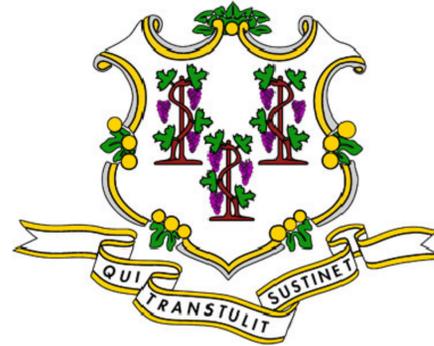


SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

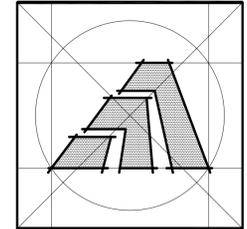
APPLICATION NO. 1171

ELKIND RESIDENCE
271 RIDGEVIEW AVENUE
FAIRFIELD, CONNECTICUT 06825

OCTOBER 13, 2016



ARCHITECT:



Amaya Architects

American Institute of Architects

284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

ENVIRONMENTAL ENGINEER:

SMEP Consultant:



Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.08

GENERAL NOTES

- SCOPE OF WORK INCLUDES: RE-ROOF EXISTING BUILDING, NEW GUTTERS & DOWN SPOUTS REFER TO DESCRIPTION OF WORK FOR MISC. ITEMS.
- THE WORK DESCRIBED IN THESE DOCUMENTS IS INTENDED TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR "REINSTATING" THE SITE TO ORIGINAL CONDITIONS.
- THE GENERAL CONTRACTOR AND ALL TRADE CONTRACTORS ACKNOWLEDGE THAT A.I.A. DOCUMENT 701 INSTRUCTION TO BIDDERS IS AN INTEGRAL PART OF THESE DOCUMENTS.
- PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR MATERIALS

DEMOLITION NOTES

- G.C. SHALL COORDINATE ALL DEMOLITION AND DEBRIS REMOVAL
- DEMOLITION CONTRACTOR TO REMOVE ALL EXISTING ROOFING, ETC. AS SHOWN IN DRAWINGS OR AS REQUIRED TO INSTALL NEW WORK (DETERMINE EXTENT OF DEMOLITION PRIOR TO BIDDING.)
- REPAIR OR REPLACE IF REQUIRED ALL EXISTING CONSTRUCTION SHOWN TO REMAIN WHERE DISTURBED BY NEW WORK. FINISH TO MATCH ADJACENT FINISH SURFACE.
- REMOVE DEBRIS FROM CONSTRUCTION SITE ON A DAILY BASIS.
- ALL ITEMS NOT TO BE REUSED SHALL BE REMOVED FROM SITE.
- DEMOLITION CONTRACTOR SHALL PROVIDE PROTECTION TO ALL SYSTEMS AND FINISHES TO REMAIN DURING DEMOLITION AND THROUGHOUT ALL PHASES OF CONSTRUCTION.

ABBREVIATIONS

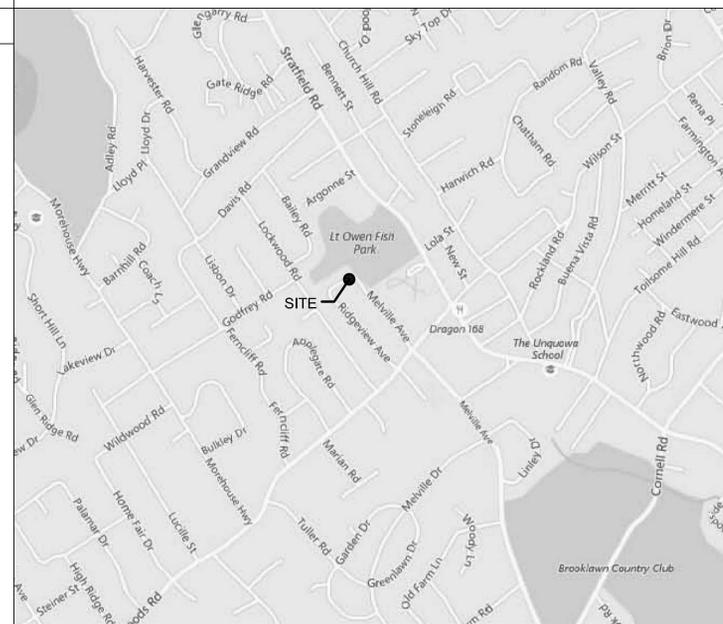
AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LBL LABEL
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LIN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CPT CARPETED	NA NOT APPLICABLE
CS COUNTER SINK	NC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CTR COUNTER	NGM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLG'G PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DIM DIMENSION	PNL PANEL
DN DOWN	PNT PAINT
DR DOOR	PT POINT
DS DOOR STOP	QT QUARRY TILE
DW DISH WASHER	R RISE(R)
DWG DRAWING	RA RETURN AIR
DWR DRAWER	RAD RADIUS
EA EACH	RD ROOF DRAIN
EF EXHAUST FAN	REF REFERENCE
EH ELECTRIC HEATER	REINF REINFORCE
EL/ELEV. ELEVATION	REM REMOVE
ELEC ELECTRIC	REQ'D REQUIRED
EMER EMERGENCY	REV REVISION
ENG ENGINEER	RH RIGHT HAND
EP ELECTRIC PANEL	RM ROOM
EQ EQUAL	RO ROUGH OPENING
EQUIP EQUIPMENT	RPM REVOLUTIONS PER MINUTE
EXIST'G EXISTING	SA SUPPLY AIR
EXP EXPANSION	SC SOLID CORE
EXT EXTERIOR	SHT SHEET
FACT FIN FACTORY FINISH	SIM SIMILAR
FBO FURNISHED BY OTHERS	SP SPEAKER
FE FIRE EXTINGUISHER	SPEC(S) SPECIFICATION(S)
FEC FIRE EXTINGUISHER CABINET	SO SQUARE
FPE FINISH FLOOR ELEVATION	SO FT SQUARE FOOT (FEET)
FIN FINISHED	SO IN SQUARE INCH
FL FLUORESCENT	SS STAINLESS STEEL
FOF FACE OF FINISH	ST STREET
FP FIRE PROOFING	STL STEEL
FPSC FIRE PROOF SOLID CORE	STD STANDARD
FR FIRE RESISTANT	SUSP SUSPENDED
FS FULL SCALE	SYM SYMMETRY(ICAL)
FT FEET	SYS SYSTEM
FTR FINNED TUBE RADIATION	T & G TONGUE & GROOVE
GA GAUGE	TEL TELEPHONE
GC GENERAL CONTRACTOR	TEMP TEMPERATURE
GL GLASS	TERM THERMOSTAT
GWB GYPSUM WALLBOARD	THK THICKNESS
HC HOLLOW CORE	THRU THROUGH
HD HEAVY DUTY	TOS TOP OF SLAB
HDW HARDWARE	TR TREAD
HDWD HARDWOOD	TST TOP OF STEEL
HM HOLLOW METAL	TV TELEVISION
HOR HORIZONTAL	TYP TYPICAL
HR HOUR	UON UNLESS OTHERWISE NOTED
HT HEIGHT	V VOLTS
HTG HEATING	VAC VACUUM
HVAC HEATING, VENT, AIR COND.	VCT VINYL COMPOSITE TILE
HWH HOT WATER HEATER	VERT VERTICAL
ID INSIDE DIAMETER	VIF VERIFY IN FIELD
IN INCH	W WIDTH
INCL INCLUDE(ING)	WI WITH
INFO INFORMATION	W/O WITHOUT
INSUL INSULATION	WB WOOD BASE
INTR INTERIOR	WC WATER CLOSET
INV INVERT	WD WOOD
IRC INTERNATIONAL RESIDENTIAL CODE	WP WATERPROOF
J-BOX JUNCTION BOX	WPT WORKING POINT
JT JOINT	WR WATER RESISTANT
KO KNOCK OUT	WT WEIGHT
KPL KICKPLATE	YO YARD

INDEX OF DRAWINGS

ARCHITECTURAL DRAWINGS

- | | |
|-----|---|
| CS | COVER SHEET |
| T-1 | TITLE SHEET: GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC. |
| R-1 | REMOVALS |
| A-1 | ROOF PLAN AND DETAILS |
| A-2 | ELEVATIONS |

LOCATION MAP



BUILDING CODE DATA

DISCRPTION OF WORK:

- REPLACE EXISTING ASPHALT SHINGLE ROOF.
- REPLACE ALL FLASHING AND ROOF MOUNTED VENTS
- PATCH WOOD SHAKE AND BACKER BD. AFTER ALL NEW FLASHING HAS BEEN INSTALLED.
- REPLACE ALL ALUMINUM GUTTERS AND DOWNSPOUTS - RECONNECT INTO EX. DRAINS OR RUN DOWN TO EX. SPLASH BLOCK.
- ADD ADDITIONAL ATTIC VENTING TO MEET CODE REQUIREMENTS

HEIGHT AND AREA LIMITATIONS

USE GROUP: R-3 (RESIDENTIAL, SINGLE FAMILY DWELLING)
 CONSTRUCTION: 5B
 HEIGHT: 2 STORY, 23'-6"

WIND LOADS

WIND SPEED 100 MPH (PER IRC 2012 AND CT 2016 AMENDMENTS (AMD))
 WIND IMPORTANCE FACTOR - (Iw)=1.00
 WIND EXPOSURE - "B"

APPLICABLE CODES:

2012 INTERNATIONAL BUILDING CODE AND CT 2016 AMENDMENTS.

PER SECTION R301 DESIGN CRITERIA -

- R301.1 APPLICATION / MEETS REQUIREMENTS
- R301.2 - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA / MEETS REQUIREMENTS
- R301.2.1 (AMD) - WIND LIMITATIONS / MEETS REQUIREMENTS
- TABLE R301.2.1(1) (AMD) - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: (AMD) - GROUND SNOW LOAD - 30 LBS PSF / PROVIDED (AMD) - WIND SPEED (MPH) - 100 MPH PER APPENDIX R / MEETS REQUIREMENTS

R301.2(2) - COMPONENT AND CLADDING LOADS:
 Roof Zone 1, 2, & 3 - W/ 100 MPH - WIND = 10.4 / -34.8 PRESSURE MAX. (50 D.P. PROVIDED)
 Wall Zone 4 - W/ 100 MPH - WIND = +26.82 / -29.05 PRESSURE MAX. (50 D.P. PROVIDED)
 Wall Zone 5 - W/ 100 MPH - WIND = 26.82 / -35.9 PRESSURE MAX. (50 D.P. PROVIDED)

R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2); 1.00 ADJUSTMENT PROVIDED

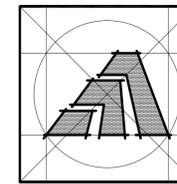
R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2); 1.00 ADJUSTMENT - PROVIDED

PER SECTION R302 - FIRE-RESISTANT CONSTRUCTION:
 R302.1 (AMD) - EXTERIOR WALLS - MINIMUM FIRE SEPARATION - NOT REQUIRED

LEGEND

- GRAVEL
- CONCRETE
- MORTAR, GROUT
- STEEL
- FRAMING LUMBER
- HARDWOOD
- PLYWOOD
- BATT INSULATION
- GYPSUM WALLBOARD

- KEY NOTE
- DETAIL DRAWING NO.
- BUILDING SECTION
- WALL SECTION
- SECTION DETAIL
- COLUMN GRID
- PLAN / WALL DETAIL
- INTERIOR ELEVATION DRAWING NO.
- DATUM POINT (ELEVATION)
- DOOR NUMBER
- WINDOW NUMBER
- PARTITION TYPE
- REVISION FLAG
- REFERENCE KEY
- REMOVAL NOTE
- ROOM NUMBER
- EQUIPMENT TYPE
- CABINET TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR (HARD WIRE)
- HEAT DETECTOR (HARD WIRE)
- CEILING FAN/LIGHT



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Sheet Title:
ROOF PLAN AND DETAILS

APPLICATION #1171
ELKIND RESIDENCE
 271 RIDGEVIEW AVE.
 Fairfield, CT 06825

STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

PROJECT INFO:

Address: 271 Ridgeview Avenue
 Map:
 Zone: n/a
 Flood Zone: n/a
 Applicant: Rafael Amaya (Architect)
 284 Racebrook Rd.
 Orange, CT 06477
 TEL (203) 795 5656

Owner: Jonathan S. & Marsha M. Elkind
 Scope of work: Reroofing

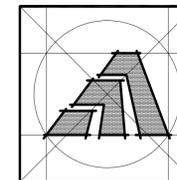
Preparer: Rafael Amaya (Architect)
 284 Racebrook Rd.
 Orange, CT 06477
 TEL (203) 795 5656

Signature: Rafael Amaya (Architect)

Date: 10/13/2016

Job Number: 1171
 Drawn By: J.V.L.

Sheet Number:
T1



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American Institute of Architects

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Sheet Title:
REMOVAL PLAN

APPLICATION #1171

ELKIND RESIDENCE
271 RIDGEVIEW AVE.
Fairfield, CT 06825

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
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PROJECT INFO:
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Map:
Zone: n/a
Flood Zone: n/a
Applicant: Rafael Amaya (Architect)
284 Racebrook Rd.
Orange, CT 06477
TEL (203) 795 5656
Owner: Jonathan S. & Marsha M. Elkind
Scope of work: Reroofing
Preparer: Rafael Amaya (Architect)
284 Racebrook Rd.
Orange, CT 06477
TEL (203) 795 5656
Signature: Rafael Amaya (Architect)

Date: 10/13/2016

Job Number: 1171
Drawn By: J.V.L.

Sheet Number:
R1

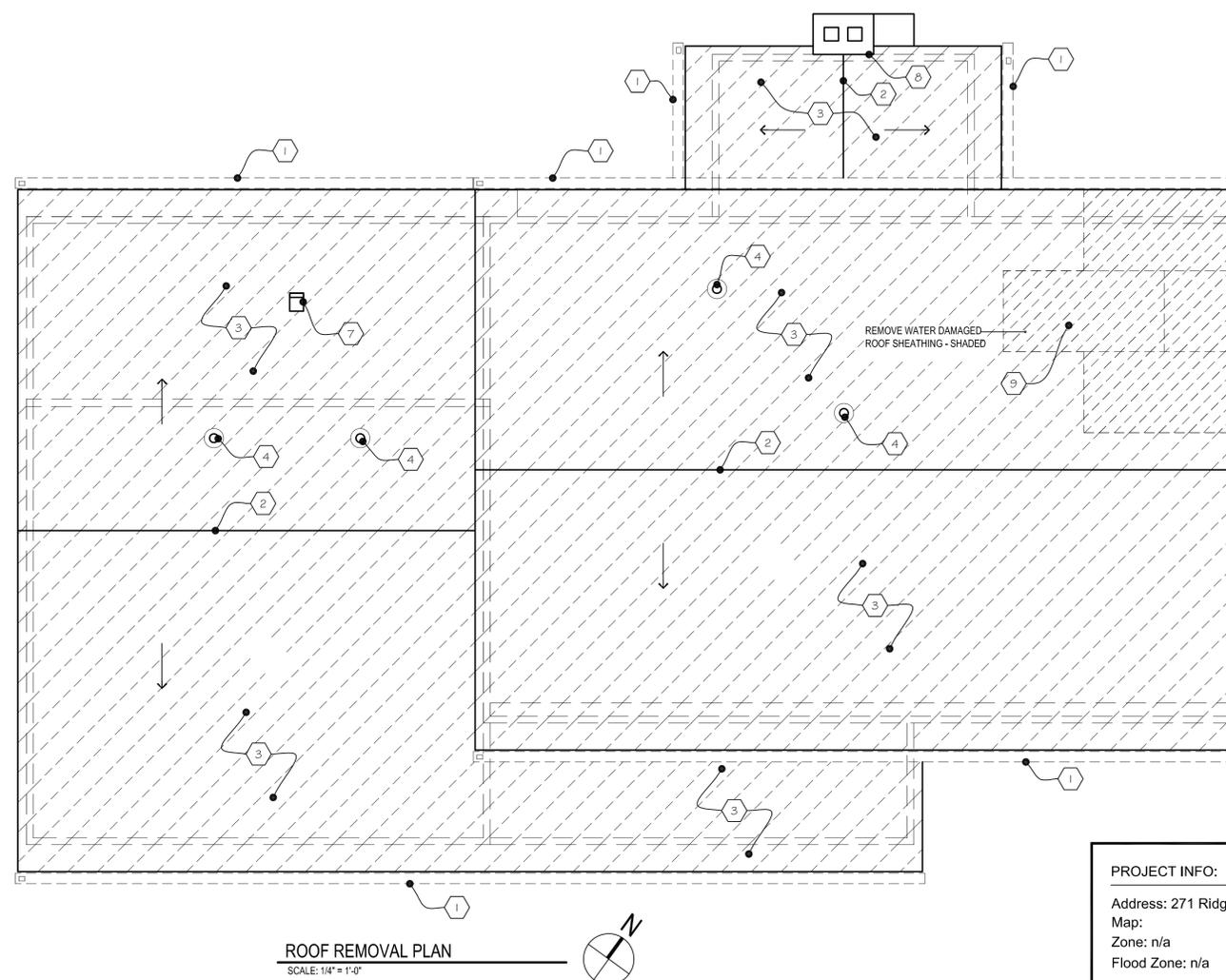
LEGEND
EXISTING
REMOVED (MISC. ITEMS MAY NOT BE NOTED)
VERIFY WITH G.C. ITEMS TO BE SET ASIDE.

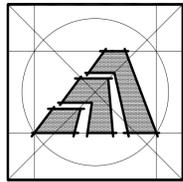
REMOVAL TAG LEGEND

MISC. NOT DENOTED

- 1 ALUMINUM GUTTERS AND D.S.
- 2 CUT OPENING OVER LENGTH OF ATTIC AREA ONLY AND 16" FROM WALLS AND ROOF EDGE
- 3 ASPHALT SHINGLES, FELT AND ICE & WATER ADHERED MEMBRANES, DRIP EDGE, ETC. (G.C. SHALL V.I.F. IF THERE MULTIPLE LAYERS).
- 4 STACK VENT FLASHING
- 5 STEP FLASHING NOT SHOWN - SEE ELEVATIONS AND DETAILS ON SHEET A-2
- 6 CONTINUOUS FLASHING NOT SHOWN - SEE ELEVATIONS AND DETAILS ON SHEET A-2
- 7 ROOF BATH VENT
- 8 CHIMNEY FLASHING
- 9 WATER DAMAGED ROOF SHEATHING

NOTE:
1. MISC. ITEMS MAY NOT BE INDICATED. THE ENTIRE ROOF SHALL BE PREPARED FOR REROOF.
2. G.C. SHALL NOTIFY ARCHITECT IF ANY ADDITIONAL DAMAGED SHEATHING IS DISCOVERED PRIOR TO REMOVING.





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ROOF PLAN AND DETAILS

APPLICATION #1171
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Fairfield, CT 06825

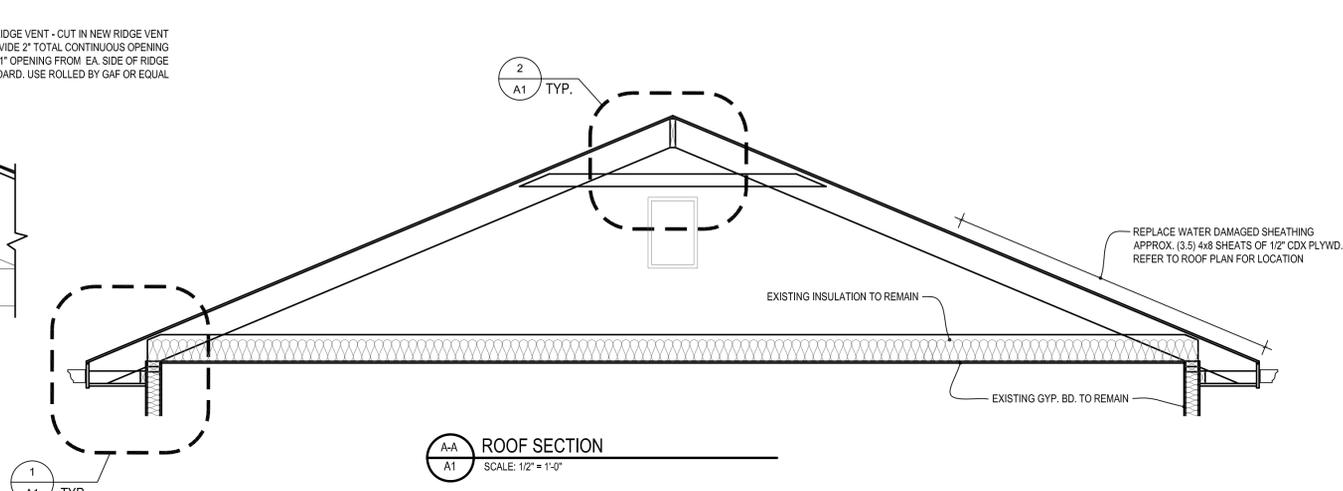
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Date: 10/12/2016

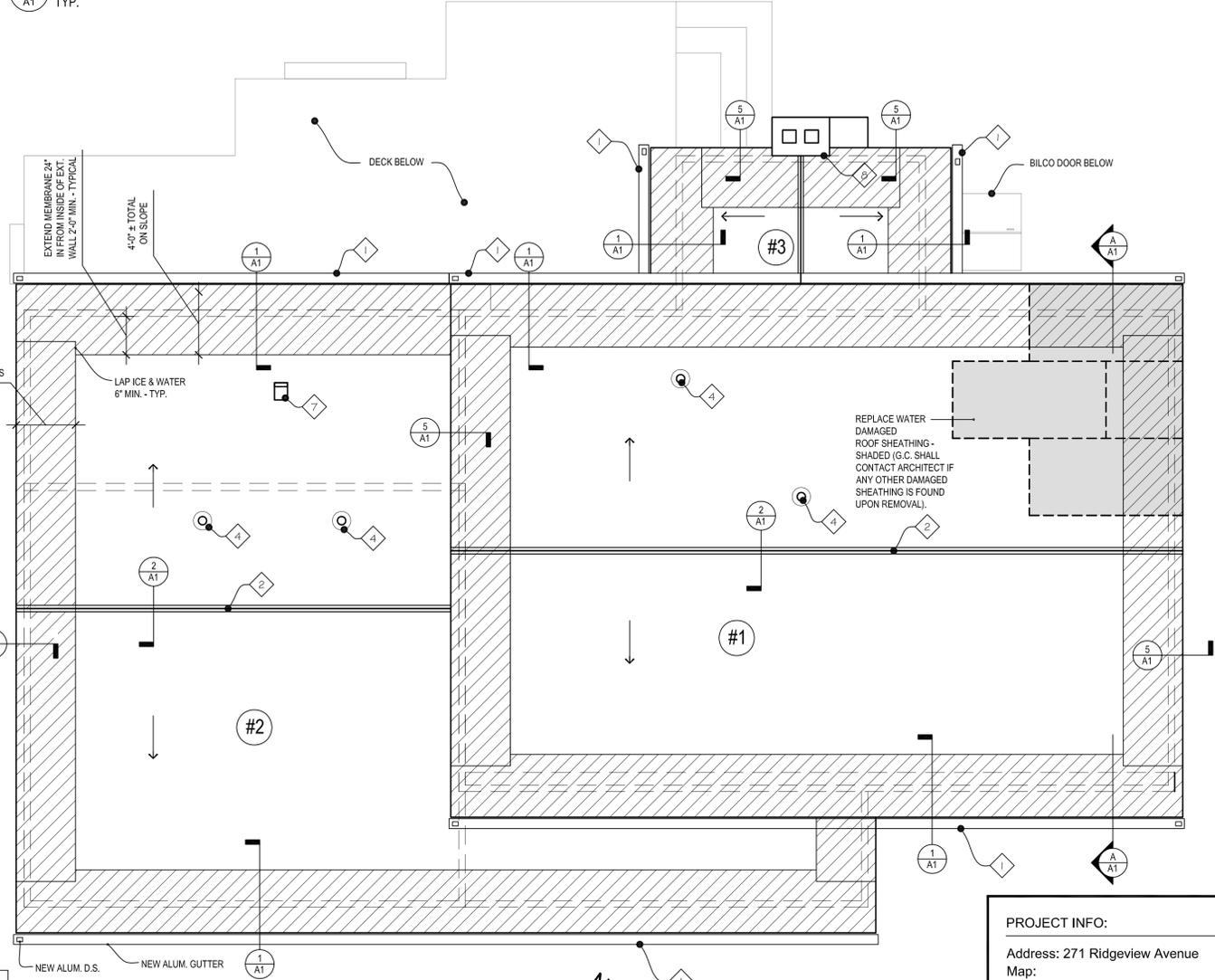
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Drawn By: J.V.L.

Sheet Number:
A1

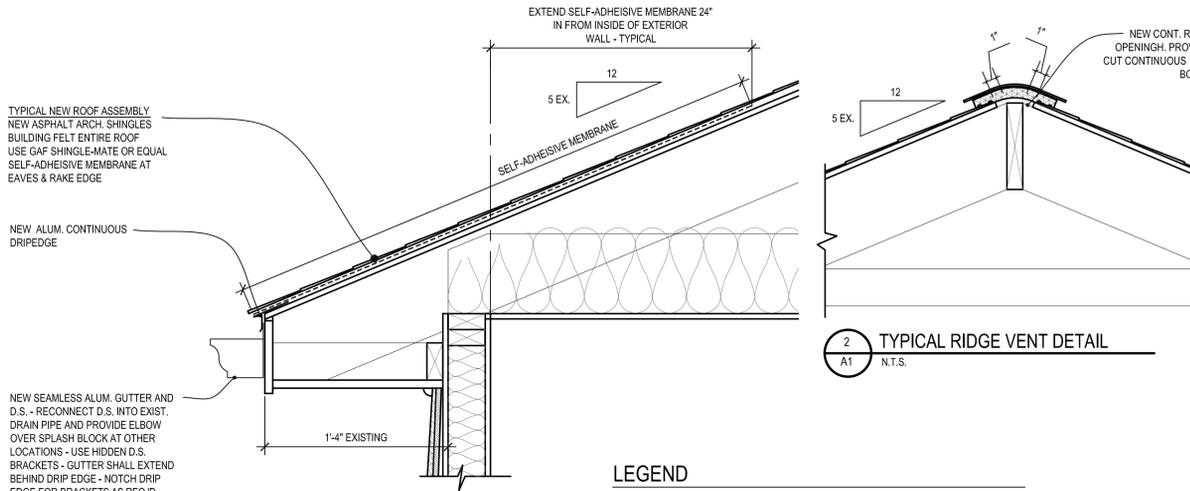
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Preparer: Rafael Amaya (Architect)
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TEL (203) 795 5656
Signature: Rafael Amaya (Architect)



ROOF SECTION
SCALE: 1/2" = 1'-0"

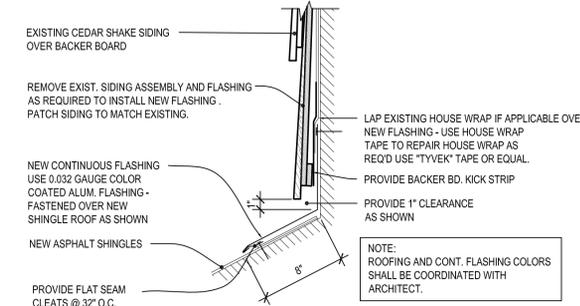


ROOF PLAN
SCALE: 1/4" = 1'-0"

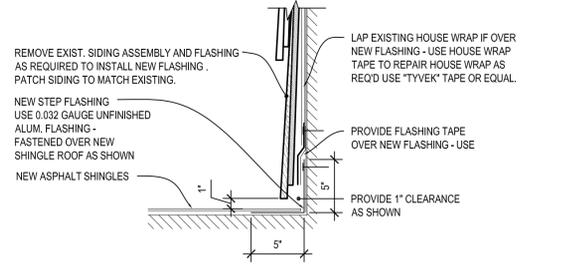


1 TYPICAL EAVE DETAIL
N.T.S.

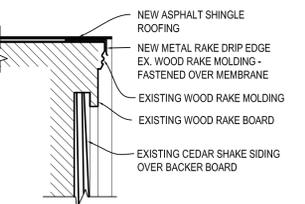
2 TYPICAL RIDGE VENT DETAIL
N.T.S.



3 TYPICAL CONTINUOUS FLASHING DETAIL
N.T.S.



4 TYPICAL STEP FLASHING DETAIL
N.T.S.



5 TYPICAL GABLE RAKE DETAIL
N.T.S.

LEGEND

- 1 NEW CONTINUOUS ALUMINUM GUTTERS AND DOWN SPOUTS (D.S.)
- 2 NEW RIDGE VENT FOR FULL LENGTH OF RIDGE (END TO END - CUT OPENING OVER LENGTH OF ATTIC AREA ONLY AND 16" FROM WALLS)
- 3 NEW ASPHALT SHINGLES, FELT AND ICE & WATER ADHERED MEMBRANES, ETC. SEE ROOF DETAIL
- 4 NEW STACK VENT FLASHING - USE OATEY OR EQUAL
- 5 STEP FLASHING NOT SHOWN - SEE ELEVATIONS AND DETAILS
- 6 CONTINUOUS FLASHING NOT SHOWN - SEE ELEVATIONS AND DETAILS
- 7 NEW ROOF BATH VENT
- 8 NEW CHIMNEY FLASHING
- 9 NEW ROOF 1/2" CDX SHEATHING - FASTENED PER CODE

NOTE:
1. REFER TO ALL ROOF DETAILS FOR ROOF ASSEMBLY & COMPONENTS.
2. REFER TO ELEVATIONS FOR FLASHING AND EXTENT OF SIDING PATCHING

GENERAL NOTES:
1. USE NEW SHAKES AND BACKER BOARD FOR PATCHING - SEE ELEVATIONS ON SHEET A-2.
2. ROOF VENT FLASHING SHALL BE GALV. WITH RUBBER COLLAR USE OATEY OR EQUAL.
3. CHIMNEY FLASHING AND COUNTER FLASHING SHALL BE 0.032 GAUGE COLOR COATED ALUM. (BROWN)

ROOF VENTING SCHEDULE

PER SECTION R606 - VENT AREA BASED ON 1/150 MIN. (NO VENTS IN EXISTING EAVES)

ROOF #1 - 933 S.F. (ATTIC ABOVE CLG.) 896 SQ. IN. REQ. VENTING - PROVIDED:	1. NEW 37"-0" RIDGE VENT (888 SQ. IN.) 2. EXISTING 10x16 GABLE LOUVER (160 SQ. IN.)
ROOF #2 - 831 S.F. (ATTIC ABOVE CLG.) 798 SQ. IN. REQ. VENTING - PROVIDED:	1. NEW 22"-0" RIDGE VENT (528 SQ. IN.) 2. EXISTING 10x16 GABLE LOUVER (160 SQ. IN.) 3. NEW 10x12 GABLE LOUVER (120 SQ. IN.)
ROOF #3 - 108 S.F. (ATTIC ABOVE CLG.) 103 SQ. IN. REQ. VENTING - PROVIDED:	1. NEW 6'-0" RIDGE VENT (144 SQ. IN.) 2. EXISTING 10x16 GABLE LOUVER - NOT NEEDED

ROOFING AREA

5/12 ROOF CALC.: ROOF AREA x 1.083

ROOF #1 - APPROX. 1,144 S.F. +/-	} ROOF TOTAL = APPROX. 2,304 S.F. +/- (G.C. SHALL V.V.F.)
ROOF #2 - APPROX. 1,017 S.F. +/-	
ROOF #3 - APPROX. 143 S.F. +/-	

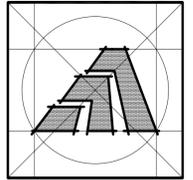
GUTTERS & DOWNSPOUTS

GUTTERS - APPROX. 164' +/- L.F.
DOWNSPOUTS - APPROX. 128' +/- L.F.

100 MPH EXPOSURE B WIND ZONE GENERAL NAILING SCHEDULE

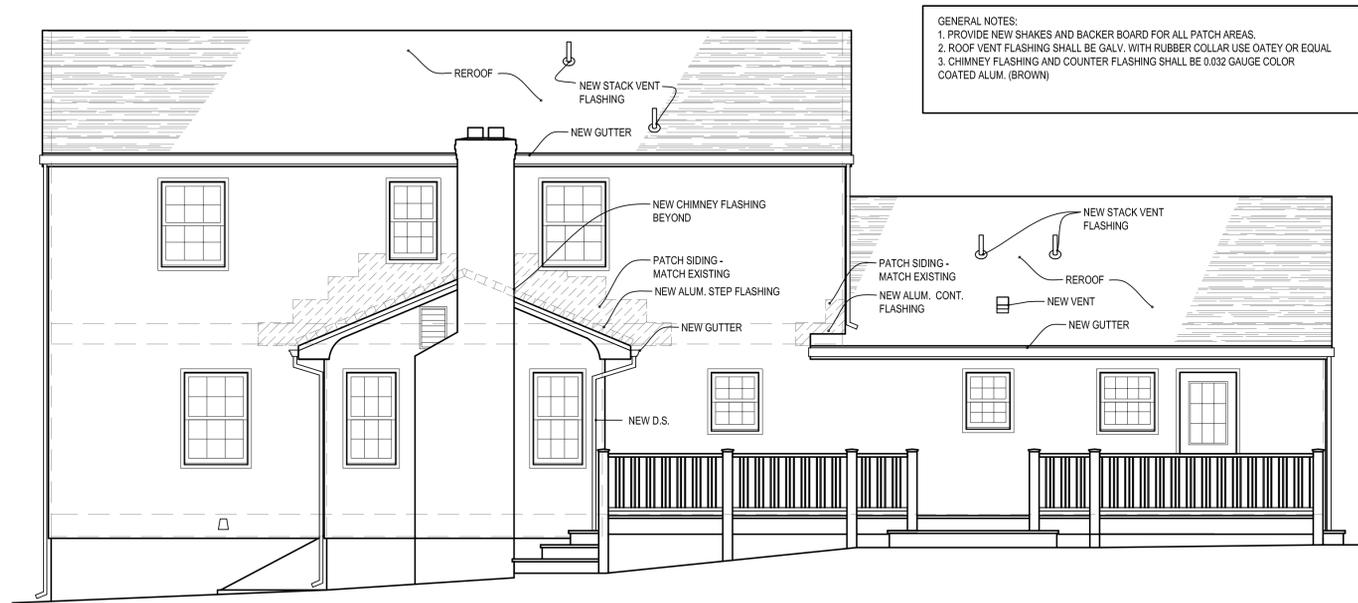
PER SECTION R905

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF DECKING/SHEATHING REPAIR PER IRC R905.2.1 IN ACCORDANCE WITH ASCE 7			
EX. RAFTERS SPACED AT 16" O.C.	8d	10d	4" EDGE / 4" FIELD
GABLE ENDWALL BARGE RAFTER AND 1x RAKE BOARD	8d	10d	4" EDGE / 4" FIELD
ASPHALT SHINGLES PER IRC R905.2.4 - SELF SEAL OR BE INTERLOCKING - ASTM D-225 OR D-3462			
ATTACHMENT PER R905.2.6			
ASPHALT SHINGLES	8d	10d	6" PER SHINGLE
UNDERLAYMENT PER IRC R905.2.4 - CONFORM TO ASTM D 226 TYPE 1, ASTM D 4869 TYPE 1, OR ASTM D 6757			
HIGH SLOPE - PER R905.3.3.2	SINGLE LAYER 36" (REFER TO PLAN WITH 2" LAPPING)		
MISC.	END LAPS TO BE OFFSET BY 6'-0" - PER R905.2.7		
FLASHING TO COMPLY WITH IRC R905.2.8			



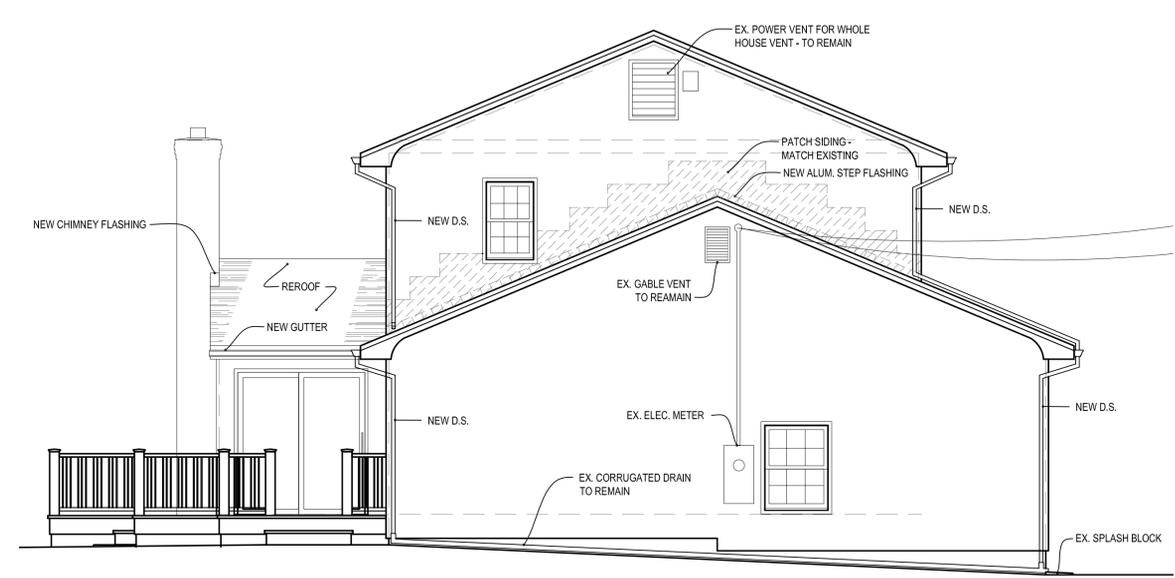
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284 RACEBROOK RD. TEL (203) 795 5656
ORANGE, CT 06477 FAX (203) 799 3871

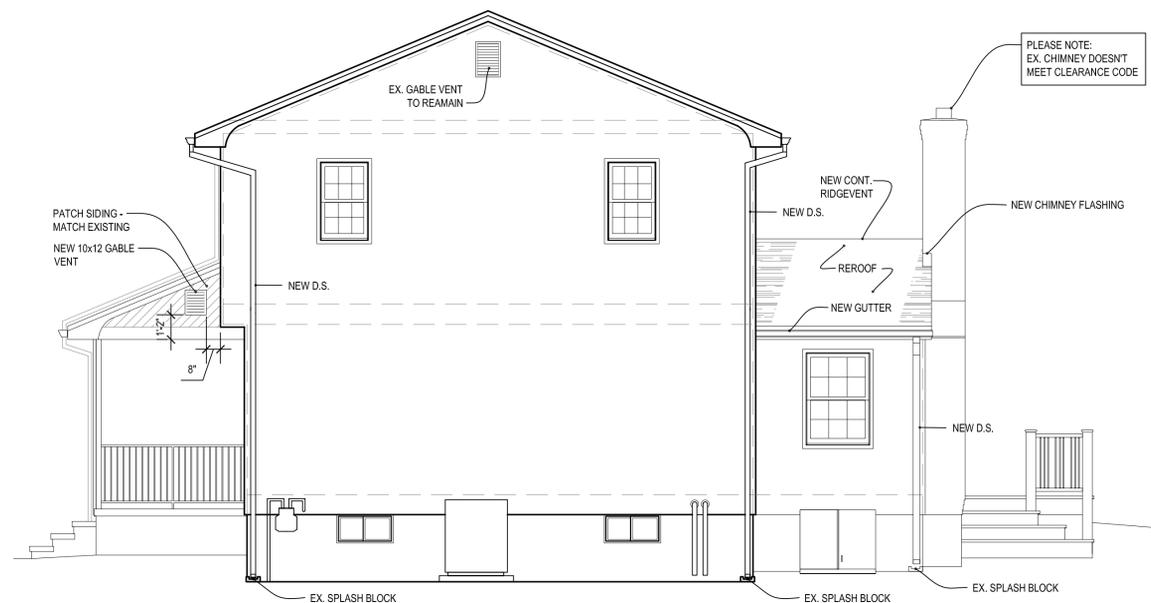


GENERAL NOTES:
1. PROVIDE NEW SHAKES AND BACKER BOARD FOR ALL PATCH AREAS.
2. ROOF VENT FLASHING SHALL BE GALV. WITH RUBBER COLLAR USE OATEY OR EQUAL
3. CHIMNEY FLASHING AND COUNTER FLASHING SHALL BE 0.032 GAUGE COLOR COATED ALUM. (BROWN)

REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PLEASE NOTE:
EX. CHIMNEY DOESN'T
MEET CLEARANCE CODE

RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Sheet Title:
ELEVATIONS

APPLICATION #1171

ELKIND RESIDENCE
271 RIDGEVIEW AVE.
Fairfield, CT 06825

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

PROJECT INFO:
Address: 271 Ridgeview Avenue
Map:
Zone: n/a
Flood Zone: n/a
Applicant: Rafael Amaya (Architect)
284 Racebrook Rd.
Orange, CT 06477
TEL (203) 795 5656
Owner: Jonathan S. & Marsha M. Elkind
Scope of work: Reroofing
Preparer: Rafael Amaya (Architect)
284 Racebrook Rd.
Orange, CT 06477
TEL (203) 795 5656
Signature: Rafael Amaya (Architect)

Date: 10/13/2016

Job Number: 1171
Drawn By: J.V.L.

Sheet Number:
A2