

PROJECT 1183 - 9 EAST AVENUE, MILFORD, CT

COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

OWNER OCCUPIED REHABILITATION AND REBUILDING

CONNECTICUT DEPARTMENT OF HOUSING HARTFORD, CONNECTICUT 06118

GENERAL NOTES:

1. WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
2. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
5. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

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STREET VIEW
(N.T.S.)

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MILFORD, CONNECTICUT 06460

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	12/15/2016	ISSUED FOR BIDDING	MBR	MBR	REC
1	12/6/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC

DRAWN: CMP CHECKED: MBR APPROVED: REC SCALE: N.T.S. DATE: 12/6/2016

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	T-0.0

SURVEY NOTES

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.
ELEVATIONS BASED ON NAVD 1988.

PARCEL OWNER OF RECORD: SPENCER S. HOYT
9 EAST AVENUE
MILFORD, CT 06460

PARCEL AREA = 3,450 SQ. FT., .080± ACRES.

PARCEL IS IN THE R-7.5 ZONING DISTRICT.

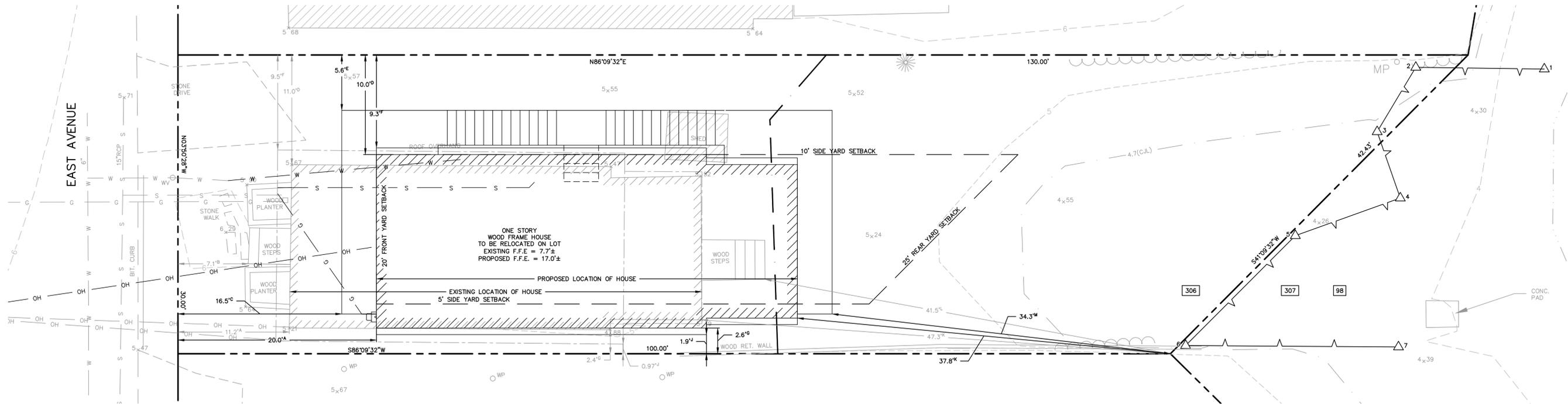
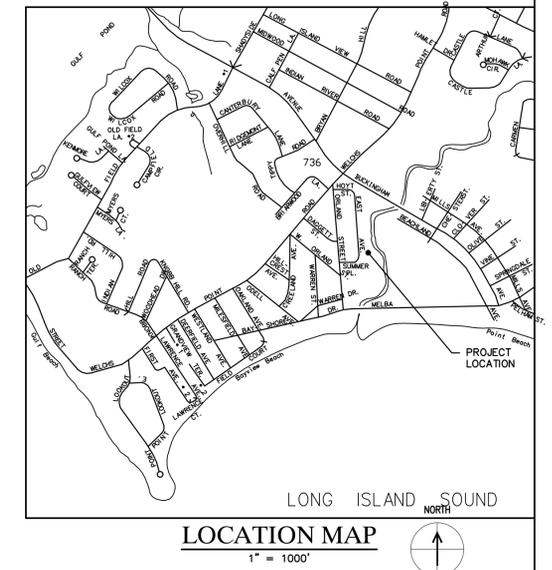
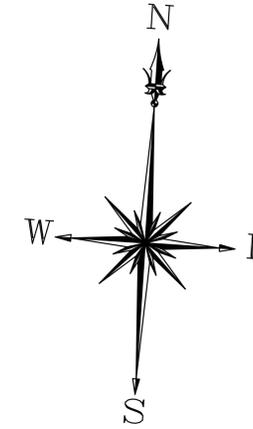
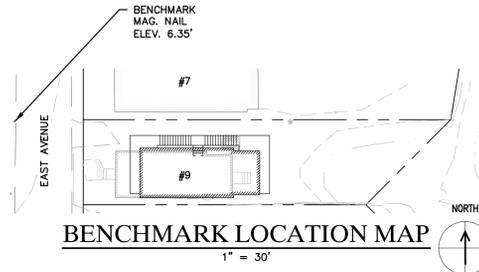
PARCEL ID: MAP 38, BLOCK 558, LOT 100, MILFORD ASSESSOR'S MAPPING.

ENTIRE SUBJECT PARCEL IS IN ZONE AE (EL. 11) FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT PANEL 534 OF 635, MAP NUMBER 09009C0534J, MAP REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

THE COASTAL JURISDICTION LINE ELEVATION OF 4.7' TAKEN FROM "CTDEEP OFFICE OF LONG ISLAND SOUND PROGRAMS COASTAL JURISDICTION LINE ELEVATIONS" TABLE.

REFERENCE MAP:

1) MAP OF LOTS OWNED BY GEORGE E. HASKINS BAY VIEW MILFORD CONN. SCALE 1"=40'. DATE JUNE 30, 1918. PREPARED BY H.E. DAGGETT.



SITE PLAN



LEGEND			
○ POLE #XXXX	EXISTING UTILITY POLE	MP	EXISTING METAL POST
○ WV	EXISTING WATER VALVE	○ IP(FD)	IRON PIN FOUND
○ WM	EXISTING WATER METER	---	PROPERTY LINE
□ GM	EXISTING GAS METER	---	EASMENT LINE
EM	EXISTING ELECTRIC METER	---	EXISTING CONTOUR
CB	EXISTING CATCH BASIN	---C.J.L.(4.7)	COASTAL JURISDICTION LINE (C.J.L.)
WM	PROPOSED WATER METER	2x.97	EXISTING SPOT GRADE
GM	PROPOSED GAS METER	2x.97	PROPOSED SPOT GRADE
EM	PROPOSED ELECTRIC METER	OH	EXISTING OVERHEAD WIRE
WP	EXISTING WOOD POST	OH	PROPOSED OVERHEAD WIRE
△#	WETLAND FLAG LABEL	###	SOIL TYPE LABEL
		---	LIMIT OF WETLANDS

ZONING REGULATIONS (R-7.5)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SQ.FT.)	7,500	*3,450	*3,450
MIN. LOT WIDTH (FT.)	60	*30.0	*30.0
MIN. LOT DEPTH (FT.)	85	115.0	115.0
MIN. FRONT YARD (FT.)	20	*11.2 ^A / ^B *7.1 ^B	20.0 ^A / ^C / ^D *17.0 ^C
MIN. EACH SIDE YARD (FT.)	SEE NOTE 1	11.0 ^B / ^E *9.5 ^F / ^G *2.4 ^G / ^H *.97 ^J	10.0 ^B / ^I *5.6 ^F / ^K *9.3 ^F / ^L *2.6 ^F / ^M *1.9 ^J
MIN. REAR YARD (FT.)	25	47.3 ^K / ^L *41.5 ^L	37.8 ^K / ^M *34.3 ^M
MAX. BUILDING HEIGHT (FT.)	35	12.5	22.1
MAX. BUILDING COVERAGE	40%	19.1%	20.9%
MAX. LOT COVERAGE	60%	21.3%	29.2%
MAX. STORIES	3	1	2

NOTES:
1. ONE SIDE TEN (10) FEET; OTHER SIDE FIVE (5) FEET.
2. PROJECTIONS INTO ANY REQUIRED YARD SHALL NOT EXCEED FOUR (4) FEET INTO ANY REQUIRED YARD NOR A DISTANCE EQUAL TO TWENTY PERCENT (20%) OF THE REQUIRED YARD.
* PREEXISTING NONCONFORMITY
** REQUESTED VARIANCE

A: SETBACK FROM PRINCIPAL BUILDING TO STREET LINE
B: SETBACK FROM PROJECTING STEPS TO STREET LINE
C: SETBACK FROM PROJECTING DECK TO STREET LINE
D: SETBACK FROM PRINCIPAL BUILDING TO NORTH SIDE LOT LINE
E: SETBACK FROM PROJECTING DECK/STAIR TO NORTH SIDE LOT LINE
F: SETBACK FROM PROJECTING BUILDING EAVE TO NORTH SIDE LOT LINE
G: SETBACK FROM PRINCIPAL BUILDING TO SOUTH SIDE LOT LINE
H: SETBACK FROM PROJECTING DECK/STAIR TO SOUTH SIDE LOT LINE
J: SETBACK FROM PROJECTING BUILDING EAVE TO SOUTH SIDE LOT LINE
K: SETBACK FROM PRINCIPAL BUILDING TO REAR LOT LINE
L: SETBACK FROM STEPS TO REAR LOT LINE
M: SETBACK FROM DECK TO REAR LOT LINE

SOIL TYPE LEGEND	
98	WESTBROOK MUCKY PEAT, FREQUENTLY FLOODED, VERY POORLY DRAINED, WETLAND SOIL
306	UDORTMENTS-URBAN LAND COMPLEX, UPLAND SOIL
307	AQUENTS, POORLY DRAINED, WETLAND SOIL

WETLANDS INVESTIGATION:
1. ONSITE WETLANDS INVESTIGATION COMPLETED NOVEMBER 2015 BY SOIL & ENVIRONMENTAL SERVICES, INC. FOR MARTINEZ COUCH AND ASSOCIATES, LLC
2. REFER TO REPORT FOR "PROJECT: 9 EAST AVENUE, MILFORD CT" DATED NOVEMBER 30, 2015.

AVERAGE GRADE CALCULATION	
AVERAGE GRADE ELEVATION	= ((POINT ELEVATIONS)) / (NUMBER OF POINTS)
	= (5.55 + 5.51 + 5.40 + 5.25 + 5.68 + 5.49 + 5.67 + 5.74 + 5.96 + 5.60 + 5.65 + 5.57) / (12 POINTS)
AVERAGE GRADE ELEVATION	= 5.59

REFERENCE MAP:
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DRAWN: CMP/MBR CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE: 2/22/2016

IMPROVEMENT LOCATION PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	C-1.0

GENERAL NOTES

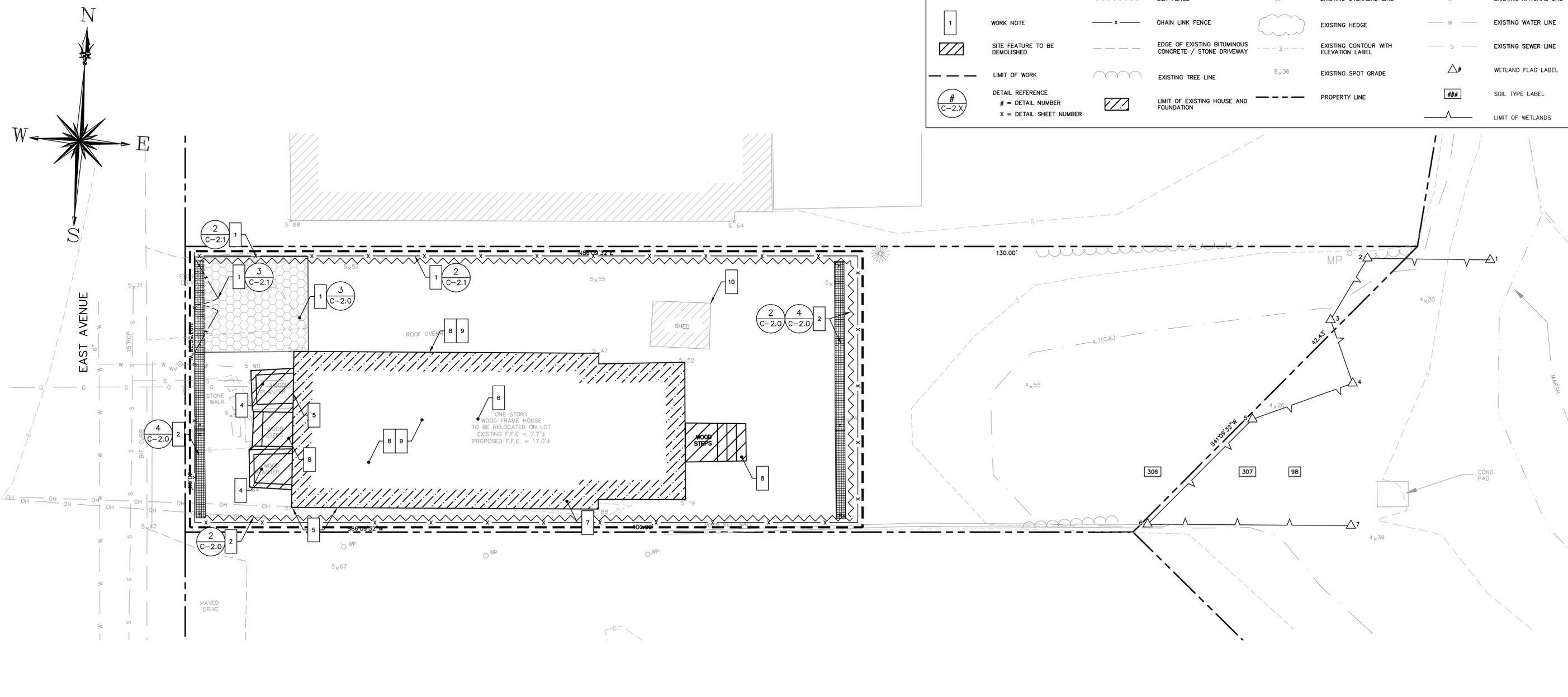
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**SOIL EROSION AND SEDIMENT CONTROL/
DEMOLITION NOTES**

- | | | | |
|---|--|---|---|
| <p>1. INSTALL 8' HIGH CHAIN LINK FENCING AS SHOWN ON PLAN AND PROVIDE SECURE AND SAFE SITE; INSTALL 10' WIDE DOUBLE LEAF GATE AT FRONT OF DRIVEWAY, INSTALL CONSTRUCTION ENTRANCE ON TRACK PAD ONSITE AND MAINTAIN FOR DURATION OF PROJECT</p> <p>2. INSTALL SILT FENCE AND SILT SOCK AS SHOWN ON PLAN. MAINTAIN SYSTEM FOR DURATION OF PROJECT.</p> <p>3. DO NOT STOCKPILE SOIL ONSITE. CHARACTERIZE, REMOVE, AND DISPOSE OFFSITE EXCAVATION SURPLUS SOIL.</p> | <p>4. REMOVE BUSHES IN LANDSCAPED AREA IN FRONT OF HOUSE AS NECESSARY; REMOVE HEDGE ADJACENT TO STONE PATIO IN BACK OF HOUSE</p> <p>5. COORDINATE UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, GAS, SEWER, AND TELECOMMUNICATIONS; SEE SHEET C-1.3</p> <p>6. DISCONNECT GAS FIRED FURNACE LOCATED IN THE ATTIC; FURNACE MAY BE TEMPORARILY RELOCATED IF NECESSARY</p> | <p>7. DISCONNECT GAS FIRED TANKLESS WATER HEATER, SEE SHEET C-1.3</p> <p>8. SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION AND NEW LOCATION ON LOT, TRIM TREE BRANCHES AS REQUIRED FOR HOME ELEVATION AND RELOCATION</p> <p>9. DEMOLISH EXISTING FOUNDATION INCLUDING ALL SUBSURFACE ELEMENTS, FRONT, AND REAR STEPS; REMOVE OFF SITE</p> | <p>10. EXISTING STORAGE SHED, RELOCATE ON PROPERTY FOR DURATIONS OF CONSTRUCTION, SHED TO BE SET BENEATH ELEVATED HOUSE AT END OF PROJECT. PROTECT SHED AND CONTENTS FOR DURATION OF CONSTRUCTION ACTIVITIES</p> <p>11. REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE E&S CONTROLS AFTER STABILIZATION IS COMPLETE</p> |
|---|--|---|---|

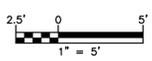
LEGEND

1	WORK NOTE	~~~~~	SILT FENCE	— OH —	EXISTING OVERHEAD LINE	— G —	EXISTING NATURAL GAS	
[Hatched Box]	SITE FEATURE TO BE DEMOLISHED	— x —	CHAIN LINK FENCE	[Cloud]	EXISTING HEDGE	— W —	EXISTING WATER LINE	
---	LIMIT OF WORK	---	EDGE OF EXISTING BITUMINOUS CONCRETE / STONE DRIVEWAY	---	EXISTING CONTOUR WITH ELEVATION LABEL	— S —	EXISTING SEWER LINE	
[Circle with #]	DETAIL REFERENCE	~~~~~	EXISTING TREE LINE	8x36	EXISTING SPOT GRADE	△#	WETLAND FLAG LABEL	
[Circle with #/C-2.X]	# = DETAIL NUMBER X = DETAIL SHEET NUMBER	[Hatched Box]	LIMIT OF EXISTING HOUSE AND FOUNDATION	---	PROPERTY LINE	[###]	SOIL TYPE LABEL	
							---	LIMIT OF WETLANDS



REFERENCE MAP:
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 9 EAST AVENUE, MILFORD, CONNECTICUT; DATE: 10-20-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

SITE PLAN



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SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION PLAN

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33-262-1183	BASEMAP 33-262-1183.dwg	C-1.1

GENERAL NOTES

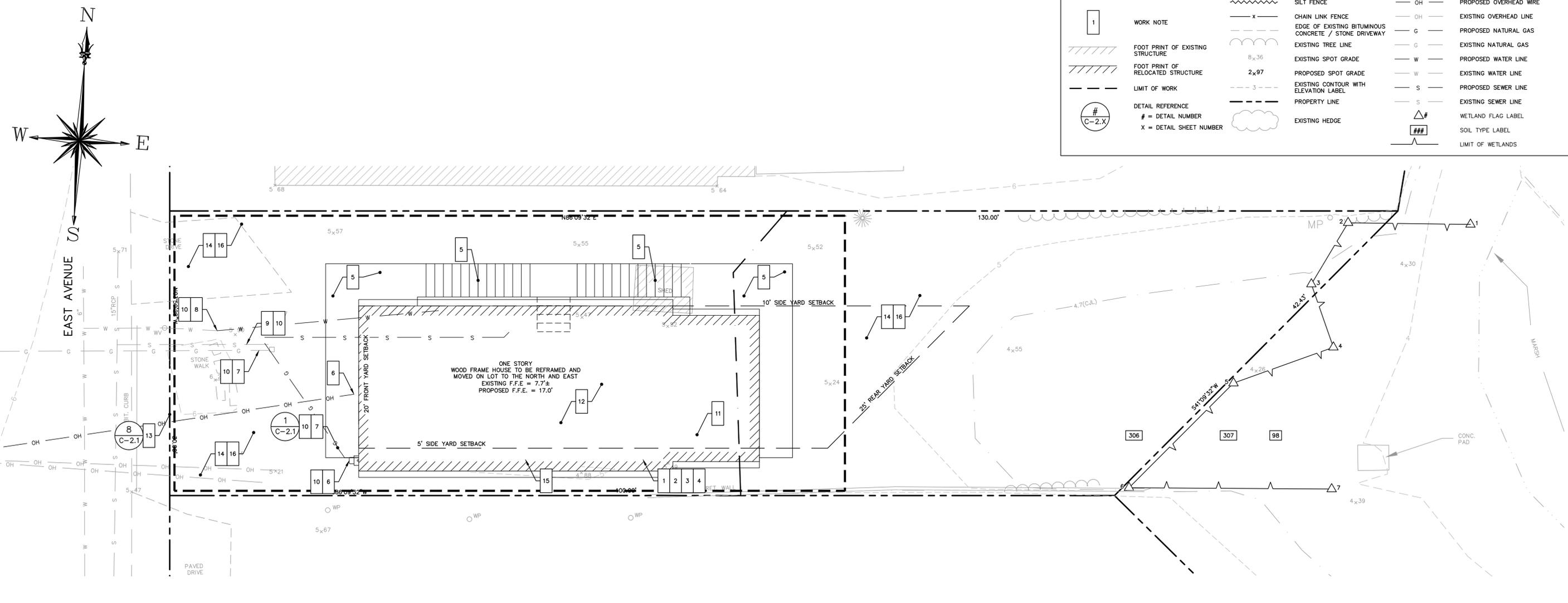
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WORK NOTES

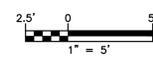
- 1 SUPPORT HOUSE; REFRAME WALLS AND ROOF. RELOCATE HOUSE TO PROPOSED LOCATION ON LOT; LIFT TO PROPOSED ELEVATION
- 2 INSTALL NEW FOUNDATION UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS, AS SHOWN ON STRUCTURAL DRAWINGS
- 5 FURNISH AND INSTALL NEW DECK AND STAIRS AT PROPOSED ELEVATIONS
- 6 COORDINATE CONNECTION OF OVERHEAD ELECTRICAL SERVICE TO SERVICE MAST AT FRONT OF HOUSE; COORDINATE INSTALLATION OF NEW ELECTRICAL METER WITH UTILITY PROVIDER IN APPROVED LOCATION ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION
- 7 COORDINATE FOR AND FURNISH AND INSTALL ALL MATERIALS FOR NEW GAS SERVICE LINE TO HOUSE FROM PROPERTY LINE; COORDINATE INSTALLATION OF GAS METER WITH UTILITY PROVIDER; INSTALL TWO BOLLARDS IN FRONT OF GAS METER AS SHOWN ON PLAN. FURNISH AND INSTALL ALL MATERIALS FOR UTILITY CHASE ADJACENT TO GAS METER.
- 8 COORDINATE FOR AND FURNISH AND INSTALL ALL REQUIRED MATERIALS FOR NEW DOMESTIC WATER SERVICE FROM PROPERTY LINE TO BUILDING. EXTEND SERVICE TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT PER CONTRACT SPECIFICATIONS. FURNISH AND INSTALL ALL MATERIALS FOR UTILITY CHASE AT NEW STRUCTURAL COLUMN FOR WATER LINE.
- 9 COORDINATE FOR AND FURNISH AND INSTALL ALL REQUIRED MATERIALS FOR NEW SANITARY SEWER LATERAL FROM PROPERTY LINE TO BUILDING. EXTEND SERVICE TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT PER CONTRACT SPECIFICATIONS. FURNISH AND INSTALL ALL MATERIALS FOR UTILITY CHASE AT NEW STRUCTURAL COLUMN FOR SANITARY SEWER LATERAL.
- 10 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES
- 11 RELOCATE STORAGE SHED BENEATH ELEVATED HOUSE.
- 12 FURNISH AND INSTALL 12 INCH THICK LAYER OF 3/4" STONE BENEATH HOUSE, DECK, AND STAIRS. TOP OF GRAVEL LAYER TO BE AT EXISTING AVERAGE GRADE
- 13 FURNISH AND INSTALL ALL MATERIALS FOR NEW CONCRETE DRIVE WITH CITY OF MILFORD CONCRETE DRIVEWAY APPROACH AT FRONT OF HOUSE.
- 14 FURNISH AND INSTALL ALL MATERIALS TO LOAM AND SEED AREAS PREVIOUSLY COVERED BY WALKWAYS OR DRIVEWAY NOT COVERED BY NEW DRIVEWAY, AS WELL AS ANY BARE AREAS
- 15 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 16 RESTORE EXTERIOR AREAS TO EXISTING CONDITIONS OR BETTER

LEGEND

	WORK NOTE		SILT FENCE		PROPOSED OVERHEAD WIRE
	FOOT PRINT OF EXISTING STRUCTURE		CHAIN LINK FENCE		EXISTING OVERHEAD LINE
	FOOT PRINT OF RELOCATED STRUCTURE		EDGE OF EXISTING BITUMINOUS CONCRETE / STONE DRIVEWAY		PROPOSED NATURAL GAS
	LIMIT OF WORK		EXISTING TREE LINE		EXISTING NATURAL GAS
	DETAIL REFERENCE		EXISTING SPOT GRADE		PROPOSED WATER LINE
#	# = DETAIL NUMBER		PROPOSED SPOT GRADE		EXISTING WATER LINE
C-2.X	X = DETAIL SHEET NUMBER		EXISTING CONTOUR WITH ELEVATION LABEL		PROPOSED SEWER LINE
			PROPERTY LINE		EXISTING SEWER LINE
			EXISTING HEDGE		WETLAND FLAG LABEL
					SOIL TYPE LABEL
					LIMIT OF WETLANDS



SITE PLAN



AS-BUILT SURVEY NOTES

1. CONTRACTOR SHALL PROVIDE AS BUILT LOCATION SURVEY OF REFRAMED HOUSE IN PROPOSED LOCATION DEMONSTRATING COMPLIANCE WITH CITY OF MILFORD VARIANCE PRIOR TO BEGINNING NEW FOUNDATION WORK. DISCREPANCY OF BUILDING LOCATION WILL BE CORRECTED AT CONTRACTORS EXPENSE.
2. CONTRACTOR SHALL PROVIDE AS BUILT TOP OF COLUMN ELEVATIONS FOR COMPLIANCE OF FINISHED FLOOR ELEVATION WITH DESIGN ELEVATIONS

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SITE PLAN

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7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

BUILDING UTILITY GENERAL NOTES

1. PLAN REPRESENTATION OF BUILDING UTILITIES ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PREPARE AND SUBMIT ALL COORDINATION DRAWINGS AS REQUIRED BY SPECIFICATION DIVISIONS 22, 23, AND 26 AND SUBMIT TO THE ENGINEER FOR APPROVAL.
2. FOR COMPLETE BUILDING UTILITY WORK REQUIREMENTS REFER TO CONTRACT SPECIFICATIONS.
3. IT IS THE PROJECT INTENT TO TURN OVER COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS TO THE OWNER FOR FINAL ACCEPTANCE OF PROJECT WORK.
4. FINAL PAYMENT WILL NOT BE PROCESSED WITHOUT SUBMITTAL OF ALL TESTING REPORTS OR EVIDENCE THEREOF FOR COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS, AS REQUIRED BY CONTRACT SPECIFICATIONS AND AUTHORITIES HAVING JURISDICTION.
5. ALL BUILDING PENETRATIONS TO BE SEALED WITH INTUMESCENT FIRE STOP PUTTY, HITL FS-ONE OR APPROVED EQUAL. ALL FINISHES TO BE PATCHED TO MATCH EXISTING ADJACENT CONDITIONS.
6. ANY SPECIAL REQUIREMENTS OR CONDITIONS OF UTILITY PROVIDERS FOR FOR UTILITY SERVICE RECONNECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

BUILDING UTILITY NOTES

1. COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO NEW SERVICE MAST AT WEST SIDE OF HOUSE. RECONNECT ELECTRICAL SERVICE METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. INSTALL ELECTRICAL SERVICE METER AT UTILITY PROVIDER APPROVED LOCATION ON ELEVATED DECK/WALK ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION 11.0 (NAVD88).
2. EXTEND DOMESTIC WATER, NATURAL GAS, AND SANITARY SEWER SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. SUPPORT PIPING ALONG STRUCTURAL COLUMNS USING APPLICABLE MSS PIPE HANGARS.
3. COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES.
4. DISCONNECT CARRIER PERFORMANCE SERIES GAS-FIRED FURNACE PRIOR TO HOME ELEVATION; RECONNECT, BALANCE, AND COMMISSION AFTER HOME ELEVATION. TEMPORARILY RELOCATE FURNACE AND REMOVE AND RESET AIR DUCTING AS REQUIRED FOR MODIFICATIONS TO STRUCTURE. CONTRACTOR SHALL PROTECT FURNACE FOR PROJECT DURATION AND REINSTALL FURNACE IN WORKING ORDER.
5. DISCONNECT EXISTING RINNAI RL75I TANKLESS WATER HEATER; RECONNECT, BALANCE, AND COMMISSION AFTER HOME ELEVATION. SALVAGE AND REINSTALL EXISTING VENT/COMBUSTION AIR FLUE OR FURNISH AND INSTALL NEW. CONTRACTOR SHALL PROTECT BOILER FOR PROJECT DURATION AND REINSTALL BOILER IN WORKING ORDER.
7. RECONNECT GAS METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION. COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN.
8. FIELD VERIFY LOCATION OF WATER SERVICE METER; REINSTALL WATER METER OR REPLACE AS REQUIRED BY THE REGIONAL WATER AUTHORITY RULES AND REGULATIONS. DOMESTIC WATER SERVICE LINE TO BE REPLACED TO PROPERTY LINE AND AS DISTURBED BY CONSTRUCTION ACTIVITY, BUT NOT BEYOND PROPERTY LINE.
9. SANITARY DRAIN PIPING TO BE REPLACED FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. NEW SOIL STACK AND HORIZONTAL RUN TO PROPERTY LINE TO BE 6" AWWA C900 PIPE. VERTICAL DROP TO BE LOCATED ADJACENT TO NEW STRUCTURAL COLUMN, AND DRAIN PIPING TO BE REROUTED AS REQUIRED. SEE SANITARY DRAIN SCHEMATIC SHEET C-2.2.
10. REMOVE AND DISPOSE EXISTING DOMESTIC WATER PIPING TO FLOOR PENETRATIONS AT UNDERSIDE OF FIRST FLOOR; FURNISH AND INSTALL NEW PIPING WHERE REMOVED. MATCH EXISTING PIPE SIZES. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
11. REMOVE AND DISPOSE EXISTING NATURAL GAS PIPING IN STRUCTURE; FURNISH AND INSTALL NEW PIPING WHERE REMOVED. MATCH EXISTING PIPE SIZES. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
12. REMOVE AND DISPOSE EXISTING SANITARY DRAIN PIPING TO FLOOR PENETRATIONS AT FIRST FLOOR; FURNISH AND INSTALL NEW PIPING WHERE REMOVED. MATCH EXISTING PIPE SIZES. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
13. FURNISH AND INSTALL ALL MATERIALS FOR NEW HEAT TRACE ON DOMESTIC WATER SERVICE AND SANITARY SEWER DRAIN PIPING PER SPECIFICATIONS. HEAT TRACE WATER LINE TO 42" BELOW GRADE.
14. FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL PLANS FOR LOCATION OF STRUCTURAL COLUMNS.
15. FURNISH AND INSTALL ALL MATERIALS TO CONSTRUCT HORIZONTAL UTILITY CHASES AT UNDERSIDE OF HOUSE FOR NATURAL GAS, DOMESTIC WATER AND SANITARY SEWER SERVICE LINES PROJECTING BELOW TOP OF NEW PSL BEAMS. HEAT TRACE DOMESTIC WATER AND SANITARY SEWER PIPING SET BELOW TOP OF NEW PSL BEAMS.

LEGEND

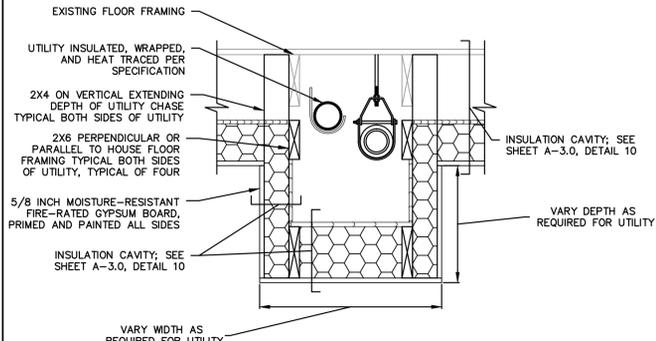
WORK NOTE

DETAIL REFERENCE
 # = DETAIL NUMBER
 X = DETAIL SHEET NUMBER

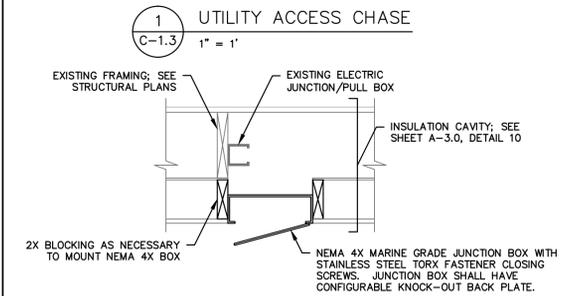
— G — EXISTING NATURAL GAS
 — G — PROPOSED NATURAL GAS
 — W — EXISTING WATER LINE
 — W — PROPOSED WATER LINE
 — S — EXISTING SEWER LINE
 — S — PROPOSED SEWER LINE
 — OH — EXISTING OVERHEAD WIRE
 — OH — PROPOSED OVERHEAD WIRE

⊕ PIPE ELBOW UP
 ⊖ PIPE ELBOW DOWN

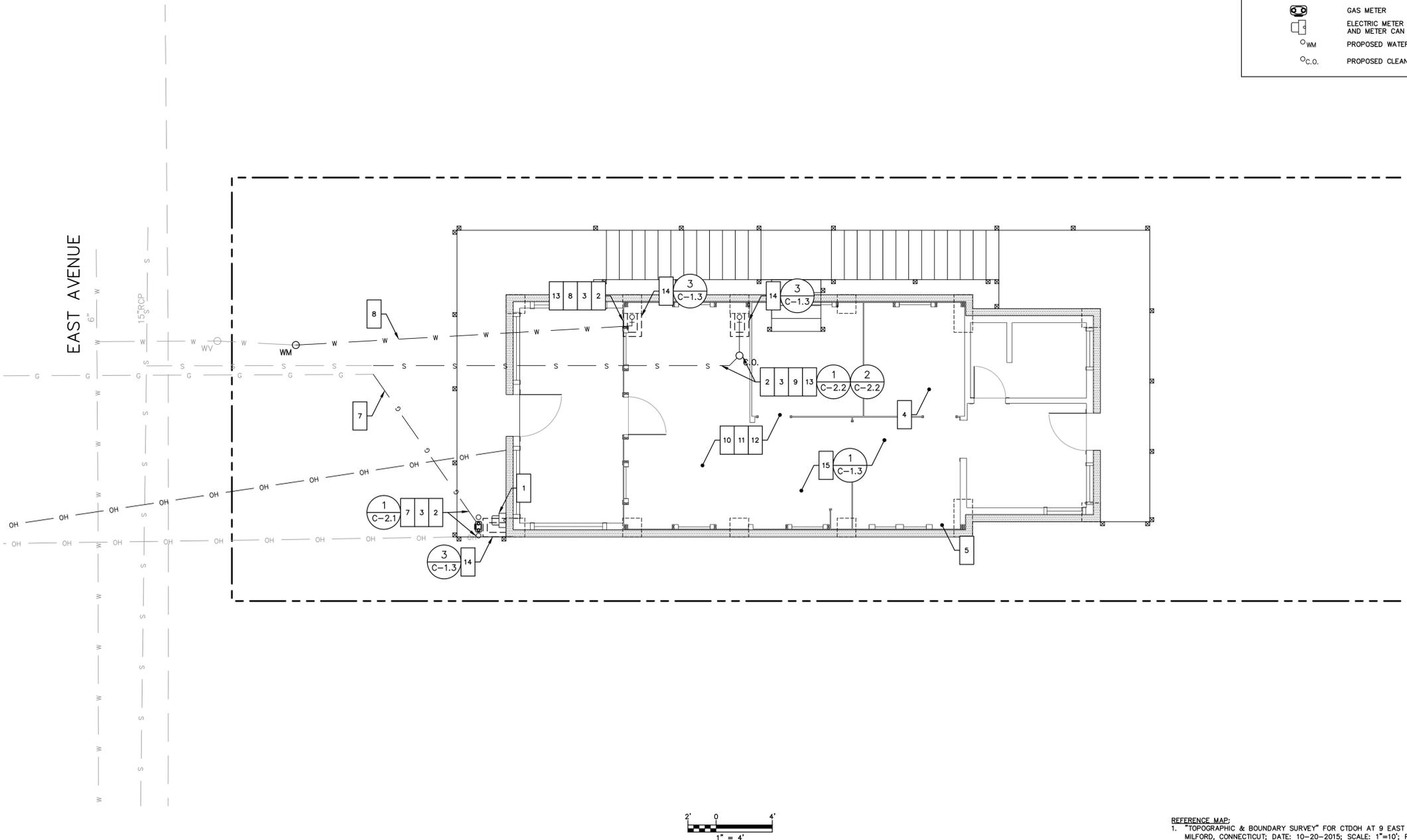
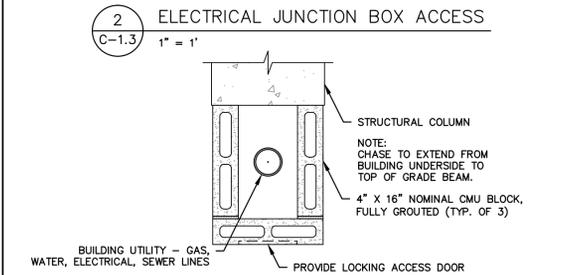
⊕ GAS METER
 ⊖ ELECTRIC METER AND METER CAN
 ○ WM PROPOSED WATER METER
 ○ C.O. PROPOSED CLEAN OUT



1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. WIDTH OF UTILITY CHASE SHALL BE FIELD VERIFIED WITH CONTRACTOR AND ENGINEER FOR PROPER ACCESS TO REPLACE, REPAIR, OR MAINTAIN SUBJECT UTILITY.
3. UTILITY CHASE SHALL BE CONSTRUCTED FOR NATURAL GAS SERVICE, SANITARY SEWER DRAIN, AND DOMESTIC WATER SERVICE PIPING.



1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. CONTRACTOR SHALL VERIFY IN FIELD AND REVIEW WITH ENGINEER LOCATIONS OF EXISTING JUNCTION/PULL BOXES FOR NEW ACCESS BOX INSTALLATION.
3. NEMA JUNCTION BOX SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, FLUSH WITH SURROUNDING GYPSUM BOARD, WITH WEATHER TIGHT SEAL.



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REFERENCE MAP:
 1. TOPOGRAPHIC & BOUNDARY SURVEY FOR CTDOH AT 9 EAST AVENUE, MILFORD, CONNECTICUT; DATE: 10-20-2015; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC



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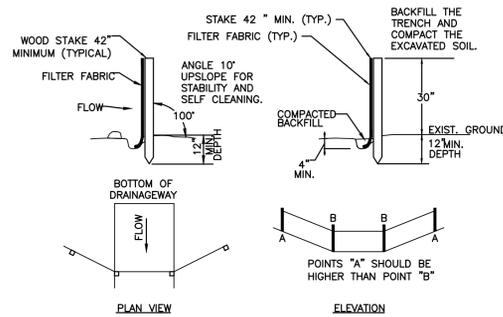
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1	12/6/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR REC
DRAWN: CMP CHECKED: MBR APPROVED: REC SCALE: 1" = 5' DATE: 12/6/2016					

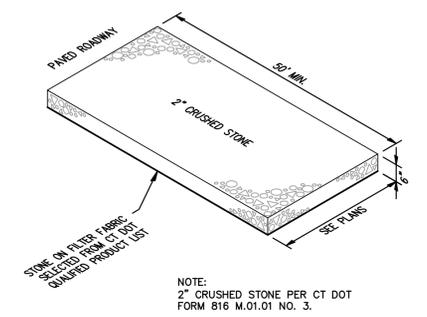
BUILDING UTILITY PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	C-1.3

SEEDING SCHEDULE				
PERMANENT SEEDING				
PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:				
	KIND OF AREA:			
	LAWNS AND HIGH MAINTENANCE AREAS			
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.		
KENTUCKY BLUEGRASS	20	0.45		
CREeping RED FESCUE	20	0.45		
PERENNIAL RYEGRASS	5	0.1		
TOTAL	45	1.0		
TEMPORARY SEEDING RATES AND DATES				
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	DATE (1)(3)	DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1	0.5 INCHES
			3/1-6/15	
SEEDING NOTES:				
(1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED.				
(2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS.				
SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT				
ORGANIC MULCH MATERIALS AND APPLICATION RATES				
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES	
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COURSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.	



- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- B) MAXIMUM POST SPACING IS 10 L.F.
- C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.



1 TYPICAL SEEDING SCHEDULE
C-2.0 N.T.S.

2 TYPICAL SILTATION FENCE
C-2.0 N.T.S.

3 TYPICAL CONSTRUCTION TRACK PAD
C-2.0 N.T.S.

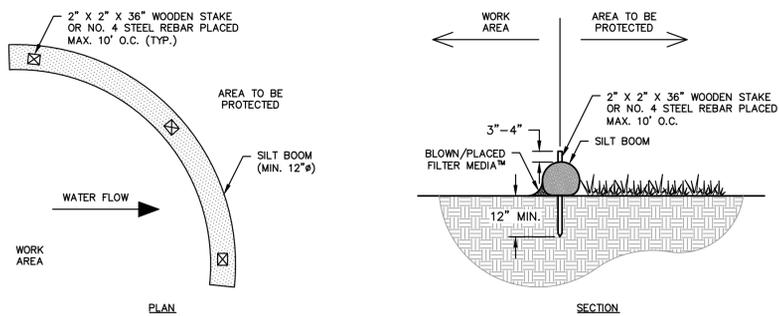


TABLE 1

SILT BOOM DIAMETER	EFFECTIVE HEIGHT	HALF OF EFFECTIVE HEIGHT
12 INCHES	9.5 INCHES	4.8 INCHES
18 INCHES	14.5 INCHES	7.3 INCHES
24 INCHES	19 INCHES	9.5 INCHES

- NOTES:
- CONTRACTOR SHALL MAINTAIN SILT SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES. SILT SOCK SHALL BE ROUTINELY INSPECTED.
 - IF DAMAGED, SILT SOCK SHALL BE REPAIRED OR REPLACED.
 - CONTRACTOR SHALL REMOVE SEDIMENT IN THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF EFFECTIVE HEIGHT, WHICH SHALL BE DETERMINED BASED ON TABLE 1 OR AS DIRECTED BY TOWN OR ENGINEER.
 - SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS CEASED.

4 TYPICAL SILT SOCK
C-2.0 N.T.S.

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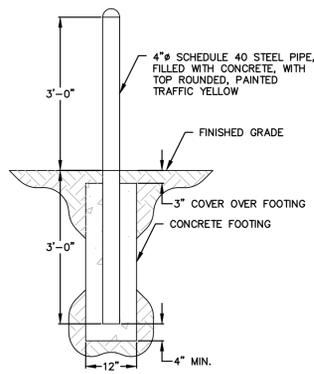
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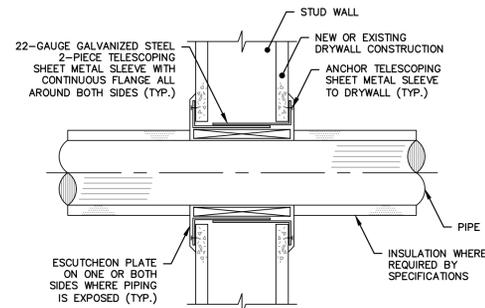
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SOIL EROSION AND
SEDIMENT CONTROL DETAILS

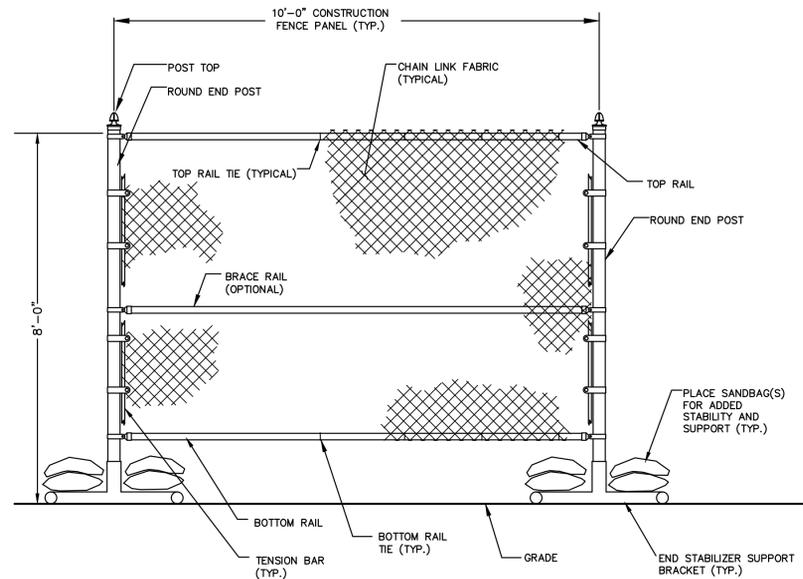
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	C-2.0



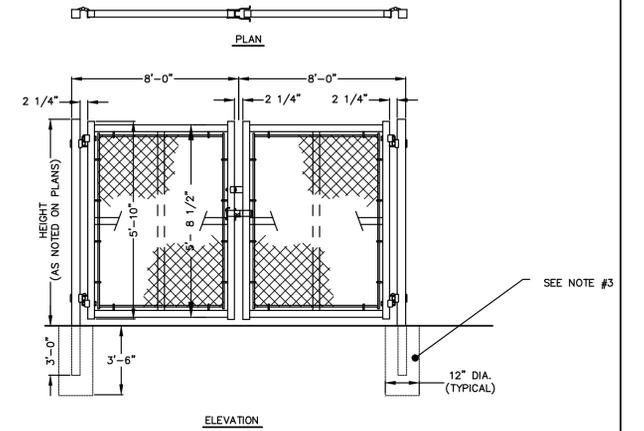
1 TYPICAL BOLLARD
C-2.1 N.T.S.



2 TYPICAL WALL/FLOOR PENETRATION
C-2.1 N.T.S.

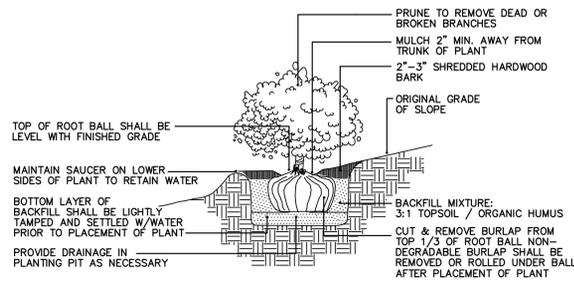


3 TYPICAL PORTABLE CONSTRUCTION CHAIN LINK FENCE
C-2.1 N.T.S.

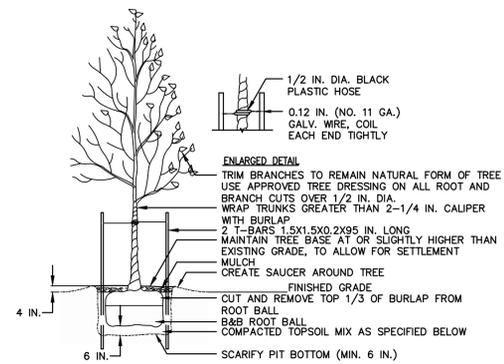


4 TYPICAL DOUBLE LEAF CHAIN LINK FENCE GATE
C-2.1 N.T.S.

- NOTES:
- GATES SHOULD OPEN TOWARD SITE, AWAY FROM STREET.
 - GATES SHALL HAVE LOCKING MECHANISM THAT CAN BE PADLOCKED.
 - METAL TRIPPODS MAY BE USED FOR BOTTOM SUPPORTS INSTEAD OF MOUNTING INTO THE GROUND.
 - MATERIALS, METHODS OF INSTALLATION SHALL BE CONFORM TO STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 816 M.10.05 OR CURRENT SPECIFICATION FOR SUCH WORK.

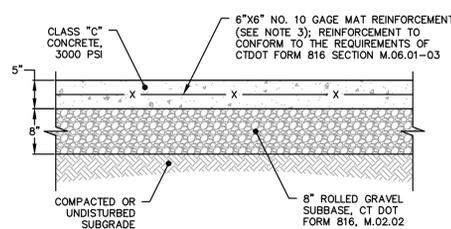


5 TYPICAL SHRUB
C-2.1 N.T.S.



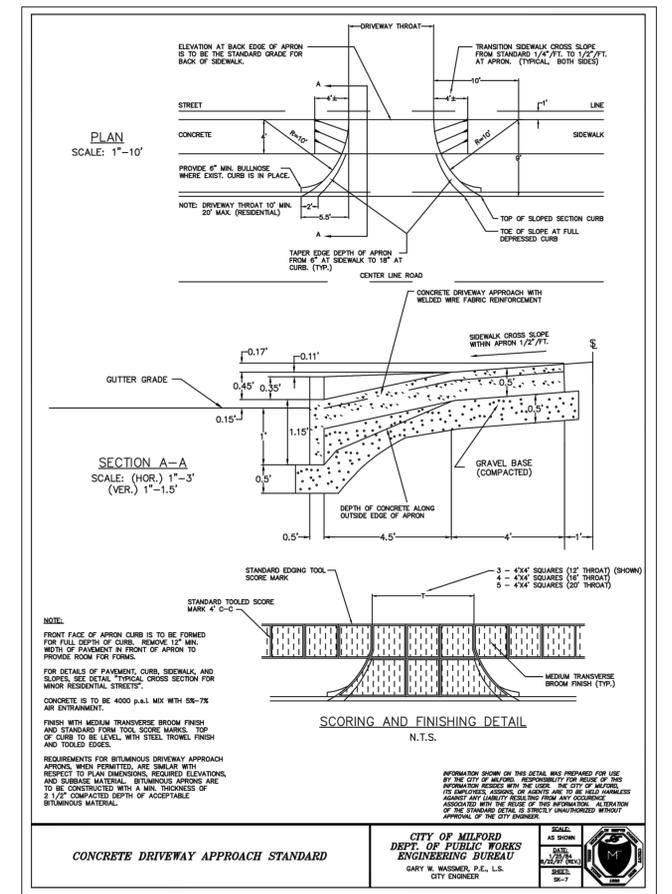
6 TYPICAL DECIDUOUS TREE
C-2.1 N.T.S.

- NOTES:
- TOPSOIL MIX, SEE SPEC.
 - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - WATER THOROUGHLY AFTER INSTALLATION.
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.
 - PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
 - ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.



7 TYPICAL CONCRETE LANDING
C-2.1 N.T.S.

- NOTES:
- CONCRETE SHALL BE FINISHED BY MEANS OF A FLOAT, STEEL TOWELED, AND BROOMED WITH A FINE BRUSH IN A TRANSVERSE DIRECTION.
 - MATERIALS, METHODS OF INSTALLATION, CURING, AND TESTING SHALL CONFORM TO STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 816 OR CURRENT SPECIFICATION FOR SUCH WORK.
 - WIRE MESH SHALL BE PLACED 2-1/2" BELOW THE SURFACE. MATERIAL SHALL BE 6"x6" NO. 10 GAGE AND IN ACCORDANCE WITH ASTM 185 (ASHTO M55), AS SHOWN ON THE PLANS OR AS DIRECTED. WIRE MESH TO BE USED FOR ALL LANDINGS.



8 CONCRETE DRIVEWAY APPROACH
C-2.1 AS NOTED

CONCRETE DRIVEWAY APPROACH STANDARD

CITY OF MILFORD
DEPT. OF PUBLIC WORKS
ENGINEERING BUREAU
GARY W. WASSER, P.E., L.S.
CITY ENGINEER

SCALE: AS SHOWN
DATE: 12/6/2016
SHEET: 33-262-1183

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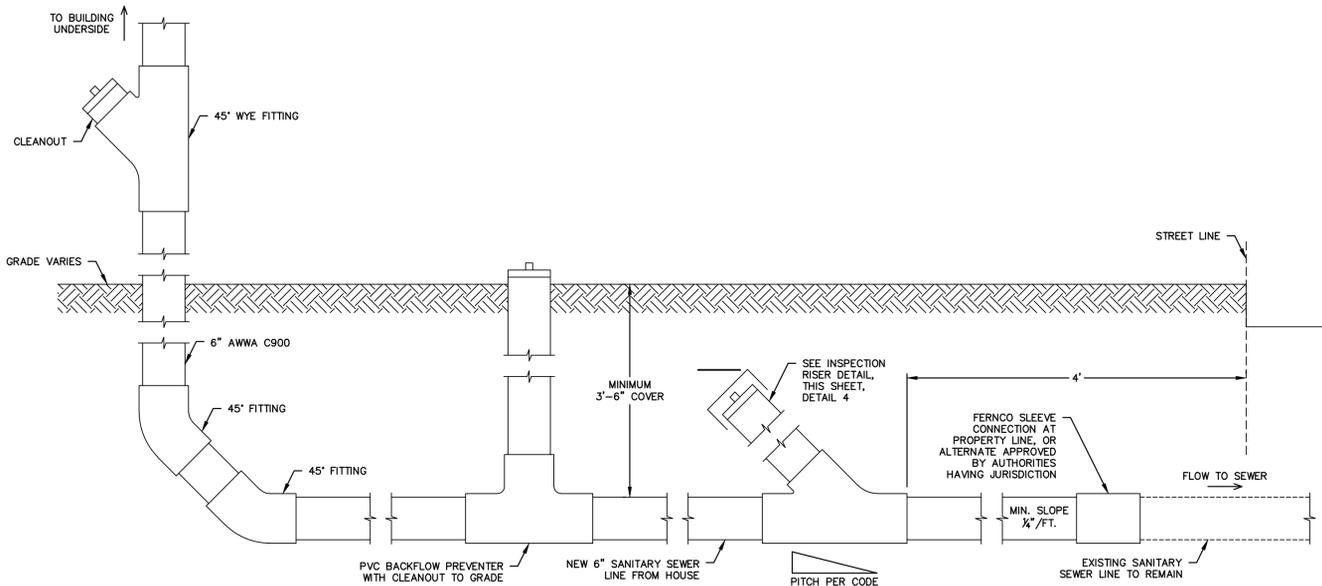
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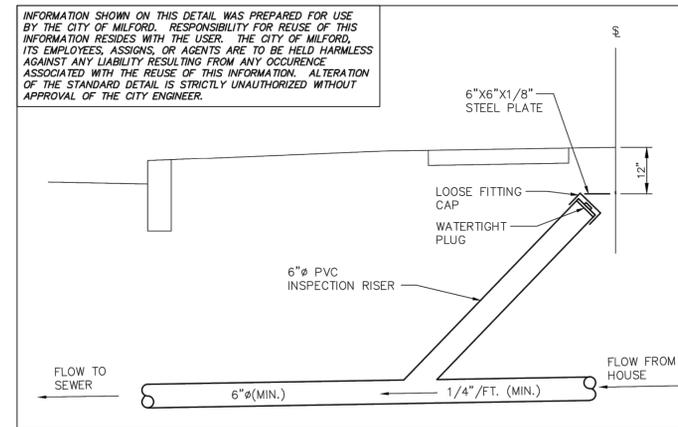
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MISCELLANEOUS DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	C-2.1



1 SANITARY DRAIN SCHEMATIC
C-2.2 1" = 1'



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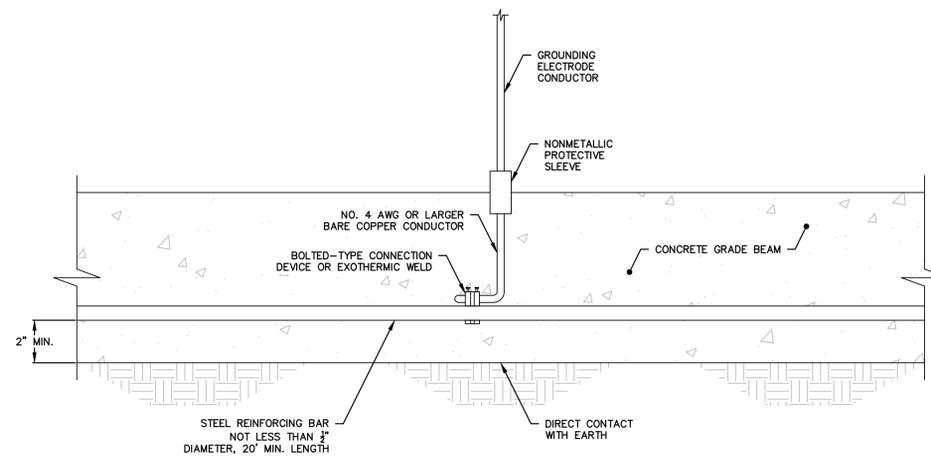
A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION. A 6" PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"x6"x1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.

2 INSPECTION RISER
C-2.2 N.T.S.

NOTE:
1. ALL WORK FOR SANITARY SEWER LATERAL TO BE PER SPECIFICATION SECTION 221313.



3 CONCRETE-ENCASED ELECTRODE
C-2.2 N.T.S.

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**BUILDING UTILITY
DETAILS**

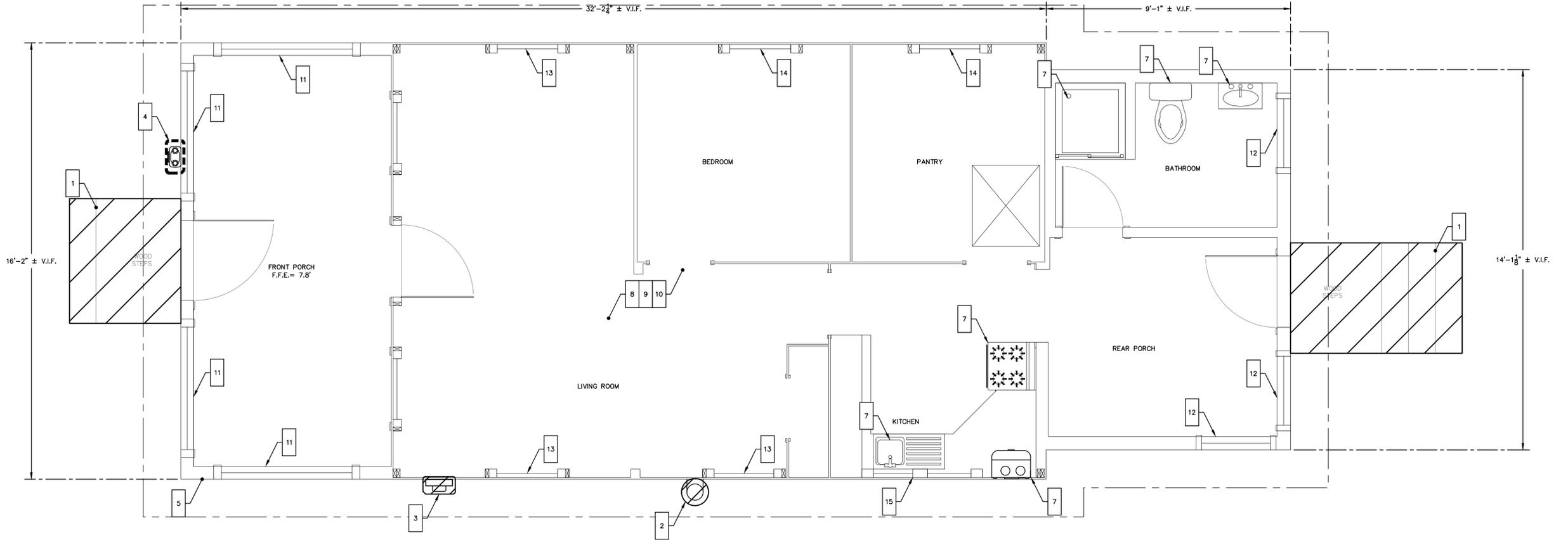
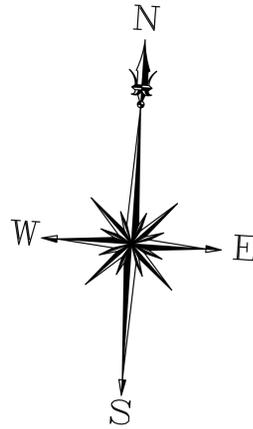
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	C-2.2

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

WORK NOTES

1. DEMOLISH EXISTING FRONT AND REAR STEPS AND DISPOSE OFFSITE
2. DEMOLISH, REMOVE, AND DISPOSE OFFSITE METAL FLUE NO LONGER IN USE
3. DEMOLISH, REMOVE, AND DISPOSE OFFSITE ELECTRIC METER, METER SOCKET AND SERVICE WIRE
4. SALVAGE GAS METER FOR REINSTALLATION OR REMOVE OFFSITE AND DISPOSE AS REQUIRED BY UTILITY PROVIDER.
5. REMOVE WAINSCOAT BOARD AND SHEATHING ON ENTIRE PERIMETER OF STRUCTURE FROM GRADE LEVEL TO UNDERSIDE OF DOUBLE 2X6 PERIMETER BEAM AND SILL PLATE FOR INSTALLATION OF NEW FRAMING; SECURE WAINSCOAT BOARD ABOVE LEVEL OF PERIMETER BEAM PRIOR TO REMOVAL OF WAINSCOAT BELOW PERIMETER BEAM.
6. REMOVE AND DISPOSE EXISTING CASING AND TRIM AT ALL WINDOWS AND DOORS FOR REFRAMING OF NEW EXTERIOR WALL; TYPICAL ALL WINDOWS, DOORS, OPENINGS, PENETRATIONS AND OTHER APPURTENCES SHOWN ON PLAN OR NOT. SCAB COVER ROTTED OR DAMAGED AREAS WITH MATCHING THICKNESS SHEATHING.
7. EXISTING MECHANICAL AND PLUMBING EQUIPMENT; DISCONNECT, TEMPORARILY RELOCATE, AND REINSTALL AS REQUIRED FOR PROJECT WORK. SEE BUILDING UTILITY PLAN SHEET C-1.3 AND PROPOSED FLOOR PLANS; PROTECT ALL EQUIPMENT FOR PROJECT DURATION; REPLACE EQUIPMENT NOT ABLE TO BE REINSTALLED OR DAMAGED BY CONTRACTOR WORK OPERATIONS
8. REMOVE AND DISPOSE EXISTING DOMESTIC WATER PIPING TO FLOOR PENETRATIONS AT UNDERSIDE OF FIRST FLOOR; FURNISH AND INSTALL NEW PIPING WHERE REMOVED. MATCH EXISTING PIPE SIZES. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
9. REMOVE AND DISPOSE EXISTING NATURAL GAS PIPING IN STRUCTURE; FURNISH AND INSTALL NEW PIPING WHERE REMOVED. MATCH EXISTING PIPE SIZES OR RESIZE AS REQUIRED BY CODE. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
10. REMOVE AND DISPOSE EXISTING SANITARY DRAIN PIPING TO FLOOR PENETRATIONS AT FIRST FLOOR; FURNISH AND INSTALL NEW PIPING WHERE REMOVED. MATCH EXISTING PIPE SIZES. ROUTE ALL PLUMBING ABOVE INSULATION CAVITY BENEATH HOUSE.
11. REMOVE AND DISPOSE EXISTING CASEMENT AND GLIDING WINDOWS ON FRONT PORCH. REMOVE EXISTING CASING TRIMS AND PREPARE OPENING FOR NEW WINDOW AND TRIM; CUT AND PATCH AS REQUIRED
12. REMOVE AND DISPOSE EXISTING DOUBLE HUNG WINDOWS IN REAR PORCH AND BATHROOM. REMOVE EXISTING CASING AND TRIMS AND PREPARE OPENING FOR NEW WINDOW; CUT AND PATCH AS REQUIRED
13. REMOVE EXISTING WINDOW, CASING, STOOL APRON, AND HEADERS INSIDE OF HOUSE AND DISPOSE OFFSITE. LEAVE EXISTING 2X STUD IN PLACE. PREPARE OPENING IN 3/4" WAINSCOAT FOR NEW WINDOW; CUT AND PATCH AS REQUIRED.
14. REMOVE EXISTING WINDOW, CASING, STOOL APRON, HEADER, AND WOOD 2X STUDS ADJACENT TO WINDOW INSIDE OF HOUSE AND DISPOSE OFFSITE. PREPARE OPENING IN 3/4" WAINSCOAT FOR NEW WINDOW; CUT AND PATCH AS REQUIRED.
15. REMOVE EXISTING WINDOWS AT KITCHEN SINK AND CENTER DIVIDE. LEAVE EXISTING 2X STUD FRAMING IN PLACE. PREPARE OPENING FOR NEW WINDOW; CUT AND PATCH AS REQUIRED.



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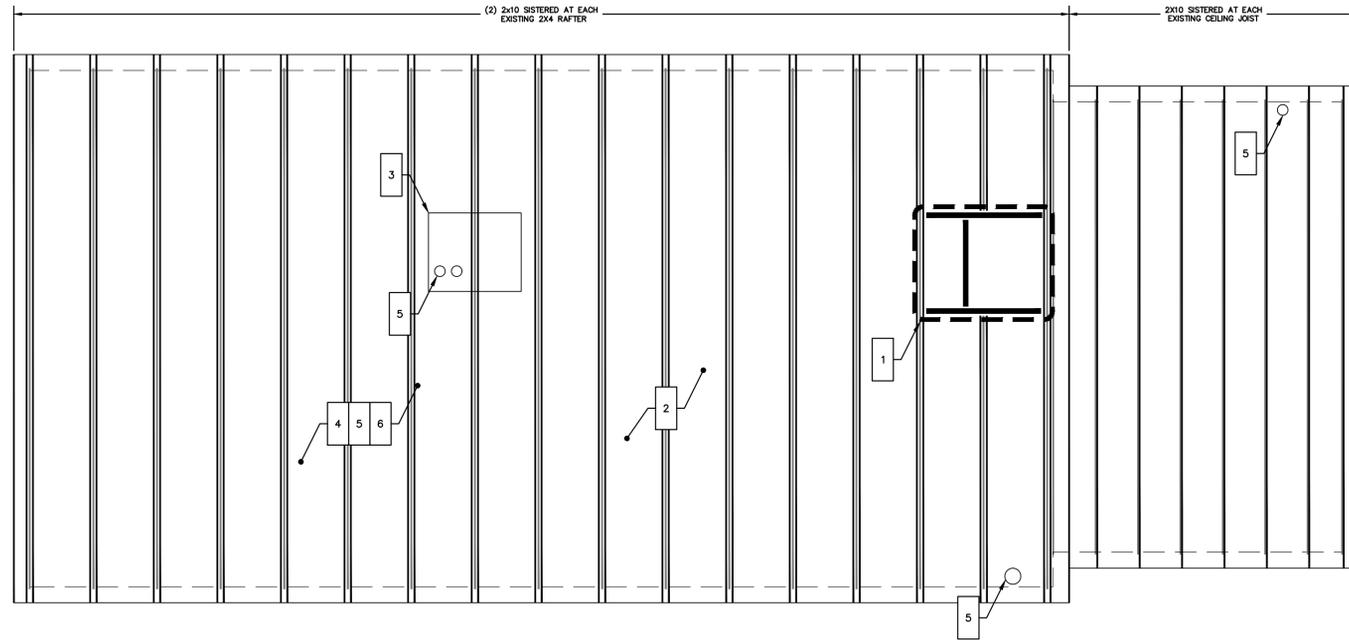
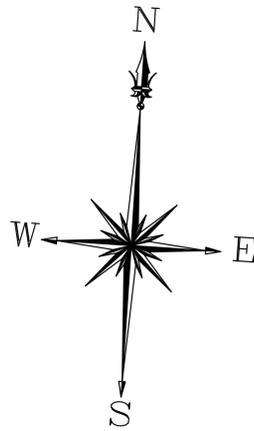
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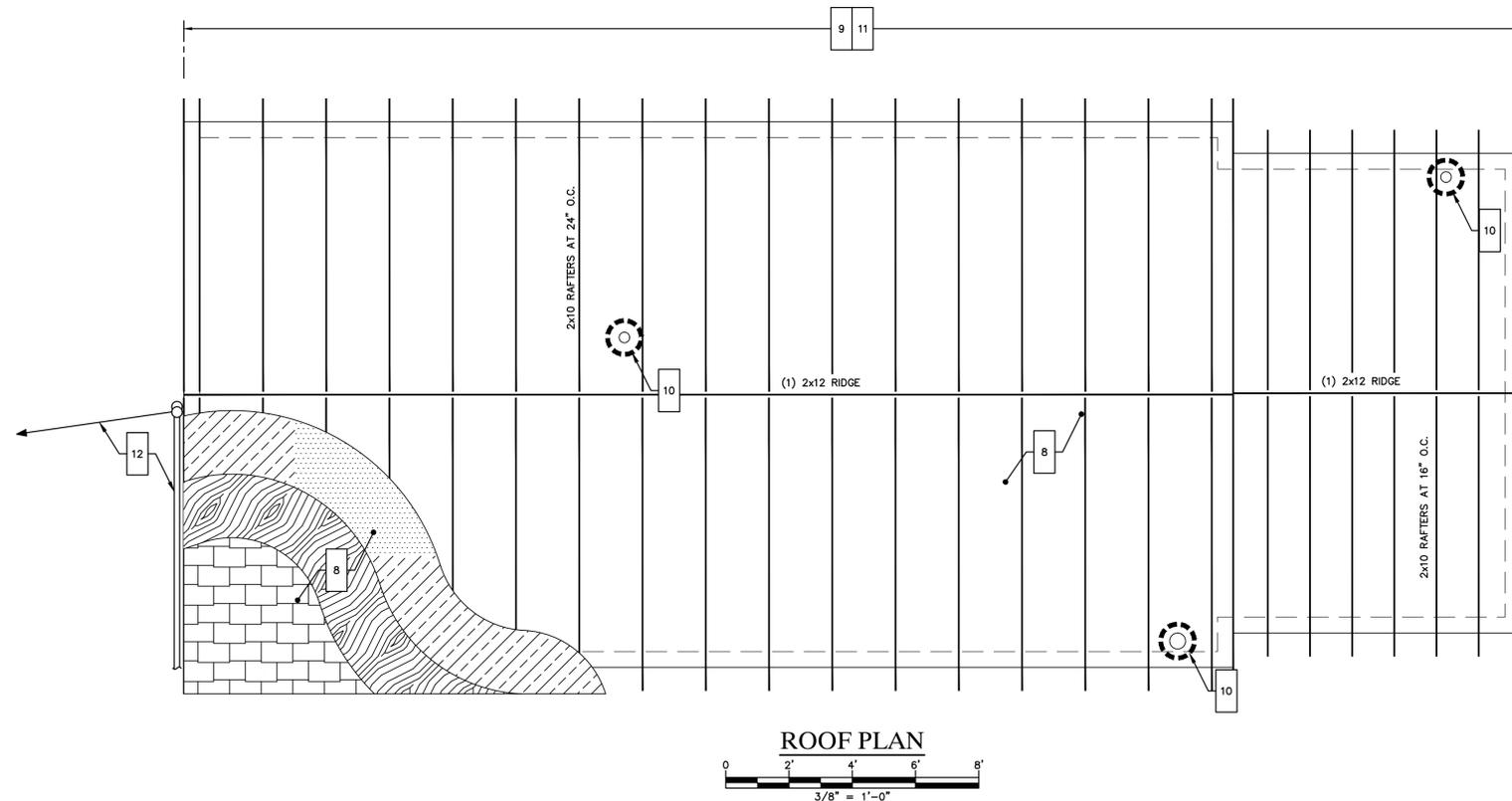
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EXISTING FLOOR PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	A-1.0



ATTIC PLAN



ROOF PLAN

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WORK NOTES

- 1 REFRAME EXISTING OPENING TO ATTIC IN CEILING; PROVIDE (2) 2X10 AT ALL SIDES OF OPENING.
- 2 SISTER ALL EXISTING ROOF JOISTS IN PLACE WITH NEW 2X10 CEILING JOISTS; SEE STRUCTURAL DRAWINGS AND BUILDING SECTIONS.
- 3 REINSTALL EXISTING GAS FURNACE; RESET EXISTING DUCTING AND ALL PLUMBING AND WIRING.
- 4 REINSTALL LIGHTING FIXTURES IN ATTIC LEVEL, REWIRE AS REQUIRED.
- 5 REINSTALL AND RECONNECT ALL VENT PIPING IN ATTIC LEVEL; REPLACE ALL VENTING NOT ABLE TO BE SALVAGED FOR REINSTALLATION
- 6 FURNISH AND INSTALL NEW R-38 KRAFT FACED FIBERGLASS BATT INSULATION IN ATTIC
- 7 EXTEND ROOF DOWNSPOUTS TO GRADE, SECURE TO NEW STRUCTURAL COLUMN; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS AT GRADE
- 8 FURNISH AND INSTALL NEW ROOF WITH 2X10 RAFTERS; SEE SECTIONS FOR COMPLETE CONSTRUCTION DETAILS, ICE AND WATERSHEILD UNDERLAYMENT TO EXTEND TWO FEET INSIDE WARM FACE OF BUILDING WALL
- 9 FURNISH AND INSTALL MATERIALS FOR NEW SOFFIT AT ALL ROOF EAVES TYPICAL ALL SIDES OF BUILDING; SEE SECTIONS FOR COMPLETE CONSTRUCTION DETAILS.
- 10 FLASH AND SEAL ALL ROOF PENETRATIONS.
- 11 FURNISH AND INSTALL NEW ROOF FRAMING WITH 2X10 RAFTERS
- 12 FURNISH AND INSTALL NEW OVERHEAD ELECTRIC SERVICE MAST PER UTILITY PROVIDER REQUIREMENTS

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			DATE: 12/6/2016		

**PROPOSED
FLOOR PLANS - 2**

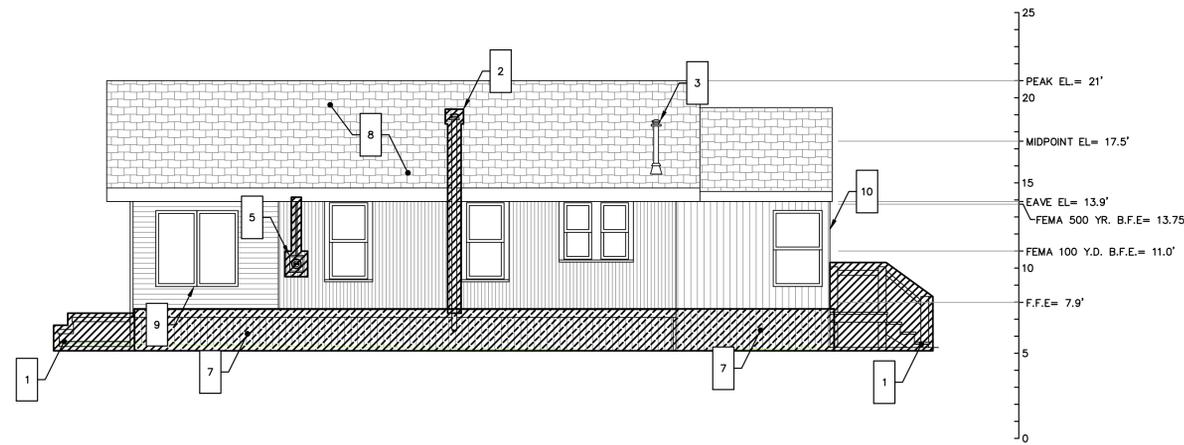
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	A-1.2

GENERAL NOTES

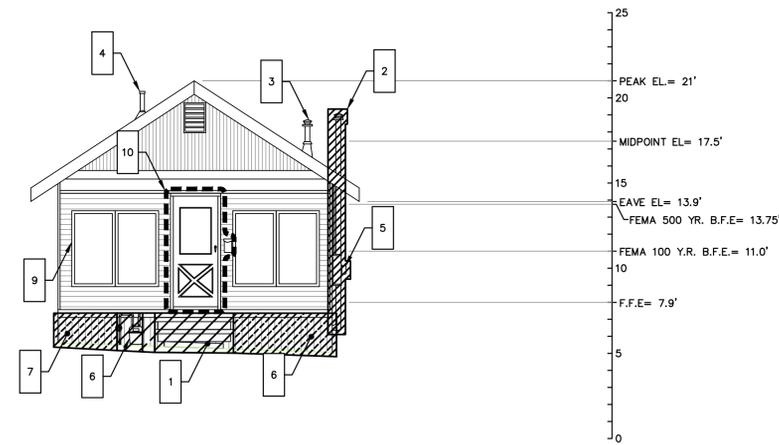
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WORK NOTES

- 1 DEMOLISH, REMOVE, AND DISPOSE OFFSITE FRONT AND REAR STEPS, LANDINGS AND ALL SUBSURFACE ELEMENTS
- 2 DEMOLISH, REMOVE, AND DISPOSE OFFSITE METAL FLUE NO LONGER IN USE
- 3 SALVAGE AND STORE FLUE VENT FOR TANKLESS BOILER FOR REINSTALLATION
- 4 DEMOLISH COMBINATION COMBUSTION AIR INTAKE AND EXHAUST VENT FOR GAS FIRED FURNACE TO BELOW EXISTING ROOF LINE
- 5 DEMOLISH, REMOVE, AND DISPOSE OFFSITE ELECTRIC METER, METER SOCKET AND SERVICE WIRE
- 6 SALVAGE GAS METER FOR REINSTALLATION OR REMOVE OFFSITE AND DISPOSE AS REQUIRED BY UTILITY PROVIDER.
- 7 REMOVE WAINSCOT BOARD AND SHEATHING ON ENTIRE PERIMETER OF STRUCTURE FROM GRADE LEVEL TO UNDERSIDE OF DOUBLE 2X6 PERIMETER BEAM AND SILL PLATE FOR INSTALLATION OF NEW FRAMING; SECURE WAINSCOT BOARD ABOVE LEVEL OF PERIMETER BEAM PRIOR TO REMOVAL OF WAINSCOT BELOW PERIMETER BEAM.
- 8 DEMOLISH, REMOVE, AND DISPOSE OFFSITE EXISTING ASPHALT SHINGLE ROOFING, SUBSTRATE AND ROOF RAFTERS. NEW WALLS AND FLOOR FRAMING TO BE INSTALLED PRIOR TO ROOF DEMOLITION WORK. PHASE WORK TO PREVENT DAMAGE TO BUILDING INTERIOR.
- 9 REMOVE AND DISPOSE EXISTING CASING AND TRIM AT ALL WINDOWS AND DOORS FOR REFRAMING OF NEW EXTERIOR WALL; TYPICAL ALL WINDOWS, DOORS, OPENINGS, PENETRATIONS AND OTHER APPURTENCES SHOWN ON PLAN OR NOT. SCAB COVER ROTTED OR DAMAGED AREAS WITH MATCHING THICKNESS SHEATHING.
- 10 REMOVE EXISTING STORM DOORS AT FRONT AND REAR OF HOUSE, SALVAGE FOR REINSTALLATION. REMOVE AND SALVAGE MAIL BOX FOR REINSTALLATION.



RIGHT ELEVATION



FRONT ELEVATION



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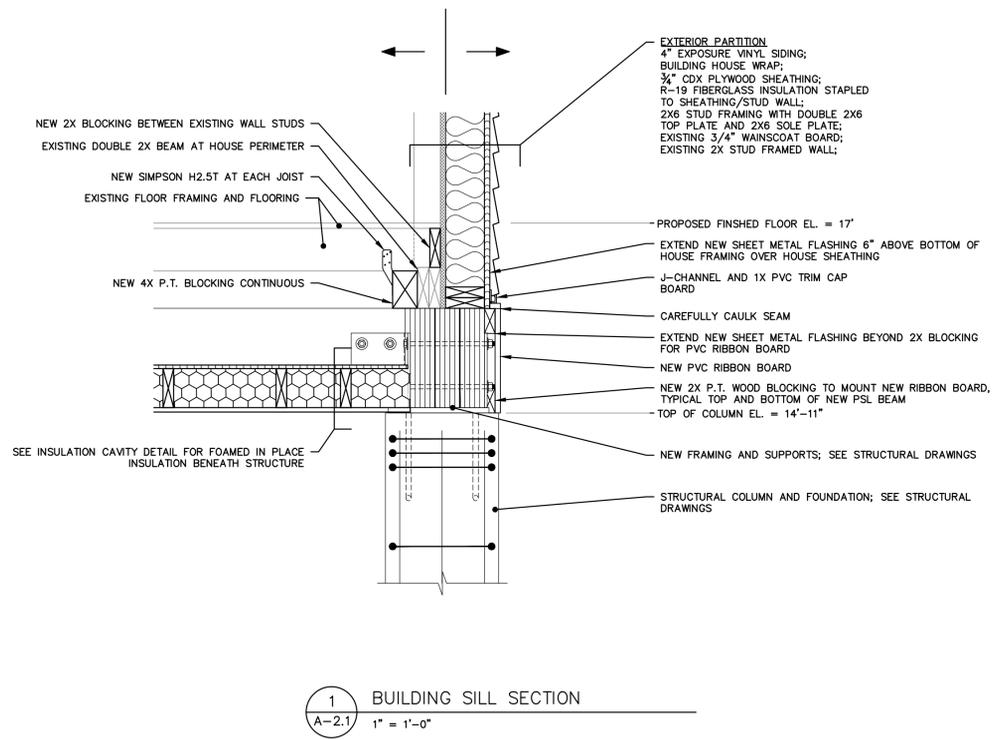
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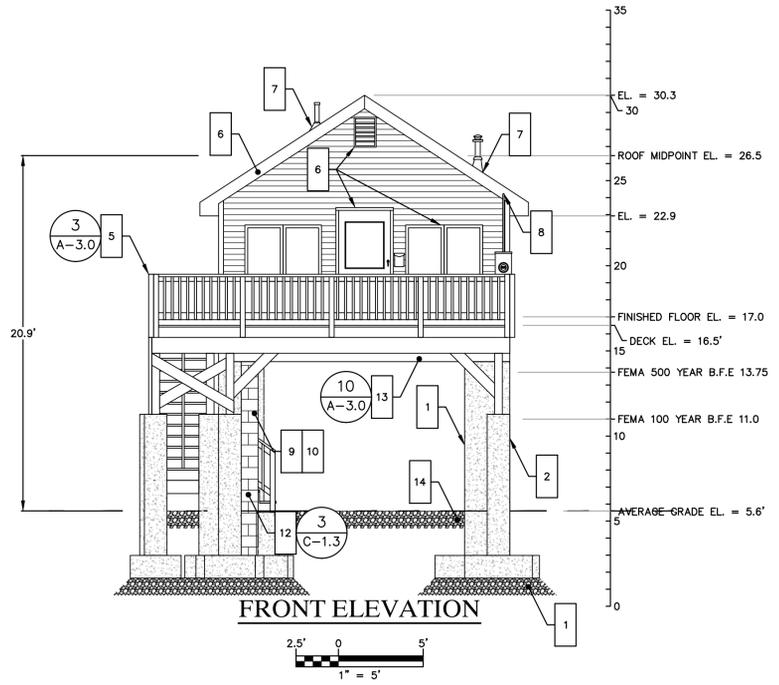
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**EXISTING
BUILDING ELEVATIONS**

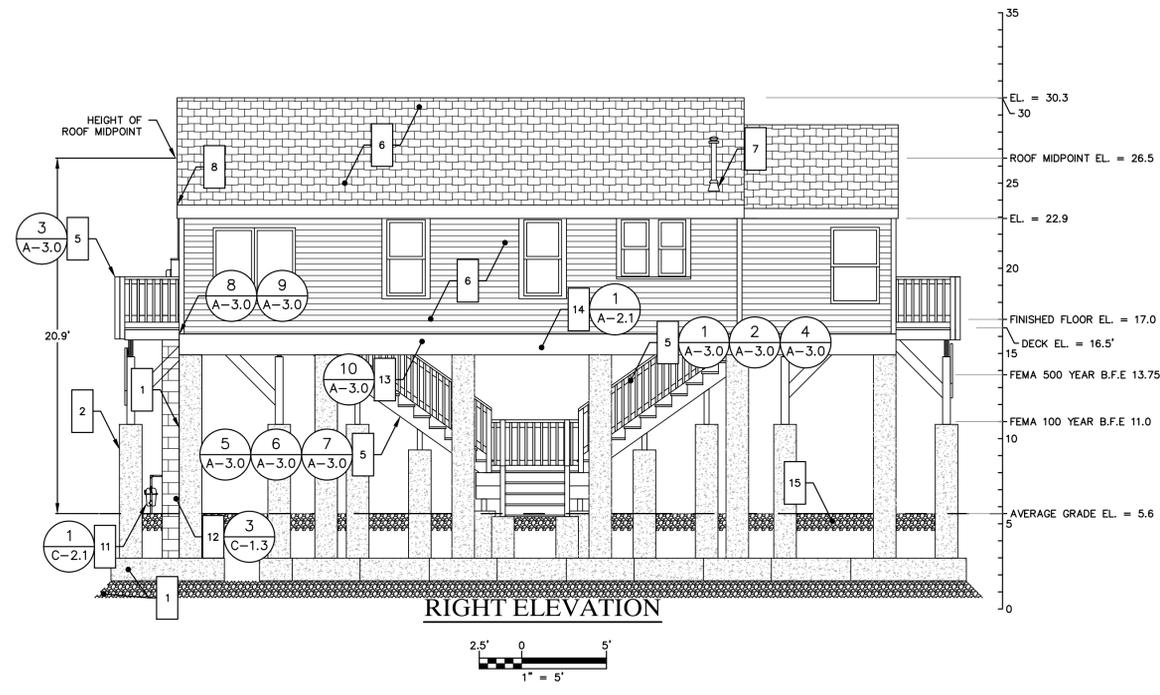
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	A-2.0



1 BUILDING SILL SECTION
A-2.1 1" = 1'-0"



FRONT ELEVATION
1" = 5'



RIGHT ELEVATION
1" = 5'

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WORK NOTES

- 1 HOUSE FOUNDATION; SEE STRUCTURAL DRAWINGS
- 2 STAIR FOUNDATION; SEE STRUCTURAL DRAWINGS
- 3 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS, AS SHOWN ON STRUCTURAL DRAWINGS
- 4 EXTEND ROOF DOWNSPOUTS TO GRADE. SECURE TO NEW STRUCTURAL COLUMN; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS AT GRADE
- 5 INSTALL NEW DECKS, AT FRONT AND BACK OF HOUSE, AND STAIRS AT PROPOSED ELEVATIONS
- 6 FURNISH AND INSTALL ALL MATERIALS FOR NEW WALLS, ROOF AND SOFFIT AROUND EXISTING STRUCTURE. TRIM ALL EXISTING WINDOWS, DOORS, AND OTHER OPENINGS; SEE SECTION DETAILS AND NOTES.
- 7 FLASH AND SEAL ALL ROOF PENETRATIONS.
- 8 FURNISH AND INSTALL NEW ELECTRIC METER, METER SOCKET, GALVANIZED CONDUIT AND SERVICE WIRE; CONNECT TO EXISTING PANEL BOARD
- 9 FURNISH AND INSTALL SANITARY DRAIN PIPING FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. SEE SHEET C-1.3 AND SEE SANITARY DRAIN SCHEMATIC SHEET C-2.2.
- 10 DOMESTIC WATER SERVICE LINE TO BE REPLACED AS DISTURBED BY CONSTRUCTION ACTIVITY, BUT NOT BEYOND PROPERTY LINE. EXTEND SERVICE LINE TO UNDERSIDE OF BUILDING AND CONNECT TO BUILDING PIPING. SEE SHEET C-1.3
- 11 COORDINATE INSTALLATION OF GAS METER WITH UTILITY PROVIDER; INSTALL TWO BOLLARDS IN FRONT OF GAS METER AS SHOWN ON PLAN. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION AND CONNECT TO BUILDING PIPING. COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN.
- 12 FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL PLANS FOR LOCATION OF STRUCTURAL COLUMNS.
- 13 FURNISH AND INSTALL ALL MATERIALS TO INSULATE UNDERSIDE OF ELEVATED HOUSE.
- 14 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AROUND ENTIRE STRUCTURE
- 15 FURNISH AND INSTALL 12" THICK LAYER OF 3/4" CRUSH STONE BENEATH ENTIRE STRUCTURE, DECKS, AND STAIRS; TOP OF LAYER TO BE AT EXISTING GRADE

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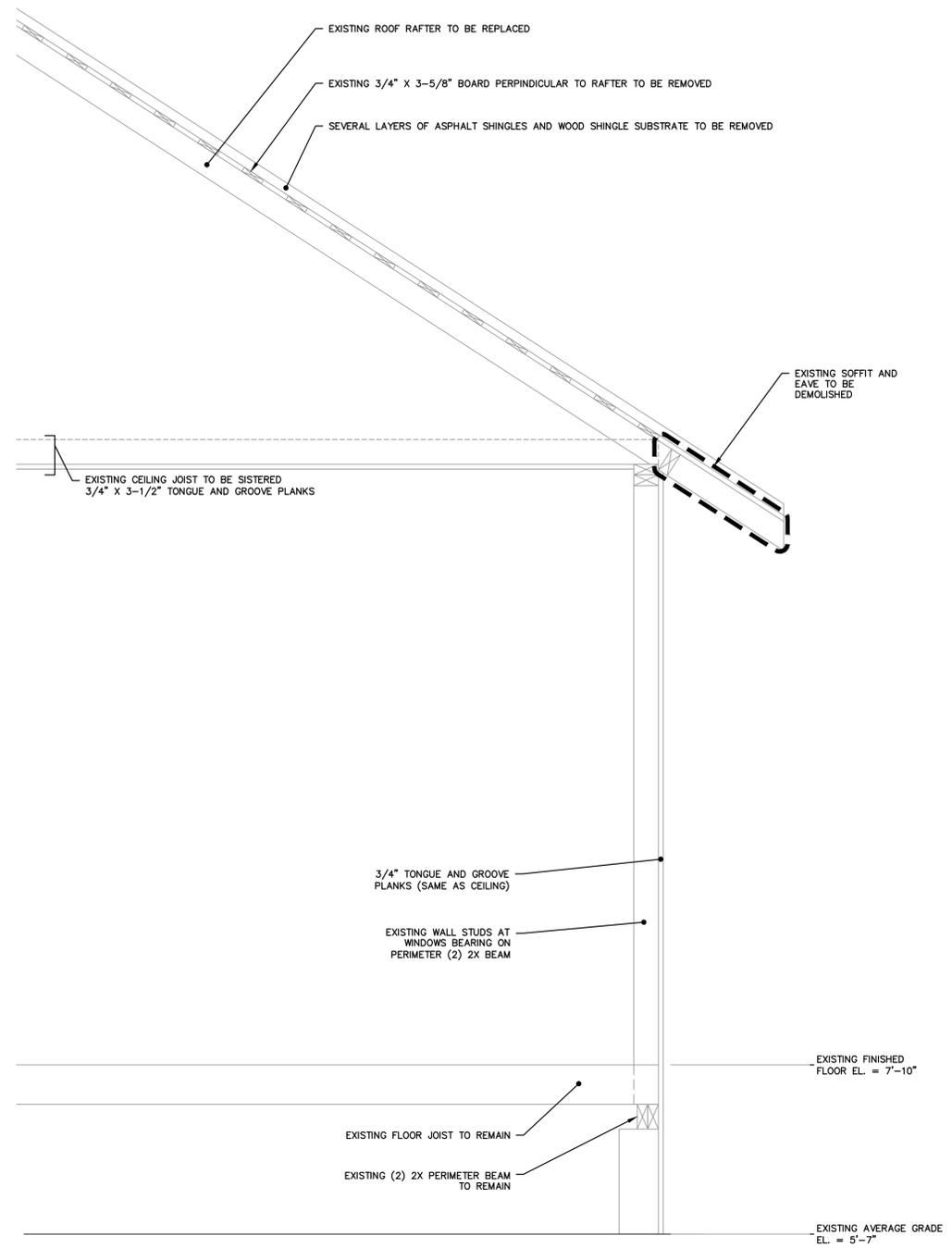
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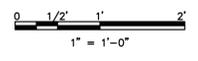
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**PROPOSED
BUILDING ELEVATIONS**

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SECTION VIEW EXISTING



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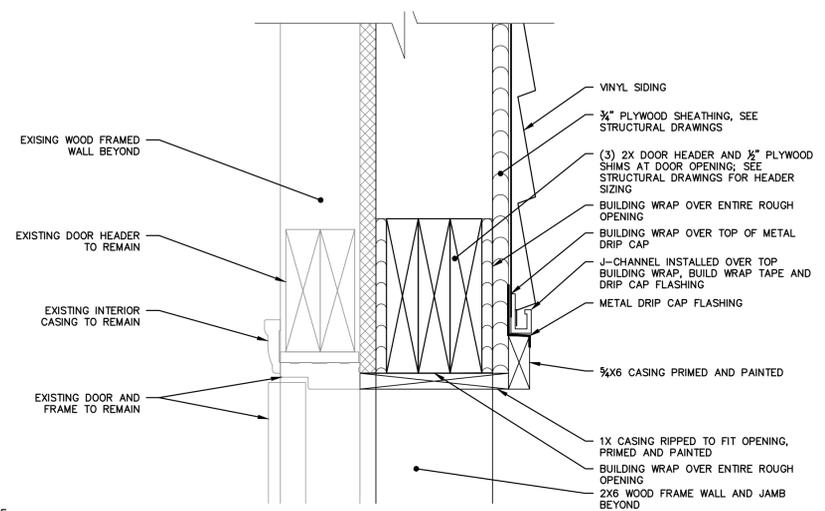
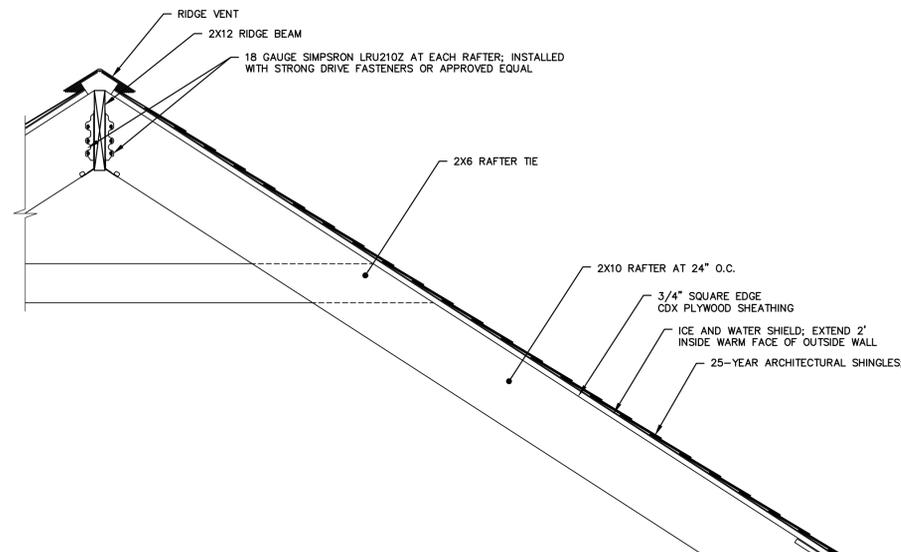
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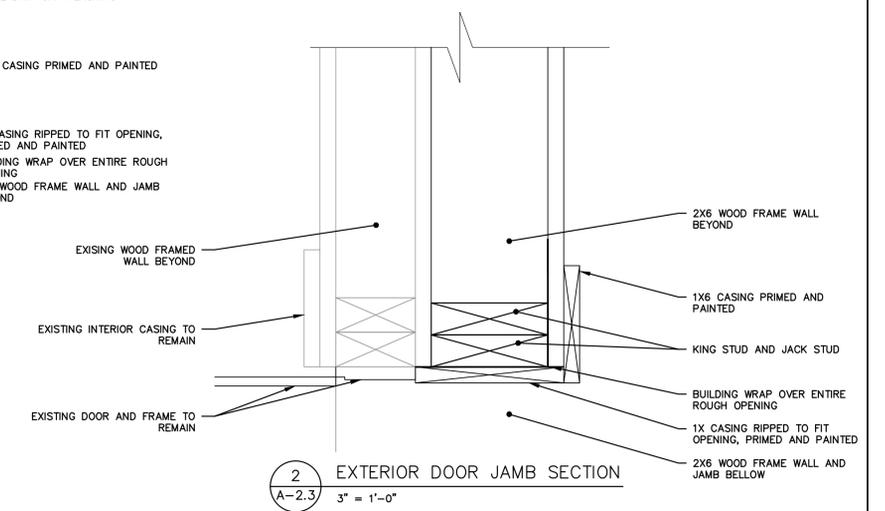
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EXISTING BUILDING SECTION

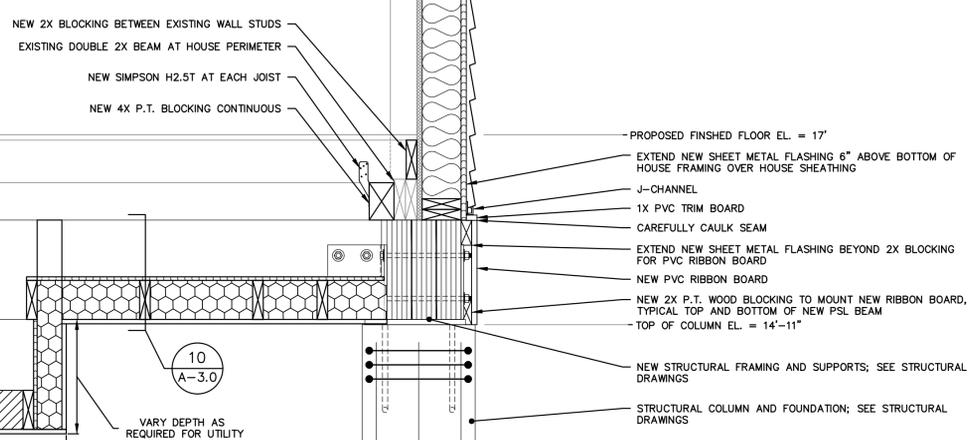
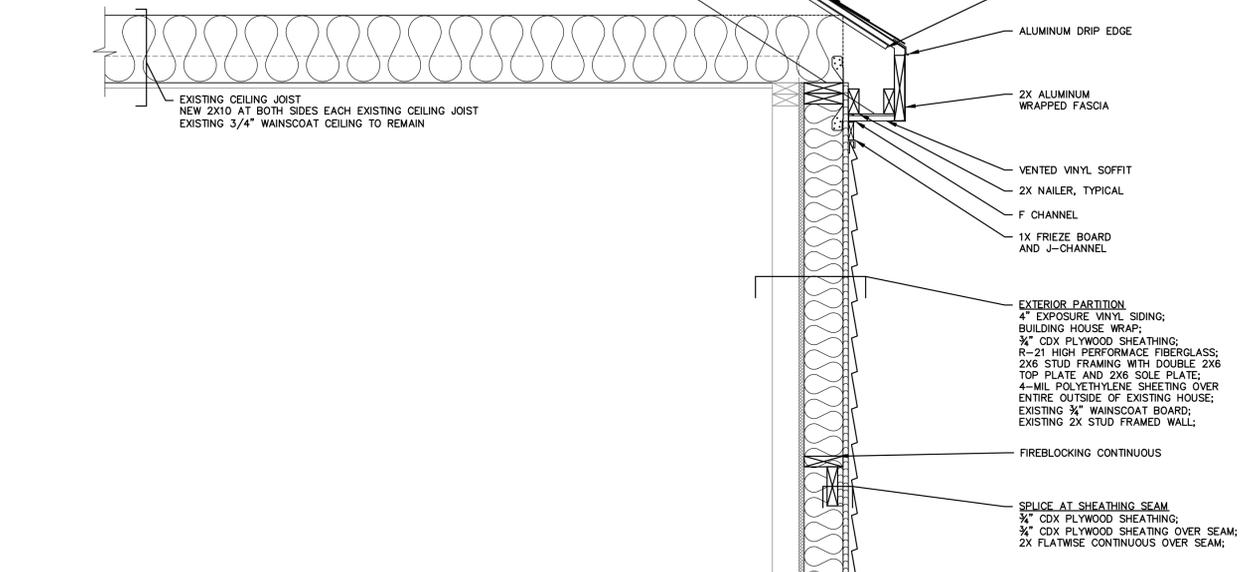
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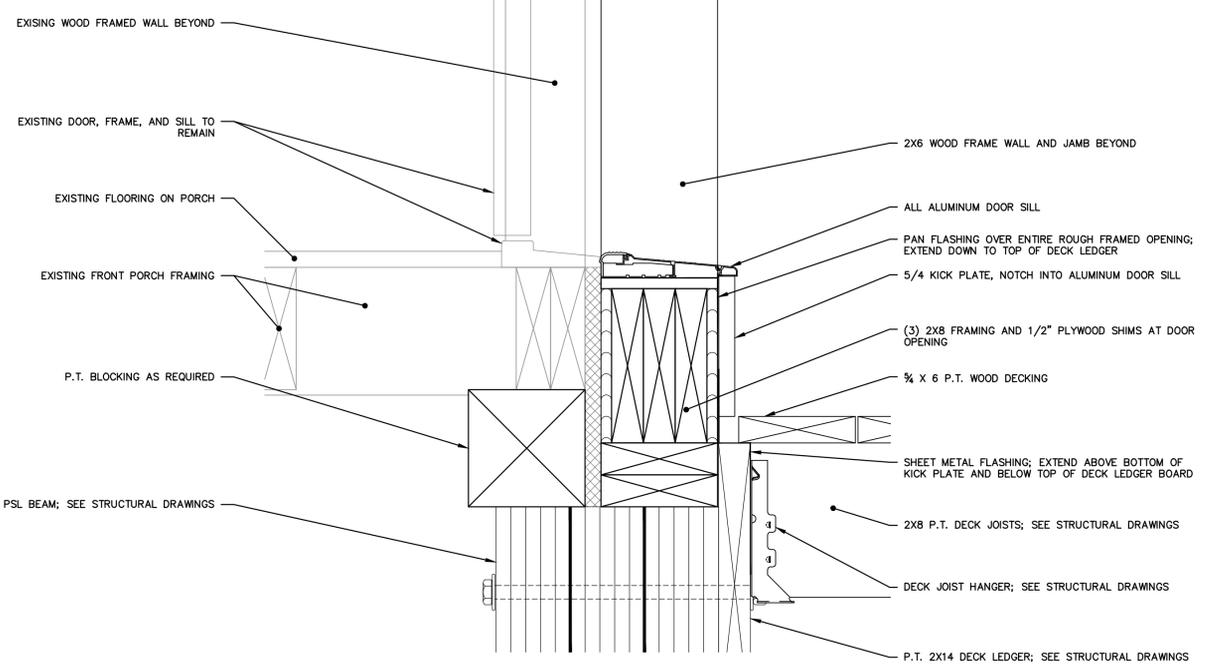
1 EXTERIOR DOOR HEAD SECTION
A-2.3 3" = 1'-0"



2 EXTERIOR DOOR JAMB SECTION
A-2.3 3" = 1'-0"



SECTION VIEW PROPOSED
10 A-3.0
VARY DEPTH AS REQUIRED FOR UTILITY
VARY WIDTH AS REQUIRED FOR UTILITY
1" = 1'-0"



3 EXTERIOR DOOR SILL SECTION
A-2.3 3" = 1'-0"

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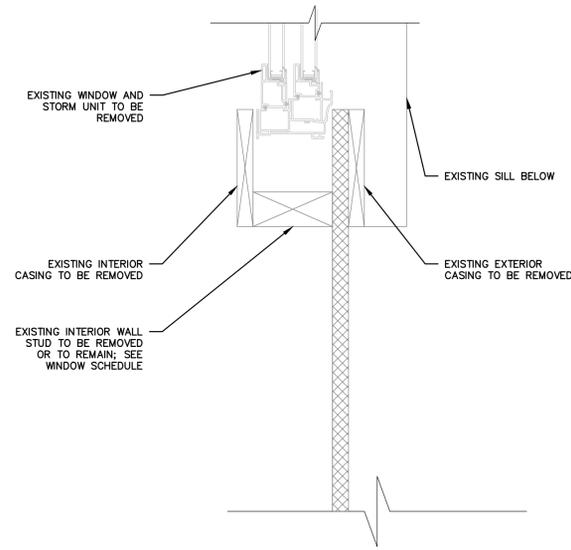
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PROPOSED BUILDING SECTION

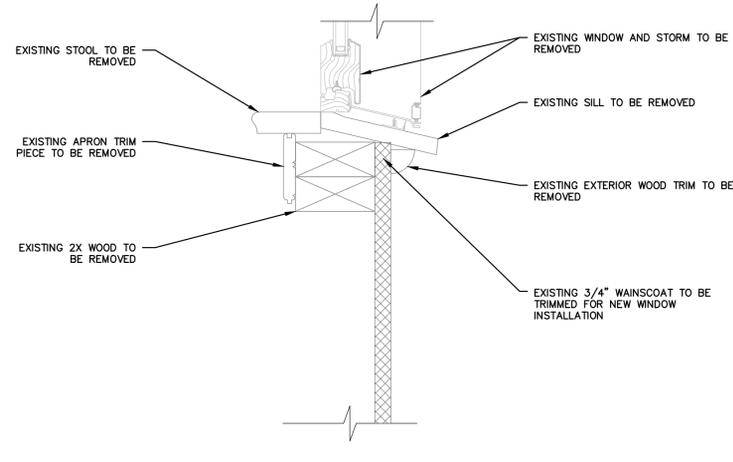
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	A-2.3

GENERAL NOTES

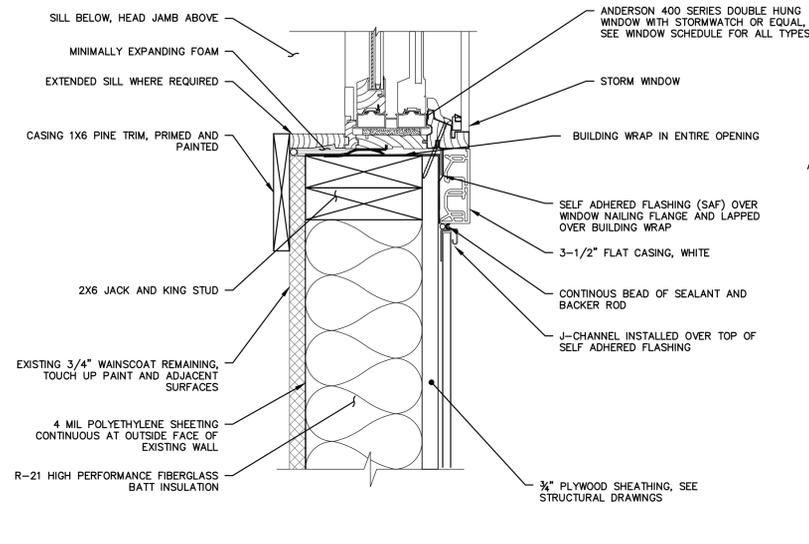
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.



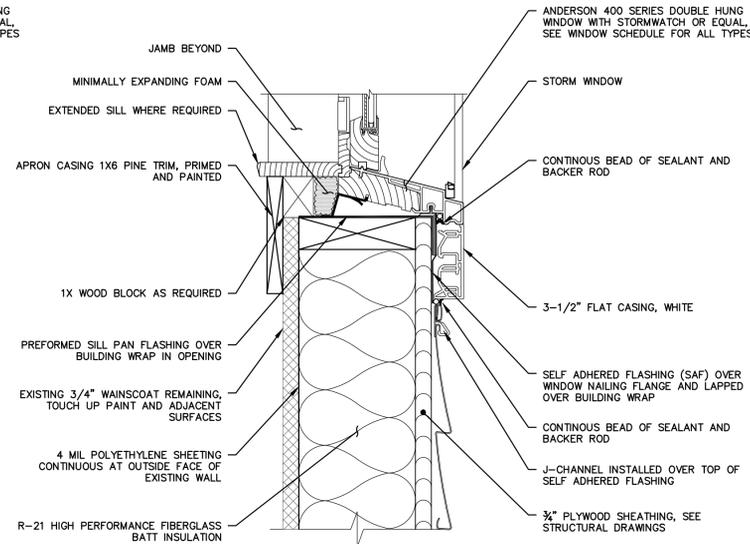
1 EXISTING WINDOW JAMB SECTION
A-2.4 3" = 1'-0"



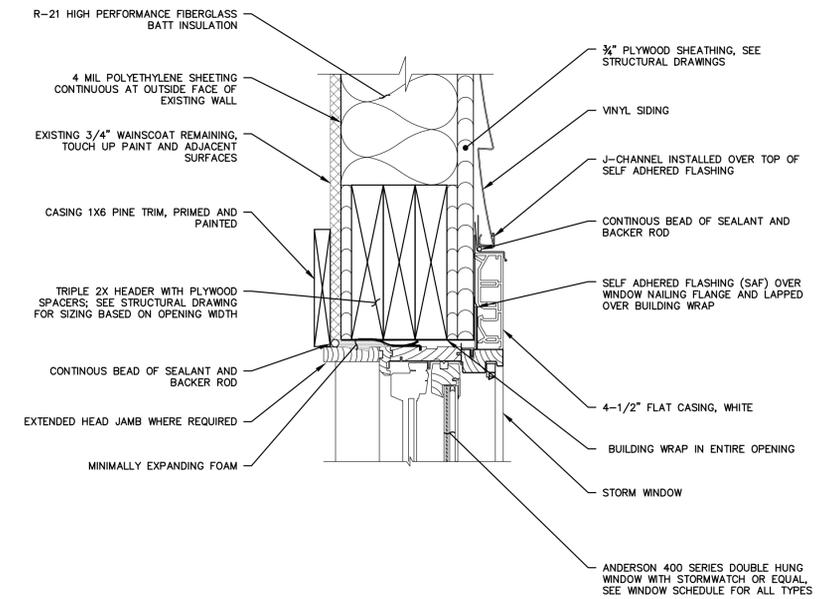
1 EXISTING WINDOW SILL SECTION
A-2.4 3" = 1'-0"



3 PROPOSED WINDOW JAMB SECTION
A-2.4 3" = 1'-0"



4 PROPOSED WINDOW SILL SECTION
A-2.4 3" = 1'-0"



5 PROPOSED WINDOW HEAD SECTION
A-2.4 3" = 1'-0"

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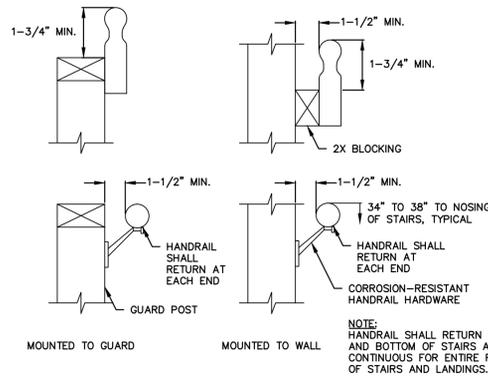
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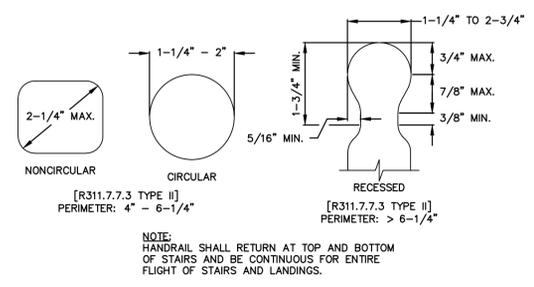
NO.	DATE	REVISIONS	BY	CHK	APPV
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1	12/6/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: CMP/MBR		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE: 12/6/2016

WINDOW SECTIONS

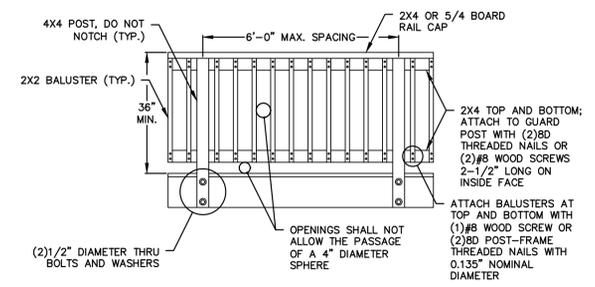
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33-262-1183	BASEMAP 33-262-1183.dwg	A-2.4



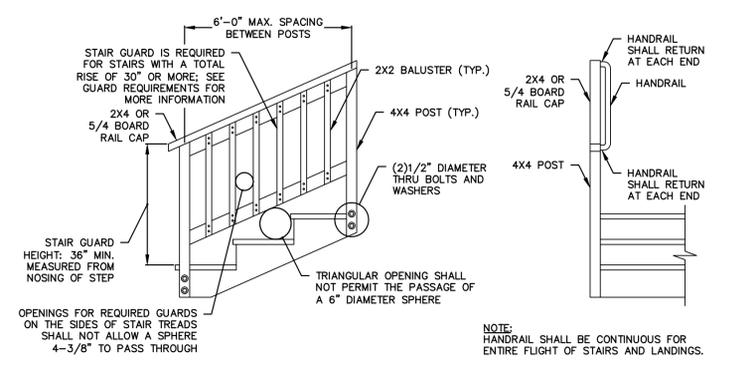
1 TYPICAL HANDRAIL MOUNTING
A-3.0 N.T.S.



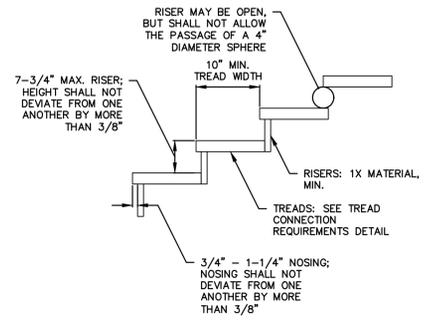
2 TYPICAL HANDRAIL GRIP SIZE
A-3.0 N.T.S.



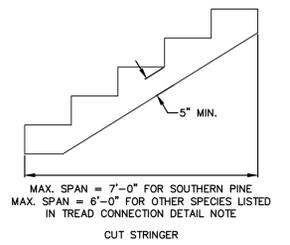
3 TYPICAL DECK RAILING GUARD
A-3.0 N.T.S.



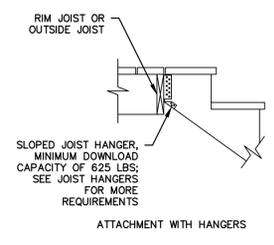
4 TYPICAL STAIR GUARD REQUIREMENTS
A-3.0 N.T.S.



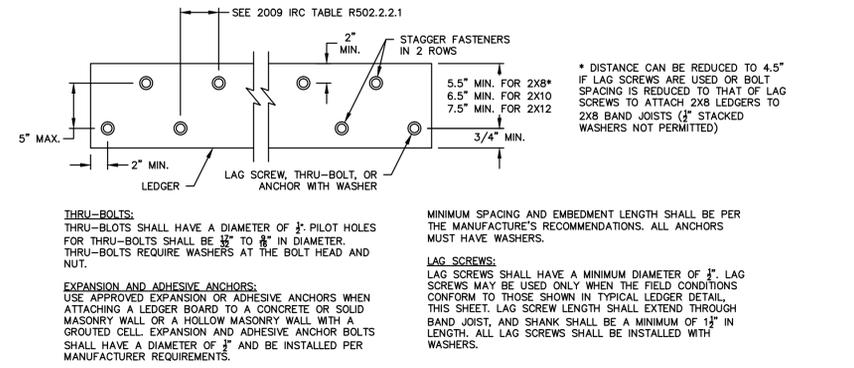
5 TYPICAL TREAD AND RISER
A-3.0 N.T.S.



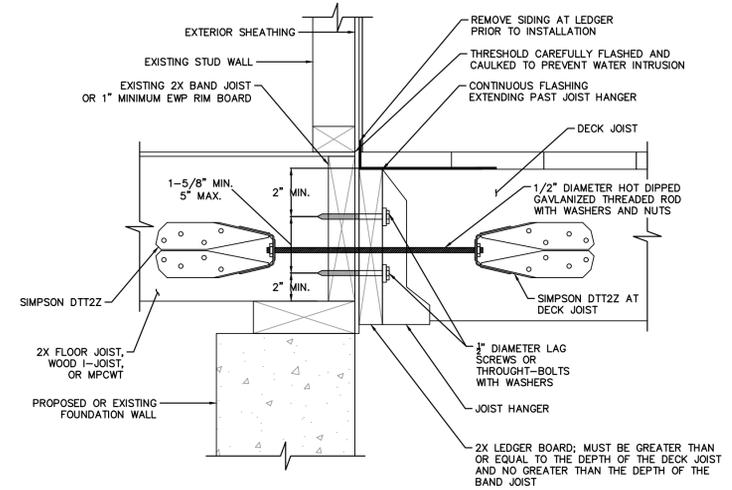
6 TYPICAL STAIR STRINGER REQUIREMENTS
A-3.0 N.T.S.



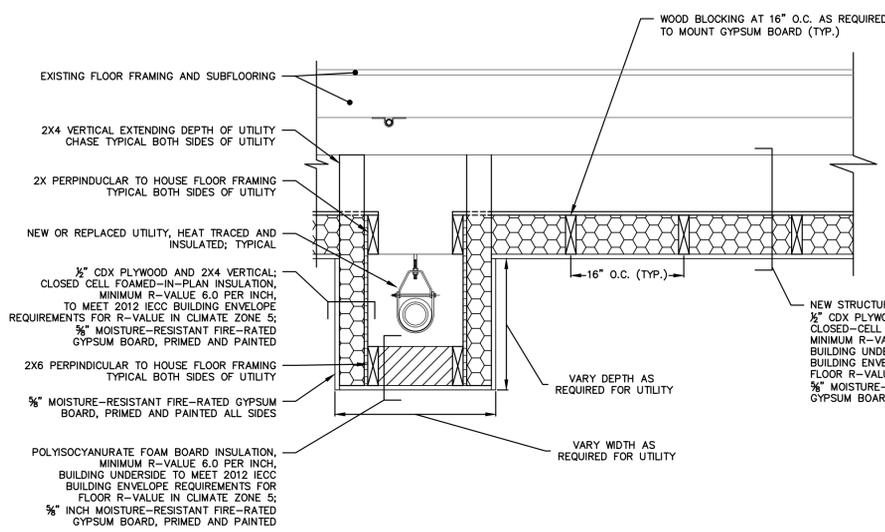
7 TYPICAL STAIR STRINGER ATTACHMENT
A-3.0 N.T.S.



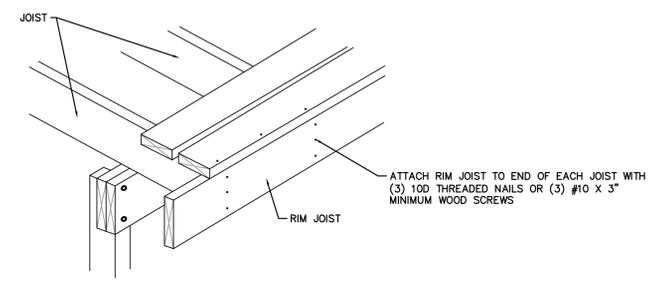
8 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE
A-3.0 N.T.S.



9 TYPICAL GENERAL ATTACHMENT OF LEDGER
A-3.0 N.T.S.



10 TYPICAL FLOOR CAVITY INSULATION DETAIL
A-3.0 1\"/>



11 TYPICAL RIM JOIST CONNECTION
A-3.0 N.T.S.

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ARCHITECTURAL DETAILS

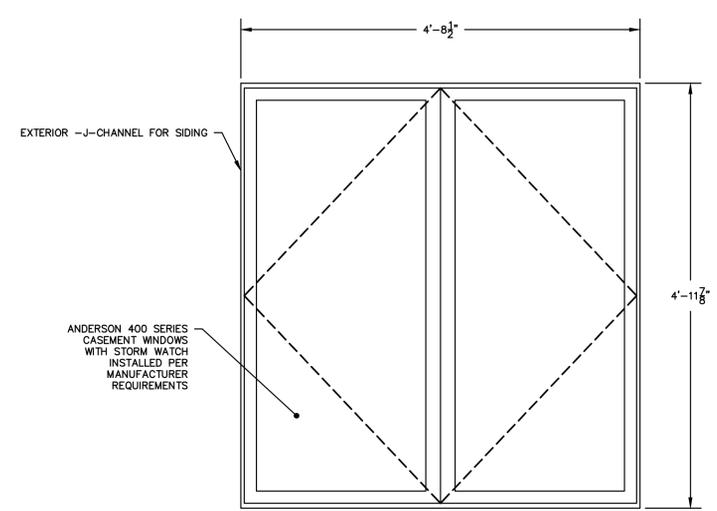
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	A-3.0

WINDOW SCHEDULE										
WINDOW NUMBER	EXISTING OPENING		NEW WINDOW**		TYPE***	WINDOW EXTERIOR		WINDOW INTERIOR		REMARKS
	WIDTH*	HEIGHT*	WIDTH**	HEIGHT**		MATERIAL	COLOR	MATERIAL	COLOR	
W100	54- ³ / ₈ "±	57- ⁵ / ₈ "±	4'-8 ¹ / ₂ "	4'-11 ³ / ₈ "	A	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C, D
W101	54- ³ / ₈ "±	57- ⁵ / ₈ "±	4'-8 ¹ / ₂ "	4'-11 ³ / ₈ "	A	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C, D
W102	58- ¹ / ₈ "±	58"±	4'-11 ¹ / ₄ "	4'-11 ¹ / ₄ "	B	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C, D
W103	58- ¹ / ₈ "±	58"±	4'-11 ¹ / ₄ "	4'-11 ¹ / ₄ "	B	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C, D
W104	27"±	52- ¹ / ₄ "±	N/A	N/A	N/A	CLAD VNL	WHITE	CLAD VNL	WHITE	EXISTING TO REMAIN
W105	27"±	52- ¹ / ₄ "±	N/A	N/A	N/A	CLAD VNL	WHITE	CLAD VNL	WHITE	EXISTING TO REMAIN
W106	27"±	52- ¹ / ₄ "±	31-5/8"	60-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	A, B, C
W107	27"±	52- ¹ / ₄ "±	31-5/8"	60-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	A, B, C
W108	27"±	52- ¹ / ₄ "±	31-5/8"	60-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	A, B, C
W109	27"±	52- ¹ / ₄ "±	37-5/8"	60-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	EGRESS WINDOW, A, B, C
W110	19"±	20- ¹ / ₄ "±	45-5/8"	30-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C
W111	27"±	52- ¹ / ₄ "±	37-5/8"	60-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	EGRESS WINDOW, A, B, C
W112	30- ¹ / ₄ "±	52"±	31-5/8"	52-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C, D
W113	30- ¹ / ₄ "±	52"±	31-5/8"	52-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C, D
W114	30- ¹ / ₄ "±	52"±	31-5/8"	52-7/8"	C	CLAD VNL	WHITE	CLAD VNL	WHITE	B, C, D

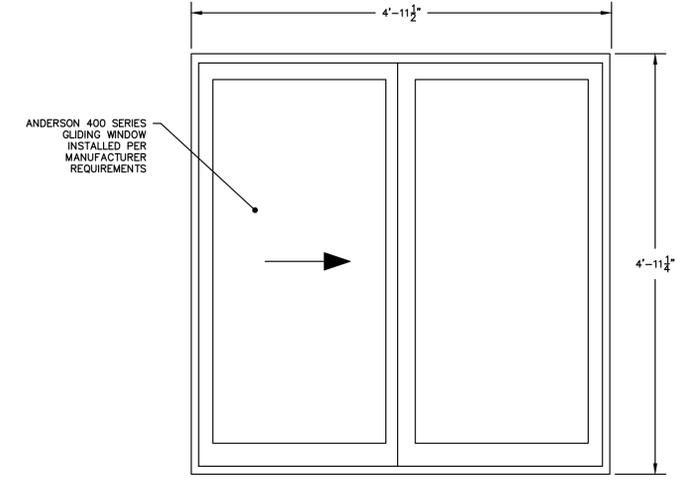
ABBREVIATIONS:
 AL - ALUMINUM
 VNL - VINYL
 WD - WOOD

REMARKS
 A. STOOL, JAMB AND HEAD EXTENSION
 B. STORM SCREEN
 C. MATCH EXISTING SILL HEIGHT
 D. TRIM INTERIOR OPENING OF EXISTING WALL WITH 1X TRIM

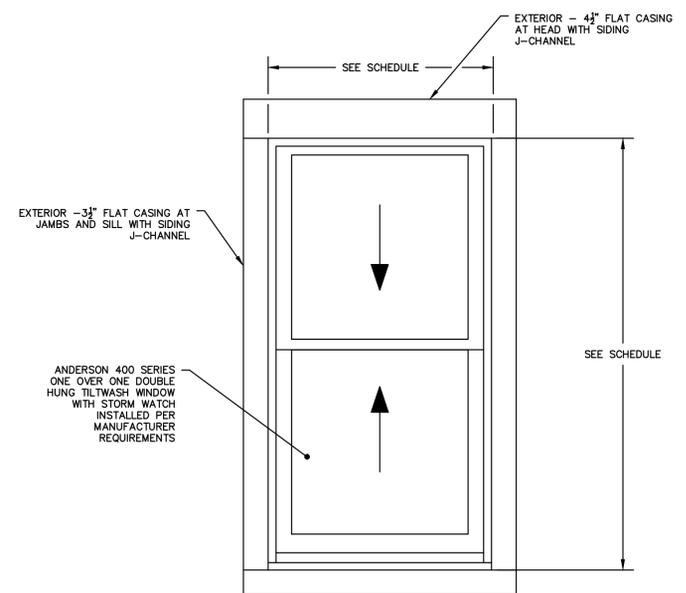
NOTES
 1. WINDOW U RATING TO BE MINIMUM .31
 2. WINDOW DESIGN PRESSURE RATING MINIMUM 50
 3. WINDOW INFORMATION BASED ON ANDERSON 400 SERIES VINYL CLAD WINDOWS.
 4. INTERIOR WINDOW TRIM PROFILE WM 351 OR SIMILAR
 * PROVIDED FOR INFORMATION ONLY, INTERIOR CASING TO CASING MEASUREMENTS.
 ** CONTRACTOR SHALL FIELD MEASURE OPENINGS AFTER EXISTING WINDOW REMOVAL AND SELECTIVE DEMOLITION TO VERIFY FIT
 *** SEE ELEVATIONS/DETAIL THIS SHEET



1 WINDOW TYPE A - ELEVATION
 A-5.0 N.T.S.



2 WINDOW TYPE B - ELEVATION
 A-5.0 N.T.S.



3 WINDOW TYPE C - ELEVATION
 A-5.0 N.T.S.

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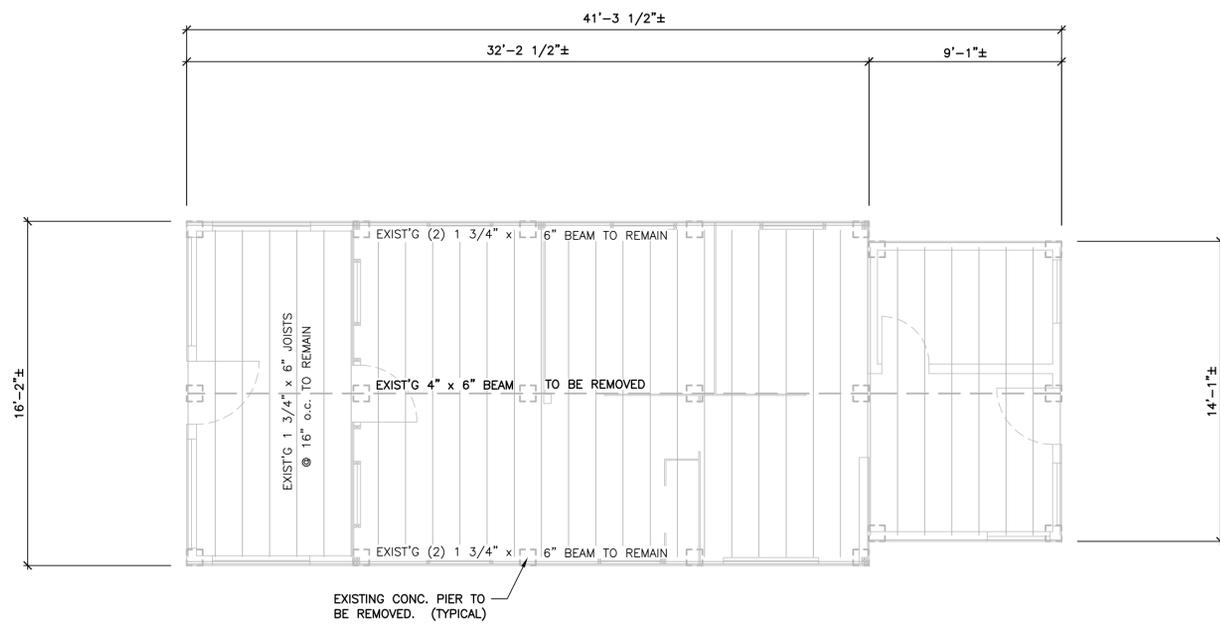
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DRAWN: CMP CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE: 12/6/2016

ARCHITECTURAL SCHEDULES

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	A-5.0



EXISTING CONDITIONS PLAN

SCALE: 1/4" = 1'-0"



NOTES:

1. THE EXISTING WOOD FRAMED SUPERSTRUCTURE SHALL BE ADEQUATELY SHORED PRIOR TO DEMOLITION OF EXISTING FOUNDATION CONSTRUCTION.
2. REFER TO THE ACCOMPANYING DRAWINGS FOR PLANS, DETAILS AND ADDITIONAL REQUIREMENTS RELATED TO THE NEW FOUNDATION AND FRAMING CONSTRUCTION TO SUPPORT THE EXISTING SUPERSTRUCTURE TO BE ELEVATED.
3. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.

DESIGN BASIS

GOVERNING CODE 2005 STATE BUILDING CODE + 2009 & 2013 CONNECTICUT AMENDMENTS

GENERAL NOTES:

SHOP DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKER'S INITIALS BEFORE BEING SUBMITTED TO THE ENGINEER.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE EXISTING BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, BRACING, ETC. THAT MAY BE REQUIRED.

WORK THESE DRAWINGS WITH THOSE OF OTHER TRADES FOR LOCATIONS OF OPENINGS, RECESSES, BUILT-IN WORK, ETC.

FOUNDATION NOTES

REFER TO GEOTECHNICAL REPORT PREPARED BY DR. CLARENCE WELTI, P.E., P.C., DATED NOVEMBER 20, 2015 FOR SUBSURFACE PREPARATION & RELATED REQ'MENTS.

WHERE GROUNDWATER IS ENCOUNTERED, DEWATERING SHALL BE ACCOMPLISHED CONTINUOUSLY AND COMPLETELY DURING FOUNDATION CONSTRUCTION. PROVIDE CRUSHED STONE AS REQUIRED TO STABILIZE FOOTING SUBGRADE.

ALL FOOTINGS ARE TO REST ON FIRM SOIL, REGARDLESS OF ELEVATIONS SHOWN ON THE DRAWINGS, BUT IN NO CASE MAY FOOTING ELEVATIONS BE HIGHER THAN INDICATED ON THE FOUNDATION PLAN, UNLESS SPECIFICALLY DIRECTED BY THE STRUCTURAL ENGINEER. BOTTOM OF FOOTINGS TO BE 3'-6" MINIMUM BELOW GRADE.

CONCRETE

MATERIALS:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS. CONTRACTOR TO SUBMIT CONCRETE MIX DESIGN.

ALL DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE LATEST ACI CODE AND LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".

ALL REINFORCING STEEL SHALL BE EPOXY COATED IN ACCORDANCE WITH ASTM A775.

NO CALCIUM CHLORIDE OR ADMIXTURES CONTAINING MORE THAN 1% CHLORIDE BY WEIGHT OF ADMIXTURE SHALL BE USED IN THE CONCRETE.

PROVIDE 5% TO 7% AIR ENTRAINMENT IN ALL CONCRETE.

UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS B.

STRUCTURAL STEEL

MATERIALS:

STRUCTURAL STEEL.....ASTM A572/992
ANGLES, MISCELLANEOUS PLATES AND BARS.....ASTM A36
BOLTS.....ASTM A325
WELDING ELECTRODE.....ASTM E 70

SHOP AND ERECTION DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL STEEL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. SUBMIT FOUR (4) PRINTS TO THE ENGINEER.

STRUCTURAL STEEL SHALL CONFORM TO THE CURRENT "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", AND THE "AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

ALL PERMANENTLY EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123. ALL OTHER STEEL SHALL BE SHOP PRIMED GRAY TO 2 MIL THICKNESS.

ALL WELDING SHALL BE DONE BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. STANDARDS.

ALL STRUCTURAL STEEL, FROM DELIVERY TO THE JOB SITE TO AFTER ERECTION SHALL CONFORM TO ALL REQUIREMENTS OF ASTM A6.

CONNECTIONS:

CONNECTIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE "SPECIFICATION FOR STRUCTURAL STEEL JOINTS USING ASTM A325 OR A490 BOLTS" APPROVED APRIL 26, 1978.

CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLT ROWS.

SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED.

UNLESS SPECIFICALLY NOTED BOLTS SHALL BE 3/4" TYPE A325-N.

PROVIDE HEAVY HEX NUTS AND WASHERS AT ALL ANCHOR BOLTS.

NO WELDING OR FINAL BOLTING SHALL BE DONE UNTIL AS MUCH OF THE STRUCTURE THAT WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.

MILL BEARING ENDS OF COLUMNS, STIFFENERS, AND OTHER BEARING SURFACES TO TRANSFER LOAD OVER ENTIRE CROSS SECTION.

BOLT HOLES SHALL BE PUNCHED OR DRILLED. FLAME CUT HOLES ARE NOT ACCEPTABLE.

STRUCTURAL LUMBER

STRUCTURAL LUMBER USED FOR BRIDGING, BLOCKING AND OTHER MISCELLANEOUS FRAMING SHALL BE NOT LESS THAN NO. 2 GRADE DOUGLAS FIR AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... F_b = 875 PSI
HORIZONTAL SHEAR..... F_v = 95 PSI
TENSION PARALLEL TO GRAIN..... F_t = 825 PSI
COMPRESSION PERPENDICULAR TO GRAIN..... F_c = 385 PSI
COMPRESSION PARALLEL TO GRAIN..... F_c = 1,050 PSI
MODULUS OF ELASTICITY..... E = 1,700,000 PSI

MOISTURE CONTENT OF ALL FRAMING LUMBER WHEN DELIVERED TO THE PROJECT SITE SHALL NOT EXCEED 19%.

NAILING AND OTHER FASTENING SHALL BE AS PER TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2005 STATE OF CONNECTICUT BUILDING CODE.

PLYWOOD WALL SHEATHING SHALL BE NOMINAL 5/8" THICK SQUARE EDGE EXTERIOR GRADE CDX AND CONTAIN (4) INNER PLYS.

PLYWOOD ROOF SHEATHING SHALL BE NOMINAL 3/4" THICK SQUARE EDGE EXTERIOR GRADE.

ENGINEERED WOOD PRODUCTS

ELEMENTS. FOLLOWING ERECTION, JOISTS SHALL BE SHEATHED AND PROTECTED TO MAINTAIN STRESS-GRADED MOISTURE CONTENT NOT TO EXCEED 19%.

PARALLAM PLUS PSL WOLMANIZED MEMBERS USED FOR BEAMS AND HEADERS SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE UNIT STRESSES:

EXTREME FIBER IN BENDING..... F_b = 1,827 PSI
HORIZONTAL SHEAR..... F_v = 197 PSI
TENSION PARALLEL TO GRAIN..... F_t = 1,397 PSI
COMPRESSION PERPENDICULAR TO GRAIN..... F_c = 368 PSI
COMPRESSION PARALLEL TO GRAIN..... F_c = 1,508 PSI
MODULUS OF ELASTICITY..... E = 1,460,000 PSI

WOOD HEADER SCHEDULE		
ROUGH OPENING	HEADER SIZE	REMARKS
UP TO 4'-0"	3 - 2 x 8 + 1/2" PLYWOOD SPACERS	
OVER 4'-0" TO 6'-0"	3 - 2 x 12 + 1/2" PLYWOOD SPACERS	

WOOD HEADER NOTES:

1. PROVIDE MINIMUM BEARING LENGTH OF 3" AT 4'-0" SPANS (2 - 2 x 6 JACKS + FULL STUD) AND 4 1/2" (3 - 2 x 6 JACKS + FULL STUD) AT SPANS OVER 4'-0" TO 6'-0".
2. NAILING AND OTHER FASTENING SHALL BE AS PER TABLE 2304.9.1, FASTENING SCHEDULE, OF THE 2005 STATE OF CONNECTICUT BUILDING CODE.



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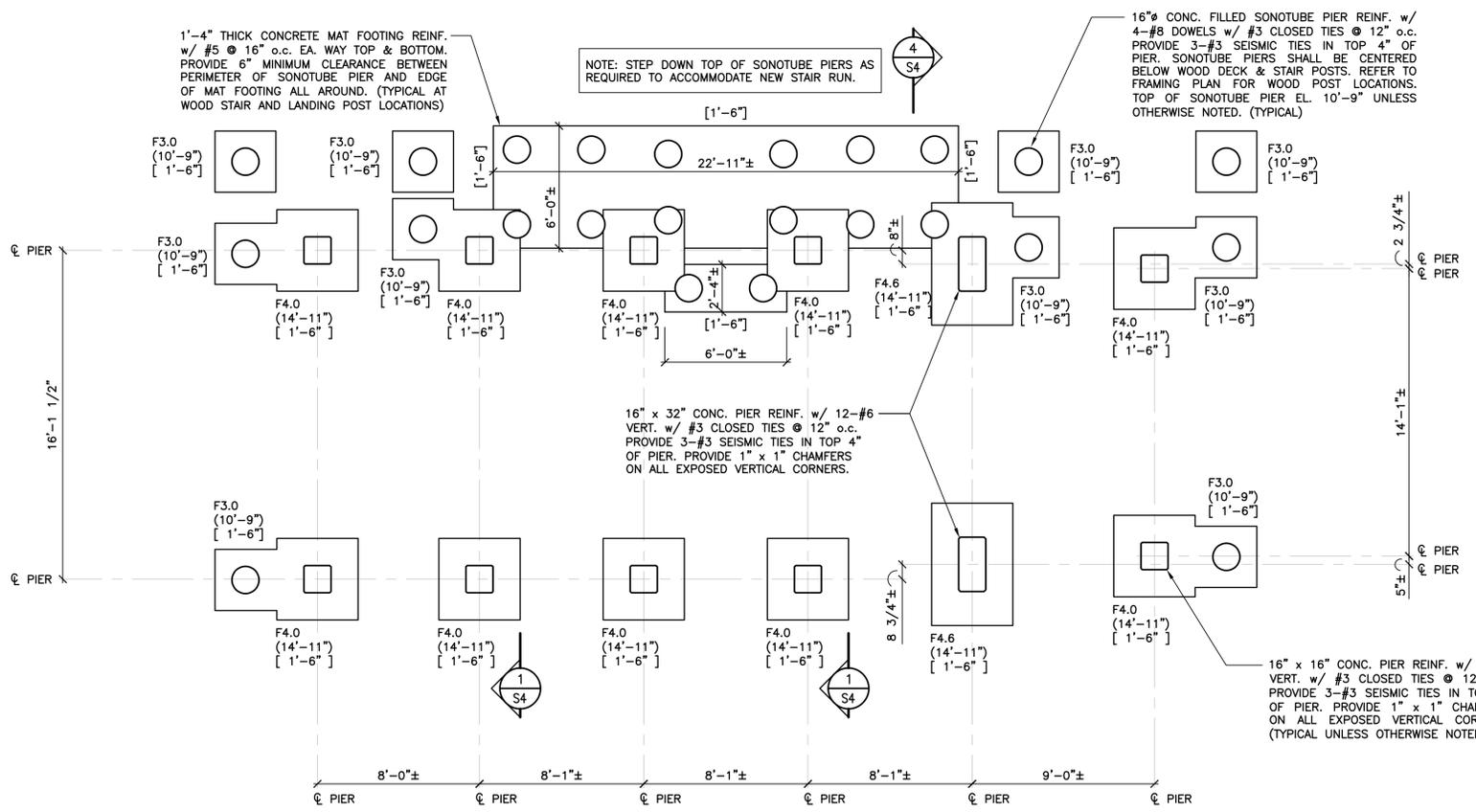
THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

THOMAS A. TORRENTI, P.E.

FOUNDATION DESIGN

EXISTING CONDITIONS PLAN & STRUCTURAL NOTES

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	21623 S1-S4.dwg	S1



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



LEGEND:

- F4.0 FOOTING MARK (SEE SCHEDULE)
- (.....) EL. TOP OF CONC. PIER
- [.....] EL. BOTTOM OF CONC. FOOTING

PIER FOOTING SCHEDULE		
MARK	SIZE	REINF. (BOTTOM)
F4.0	4'-0" x 4'-0" x 1'-4" DEEP	5-#6 EA. WAY
F4.6	4'-0" x 6'-0" x 1'-4" DEEP	5-#6 LONG WAY 8-#6 SHORT WAY



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1	12/6/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT

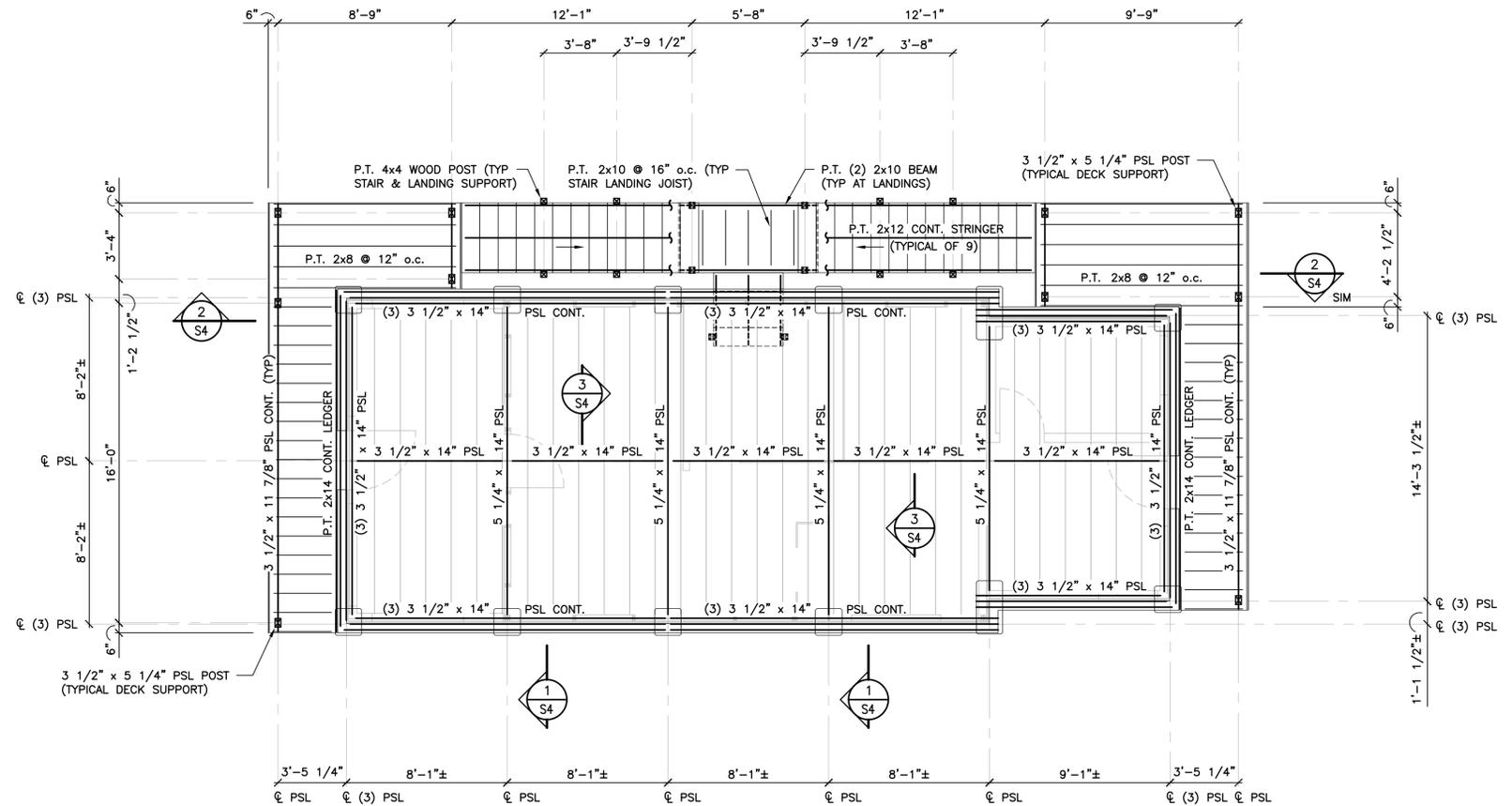
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THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL
THOMAS A. TORRENTI, P.E.

FOUNDATION DESIGN

FOUNDATION PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	21623 S1-S4.dwg	S2



FIRST FLOOR FRAMING SUPPORT PLAN

SCALE: 1/4" = 1'-0"



NOTES:

1. FINISH FLOOR EL. 17'-0"±.
2. SETTING AND ANCHORAGE OF THE SUPERSTRUCTURE TO NEW CONCRETE FOUNDATION IS THE RESPONSIBILITY OF CONTRACTOR.
4. PROVIDE P.T. 2x CONTINUOUS NAILERS AT ALL NEW FLOOR FRAMING MEMBERS SUPPORTING EXISTING FLOOR JOISTS AS REQUIRED.
5. CONDITIONS SHOWN ARE BASED SOLELY ON AVAILABLE INFORMATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED TO BE COMPLETELY ACCURATE.
6. REFER TO DRAWING S4 FOR ADDITIONAL CONSTRUCTION ITEMS & REQUIREMENTS NOT SHOWN FOR CLARITY ON FRAMING PLAN ABOVE.



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NO.	DATE	REVISIONS	BY	CHK	APPV
2	12/15/2016	ISSUED FOR BIDDING	DEB	TAT	TAT
1	12/6/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	DEB	TAT	TAT

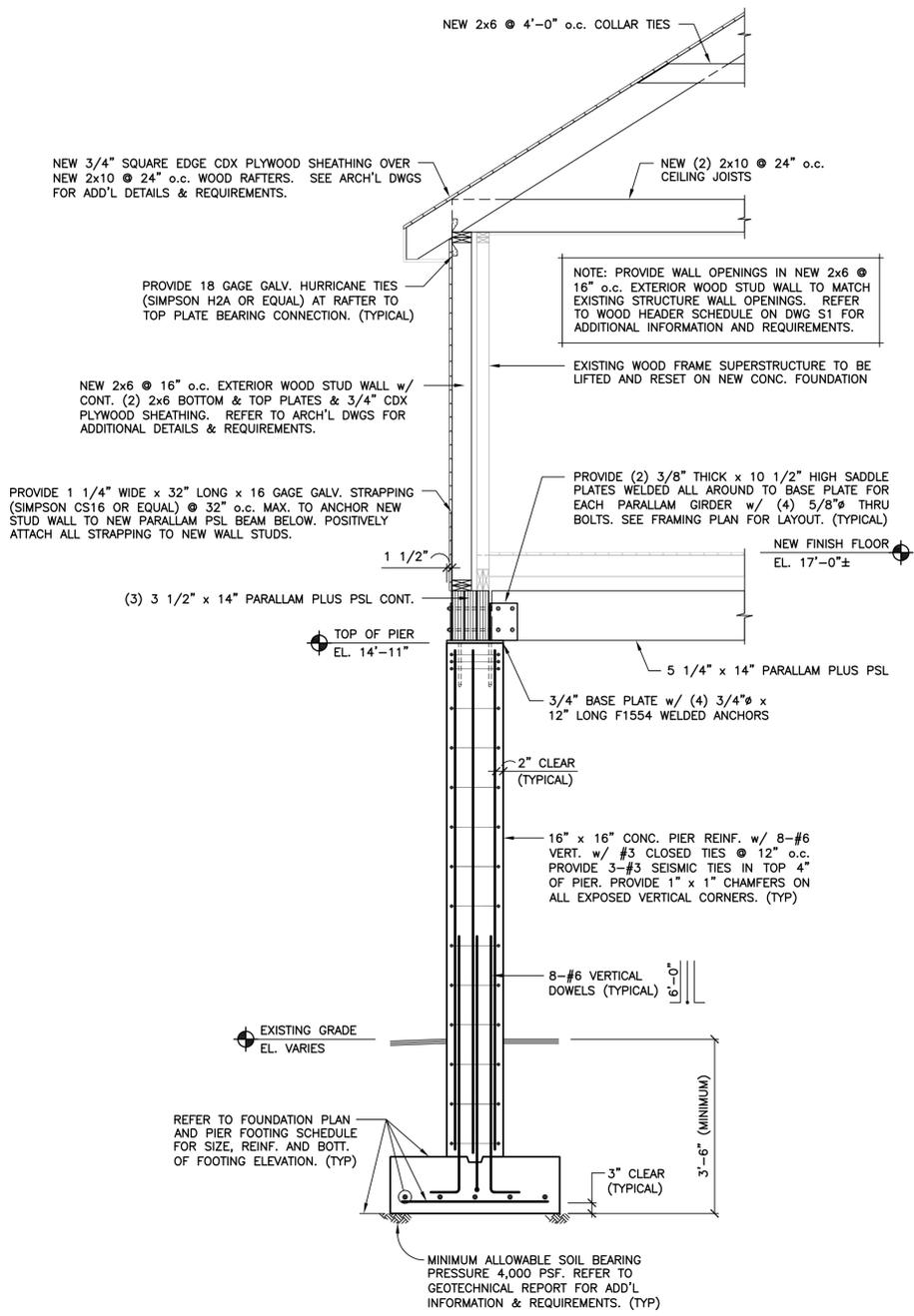
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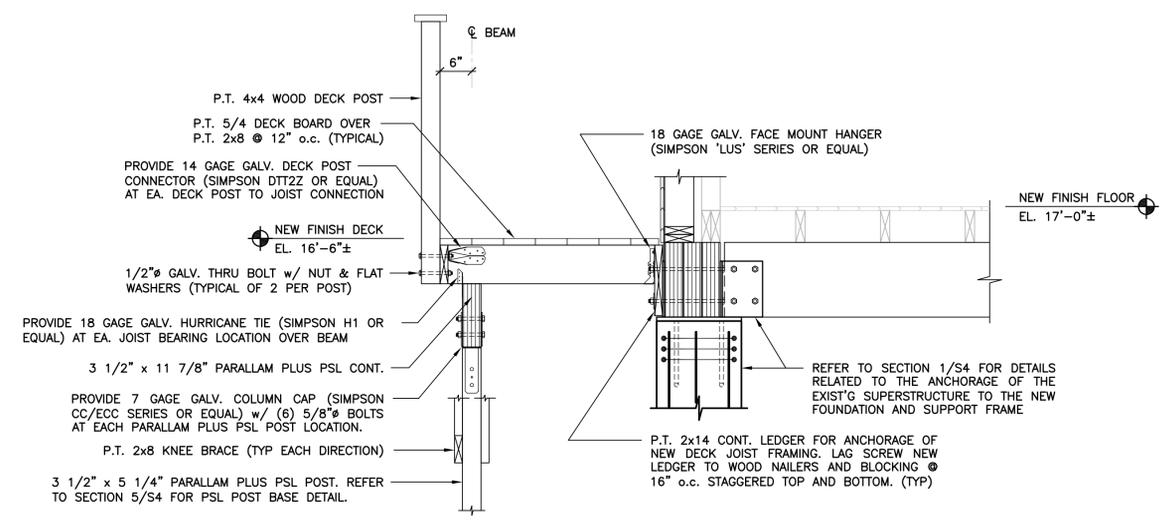
THOMAS A. TORRENTI, P.E.

FOUNDATION DESIGN
FIRST FLOOR FRAMING SUPPORT PLAN

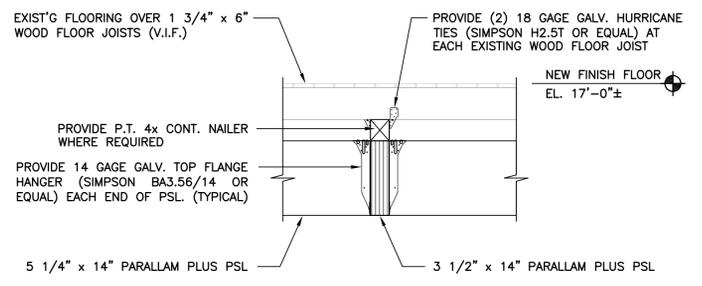
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	21623 S1-S4.dwg	S3



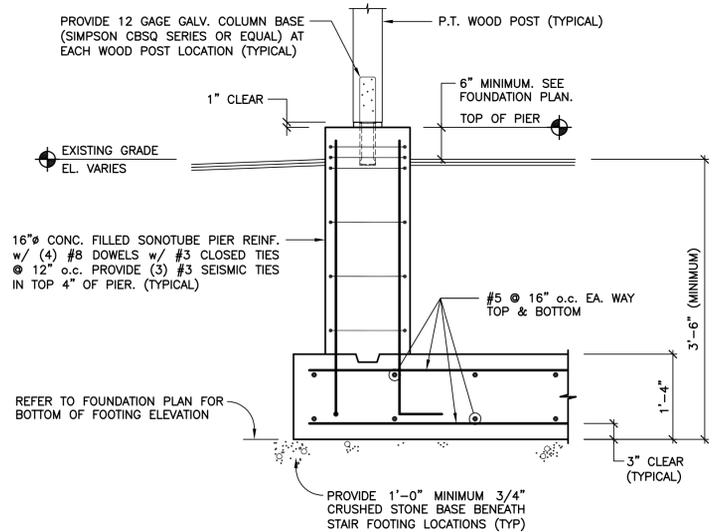
SECTION 1
SCALE: 1/2" = 1'-0"



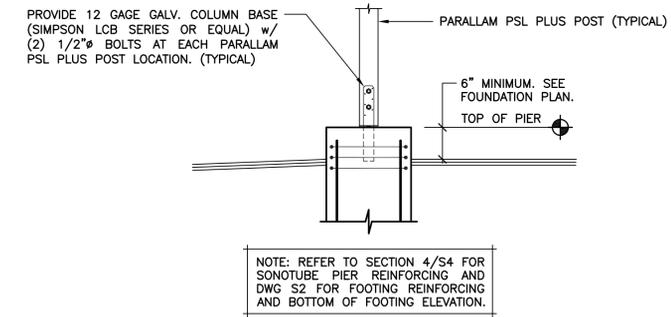
SECTION 2
SCALE: 3/4" = 1'-0"



SECTION 3
SCALE: 3/4" = 1'-0"



SECTION 4
NO SCALE
(TYPICAL STAIR/LANDING FOUNDATION)



SECTION 5
NO SCALE
(TYPICAL DECK POST BASE DETAIL)



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DRAWN BY: DEB CHECKED BY: TAT SCALE: AS NOTED DATE: _____

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FOUNDATION DESIGN		
SECTIONS		
JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	21623 S1-S4.dwg	S4

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
4. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
6. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

LEAD PAINT ABATEMENT GENERAL NOTES

FOR COMPREHENSIVE LEAD INSPECTION REPORT AND FULL LEAD ABATEMENT PLAN SEE CONTRACT SPECIFICATIONS. ALL LEAD ABATEMENT WORK TO BE PERFORMED IN ACCORDANCE WITH CONTRACT SPECIFICATIONS AND LEAD ABATEMENT PLAN PREPARED BY GILBERTO LEAD INSPECTIONS LLC. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS APPLICABLE TO PROJECT ABATEMENT WORK AND AS INDICATED IN ABATEMENT SPECIFICATION SECTION 02 83 19.13 OF THE CONTRACT SPECIFICATIONS

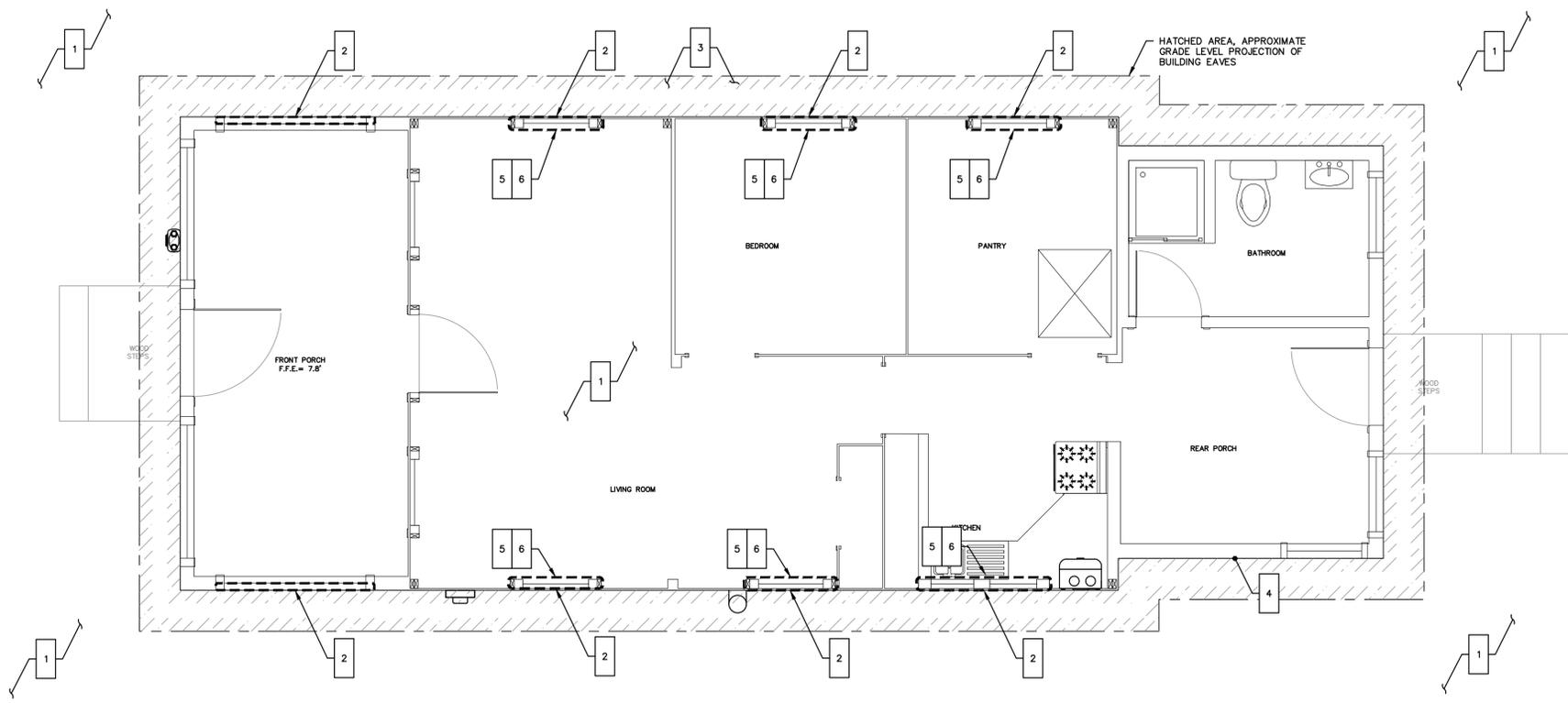
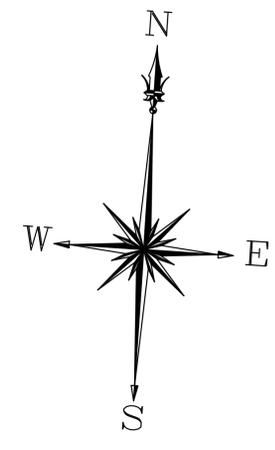
ALL SURFACES SCHEDULED FOR REMOVAL OF LEADED PAINT AND LIQUID ENCAPSULATION SHALL BE REPAINTED TO MATCH ADJACENT FINISHES OR ORIGINAL COLOR AS BEST POSSIBLE COLOR MATCHING.

SURFACES SCHEDULED FOR LIQUID ENCAPSULATION SHALL BE PROPERLY STABILIZED TO ESTABLISH AN ACCEPTABLE SUBSTRATE FOR APPLICATION OF APPROVED LIQUID ENCAPSULATE MATERIAL. CONTRACTOR SHALL PERFORM X-TEST ON REPRESENTATIVE SURFACE AND SAMPLE AREAS.

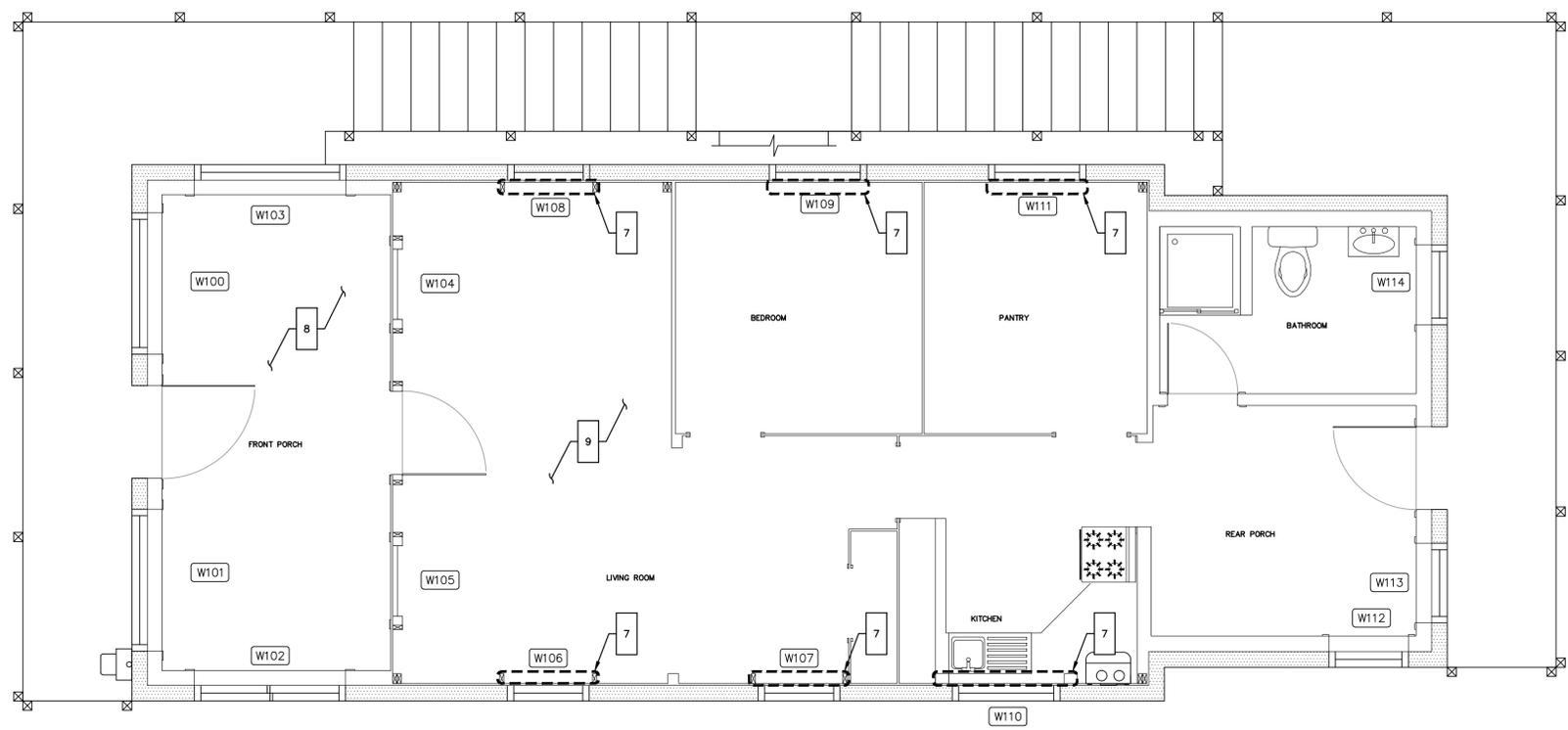
ALL DEMOLITION MATERIALS ASSOCIATED WITH LEAD ABATEMENT WORK SHALL BE DISPOSED PER THE LEAD ABATEMENT PLAN AS HAZARDOUS WASTE WITH A TCLP READING GREATER THAN 5 mg/L. ALL LICENSES, TESTING RESULTS, AND MANIFESTS MUST BE SUBMITTED PER THE CONTRACT DOCUMENTS.

WORK NOTES

1. ESTABLISH LEAD SAFE WORK AREA FOR CONTAINMENT OF LEAD DUST GENERATED DURING SELECTIVE DEMOLITION AT EXTERIOR OF HOUSE AND HOUSE INTERIOR. REFER TO LEAD BASE PAINT ABATEMENT PLAN FOR ACCEPTABLE METHODS AND REQUIRED CLEANUP AND CLEARANCES. ALL WORK TO FOLLOW LEAD SAFE WORK PRACTICES
2. EXISTING EXTERIOR WOOD TRIM AT WINDOWS IS LEAD POSITIVE MATERIAL TO BE REMOVED AND DISPOSED OFFSITE AS HAZARDOUS WASTE
3. EXISTING EXPOSED PAINTED WOOD RAFTER TAILS AND ROOF EAVE WOOD SURFACES PRESUMED LEADED TO BE CUT BACK, REMOVED, AND DISPOSED OFFSITE AS HAZARDOUS WASTE
4. EXISTING WOOD WAINSCOT BOARD AT EXTERIOR TO BE REMOVED FROM GRADE TO UNDERSIDE OF EXISTING DOUBLE 2X6 PERIMETER BEAM, FOR NEW FRAMING INSTALLATION TO BE REMOVED AND DISPOSED OFFSITE AS HAZARDOUS WASTE AT PERIMETER OF STRUCTURE, TYPICAL ENTIRE PERIMETER OF STRUCTURE
5. EXISTING INTERIOR WOOD WINDOW SILL, CASING TRIM, AND 2X4 WOOD FRAMING ARE LEAD POSITIVE AND TO BE REMOVED AND DISPOSED OFFSITE AS HAZARDOUS WASTE
6. EXISTING INTERIOR FACE OF WOOD WAINSCOT BOARD IS LEAD POSITIVE, SECTIONS OF WOOD WAINSCOT CUT AND REMOVED FOR WINDOW REPLACEMENT TO BE REMOVED AND DISPOSED OFFSITE AS HAZARDOUS WASTE.
7. PATCH REPAIR ALL DISTURBED INTERIOR SURFACES AROUND WINDOWS WITH LEAD BARRIER COMPOUND (LBC). REPAINT AND TOUCH UP PAINT FINISHES TO MATCH EXISTING ADJACENT CONDITIONS. FINAL CLEAN AREAS FOR LEAD CLEARANCE SAMPLING AND TESTING
8. REMOVE LEADED PAINT ON FLOOR ON FRONT PORCH AND DISPOSE OF OFFSITE. TEST SURFACE WITH X-RAY FLOURESCENCE (XRF) METHOD TO ENSURE REMOVAL OF LEADED PAINT. REPAINT FLOOR TO MATCH ORIGINAL COLOR
9. THROUGHOUT INTERIOR OF HOUSE PATCH REPAIR INTACT PAINTED SURFACES DISTRIBUTED BY HOME ELEVATION ACTIVITIES THAT ARE LEAD POSITIVE WITH LEAD BARRIER COMPOUND (LBC) OR EQUAL TOUCH UP ADJACENT PAINTED SURFACES AS REQUIRED

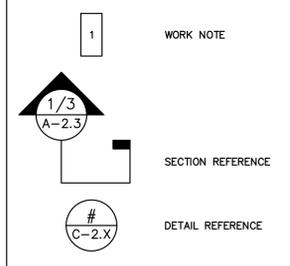


FIRST FLOOR EXISTING



FIRST FLOOR PROPOSED

LEGEND



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ISSUED FOR BID
NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS	BY	CHK	APPV
2	12/15/2016	ISSUED FOR CT BIDDING	MBR	MBR	REC
1	12/6/2016	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
DRAWN: CMP		CHECKED: MBR	APPROVED: REC	SCALE: 3/8"=1'-0"	DATE: 8/3/2016

HAZARDOUS MATERIAL FLOOR PLAN

JOB NO.	DRAWING NUMBER	SHEET
33-262-1183	BASEMAP 33-262-1183.dwg	HM-1.0