD	PAINTED	3	

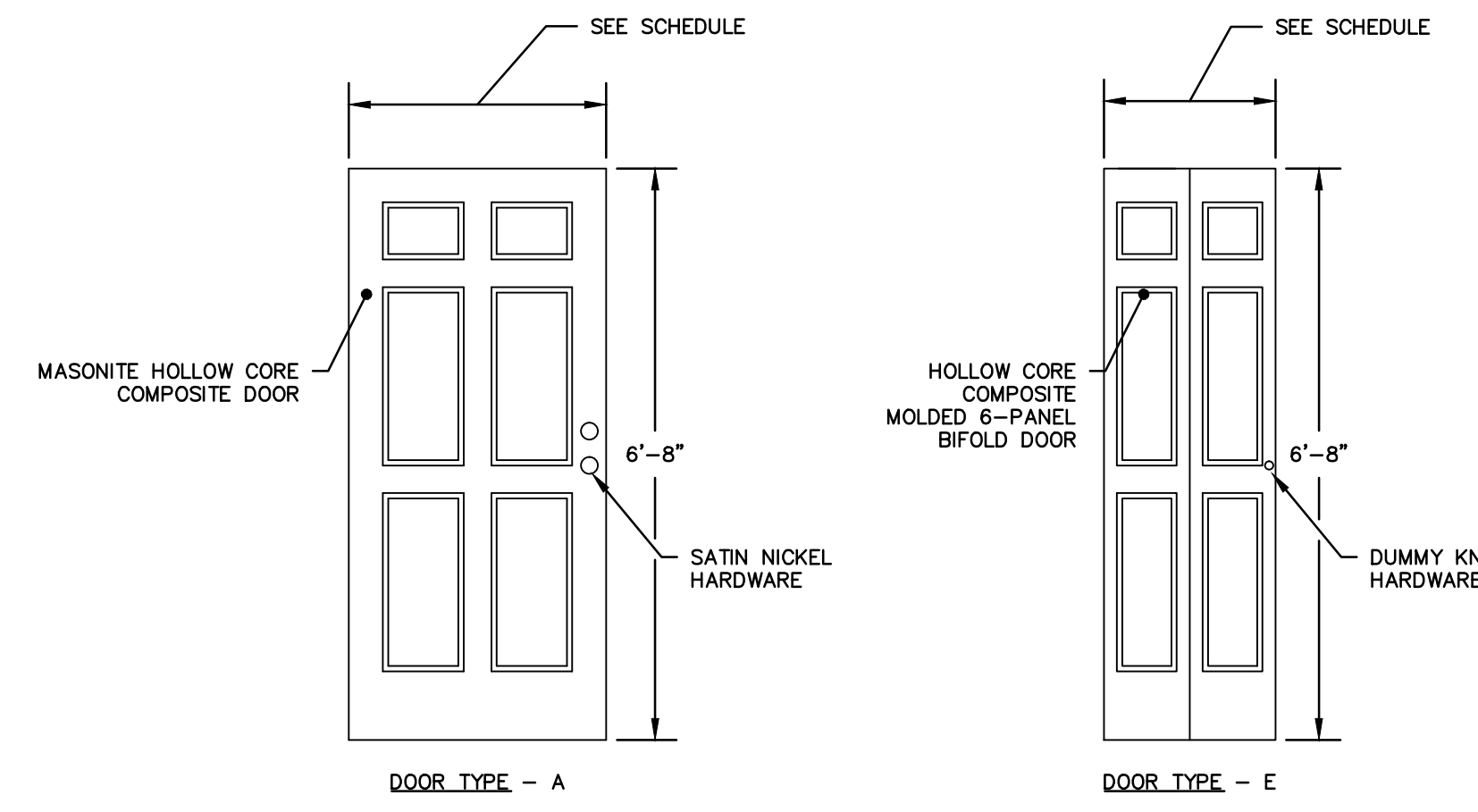
* CONTRACTOR TO VERIFY ROUGH OPENING WIDTHS AND HEIGHTS IN FIELD AND MODIFY TO SUIT WITHOUT ADDITIONAL FEES.
 ** SEE DOOR TYPES TABLE, BELOW.
 *** SEE HARDWARE SETS TABLE, BELOW. ALL DOORS TO BE KEYS ALIKE.

DOOR TYPES	
A	PREHUNG SMOOTH 6-PANEL HOLLOW CORE MOLDED COMPOSITE DOOR, WITH WOOD FRAME
B	2 PANEL PRIMED SMOOTH HOLLOW CORE HARD BOARD BI-FOLD DOOR

HARDWARE SETS	FINISH	REMARK	MANUFACTURER
1	SATIN NICKEL	DOOR KNOB, PRIVACY	SCHLAGE, F40 GEO 629
2	SATIN NICKEL	DOOR KNOB, PASSAGE	SCHLAGE, F10 ACC 619
3	SATIN NICKEL	DUMMY KNOB	SCHLAGE, F170 ORB 619



1 INTERIOR DOOR JAMB AND HEADER DETAIL
 A-1.3 3" = 1'-0"



2 DOOR ELEVATIONS
 A-1.3 N.T.S.

FINISH SCHEDULE

ABBREVIATIONS:
 WD - WOOD CER - CERAMIC TILE GWB - GYPSUM WALLBOARD
 PLY - PLYWOOD VCT - VINYL COMPOSITION TILE PTD - PAINTED
 HDWD - HARDWOOD VP - VINYL PLANK OS - OWNER-SELECTED
 PFHDWD - PREFINISHED HARDWOOD CPT - CARPET OS - OWNER-SELECTED
 CMB - CEMENT BOARD PBT - PINE BOARD TRIM RIK - REPLACE IN KIND
 N/A - NOT APPLICABLE

ROOM NAME	ROOM ID	FLOOR			BASE				WALL			CEILING			REMARKS
		SUBSTRATE	FINISH	COLOR	MATERIAL	PROFILE	FINISH	COLOR	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR	
LIVING	101	PLY	HDWD	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
DINING	102	PLY	HDWD	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
KITCHEN	103	CMB	CER	N/A	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
HALL	104	PLY	HDWD	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
BATH	105	PLY	CER	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
BEDROOM 1	106	PLY	HDWD	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
BEDROOM 2	107	PLY	HDWD	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
BEDROOM 1 CLOSET	108	PLY	HDWD	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
COAT CLOSET	109	PLY	HDWD	OS	PBT	WM662	PTD	WHITE	GWB	PTD	OS	GWB	PTD	OS	
FURNACE CLOSET	110	PLY	N/A	N/A	N/A	N/A	N/A	N/A	GWB	N/A	N/A	GWB	N/A	N/A	
HALL CLOSET	111	CMB	CER	OS	PBT	WM662	PTD	WHITE	GWB	PTD	PTD	GWB	PTD	OS	

GENERAL NOTES

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6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

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SCHEDULES

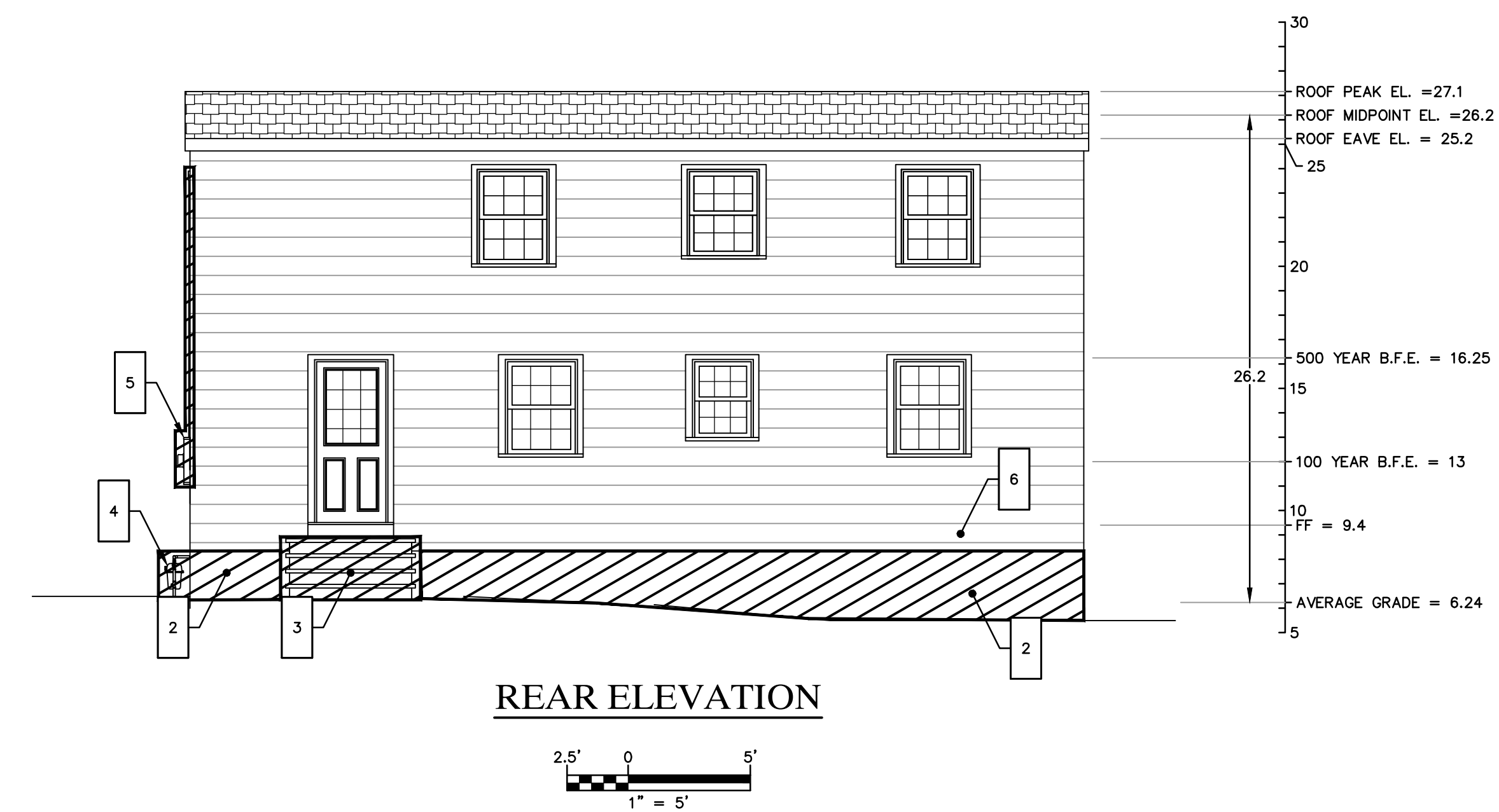
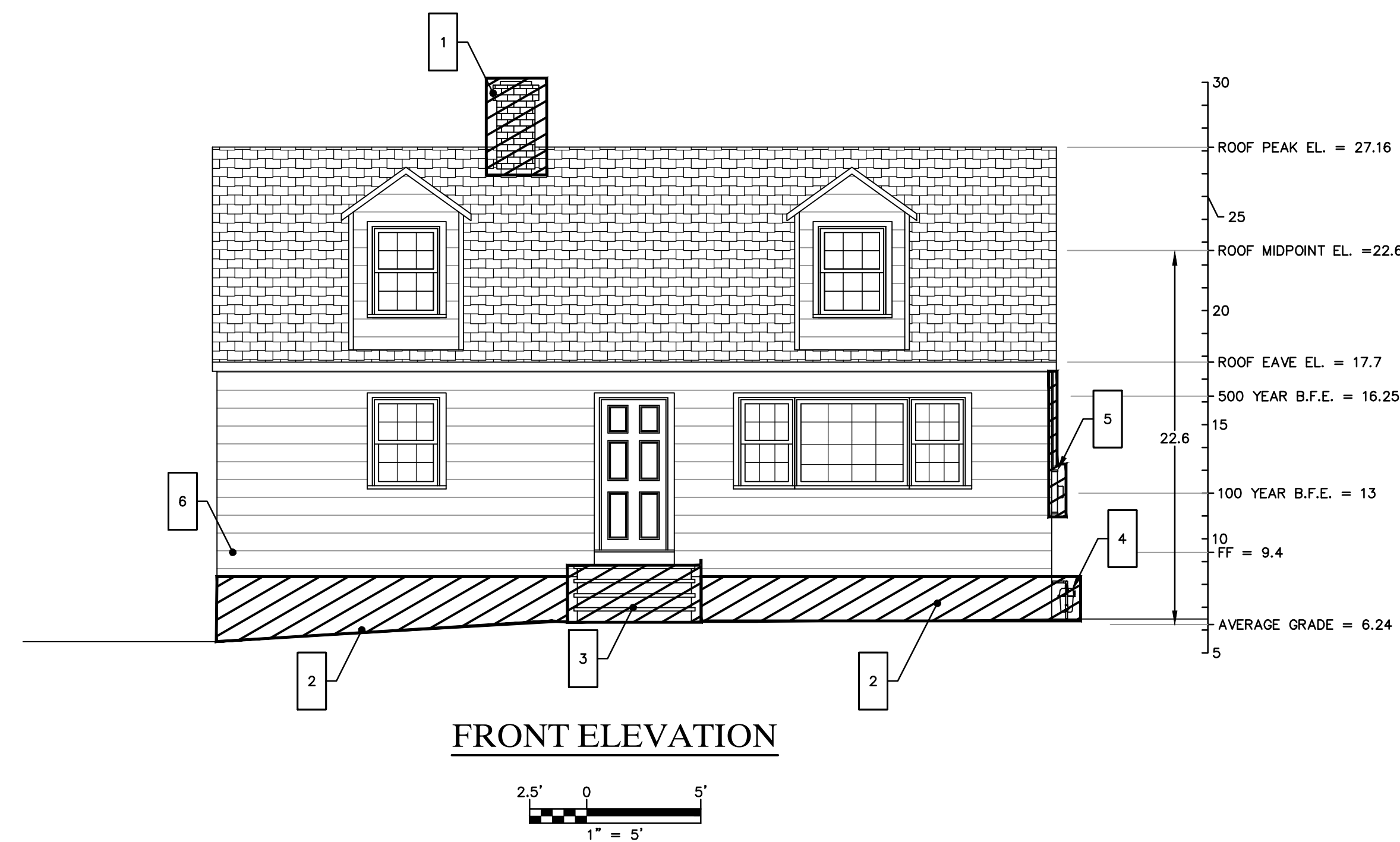
JOB NO.	DRAWING NUMBER	SHEET
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WORK NOTES

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- 2 DEMOLISH AND REMOVE OFFSITE EXISTING FOUNDATION AND ALL SUPPORTS BELOW GRADE
- 3 DEMOLISH AND REMOVE OFFSITE FRONT AND REAR STAIRS, RAILING AND ALL SUPPORTS BELOW GRADE
- 4 COORDINATE DISCONNECT GAS METER AND GAS SERVICE. STORE METER ON SITE FOR REINSTALLATION OR REPLACE AS REQUIRED BY LOCAL UTILITY PROVIDER
- 5 COORDINATE FOR DISCONNECT AND RELOCATION ELECTRIC METER AND ELECTRIC SERVICE. STORE METER ON SITE FOR REINSTALLATION OR REPLACE AS REQUIRED BY LOCAL UTILITY PROVIDER
- 6 REMOVE SIDING AS REQUIRED TO ELEVATE STRUCTURE AND FOR INSTALLATION OF HURRICANE STRAPS. SEE STRUCTURAL DRAWINGS



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BUILDING ELEVATIONS- EXISTING CONDITIONS

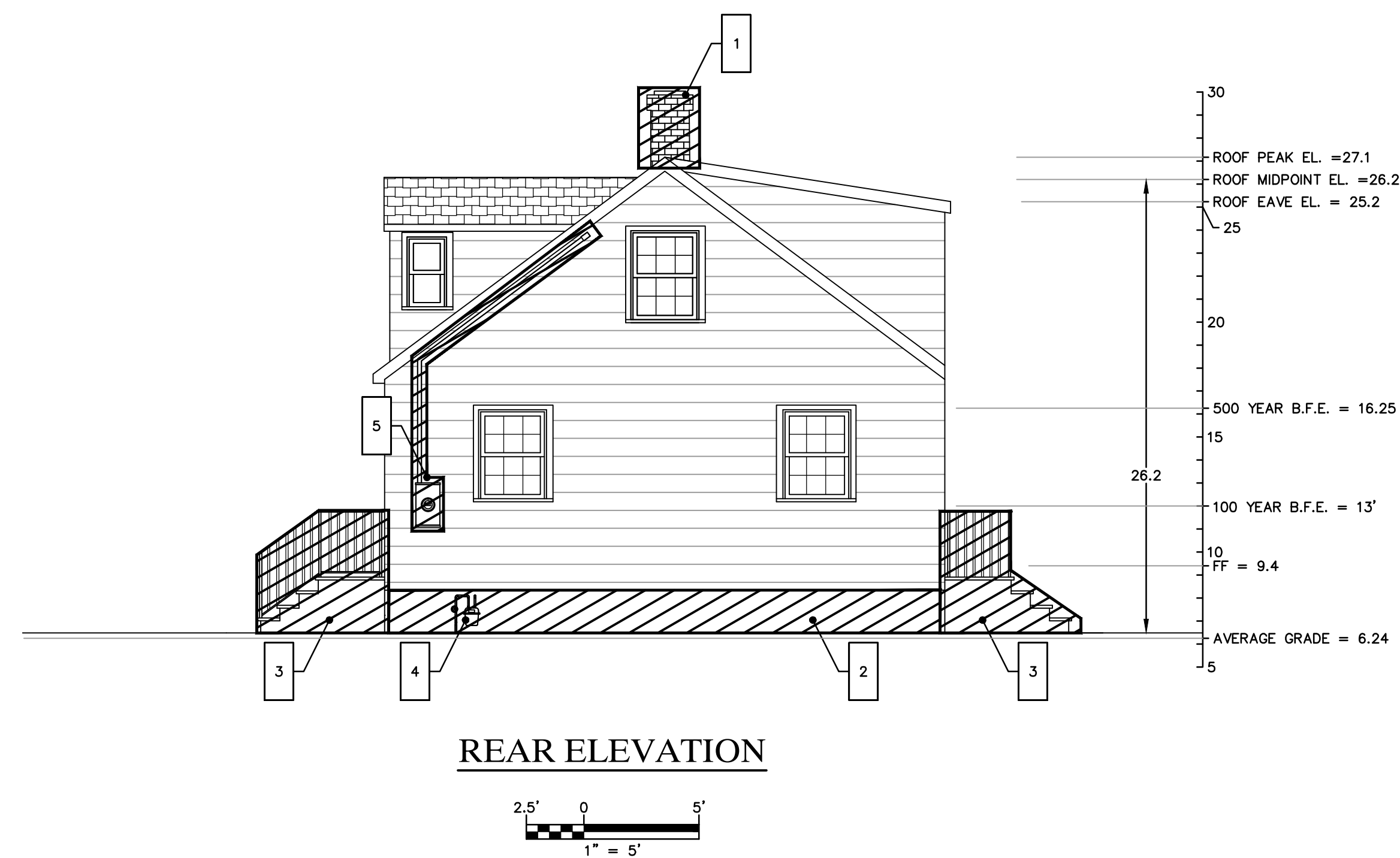
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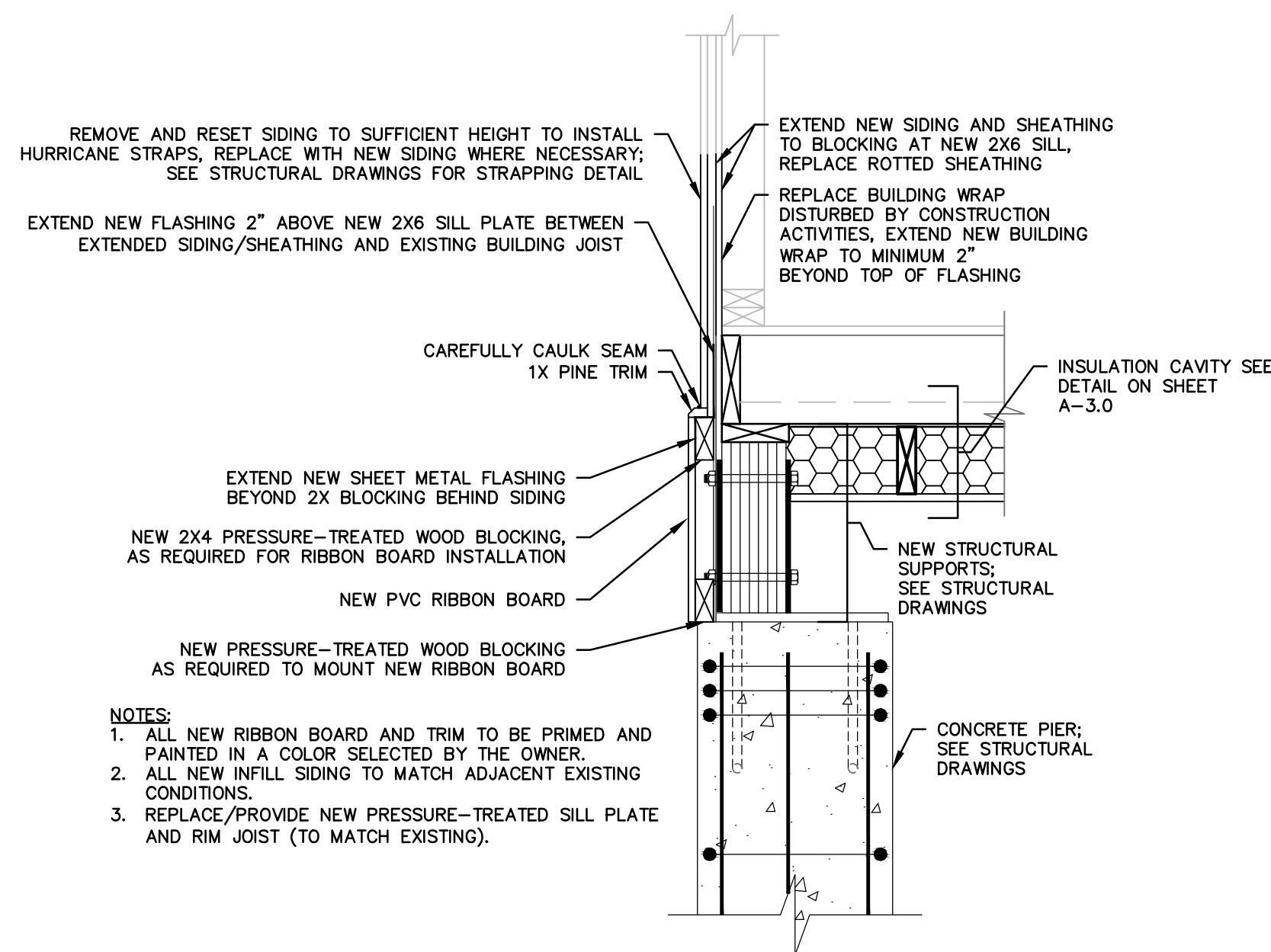
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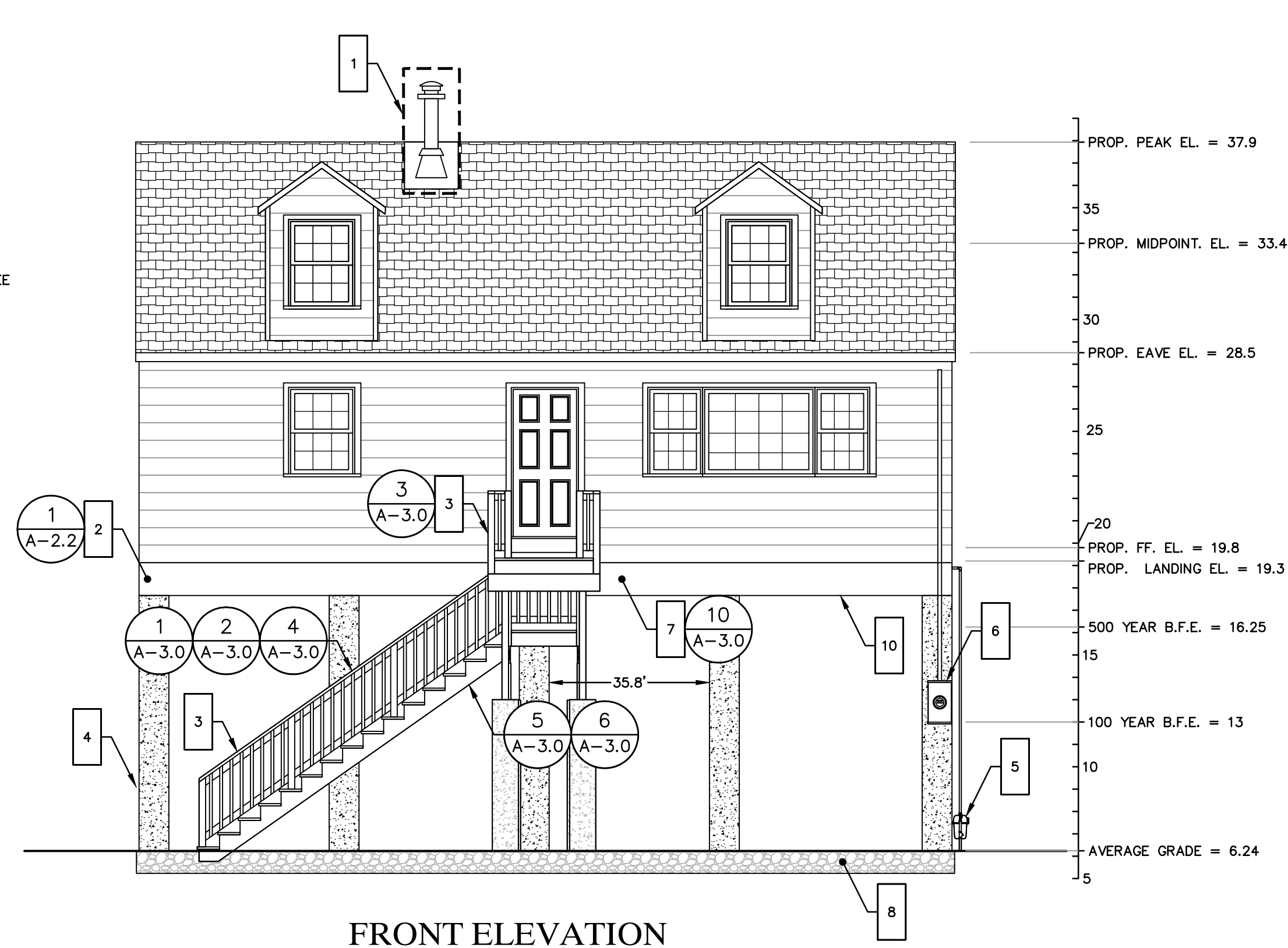
**BUILDING ELEVATIONS-
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33-262-1236	BASEMAP 33-262-1236.dwg	A-2.1

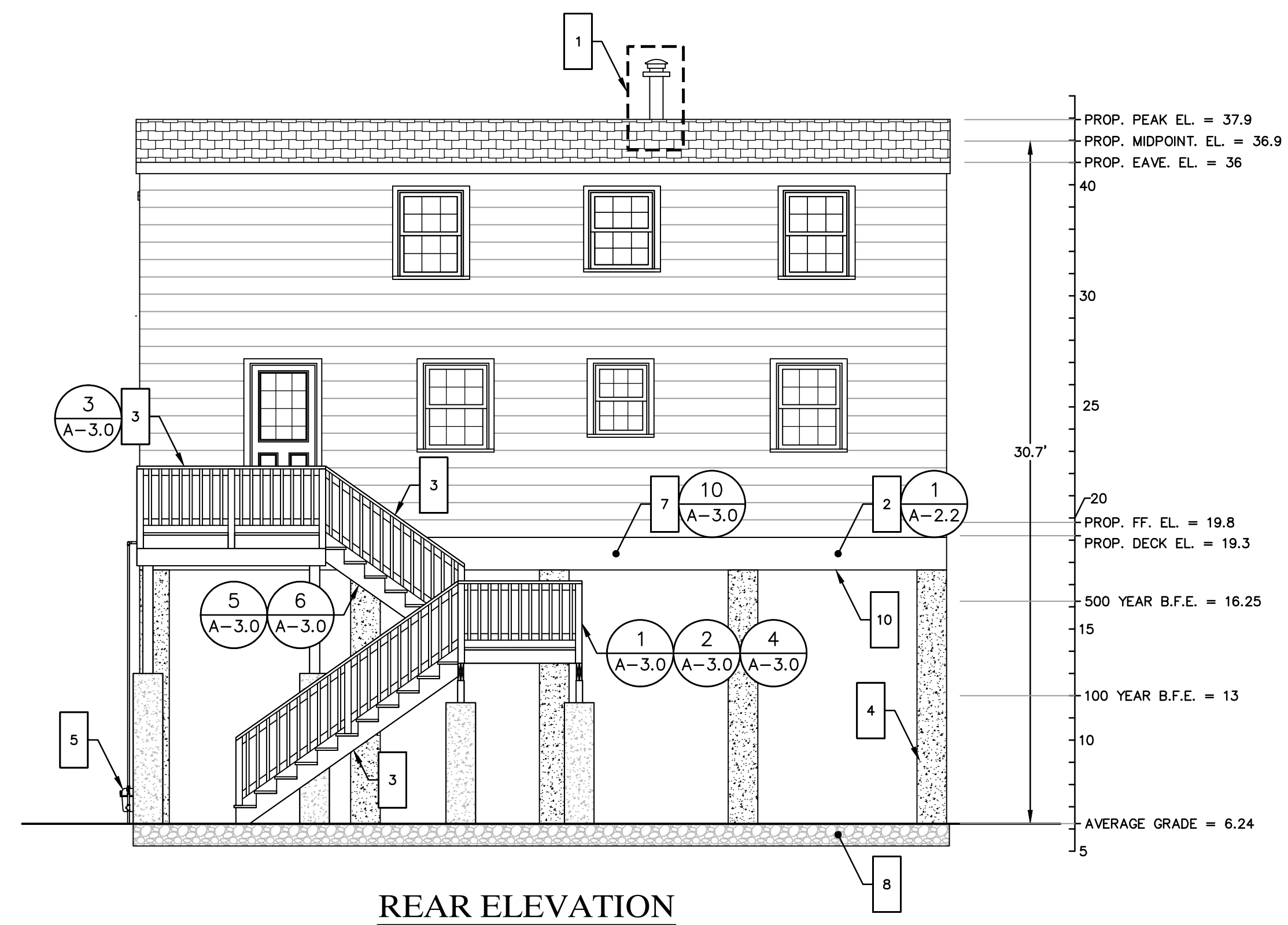
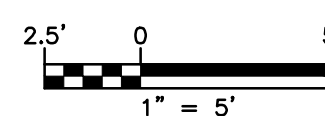


- NOTES:
1. ALL NEW RIBBON BOARD AND TRIM TO BE PRIMED AND PAINTED IN A COLOR SELECTED BY THE OWNER.
 2. ALL NEW INFILL SIDING TO MATCH ADJACENT EXISTING CONDITIONS.
 3. REPLACE/PROVIDE NEW PRESSURE-TREATED SILL PLATE AND RIM JOIST (TO MATCH EXISTING).

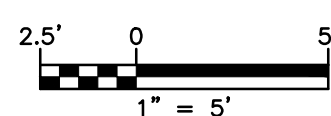
1 BUILDING SILL SECTION
A-2.2 1" = 1'-0"



FRONT ELEVATION



REAR ELEVATION



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- 2 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AROUND ENTIRE STRUCTURE. FURNISH AND INSTALL INFILL SIDING AS REQUIRED. MATCH EXISTING SIDING AND CONSTRUCTION TYPE. FURNISH AND INSTALL PRESSURE TREATED WOOD SHIMS AND BLOCK TO LEVEL EXISTING FIRST FLOOR FRAMING BENEATH HOUSE.
- 3 FURNISH AND INSTALL ALL MATERIALS FOR NEW STAIRS, LANDINGS, AND FOUNDATION SUPPORTS; SEE STRUCTURAL DRAWINGS.
- 4 NEW FOUNDATION; SEE STRUCTURAL DRAWINGS. SUBSURFACE FOUNDATION COMPONENTS ARE NOT DEPICTED ON THE ELEVATION DRAWINGS SHOWN ON THIS SHEET; SEE STRUCTURAL DRAWINGS FOR COMPLETE FOUNDATION DETAILS.
- 5 RELOCATE OR INSTALL NEW GAS METER ADJACENT TO NEW STRUCTURAL COLUMN AS REQUIRED BY LOCAL UTILITY PROVIDER. INSTALL PIPE BOLLARD SUPPORTS. EXTEND GAS SERVICE PIPE TO BUILDING ENVELOPE.
- 6 COORDINATE CONNECTION AND RELOCATION OF ELECTRIC METER AND SERVICE MAST TO UTILITY PROVIDER APPROVED LOCATION ABOVE FEMA 100-YEAR BASE FLOOD ELEVATION OF 13 (NAVD88).
- 7 FURNISH AND INSTALL ALL MATERIALS TO INSULATE AND FINISH BUILDING UNDERSIDE.
- 8 FURNISH AND INSTALL ALL MATERIALS FOR 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH ENTIRE HOUSE FOOTPRINT AND STAIRS. TOP OF GRAVEL LAYER TO BE AT ELEVATION 6.3 (NAVD88).
- 9 FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY, SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES; SEE SHEET A-1.1 FOR LOCATION OF UTILITY CHASES. SEE STRUCTURAL DRAWINGS FOR LOCATION OF STRUCTURAL COLUMNS.
- 10 FURNISH AND INSTALL ALL MATERIALS FOR EXTERIOR LIGHTING FIXTURES AND MOTION DETECTION OPERATION AT UNDERSIDE OF ELEVATED HOUSE; SEE SHEETS A-1.1 AND A-1.2 FOR LIGHTING PLANS.

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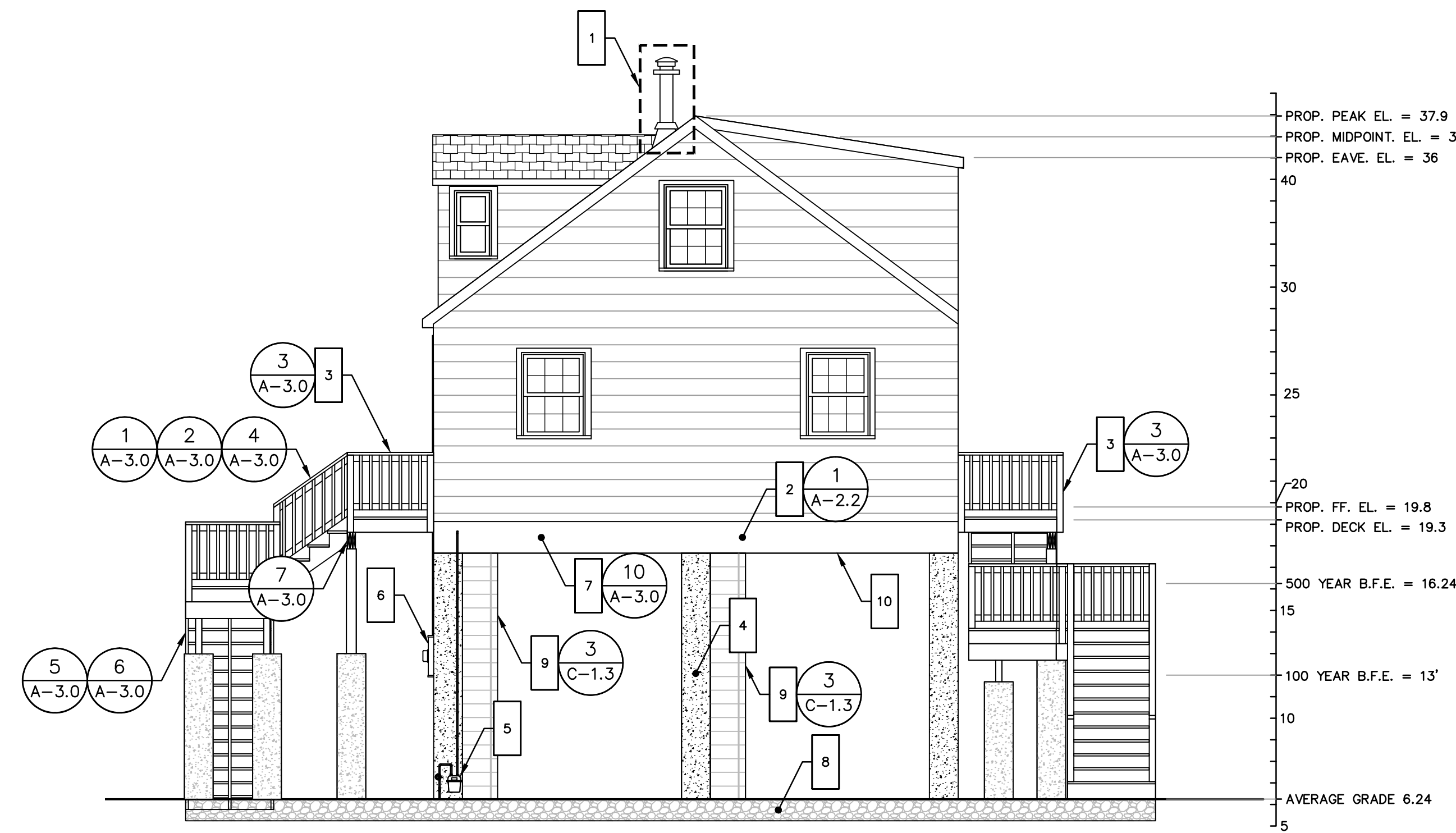
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GENERAL NOTES

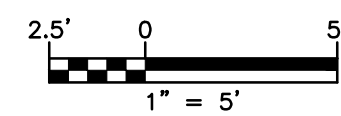
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WORK NOTES

1. FURNISH AND INSTALL ALL MATERIALS TO PATCH ROOF IN LOCATION OF REMOVED CHIMNEY; MATCH EXISTING CONSTRUCTION. FURNISH AND INSTALL ALL MATERIALS FOR NEW METAL FLUE IN LOCATION OF FORMER CHIMNEY. TOP OF FLUE TO EXTEND 3' ABOVE ROOF PEAK. PATCH AND PROPERLY FLASH ROOF PENETRATION FOR NEW FLUE INSTALLATION. SUBMIT COORDINATION DRAWING TO MCA. SEE ARCHITECTURAL PLANS.
2. FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AROUND ENTIRE STRUCTURE. FURNISH AND INSTALL INFILL SIDING AS REQUIRED. MATCH EXISTING SIDING AND CONSTRUCTION TYPE. FURNISH AND INSTALL PRESSURE TREATED WOOD SHIMS AND BLOCK TO LEVEL EXISTING FIRST FLOOR FRAMING BENEATH HOUSE.
3. FURNISH AND INSTALL ALL MATERIALS FOR NEW STAIRS, LANDINGS, AND FOUNDATION SUPPORTS; SEE STRUCTURAL DRAWINGS.
4. NEW FOUNDATION; SEE STRUCTURAL DRAWINGS. SUBSURFACE FOUNDATION COMPONENTS ARE NOT DEPICTED ON THE ELEVATION DRAWINGS SHOWN ON THIS SHEET; SEE STRUCTURAL DRAWINGS FOR COMPLETE FOUNDATION DETAILS.
5. RELOCATE OR INSTALL NEW GAS METER ADJACENT TO NEW STRUCTURAL COLUMN AS REQUIRED BY LOCAL UTILITY PROVIDER. INSTALL PIPE BOLLARD SUPPORTS. EXTEND GAS SERVICE PIPE TO BUILDING ENVELOPE.
6. COORDINATE CONNECTION AND RELOCATION OF ELECTRIC METER AND SERVICE MAST TO UTILITY PROVIDER APPROVED LOCATION ABOVE FEMA 100-YEAR BASE FLOOD ELEVATION OF 13 (NAVD88).
7. FURNISH AND INSTALL ALL MATERIALS TO INSULATE AND FINISH BUILDING UNDERSIDE.
8. FURNISH AND INSTALL ALL MATERIALS FOR 12" THICK LAYER OF 3/4" CRUSHED STONE BENEATH ENTIRE HOUSE FOOTPRINT AND STAIRS. TOP OF GRAVEL LAYER TO BE AT ELEVATION 6.3 (NAVD88).
9. FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES; SEE SHEET A-1.1 FOR LOCATION OF UTILITY CHASES. SEE STRUCTURAL DRAWINGS FOR LOCATION OF STRUCTURAL COLUMNS.
10. FURNISH AND INSTALL ALL MATERIALS FOR EXTERIOR LIGHTING FIXTURES AND MOTION DETECTION OPERATION AT UNDERSIDE OF ELEVATED HOUSE; SEE SHEETS A-1.1 AND A-1.2 FOR LIGHTING PLANS.



REAR ELEVATION



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 Rocky Hill, CT 06067
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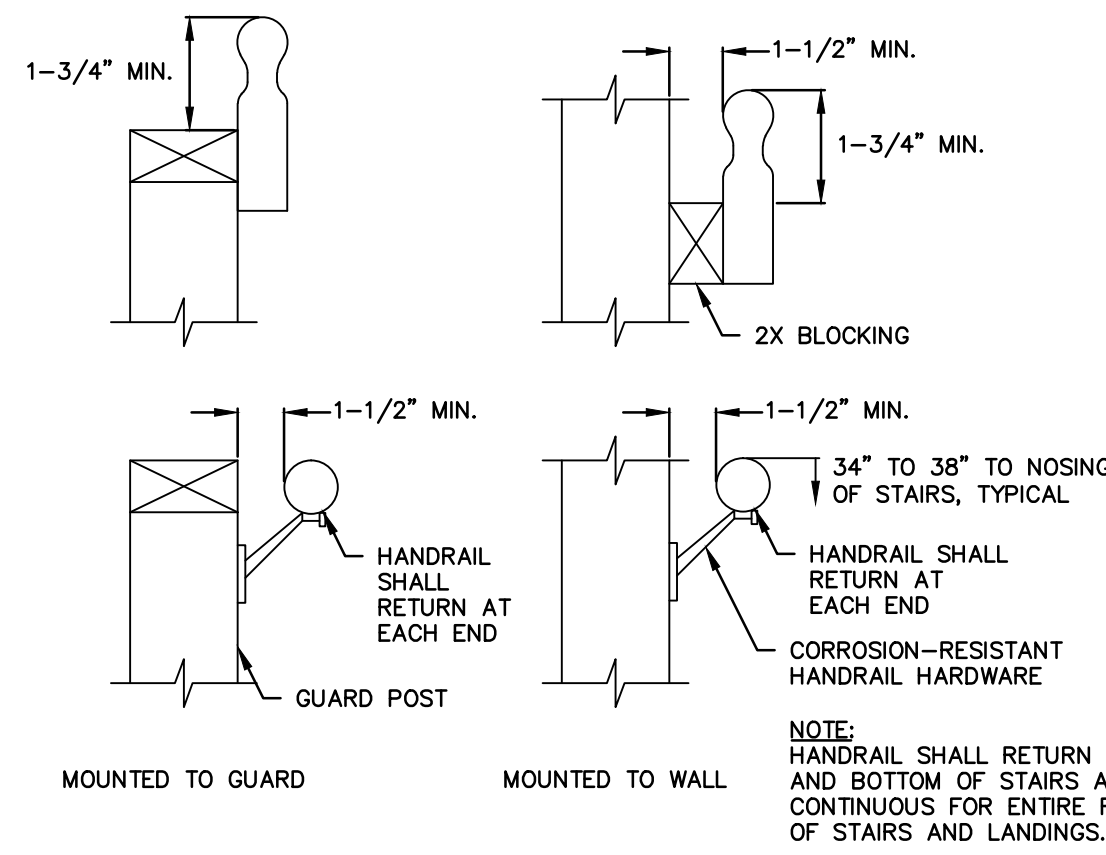
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1	2/11/2016	ISSUED FOR CT DOH REVIEW & APPROVAL	MBR	MBR	REC

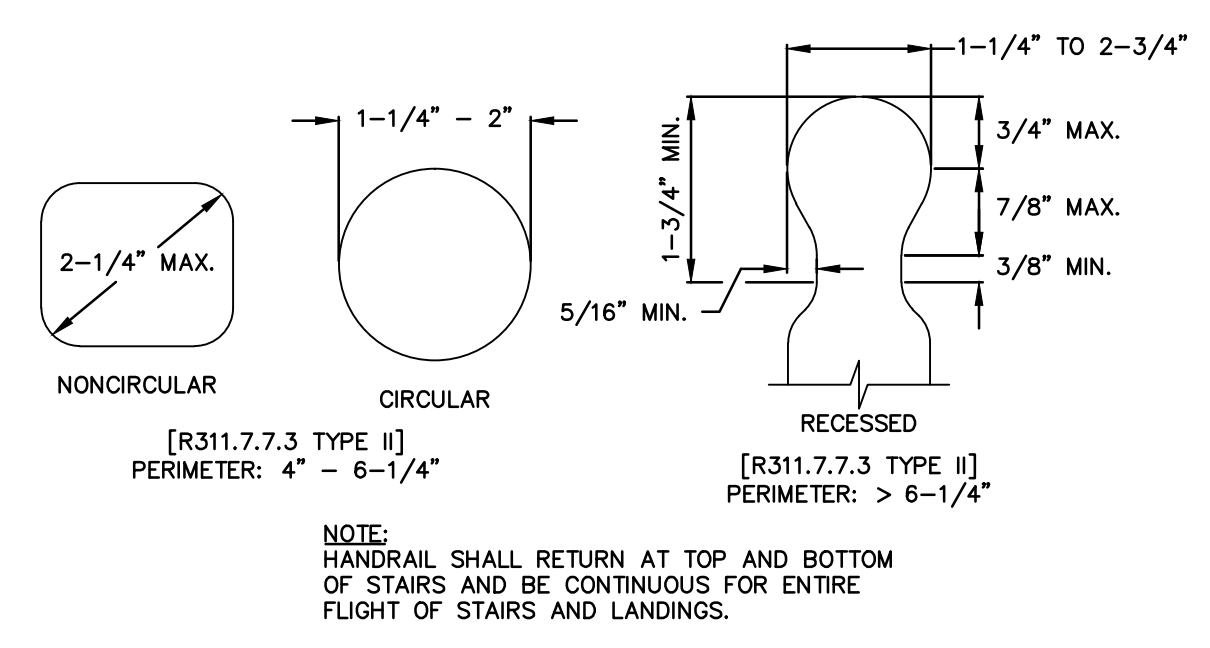
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BUILDING ELEVATIONS- PROPOSED CONDITIONS

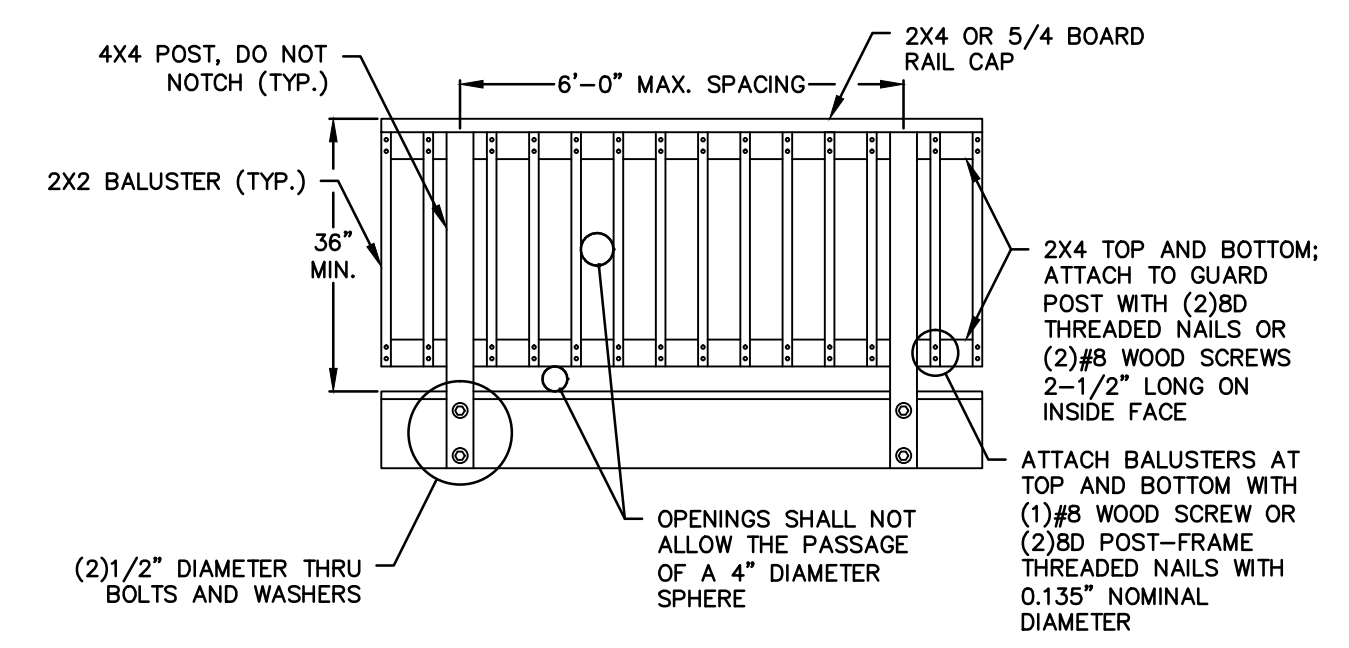
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33-262-1236	BASEMAP 33-262-1236.dwg	A-2.3



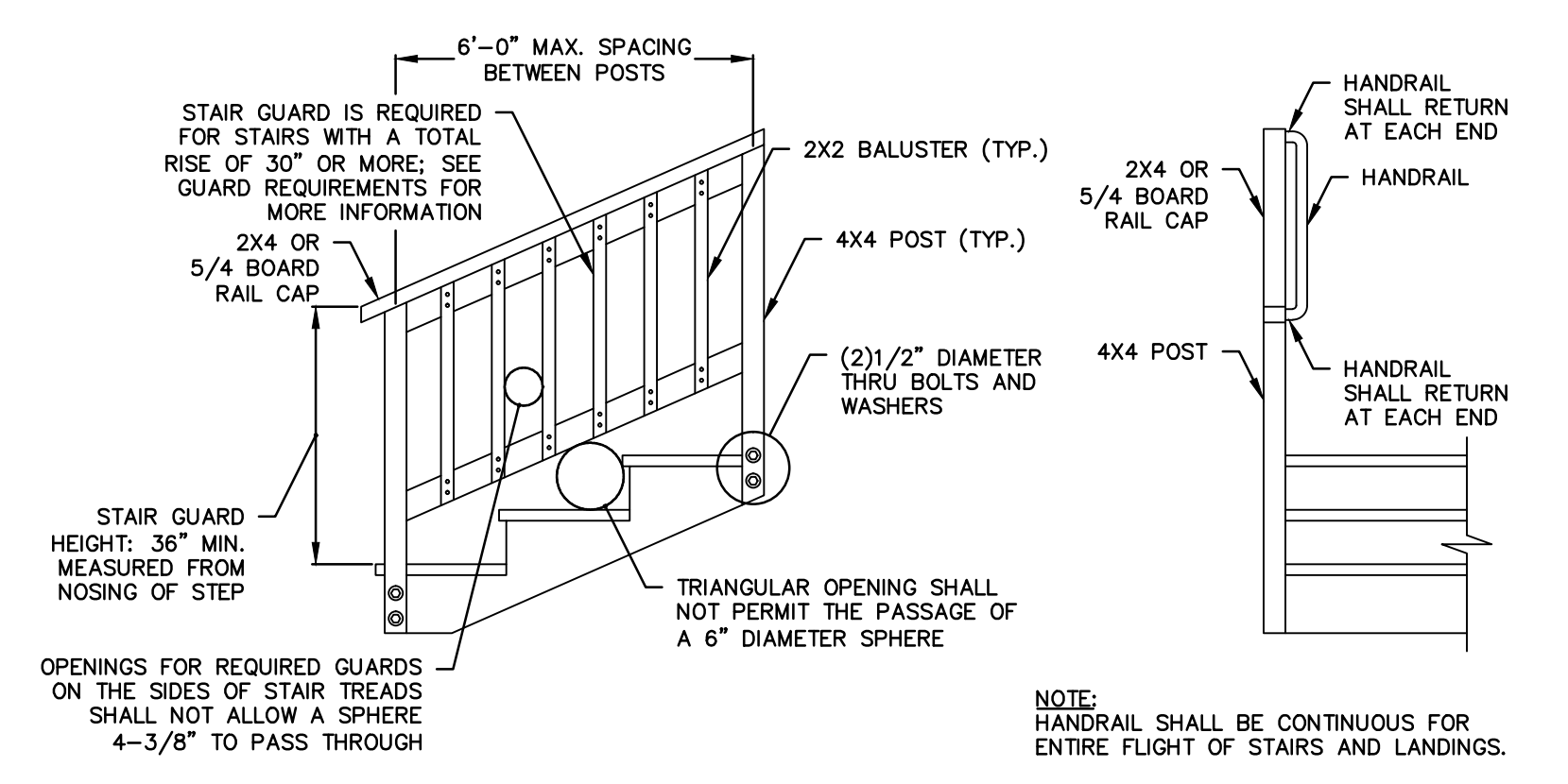
1 TYPICAL HANDRAIL MOUNTING
A-3.0 N.T.S.



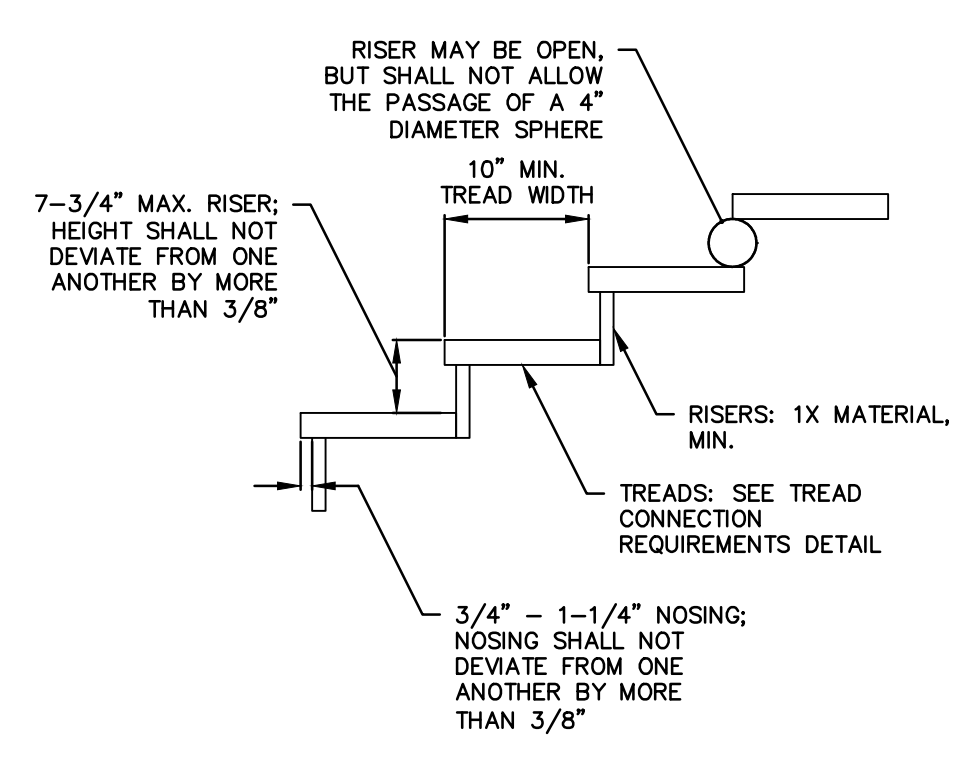
2 TYPICAL HANDRAIL GRIP SIZE
A-3.0 N.T.S.



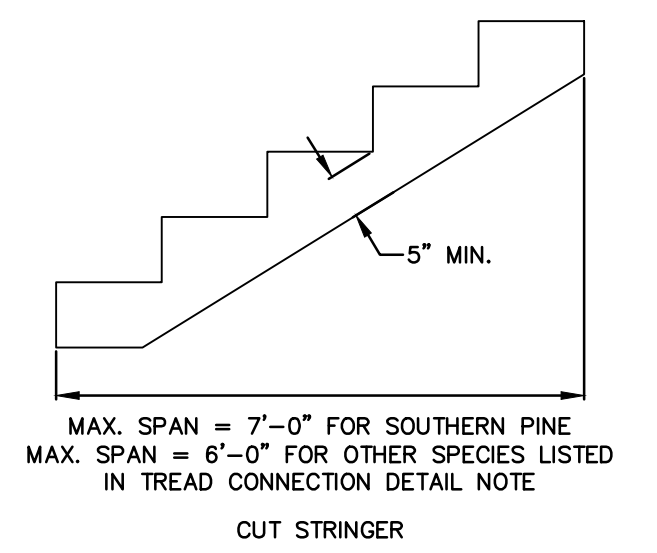
3 TYPICAL DECK RAILING GUARD
A-3.0 N.T.S.



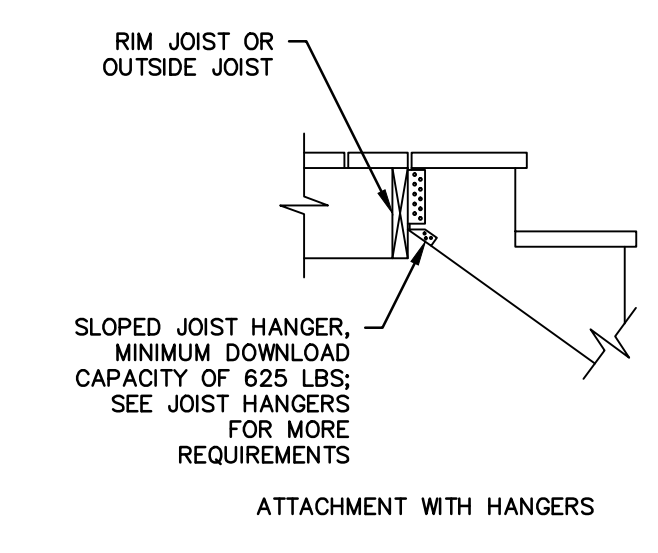
4 TYPICAL STAIR GUARD REQUIREMENTS
A-3.0 N.T.S.



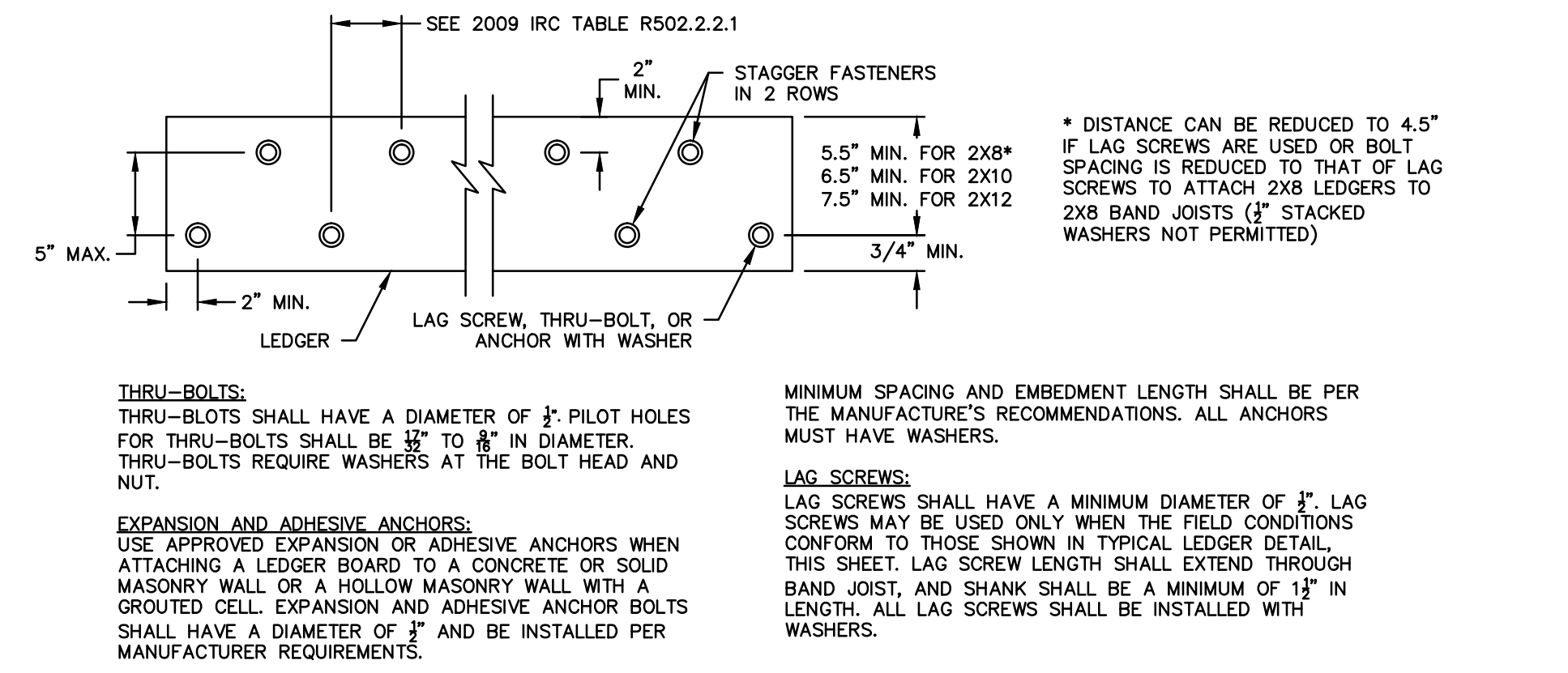
5 TYPICAL TREAD AND RISER
A-3.0 N.T.S.



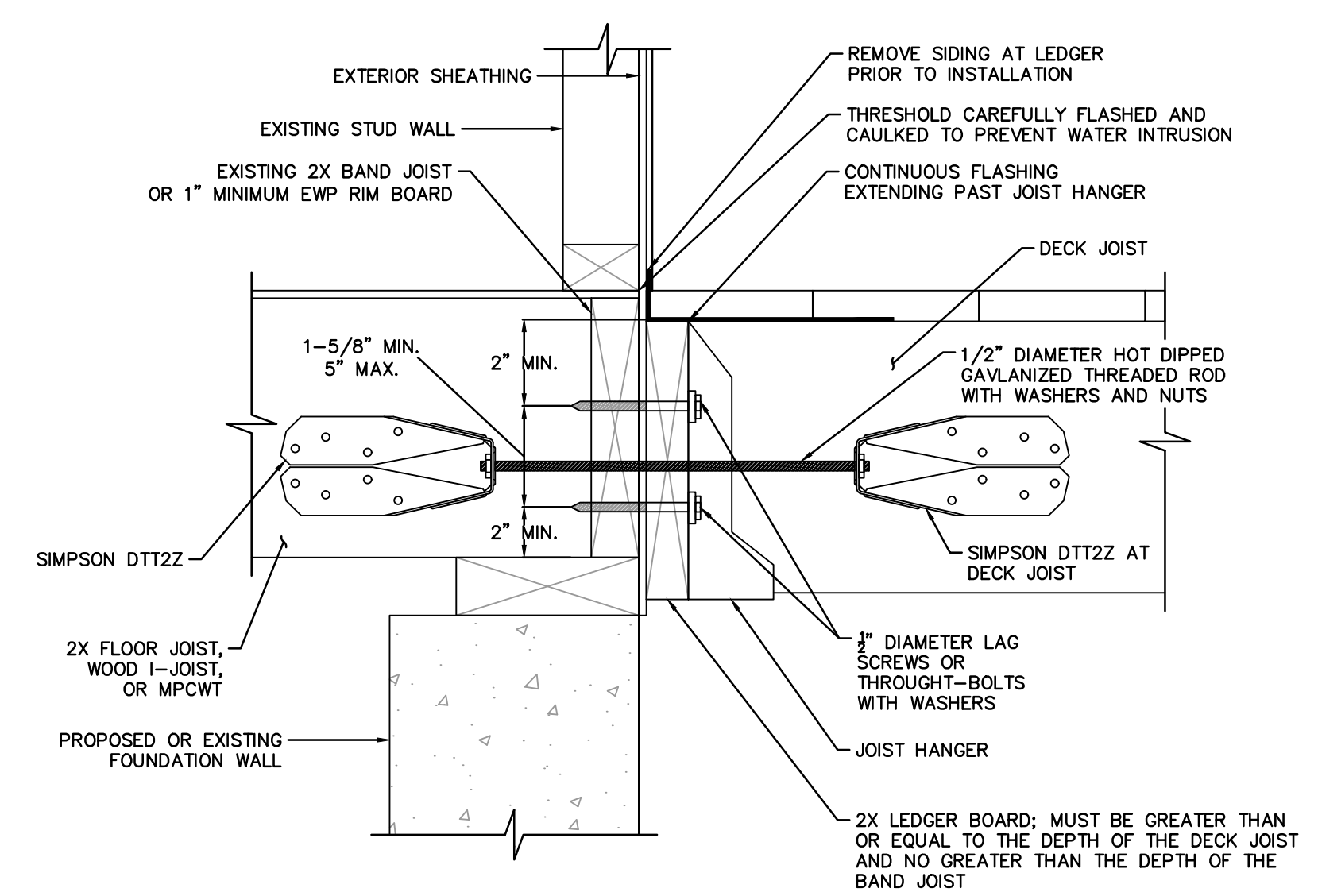
6 TYPICAL STAIR STRINGER REQUIREMENTS
A-3.0 N.T.S.



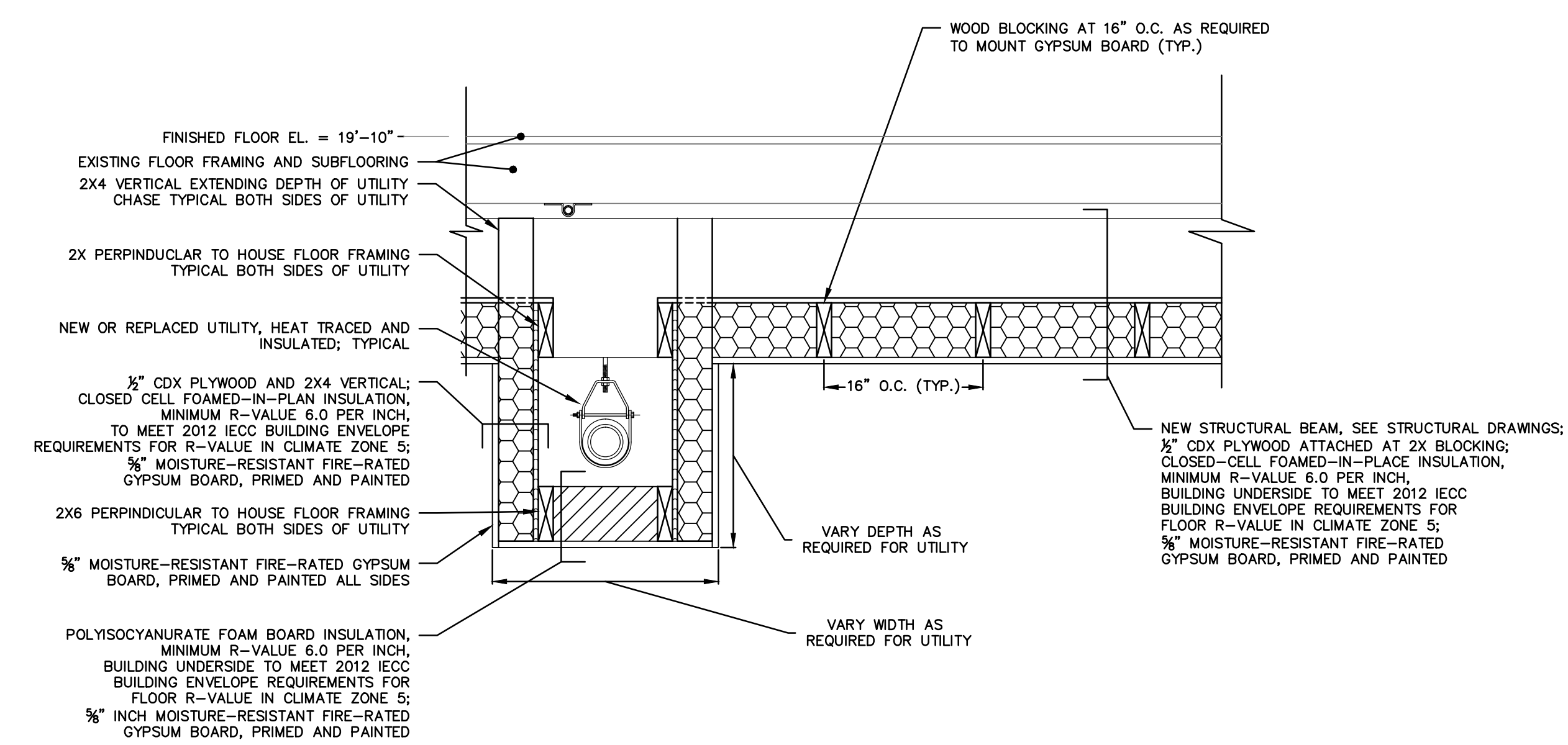
7 TYPICAL STAIR STRINGER ATTACHMENT
A-3.0 N.T.S.



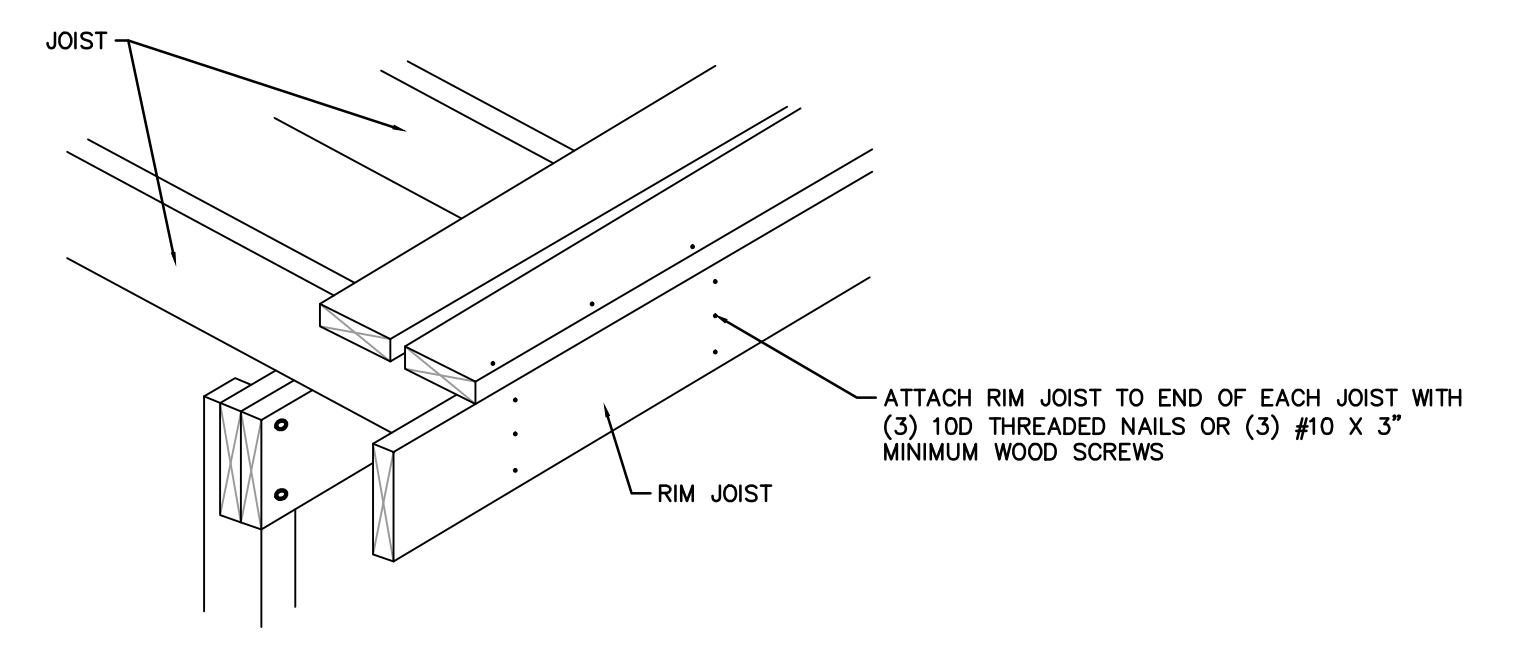
8 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE
A-3.0 N.T.S.



9 TYPICAL GENERAL ATTACHMENT OF LEDGER
A-3.0 N.T.S.



10 TYPICAL FLOOR CAVITY INSULATION DETAIL
A-3.0 1\"/>



11 TYPICAL RIM JOIST CONNECTION
A-3.0 N.T.S.

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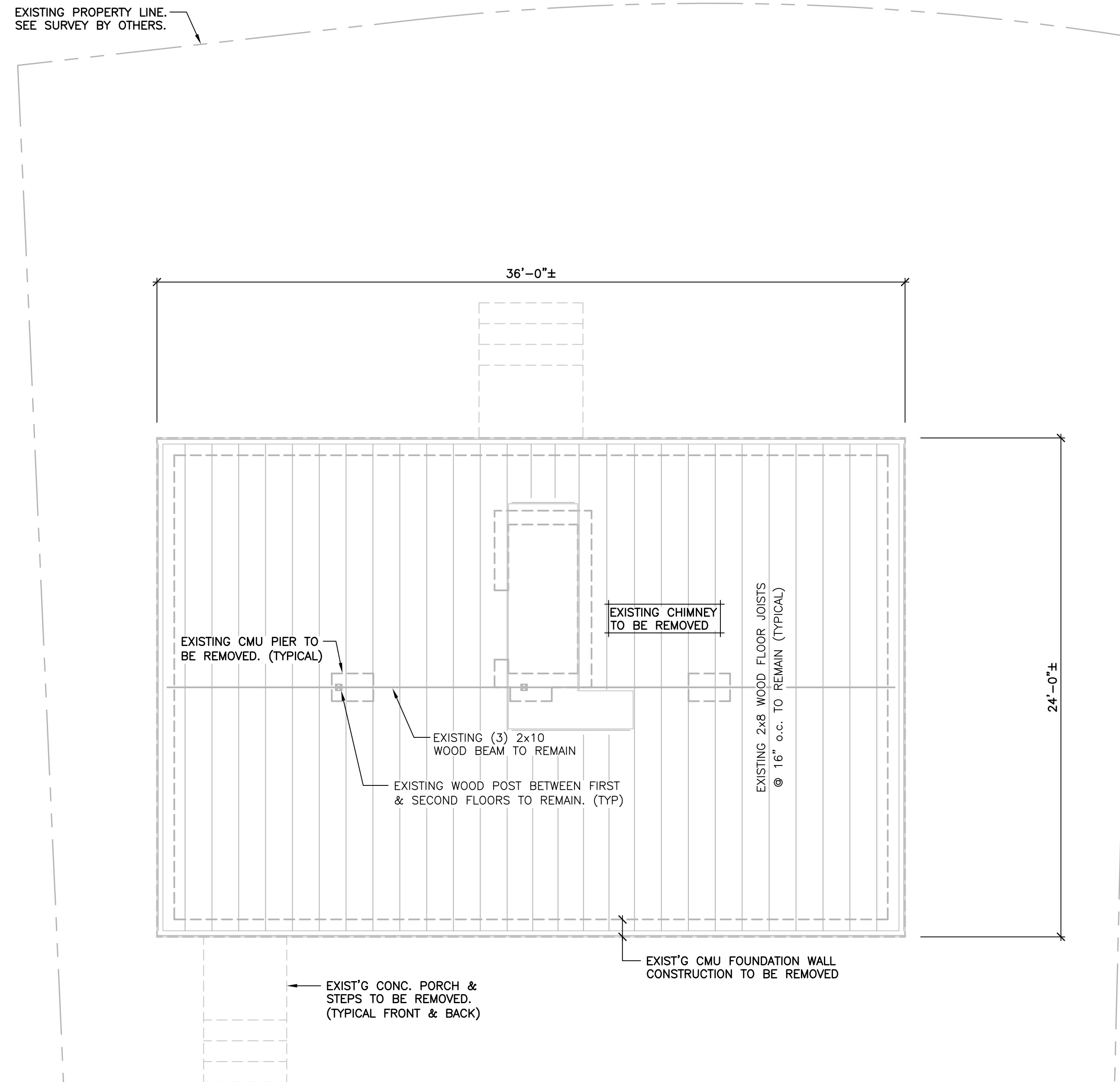
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DECK AND STAIR DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	BASEMAP 33-262-1236.dwg	A-3.0



EXISTING CONDITIONS PLAN

SCALE: 1/4" = 1'-0"



NOTES:

1. THE EXISTING WOOD FRAMED SUPERSTRUCTURE SHALL BE ADEQUATELY SHORED PRIOR TO DEMOLITION OF EXISTING FOUNDATION CONSTRUCTION.
2. REFER TO THE ACCOMPANYING DRAWINGS FOR PLANS, DETAILS AND ADDITIONAL REQUIREMENTS RELATED TO THE NEW FOUNDATION AND FRAMING CONSTRUCTION TO SUPPORT THE EXISTING SUPERSTRUCTURE TO BE ELEVATED.
3. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.

DESIGN BASIS

GOVERNING CODE2005 STATE BUILDING CODE + 2009 & 2013 CONNECTICUT AMENDMENTS

GENERAL NOTES:

SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ENGINEER.
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK.
 IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
 IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE EXISTING BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, ETC. THAT MAY BE REQUIRED.
 WORK THESE DRAWINGS WITH THOSE OF OTHER TRADES FOR LOCATIONS OF OPENINGS, RECESSES, BUILT-IN WORK, ETC.

FOUNDATION NOTES

REFER TO GEOTECHNICAL REPORT PREPARED BY DR. CLARENCE WELTI, P.E., P.C., DATED JUNE 15, 2015 FOR SUBSURFACE PREPARATION & RELATED REQUIREMENTS.
 WHERE GROUNDWATER IS ENCOUNTERED, DEWATERING SHALL BE ACCOMPLISHED CONTINUOUSLY AND COMPLETELY DURING FOUNDATION CONSTRUCTION. PROVIDE CRUSHED STONE AS REQUIRED TO STABILIZE SUBGRADE.
 ALL FOOTINGS ARE TO REST ON FIRM SOIL, REGARDLESS OF ELEVATIONS SHOWN ON THE DRAWINGS, BUT IN NO CASE MAY FOOTING ELEVATIONS BE HIGHER THAN INDICATED ON THE FOUNDATION PLAN, UNLESS SPECIFICALLY DIRECTED BY THE STRUCTURAL ENGINEER. BOTTOM OF FOOTINGS TO BE 3'-6" MINIMUM BELOW GRADE.

CONCRETE

MATERIALS:
 ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS. CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN.
 ALL DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE LATEST ACI CODE AND LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
 ALL REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775.
 NO CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN THE CONCRETE.
 PROVIDE 5% TO 7% AIR ENTRAINMENT IN ALL CONCRETE.
 UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS B.

STRUCTURAL STEEL

ANGLES, MISCELLANEOUS PLATES AND BARS.....ASTM A36
 BOLTS.....ASTM A325
 WELDING ELECTRODE.....ASTM E 70
 ALL PERMANENTLY EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123. ALL OTHER STEEL SHALL BE SHOP PRIMED GRAY TO 2 MIL THICKNESS.
 ALL WELDING SHALL BE DONE BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. STANDARDS.
 ALL STRUCTURAL STEEL, FROM DELIVERY TO THE JOB SITE TO AFTER ERECTION SHALL CONFORM TO ALL REQUIREMENTS OF ASTM A6.

STRUCTURAL LUMBER

STRUCTURAL LUMBER USED FOR BRIDGING, BLOCKING AND OTHER MISCELLANEOUS FRAMING SHALL BE NOT LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:
 EXTREME FIBER IN BENDING..... $F_b = 875$ PSI
 HORIZONTAL SHEAR..... $F_v = 95$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 825$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 385$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,050$ PSI
 MODULUS OF ELASTICITY..... $E = 1,700,000$ PSI
 MOISTURE CONTENT OF ALL FRAMING LUMBER WHEN DELIVERED TO THE PROJECT SITE SHALL NOT EXCEED 19%.

NAILING AND OTHER FASTENING SHALL BE AS PER TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2005 STATE OF CONNECTICUT BUILDING CODE.
 PLYWOOD WALL SHEATHING SHALL BE NOMINAL 5/8" THICK SQUARE EDGE EXTERIOR GRADE CDX AND CONTAIN (4) INNER PLYS.
 PLYWOOD ROOF SHEATHING SHALL BE NOMINAL 3/4" THICK SQUARE EDGE EXTERIOR GRADE.

ENGINEERED WOOD PRODUCTS

ELEMENTS. FOLLOWING ERECTION, JOISTS SHALL BE SHEATHED AND PROTECTED TO MAINTAIN STRESS-GRADED MOISTURE CONTENT NOT TO EXCEED 19%.
 PARALLAM PLUS PSL WOLMANIZED MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:
 EXTREME FIBER IN BENDING..... $F_b = 1,827$ PSI
 HORIZONTAL SHEAR..... $F_v = 197$ PSI
 TENSION PARALLEL TO GRAIN..... $F_t = 1,397$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN..... $F_c = 368$ PSI
 COMPRESSION PARALLEL TO GRAIN..... $F_c = 1,508$ PSI
 MODULUS OF ELASTICITY..... $E = 1,460,000$ PSI



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THOMAS A. TORRENTI, P.C.
 Consulting Engineers

316 Dogburn Lane Tel (203) 891-9933
 P.O. Box 1153 Fax (203) 891-8299
 Orange, CT 06477-7153 ttorrenti@optonline.net

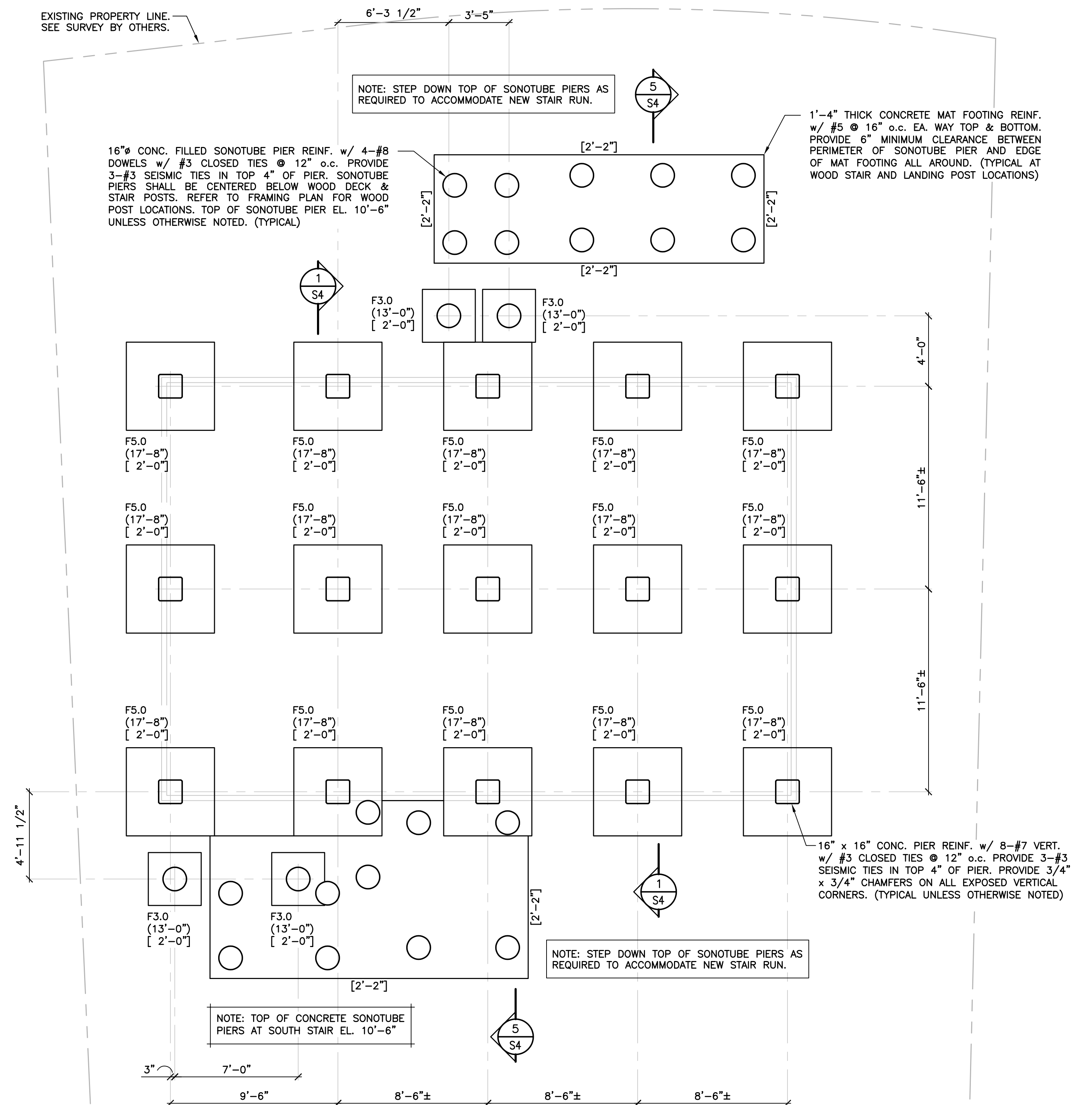
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FOUNDATION DESIGN
EXISTING CONDITIONS PLAN & STRUCTURAL NOTES

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	21515 S1-S4.dwg	S1



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



- LEGEND:**
- F5.0 FOOTING MARK (SEE SCHEDULE)
 - (.....) EL. TOP OF CONC. PIER
 - [.....] EL. BOTTOM OF CONC. FOOTING

PIER FOOTING SCHEDULE		
MARK	SIZE	REINF. (BOTTOM)
F3.0	3'-0" x 3'-0" x 1'-6" DEEP	4-#5 EA. WAY
F5.0	5'-0" x 5'-0" x 1'-6" DEEP	8-#6 EA. WAY



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316 Dogburn Lane Tel (203) 891-9933
 P.O. Box 1153 Fax (203) 891-8299
 Orange, CT 06477-7153 torrenti@optonline.net

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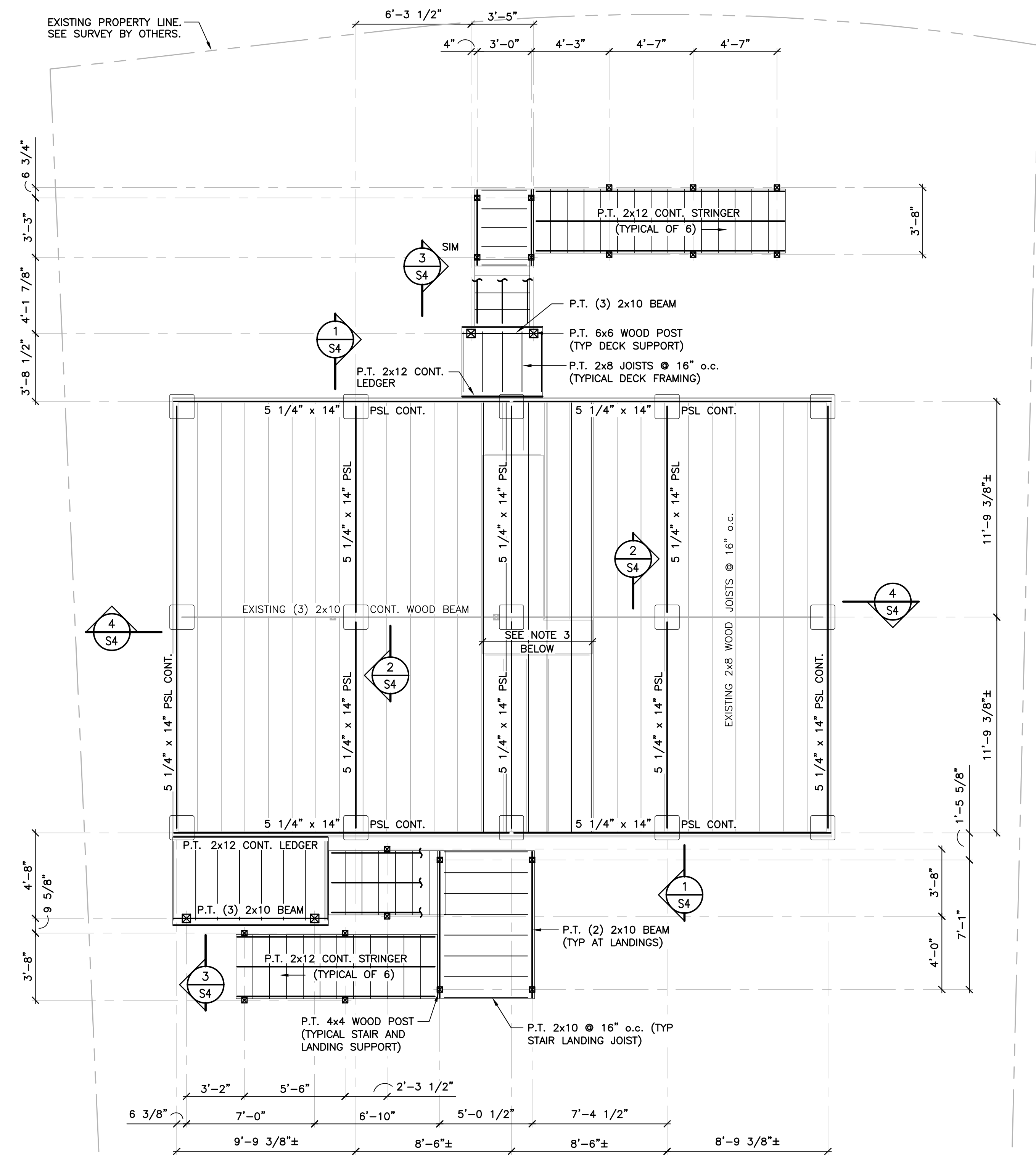
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FOUNDATION PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1236	21515 S1-S4.dwg	S2



FIRST FLOOR FRAMING SUPPORT PLAN

SCALE: 1/4" = 1'-0"



NOTES:

1. NEW FINISH FIRST FLOOR EL. 19'-10"±
2. SETTING AND ANCHORAGE OF THE SUPERSTRUCTURE TO THE NEW CONCRETE FOUNDATION IS THE RESPONSIBILITY OF CONTRACTOR.
3. AT EXISTING FIRST FLOOR OPENING, PROVIDE 2x8 WOOD FLOOR JOISTS @ 16" o.c. AND 3/4" T&G PLYWOOD FLOOR SHEATHING. REFER TO ARCH'L DRAWINGS FOR LOCATION & EXTENT.
4. PROVIDE P.T. CONTINUOUS NAILERS AT ALL NEW FLOOR FRAMING MEMBERS SUPPORTING EXISTING FLOOR JOISTS AS REQUIRED.
5. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.
6. REFER TO DRAWING S4 FOR ADDITIONAL CONSTRUCTION ITEMS & REQUIREMENTS NOT SHOWN FOR CLARITY ON FRAMING PLAN ABOVE.



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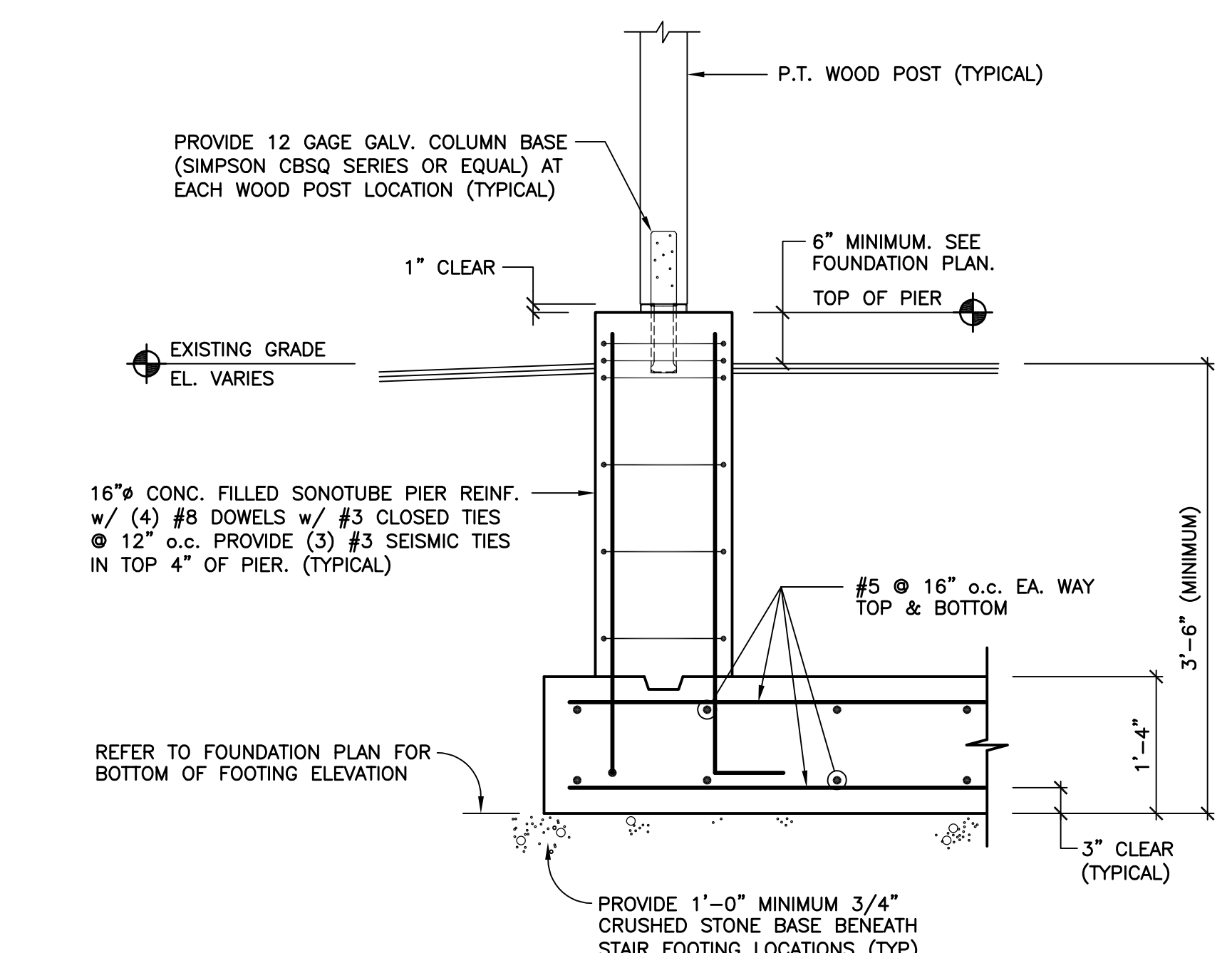
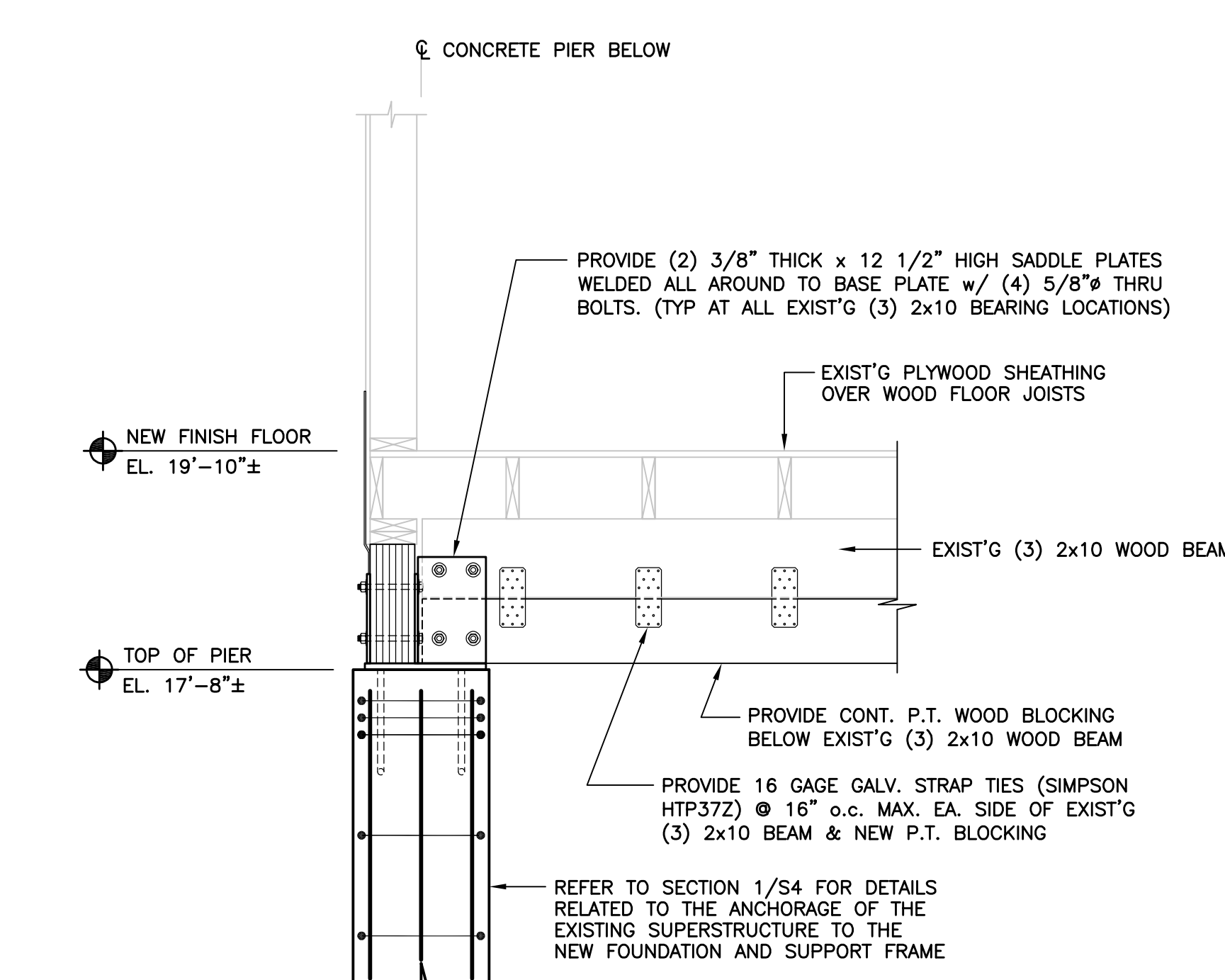
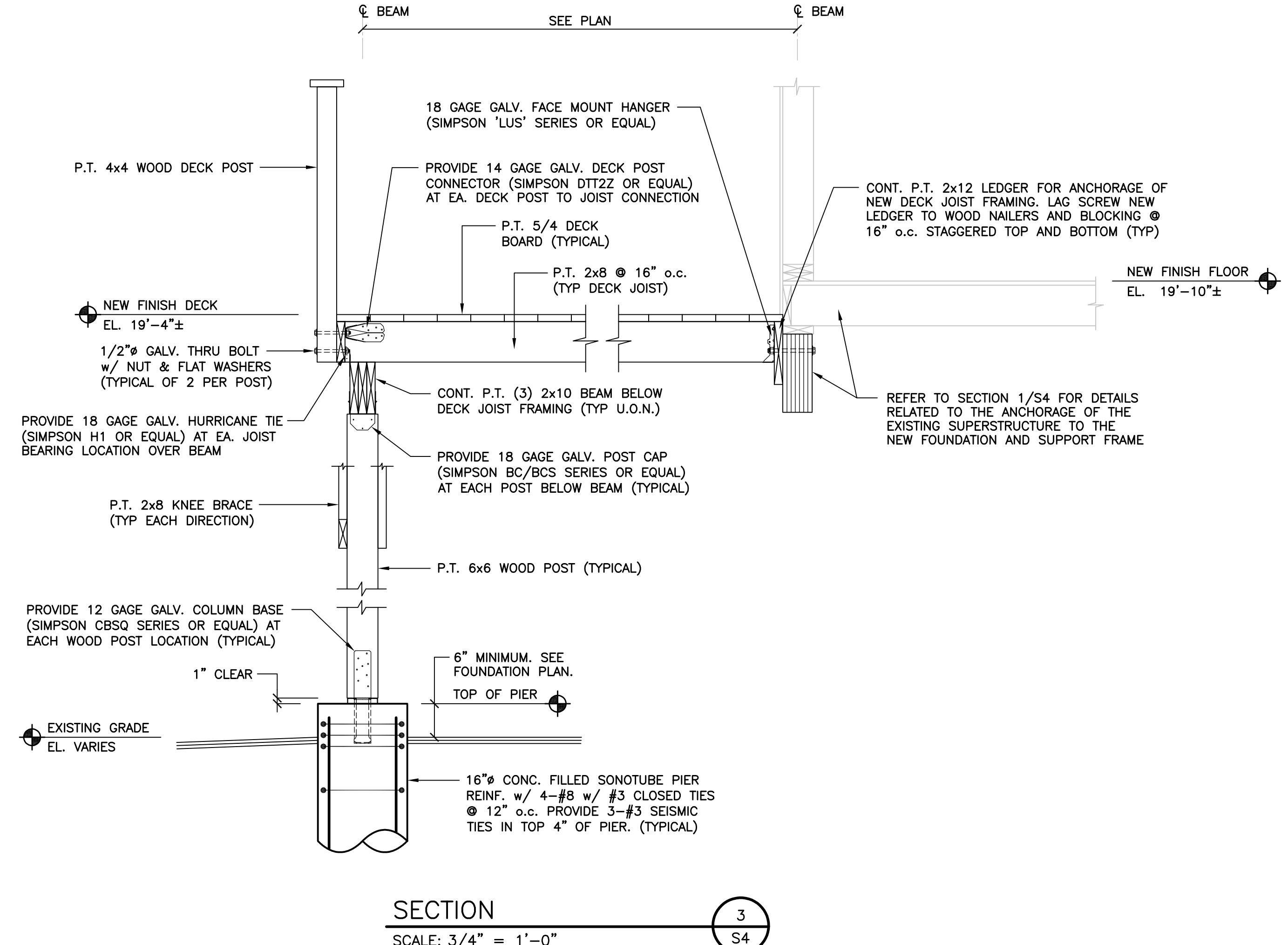
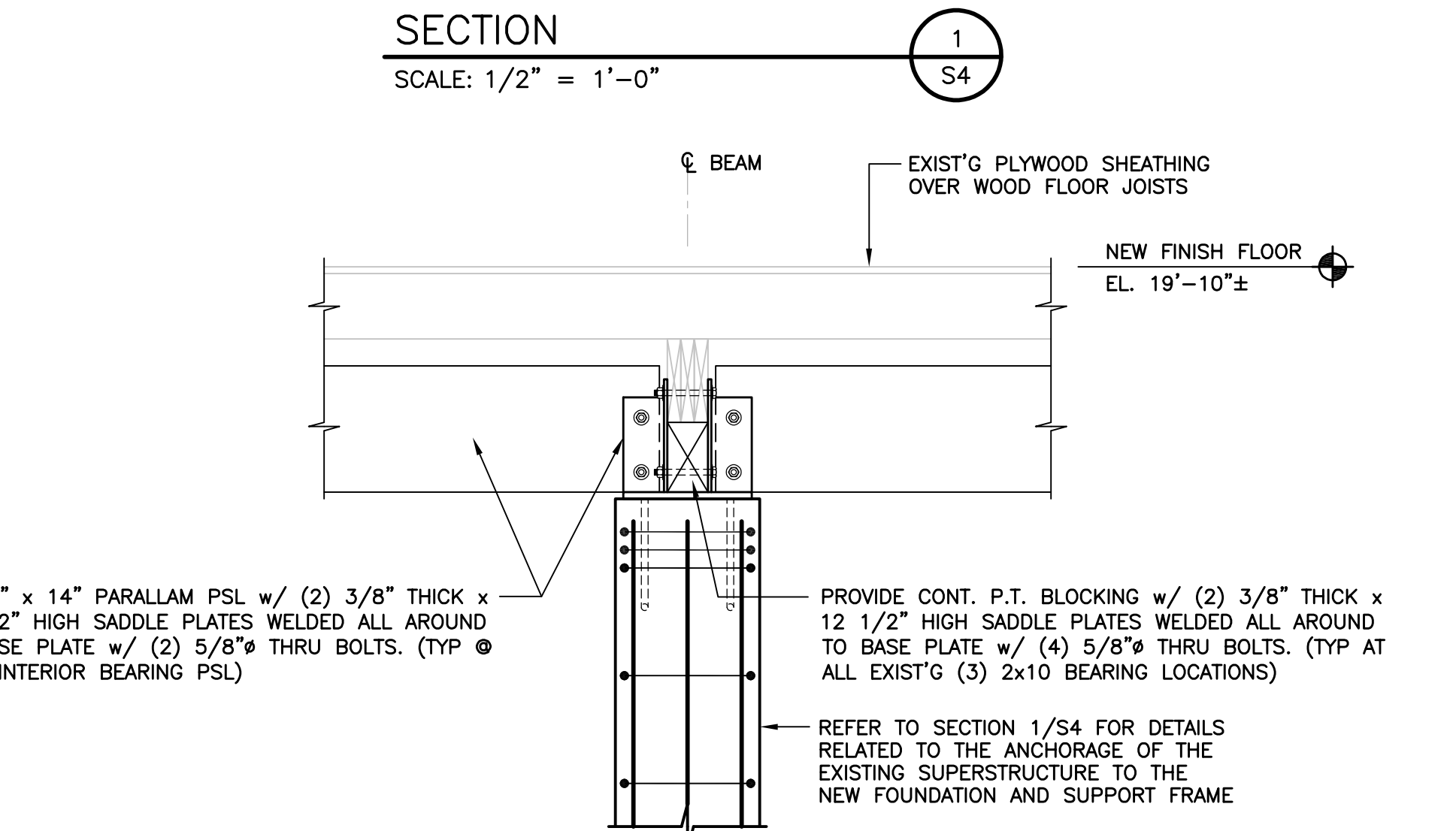
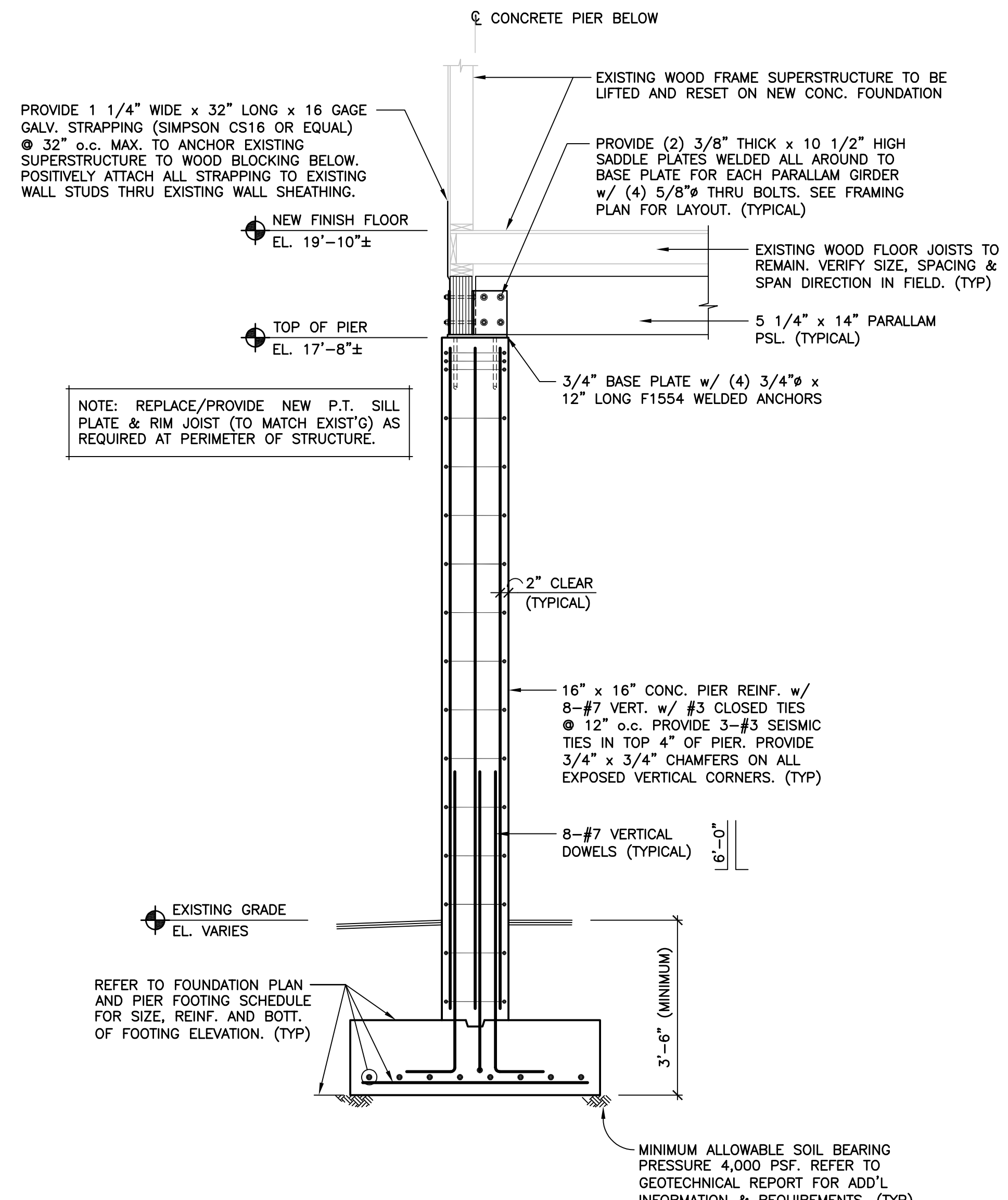
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FOUNDATION DESIGN

FIRST FLOOR FRAMING SUPPORT PLAN

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