

STATE OF CONNECTICUT DEPARTMENT OF HOUSING

Community Development Block Grant

Disaster Recovery Program

Project: B-13-DS-09-001

Merritt Construction Services, Inc.

1177 High Ridge Road

Stamford, Connecticut 06905

Applicant Number 1034

51 Beckett Avenue

Branford, Connecticut 06405

CODES:

THE DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED WERE PREPARED IN ACCORDANCE WITH THE FOLLOWING CODES:
THE 2009 INTERNATIONAL RESIDENTIAL CODE AS MODIFIED BY:
2009 AND 2013 AMENDMENT TO THE STATE OF CONNECTICUT BUILDING CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2011 AMENDMENT TO THE 2009 INTERNATIONAL ENERGY CODE
2008 CONNECTICUT STATE FIRE SAFETY CODE AND
2009 AMENDMENT TO THE CONNECTICUT FIFE SAFETY CODE
2003 INTERNATIONAL PLUMBING CODE
2003 INTERNATIONAL MECHANICAL CODE
2011 NATIONAL ELECTRICAL CODE

DRAWING LIST:

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A-2.0	FIRST FLOOR PLAN
A-3.0	SECOND FLOOR PLAN
A-4.0	ELEVATIONS
A-5.0	ELEVATIONS
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M-1.0	MECHANICAL PLAN
M-2.0	MECHANICAL PLAN, SCHEDULE, NOTES & ABBREVIATIONS
P-1.0	PLUMBING PLAN

NOT FOR
CONSTRUCTION

Revisions	Date
BID SET	7/8/15



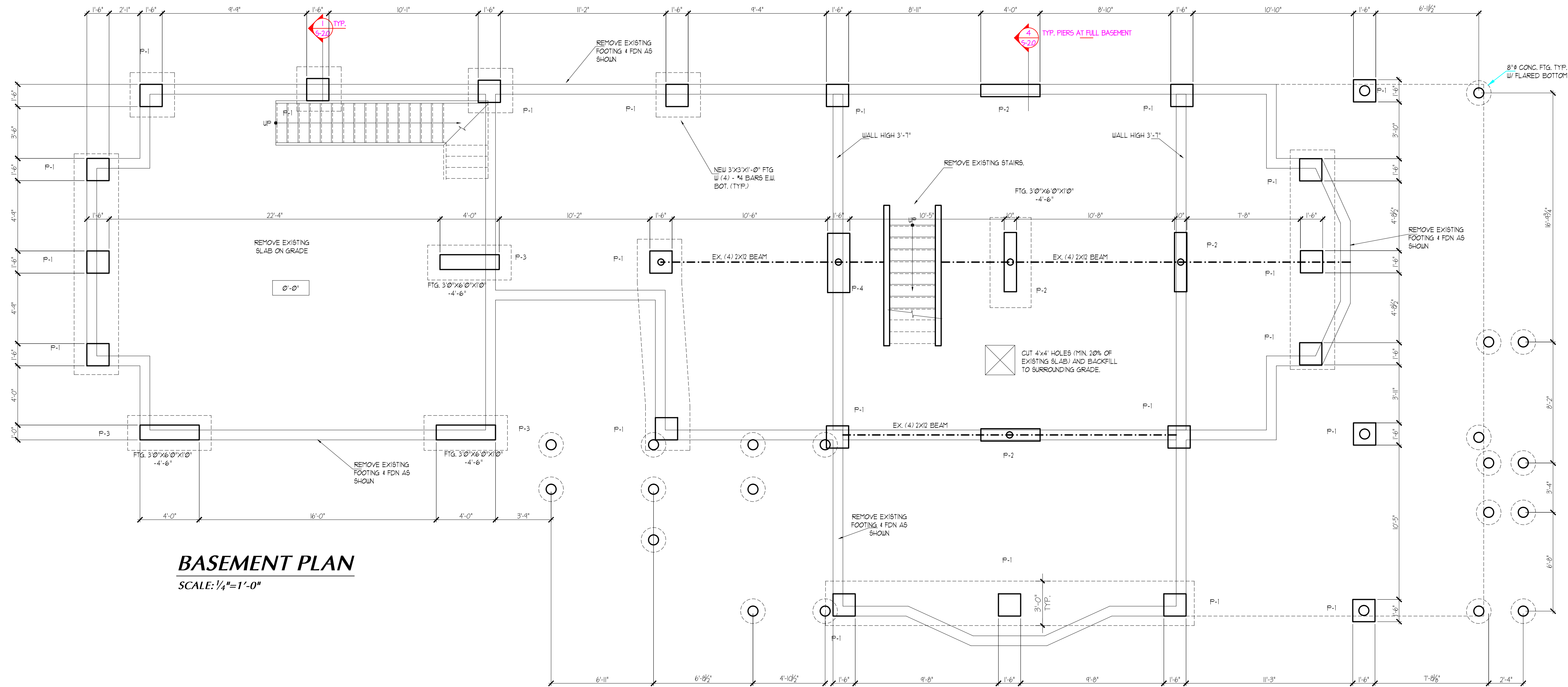
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Aris Crist Architects
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Greenwich, Connecticut 06830
203 661 0661

APPLICANT No. 1034
51 BECKETT AVENUE
BRANFORD CT
TITLE

Drawn
L.F.O.
Checked
Date
03.25.15
Scale
AS NOTED
Job Number
Sheet

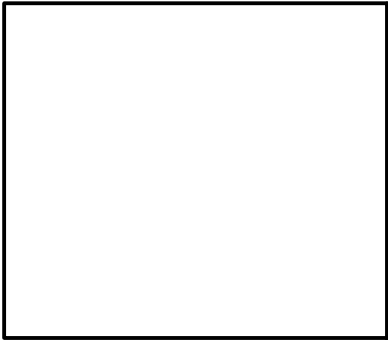
T-1.0



BASEMENT PLAN
SCALE: 1/4"=1'-0"

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Revisions	Date
BID SET	7/8/15



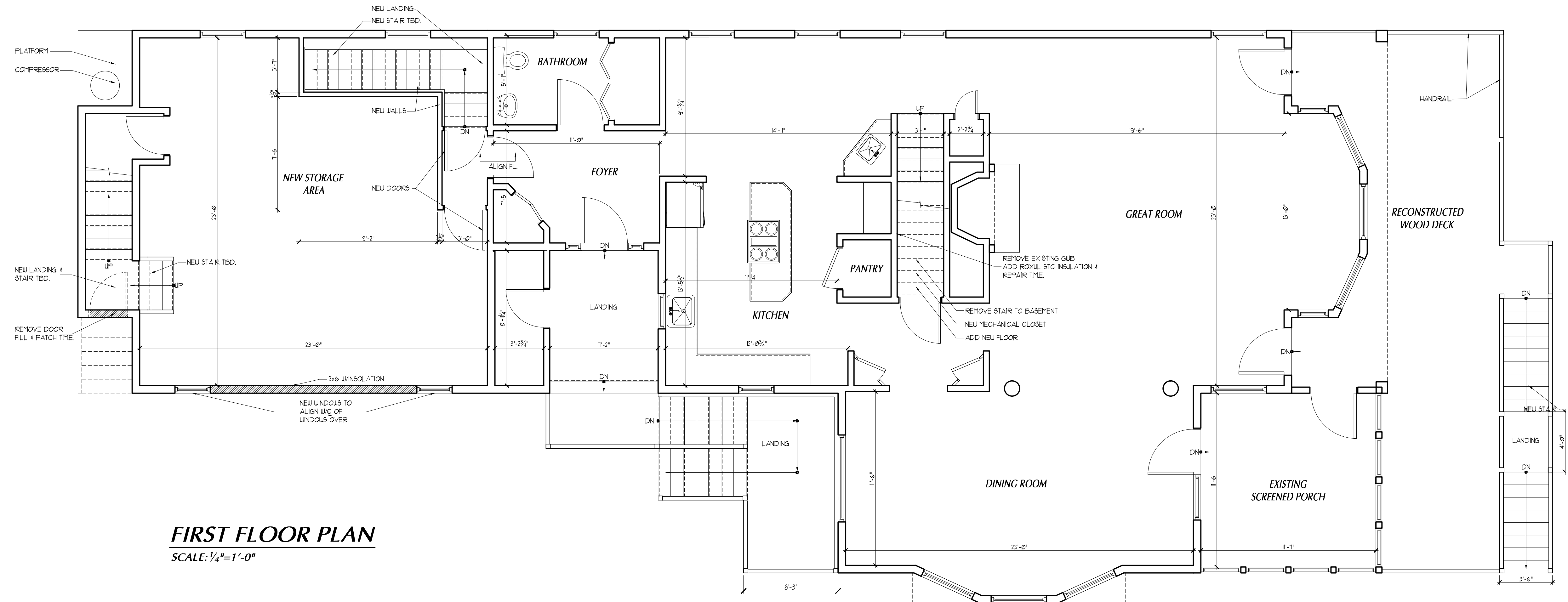
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BRANFORD CT
BASEMENT PLAN

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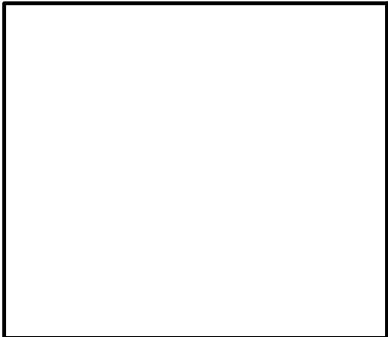
A-1.0



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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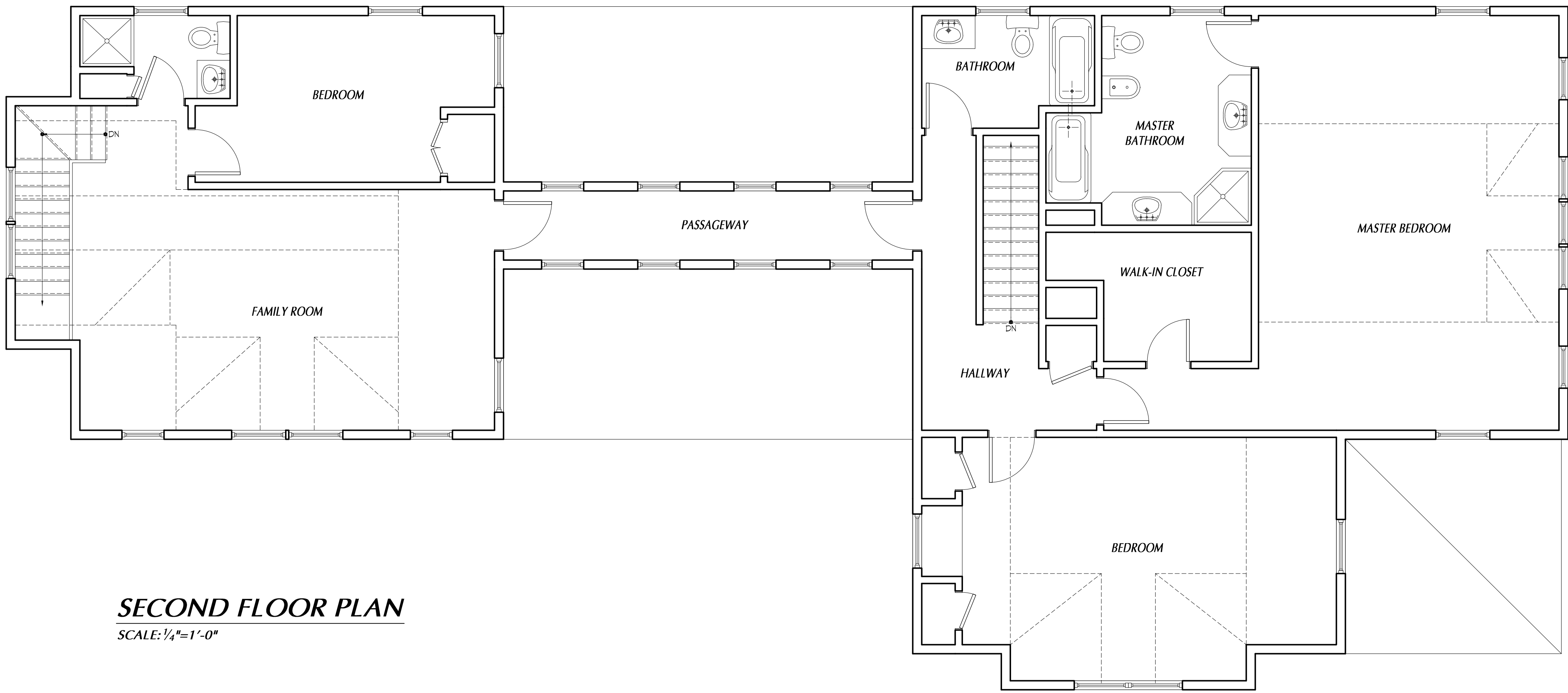


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FIRST FLOOR PLAN

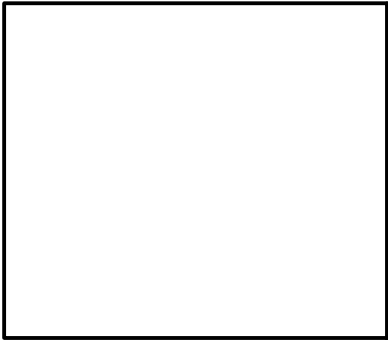
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A-2.0



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

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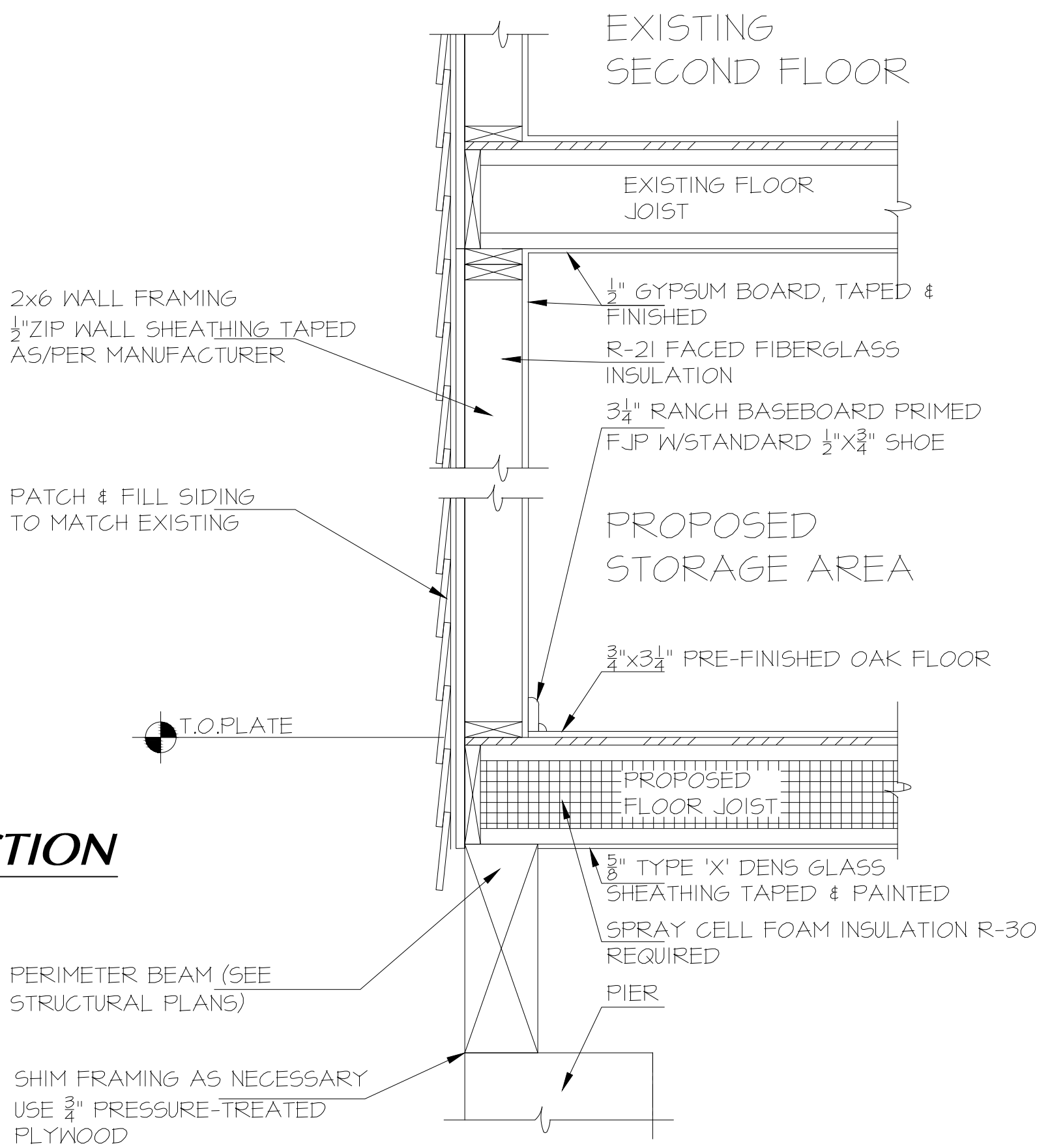
APPLICANT No. 1034
51 BECKETT AVENUE
BRANFORD CT
SECOND FLOOR PLAN

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Date
03.25.15
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Job Number
Sheet

A-3.0



WEST ELEVATION
SCALE: 1/4"=1'-0"



TYPICAL WALL SECTION
NOT TO SCALE

**NOT FOR
CONSTRUCTION**

SOUTH ELEVATION
SCALE: 1/4"=1'-0"



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BRANFORD CT
ELEVATIONS

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A-4.0

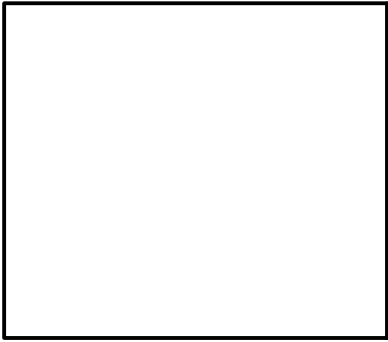
EAST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

NOT FOR
CONSTRUCTION

Revisions	Date
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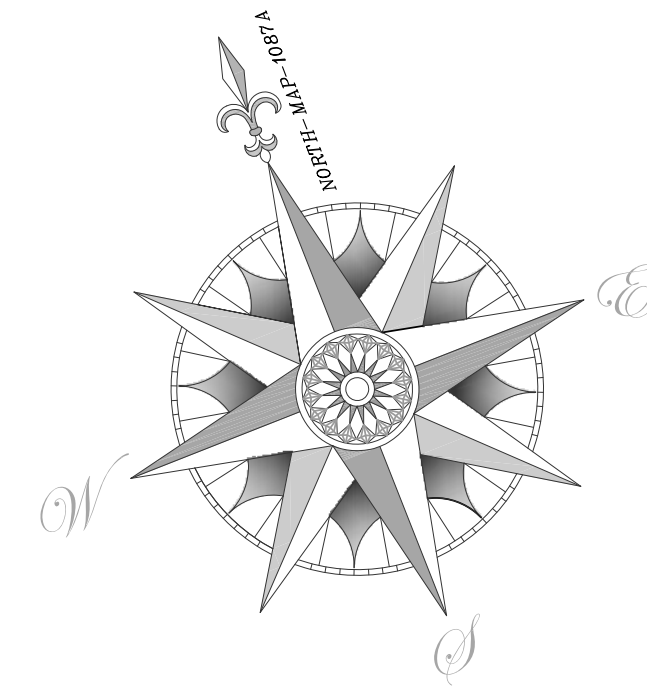


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APPLICANT No. 1034
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BRANFORD CT
ELEVATIONS

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Sheet
A-5.0



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SHORT BEACH ASSOCIATION ZONE B			
PRIMARY STRUCTURE	REGS.	EXISTING	PROPOSED
STREET LINE*	20'	10.2'	10.2'
SIDE YARD*	6'	5.2'	5.2'
REAR YARD	20'	28.0'±	28.0'±
ACCESSORY FROM REAR	6'	13.9'	13.9'
FROM L.I. SOUND (TO CJL)	25'	25.0'	25.0'
BUILDING HEIGHT*	3 stories & 30'	2 stories / 30.7'±	2 stories / 39.6'±
LOT (MINIMUM)			
LOT AREA	4,500 SF	6,340 SF± to MHW	6,340 SF± to MHW
LOT WIDTH	50'	50'	50'
COVERAGE			
BUILDING LOT COVERAGE*	30%	2,539SF / 40.0%±	2,539SF / 40.0%±
TOTAL FLOOR AREA* **	50%	3,507SF / 55.3%	4,011SF / 63.3%
AGG. LOT COVERAGE*	75%	5,194SF / 81.9%	5,080SF / 80.1%
MIN. GROUND FLOOR AREA**	600 SF	1,635 SF	2,139 SF

* Variance Requested of Section 7.3(Height), Section 7.4 (Setbacks), Section 7.5 (Coverage and Bulk)
** Information provided by Aris Crist Architect

N/F
GALT BOOTH & GRACE MARY ROMANO
#40-44 BRISTOL STREET
DEED VOL. 327, PG. 821 N.L.R.

N/F
MARIA R. DeANGELIS TRUSTEE
#53 BECKETT AVENUE
DEED VOL. 1140, PG. 584 N.L.R.

EXISTING 2 STORY FRAME DWELLING TO BE RAISED 8.9'

PROPOSED FFE=21.0
PROPOSED PEAK ELEV.=49.0
AVG. GRADE ELEV.=9.4±
PROPOSED HEIGHT=39.6'±

To my knowledge and belief, this map is
substantially correct as noted hereon.

On _____ By _____
Lawrence W. Posson, Jr. CT Lic. No. 18130

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signature and embossed seal of the designated licensed professional.
Unauthorized alterations render any declaration hereon null and void.



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Long Island Sound

ZONING LOCATION SURVEY

DEPICTING

#51 BECKETT AVENUE

BRANFORD, CONNECTICUT

PREPARED FOR

MERRITT CONSTRUCTION SERVICES, INC.

7997_ZLS.dwg

JOB NO.:	7997-1	DATE:	6/23/2015
DRAWN BY:	BDH	CHECKED BY:	
SCALE:	10 0 1" = 10' 10 20 		

NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as an Existing Building Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and Vertical Accuracy Class V-2 intended to be used for verification of zoning compliance with respect to the location of improvements depicted hereon.
- Total area of the surveyed parcel = 6,340± SF or 0.14± Acres to MHW
- Building Area = 2,539 sf or 40.0±%
- Reference is made to the following on file with the Town of Branford Land Records (B.L.R.):
Court of Probate Notice - Bk. 1143, Pg. 902
Quit Claim - Bk. 1044, Pg. 671
Fee Simple - Bk. 197, Pg. 500
- Reference is made to Maps 210 and 1087A (B.L.R.) and to an unrecorded map titled "Improvement Location and Topographic Survey Prepared for Maria R. DeAngelis, Trustee - 53 Beckett Avenue - Branford, Connecticut - Assessor's Reference: Map B11, Block 7, Lot 3, Sheet 1 of 1", dated 2/3/2014, prepared by Cabezas DeAngelis Engineers & Surveyors.
- Reference is made to an unrecorded map titled "Improvement Location and Topographic Survey Prepared for Maria R. DeAngelis, Trustee - 53 Beckett Avenue - Branford, Connecticut - Assessor's Reference: Map B11, Block 7, Lot 3, Sheet 1 of 1", dated 2/3/2014, prepared by Cabezas DeAngelis Engineers & Surveyors.
- Owner of record is John P. Clifford, Trustee. CT Department of Housing Community Develop Block Grant- Disaster Recovery Applicant # 1034.
- Elevations depicted hereon are based on North American Vertical Datum of 1988 (NAVD-88) as computed by using GEOID12A. GPS data collected in the field 2/25/2015 by Redniss & Mead,
- Reference is made to FEMA Flood Insurance Rate Map (FIRM) 09009C0463J, revised July 8, 2013. Subject Parcel lies within Special Flood Hazard Areas VE (EL14), AE (EL13) & AE (EL11).
- Due to completion date requirements, this survey was conducted at a time when there was significant snow cover. The location of surface evidence (i.e. walks, driveway...) may not be complete or correct.

This drawing is intended only to depict the design of site grading, paving, utilities and sediment & erosion controls. This drawing is for approval purposes only. No construction may begin prior to obtaining all necessary permits and approvals.

2. All survey data, boundary lines, topography, building locations and area calculations are from a survey prepared by Redins & Mendt entitled Existing Building Location Survey dated 6-23-2015. Elevations depicted or labeled are based on NAVD-88.
3. Refer to drawings by Aris Crist, Architect for information regarding building plans.
4. Property lies in Zone B of the Short Beach City Association.
5. All construction shall comply with the City of Stamford requirements, the State of Connecticut Basic Building Code Americans with Disabilities Act (ADA), the Connecticut Guidelines for Soil and Erosion and Sediment Control, OSHA, CT DOT Form 816 (latest edition), and FEMA Flood Regulations.
6. All development activities to be undertaken within the street right-of-way and other public lands shall comply fully with Stamford standards unless approved deviation is specifically set forth as part of this application. All work within the State right-of-way will comply with the CT DOT Form 816 with the latest special Provisions and Typical State Drawing Details.
7. Contractor shall supply complete shop drawings including manufacturer's product data sheets to the Site Engineer, for all construction material used in conjunction with these drawings. Contractor shall allow a 5 day review period, prior to fabrication and installation.
8. Information on existing utilities has been compiled from various sources including utility company records, municipal record maps and field survey and is not guaranteed to be correct or complete. The contractor is solely responsible for determining actual locations and elevations of all utilities including underground services.
9. The property is served by public water and sewers.
10. Prior to any excavation the Contractor and/or Applicant, in accordance with Public Act 77-350, shall be required to contact "Call Before You Dig" at 1-800-922-4455 for mark-out of underground utilities. Dig shall (60) at utility crossing(s) to check actual clearances with new utilities prior to construction. If conflicts are found the Contractor shall notify the engineer, at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid the conflict. Such relocation shall be done with knowledge of and in accordance with the owner of the utility.
11. It shall be the responsibility of the contractor to provide any excavation safeguards, necessary barricades, flagmen, etc., for traffic control and site safety. All work shall be done in accordance with OSHA requirements. The contractor shall be responsible for compliance with OSHA requirements.
12. When preparing the existing site for the proposed development, all materials removed shall be disposed of in conformance with all governing agencies.
13. Building elevations are subject to change and shall be finalized prior to building permit.
14. Prior to issuance of a Certificate of Occupancy, the Department of Public Works may require a certification letter stating that the development was constructed in accordance to the approved plans, and an "as-built" drawing shall be submitted
15. The work shall be done in conformance with the plans unless changes have been approved in writing by the design engineer prior to the work being done.

EARTHWORK & GRADING:

16. Grade away from building walls at 2% minimum (typical).
17. After the areas to be graded have been brought to grade, the subgrade shall be loosened by scarifying to a depth of at least 2" to ensure bonding of the topsoil and subsoil.
18. Fill or topsoil shall not be placed nor compacted while in a frozen or muddy condition or while subgrade is frozen.

FLOOD PROTECTION:

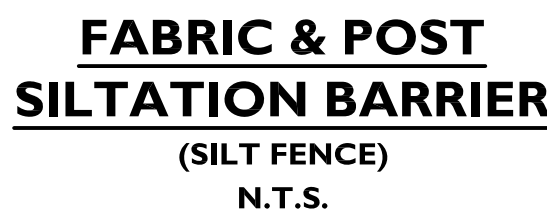
19. The property lies within FEMA Special Flood Hazard Areas VE-14, AE-13 & AE-11. Base Flood Elevation (BFE) (100 year storm) is 14.0 NAVD-88 as depicted on Flood Insurance Rate Map No. 09001C0517G Panel 517 of 626, revised date July 8, 2013.
20. The construction of this development must follow the requirements set forth in the Federal Emergency Management Administration (FEMA) regulations for Flood protection.
21. All utilities shall be installed per FEMA regulations for flood protection. All utilities (i.e., meters, etc.) must be set at least one foot above the BFE or waterproofed.
22. The first floor of the raised building shall be set above the calculated 100 Flood Elevation of 14.0.

SANITARY SEWER SYSTEM:

23. Existing sewer lateral shall be reused if approved by Department of Public Works. Video inspection may be required to determine condition of pipe.
24. All sanitary sewer pipe shall be Poly Vinyl Chloride Pipe (PVC) and shall be Schedule 40 with solvent weld joints.
25. Flow in existing sewer system must not be interrupted. Any temporary routing of this sewer flow must be done in conformance with all applicable rules and regulations.
26. Under no circumstances shall trench water be allowed to drain off through sanitary sewer lines.
27. All crushed stone shall be Gradation No. 4 as per CT DOT Form 816, Article M10.01. Stone shall consist of sound, tough, durable particles free from soft, thin, elongated, laminated, friable, micaeous, or disintegrated pieces of mud, dirt or other deleterious material.

UTILITIES:

28. Proposed utility services are shown for schematic purposes only and are subject to change pending utility company review. These utilities shall be designed by others and installed in conformance to the requirements of the governing utility companies.
29. All proposed utility facilities shall be raised or lowered to be flush with finished grade.
30. Where necessary, existing utilities shall be reinstalled to meet all minimum coverage requirements.
31. Utility connections at building face shall be coordinated with the building contractors.
32. In general, each utility shall have a minimum clearance of three feet to any other underground utility.
33. Any and all utilities abandoned shall be capped or removed in accordance with utility companies' requirements.
34. All utilities shall be installed per FEMA regulations for flood protection. All utilities (i.e., HVAC condensers, electric transformers, etc.) must be set one foot above the Base Flood Elevation (BFE) or waterproofed.
35. Gas service to the meter shall be installed by the utility company.



SE-1

**NOT FOR
CONSTRUCTION**

Revisions	Date
Issue for Bid	04.21.15

NOT FOR CONSTRUCTION

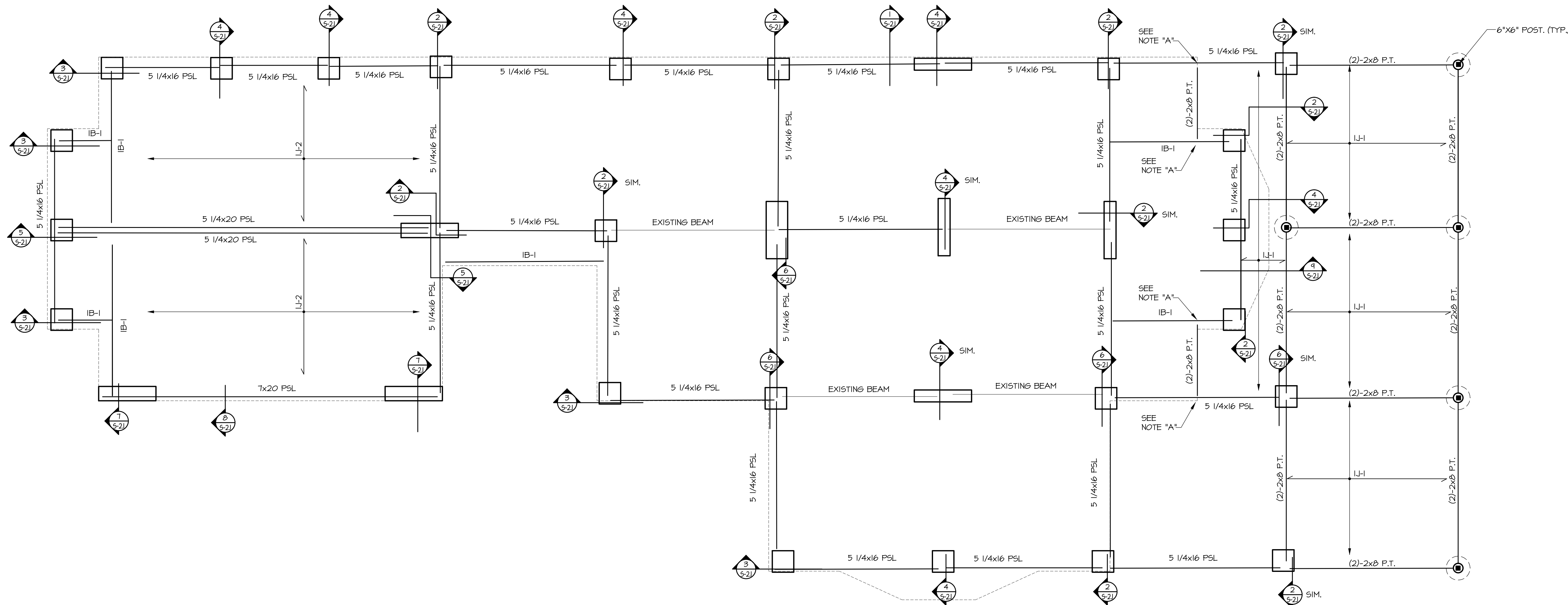
The Di Salvo Engineering Group
Structural Engineers
63 Copey Hill Rd., Ridgefield, CT 06877
(203) 338-9951 | www.dseg.com

Aris Crist Architects
34 East Putnam Avenue
Greenwich, Connecticut 06830
203 661 0661

APPLICATION No. 1034
51 BECKETT AVENUE
BRANFORD, CT
FIRST FLOOR PLAN

JM	Drawn
GCF	Checked
06.22.15	Date
AS NOTED	Scale
13288.00	Job Number
	Sheet

S-1.2



FIRST FLOOR FRAMING PLAN

1/4" = 1'-0"



- DO NOT SCALE THIS DRAWING. SEE ARCHITECTURAL PLANS FOR ALL DIMENSIONS AND ELEVATIONS.
 - LJ-1 INDICATES 2x8 P.T. JOISTS AT 16" O.C. WITH SIMPSON LU528-2 FACE MOUNTED HANGERS WITH ZMAX COATING.
 - LJ-2 INDICATES 1 3/4 X 4 1/2 LVL-JOISTS AT 16" O.C. WITH SIMPSON HUS18/10 FACE MOUNTED HANGERS.
 - IB-1 INDICATES 5 1/4 X 16 PSL-BEAM. CONNECT TO EXTERIOR GIRDERS WITH SIMPSON HGU5410 FACE MOUNTED HANGER, (SEE SECTION 2/52.1). CONNECT TO INTERIOR GIRDERS WITH SIMPSON HGLTV3.54 TOP FLANGE HANGERS. (SEE SECTION 1/52.1)
 - SEE DRAWING 5-1.0 FOR GENERAL NOTES AND MATERIAL SPECIFICATIONS AND DRAWING 5-2.0 THROUGH 5-2.2 FOR SECTIONS AND DETAILS.
- NOTE "A"
FASTEN (2) 2 X 8 DECK MEMBER TO PSL BEAM WITH SIMPSON LU528-2 FACE MOUNTED HANGERS WITH ZMAX COATING
- NOTE "B"
FASTEN (3) 2 X 8 DECK MEMBER TO PSL BEAM WITH SIMPSON LU528-3 FACE MOUNTED HANGERS WITH ZMAX COATING

FRAMING LEGEND

JOISTS/RAFTERS	BEAM/HEADER	WOOD POSTS
 SPAN DIRECTION OF FRAMING DOWNSLOPE DIRECTION OF SLOPING MEMBERS EXTENT OF FRAMING FRAMING MARK, SEE SCHEDULE DASHED WHERE BUILT OVER BY OTHER FRAMING	 BEAM REACTION (WOOD-LBS., STEEL-KIPS) BEAM I.D. No. OF PLIES IN BUILT-UP BEAM BEAM (3)-2x10 SIZE 1/8"x10' 1/8" (3 1/2"x11 7/8 LVL * * SEE LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL) NOTE No.3.	 POST DOWN POST UP AND DOWN POST UP

Revisions	Date
Issue for Bid	04.21.15

NOT FOR CONSTRUCTION

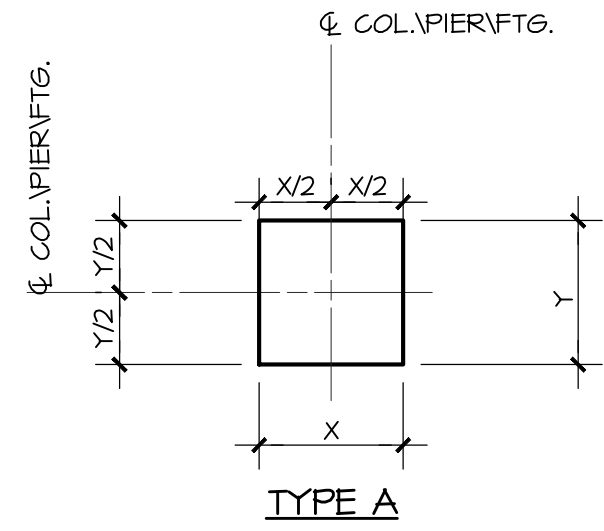
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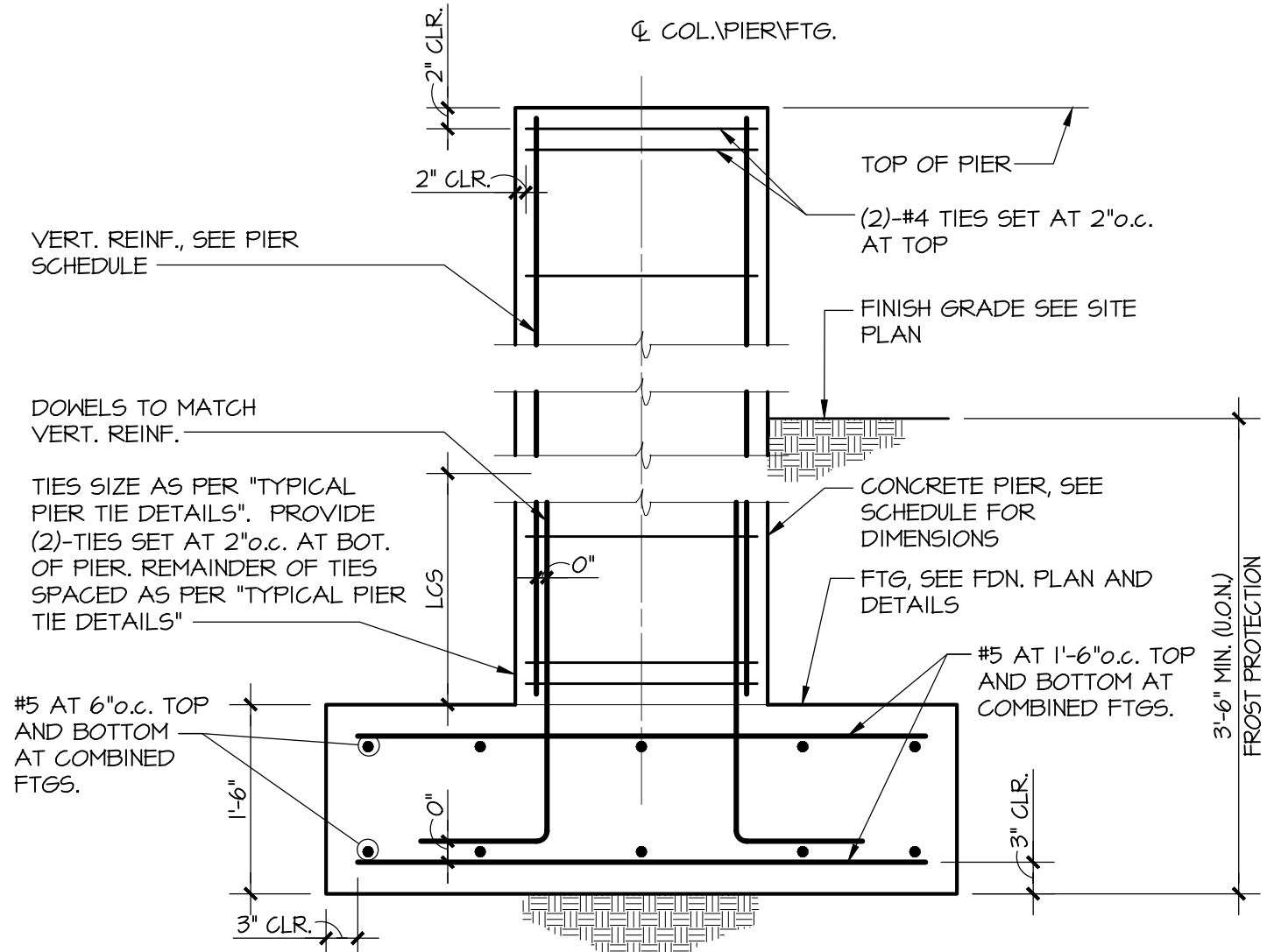
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51 BECKETT AVENUE
BRANFORD, CT
TYPICAL FOUNDATION DETAILS

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S-2.0



TYPE A



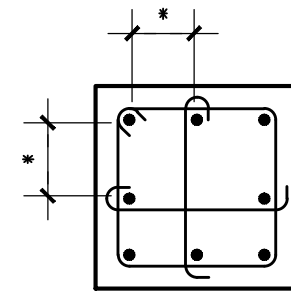
SECTION

PIER SCHEDULE

MARK	TYPE	"X" E-W DIR.	"Y" N-S DIR.	VERTICAL REINF.	REMARKS
P-1	A	1'-6"	1'-6"	(8)-#6	
P-2	A	10"	4'-0"	(12)-#6	
P-3	A	12"	4'-0"	(12)-#6	
P-3	A	1'-6"	4'-0"	(16)-#6	

PIER SCHEDULE AND PIER/FOOTING DETAILS

NO SCALE



Ø BARS
TYPICAL TIE ARRANGEMENT
"Ø" INDICATES WHEN 6" OR LESS
OMIT INTERIOR TIE.

MAXIMUM SPACING OF TIES

VERTICAL BAR SIZE	SIZE AND SPACING OF TIES		
	#3	#4	#5
#5	10"	-	-
#6	12"	-	-
#7	14"	-	-
#8	16"	16"	-

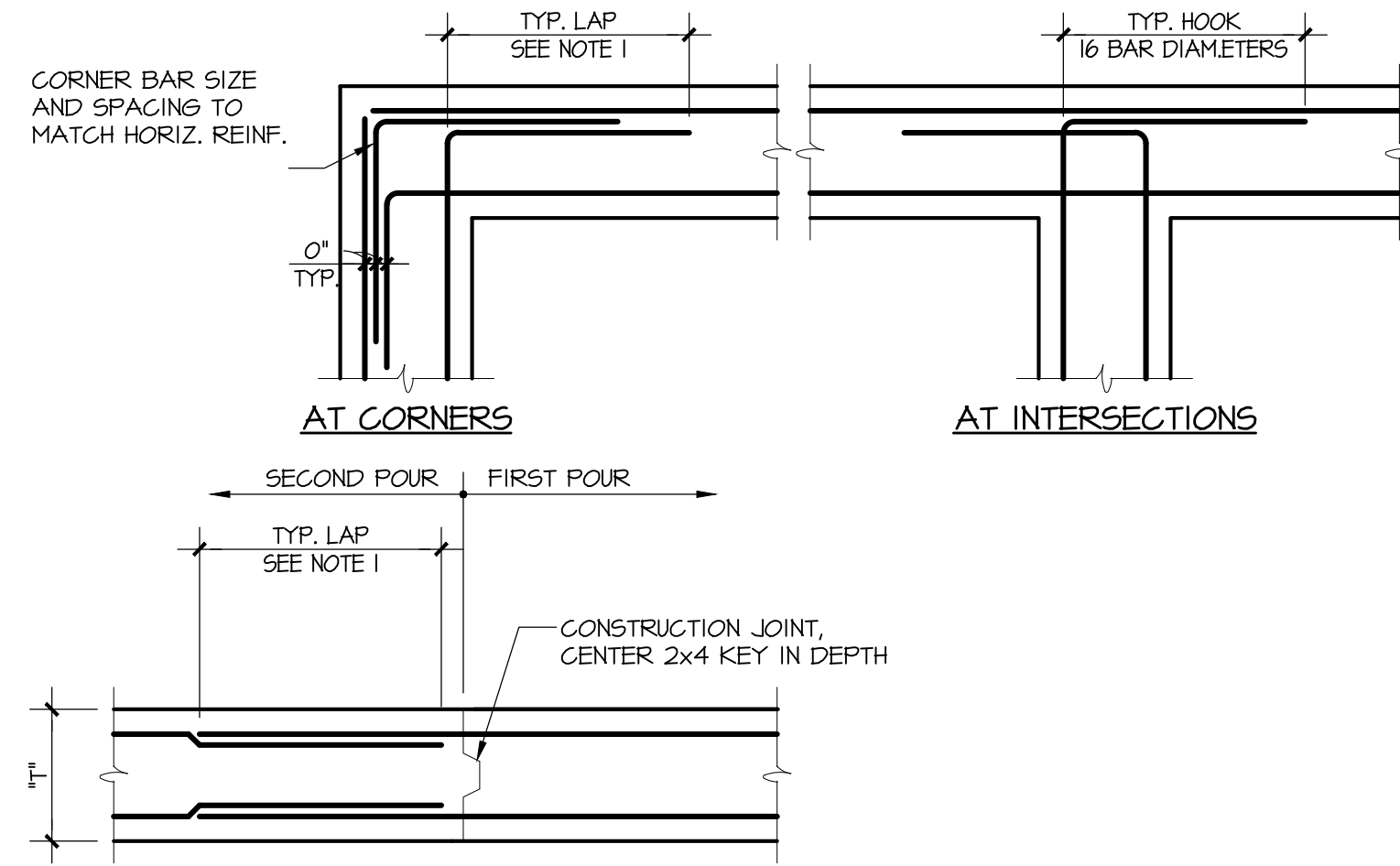
"Ø" INDICATES MAXIMUM SPACING NOT TO EXCEED LEAST DIMENSION OF COMPRESSION MEMBER.

NOTES:

- THE VERTICAL BARS SHALL BE SPACED AROUND THE PERIMETER SO AS TO ACHIEVE APPROXIMATELY EQUAL SPACING.
- THE MINIMUM VERTICAL BAR SPACING SHALL BE 1.5 X THE BAR DIAMETER, BUT NOT LESS THAN 1".
- TIES SHALL BE ARRANGED SUCH THAT EVERY CORNER AND ALTERNATE VERTICAL BAR SHALL HAVE LATERAL SUPPORT PROVIDED BY THE CORNER OF A TIE WITH AN INCLUDED ANGLE OF NOT MORE THAN 135 DEGREES AND NO BAR SHALL BE FURTHER THAN 6" CLEAR ON EACH SIDE ALONG THE TIE FROM SUCH A LATERALLY SUPPORTED BAR.
- TIES SHALL BE LOCATED VERTICALLY NOT MORE THAN ONE-HALF A TIE SPACING ABOVE THE TOP OF FOOTING OR SLAB IN ANY STORY, AND SHALL BE SPACED AS PROVIDED HEREIN TO NOT MORE THAN ONE-HALF A TIE SPACING BELOW THE LOWEST HORIZONTAL REINFORCEMENT IN SLAB OR DROP PANEL ABOVE.
- WHERE BEAMS OR BRACKETS FRAME FROM FOUR DIRECTIONS INTO A COLUMN, PIER OR BUTRESS, TERMINATION OF TIES NOT MORE THAN 3" BELOW REINFORCEMENT IN SHALLOWEST OF SUCH BEAMS OR BRACKETS SHALL BE PERMITTED.
- SEE THE GENERAL NOTES ON DRAWING S-1.0 FOR THE MINIMUM CONCRETE COVER REQUIREMENTS FOR REINFORCEMENT.

TYPICAL PIER TIE DETAILS

NO SCALE



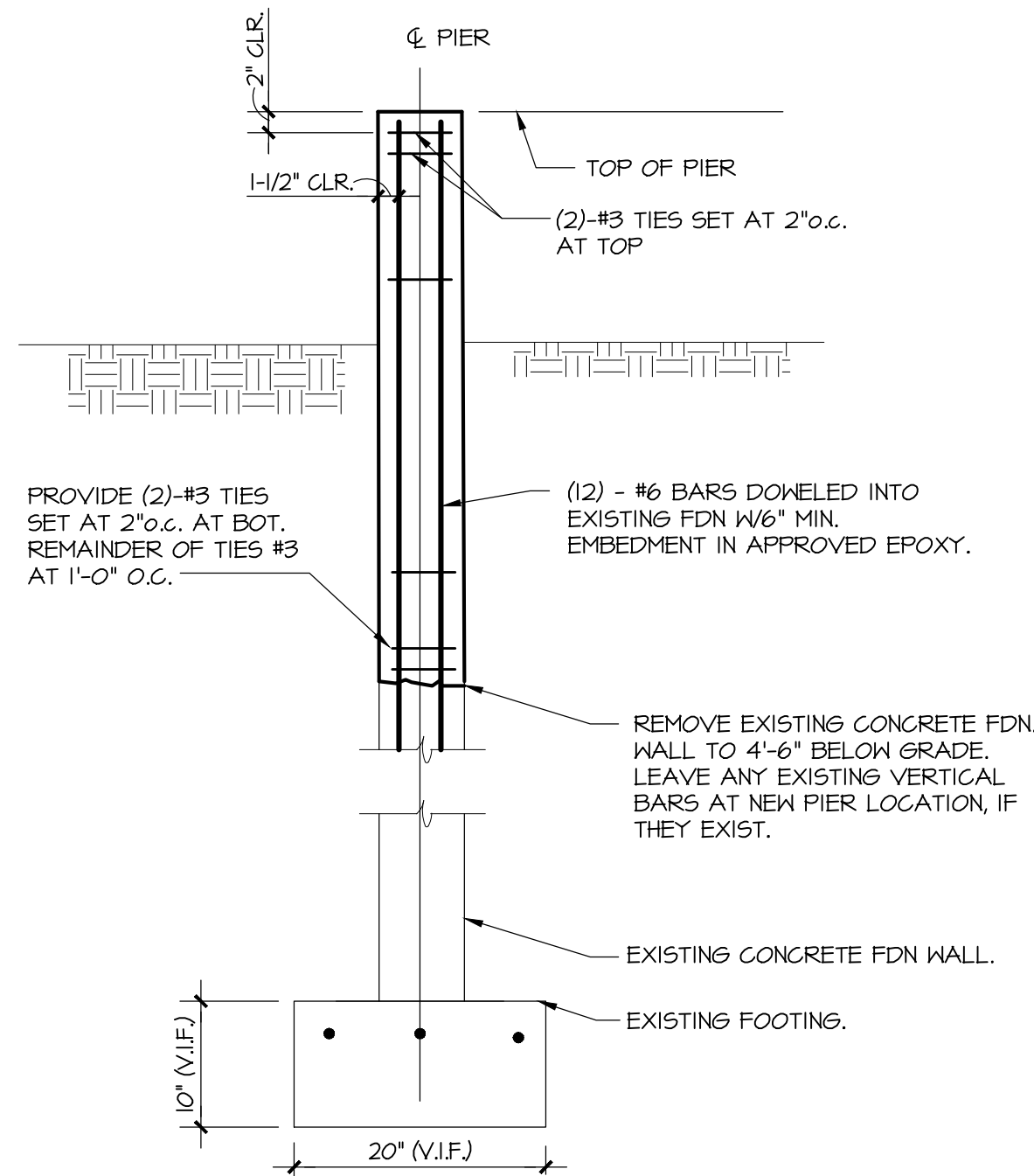
NOTES:

CONSTRUCTION JOINT

- ALL BAR SPLICES SHALL BE CLASS "B" LAP SPLICES WITH 56 BAR DIAMETERS MINIMUM.
- PROVIDE CONSTRUCTION JOINT AT END OF EACH DAY'S POUR. WALLS SHALL NOT BE POURED IN CONTINUOUS LENGTHS EXCEEDING 30 FEET WITHOUT PROVIDING CONSTRUCTION JOINTS OR CONTROL JOINTS.

TYPICAL CONCRETE FOOTING CONSTRUCTION DETAIL

NO SCALE



PIER EXTENSION OFF EXISTING FOUNDATION

NO SCALE

4
S-2.0

Revisions	Date
Issue for Bid	04.21.15

NOT FOR CONSTRUCTION



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Greenwich, Connecticut 06830
203 661 0661

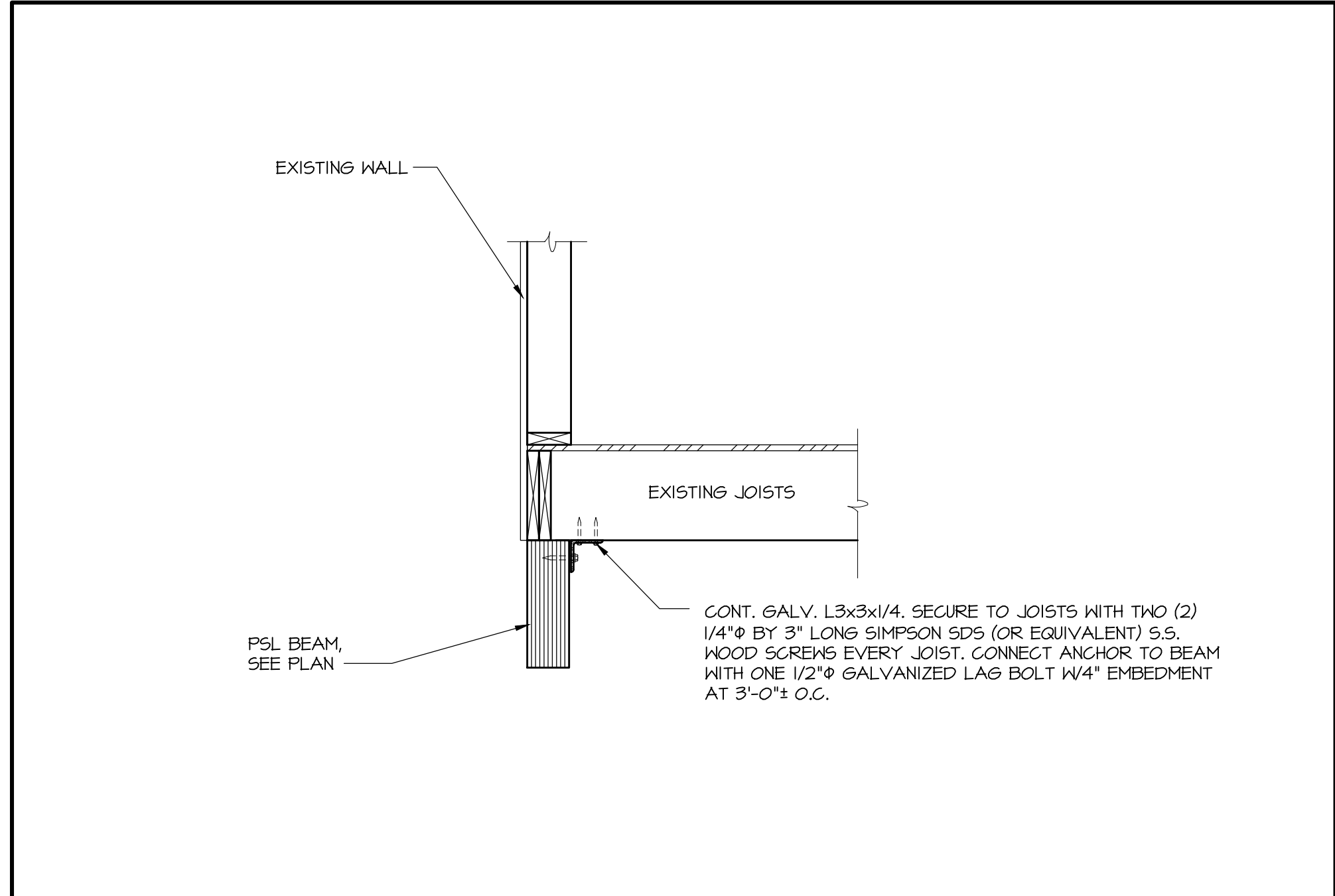
APPLICATION No. 1034

51 BECKETT AVENUE
BRANFORD, CT

SECTIONS AND DETAILS

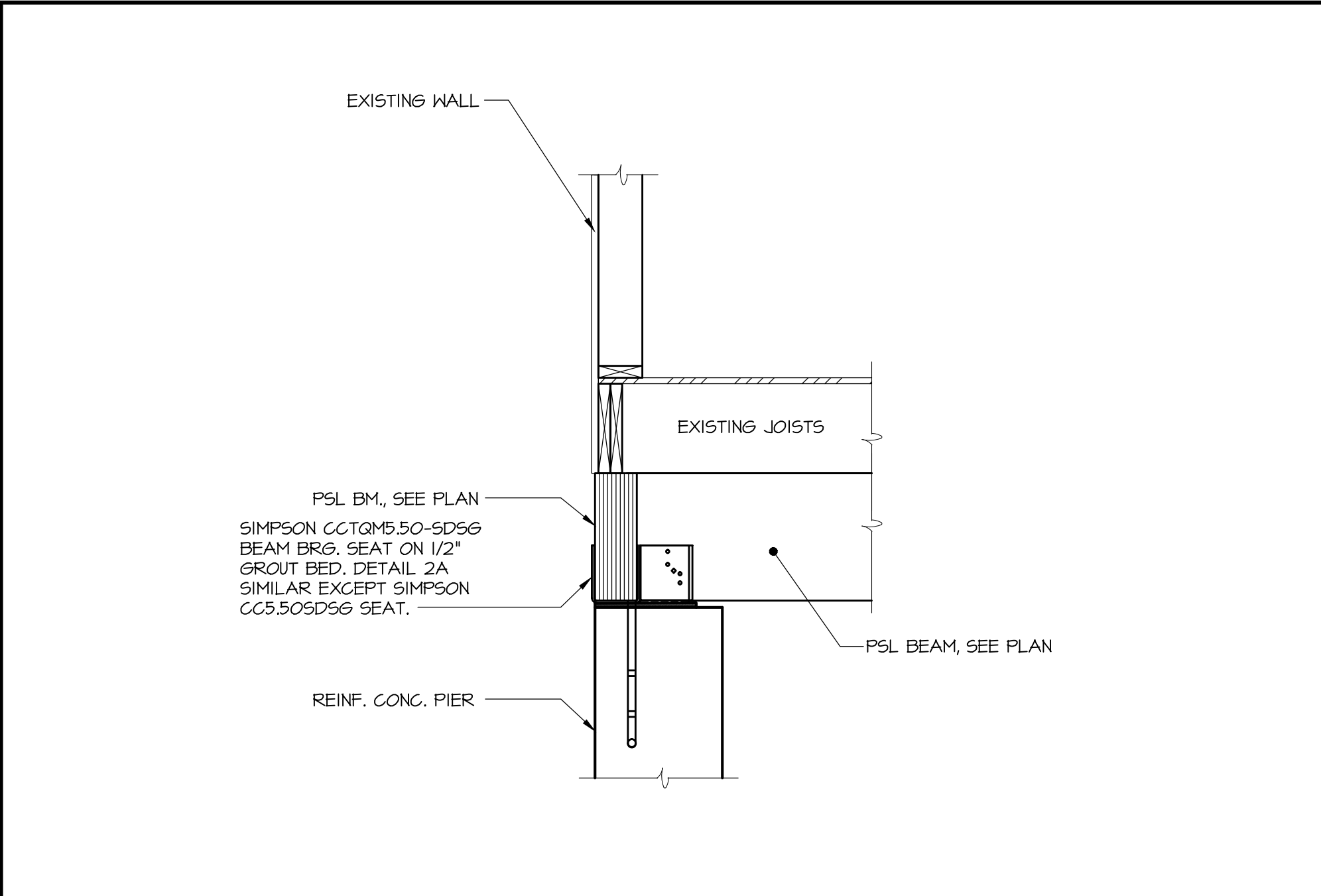
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S-2.1



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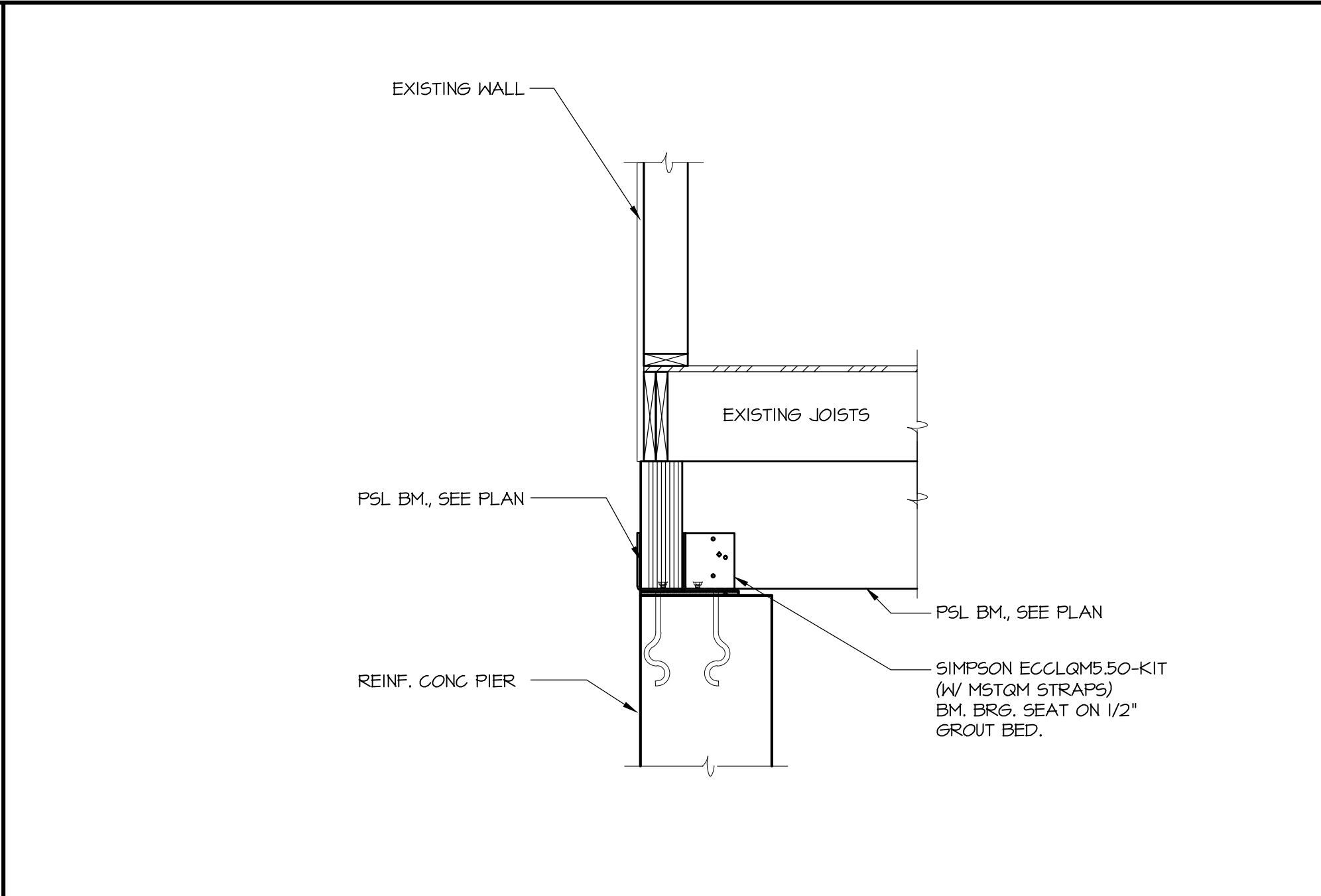
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SECTION
3/4" = 1'-0"

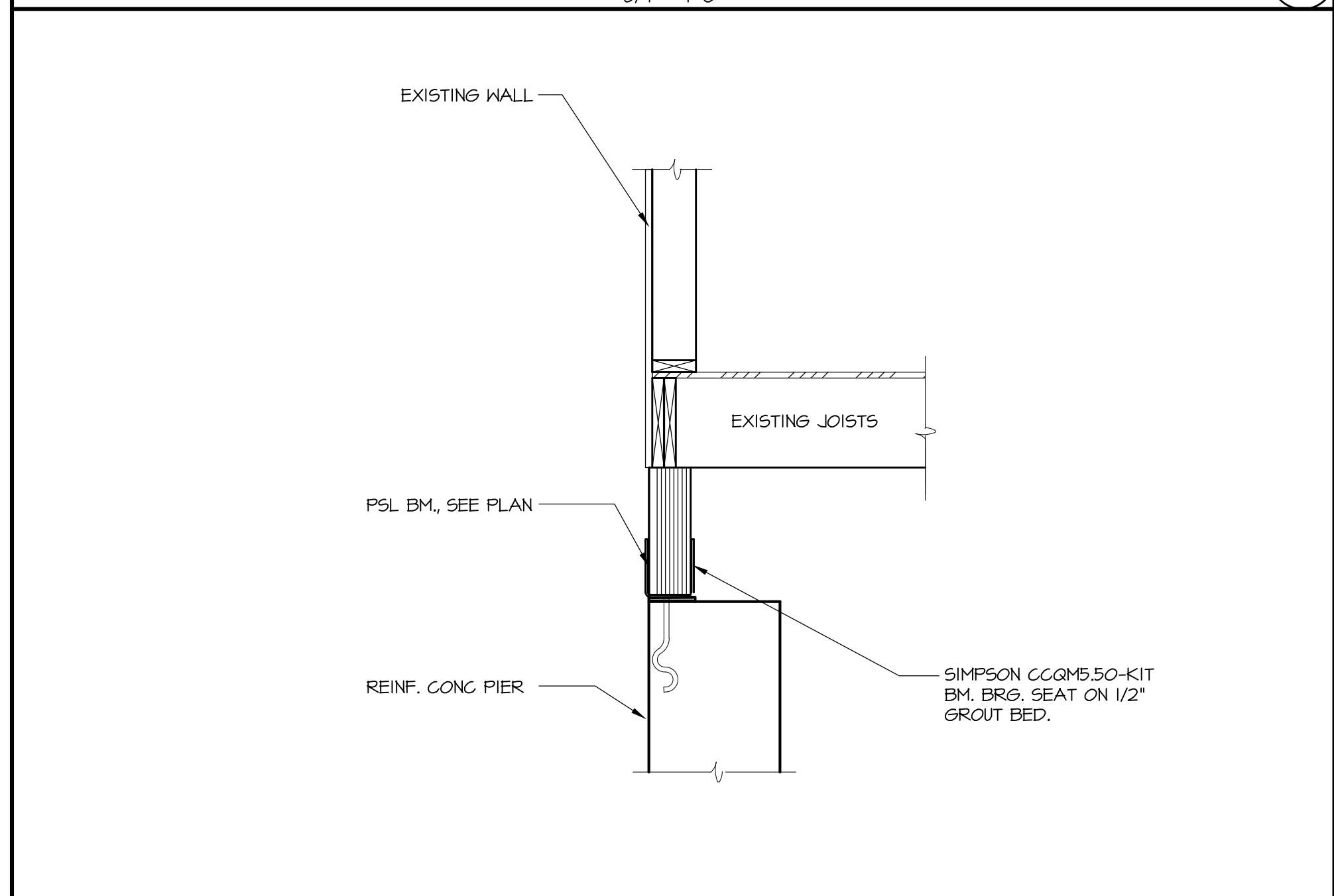
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2A
S-2.1



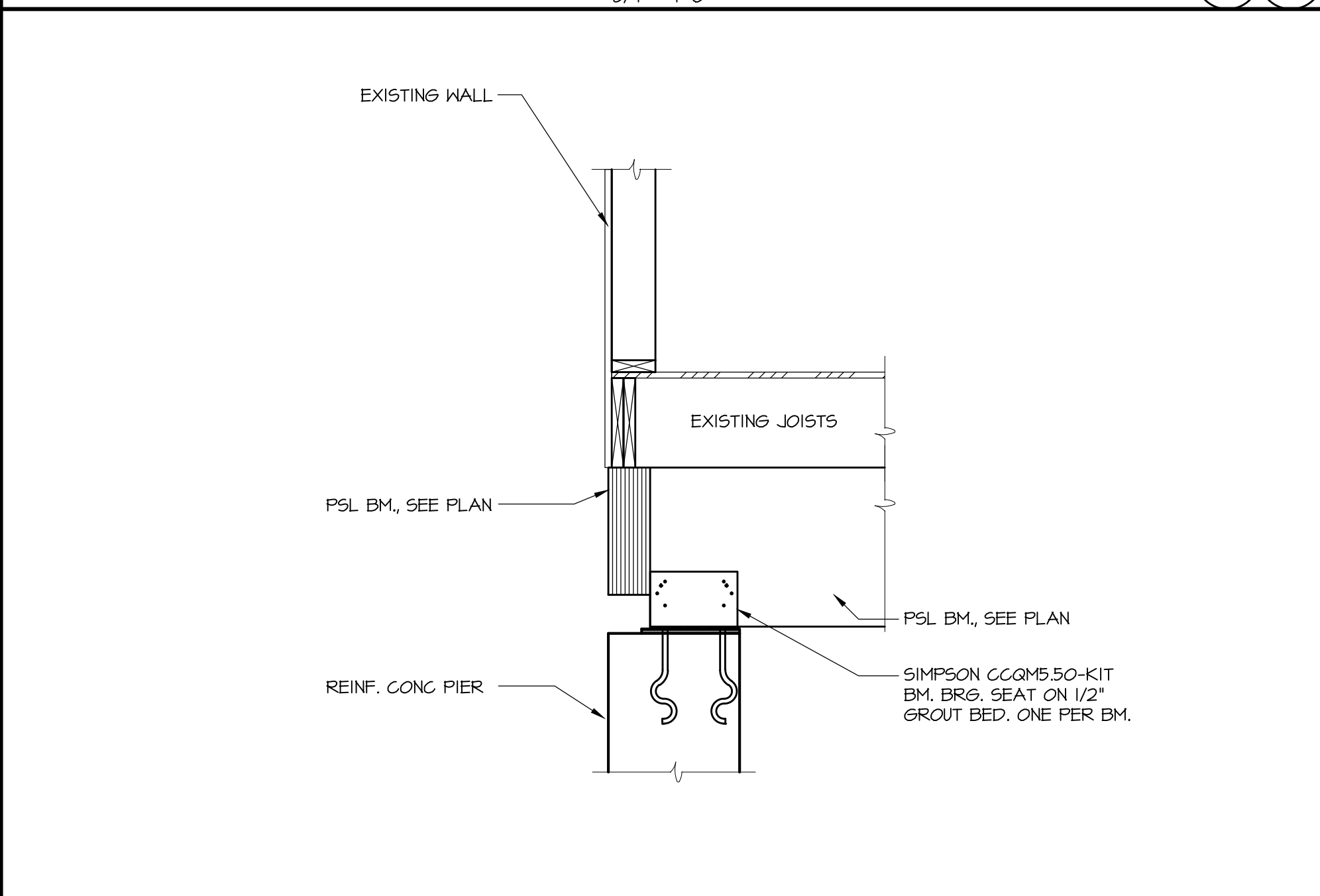
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3/4" = 1'-0"

3
S-2.1



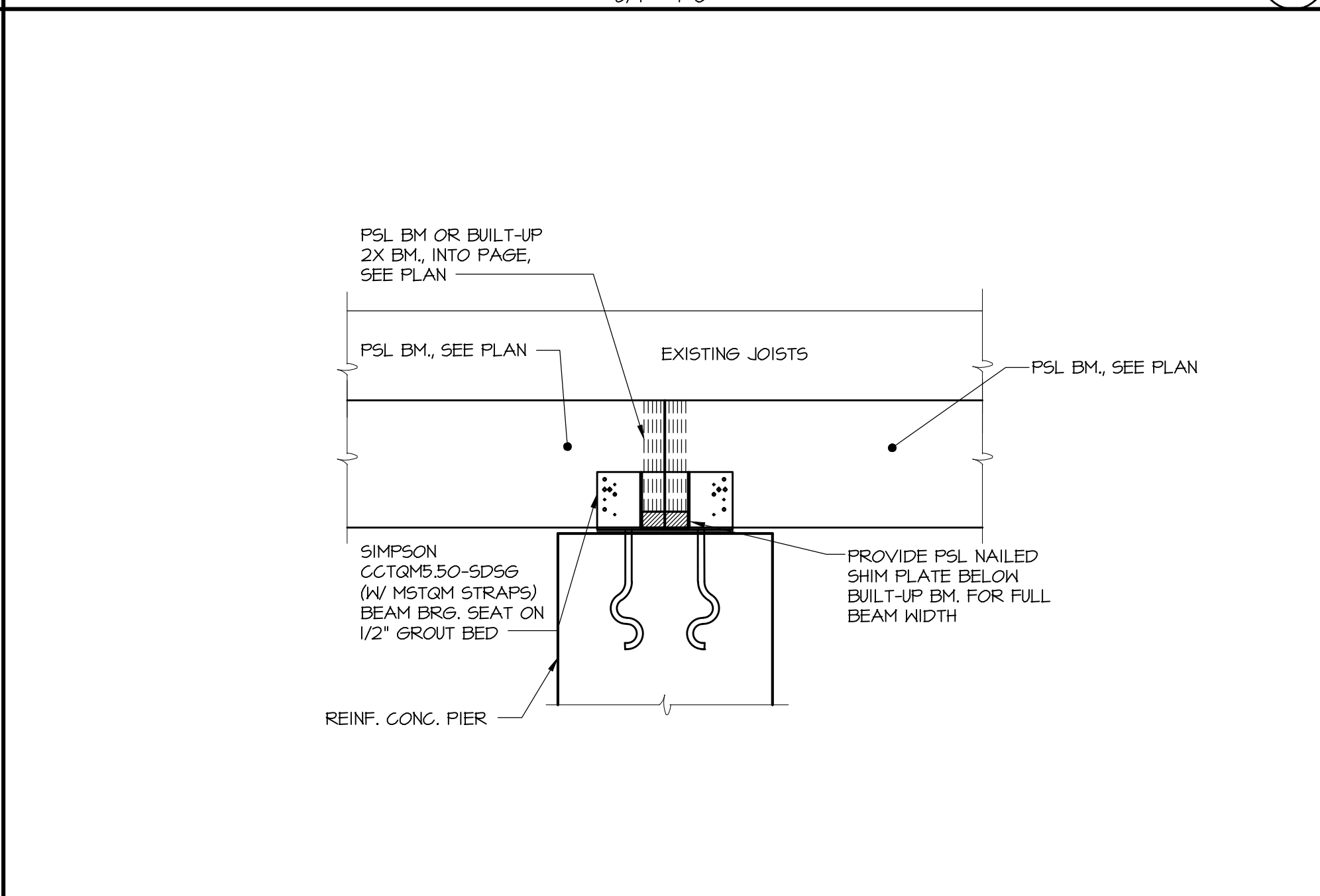
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3/4" = 1'-0"

4
S-2.1



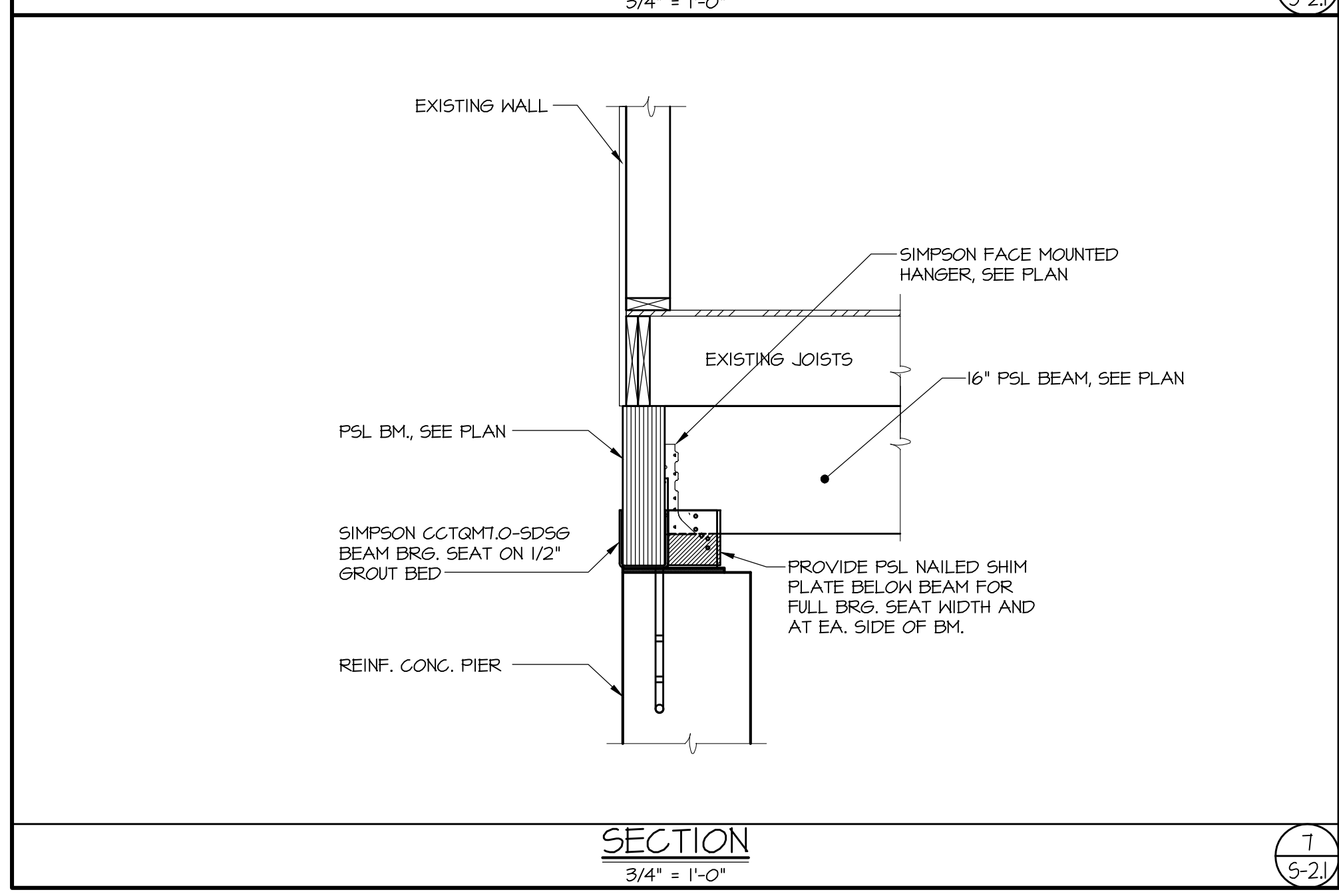
SECTION
3/4" = 1'-0"

5
S-2.1



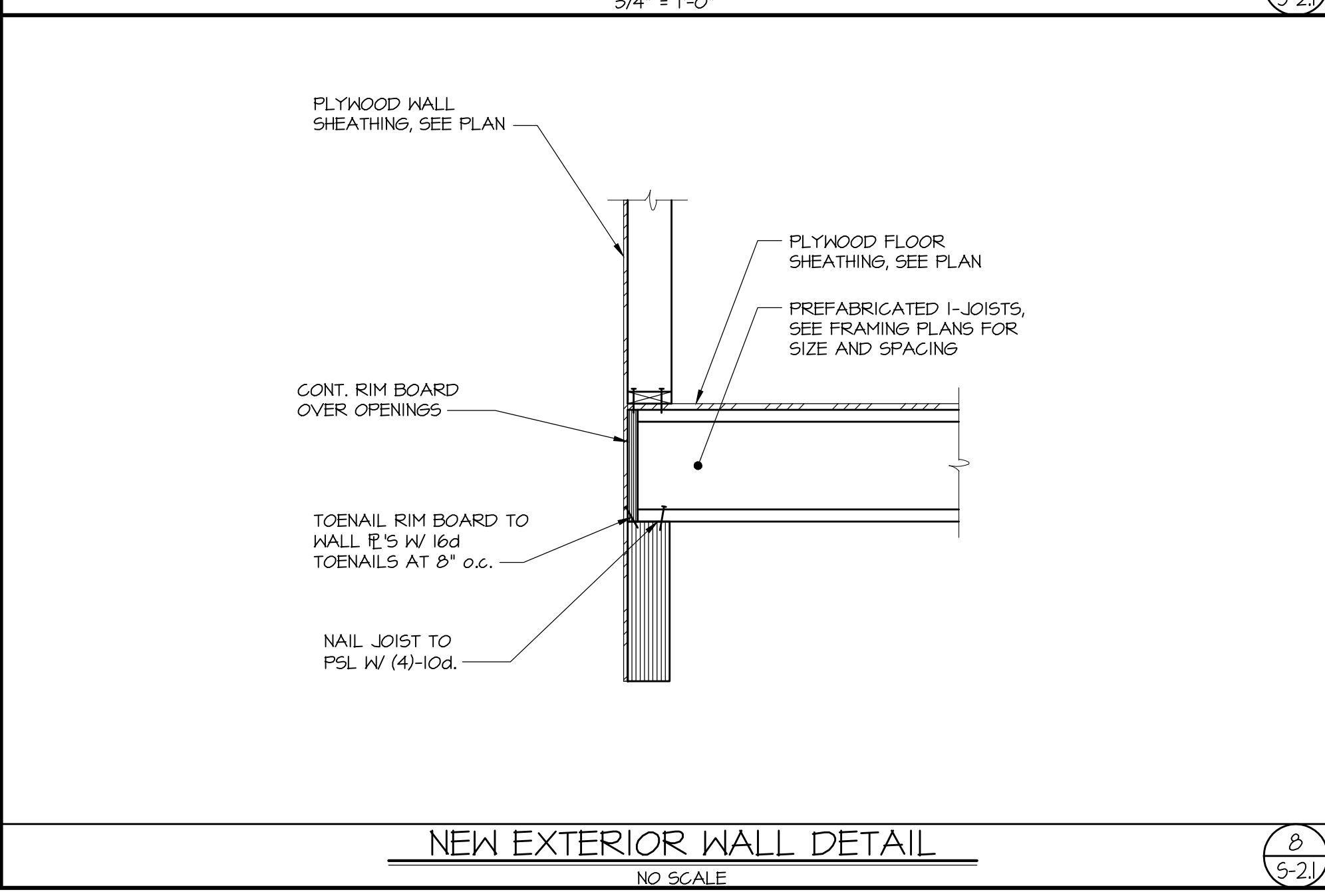
SECTION
3/4" = 1'-0"

6
S-2.1



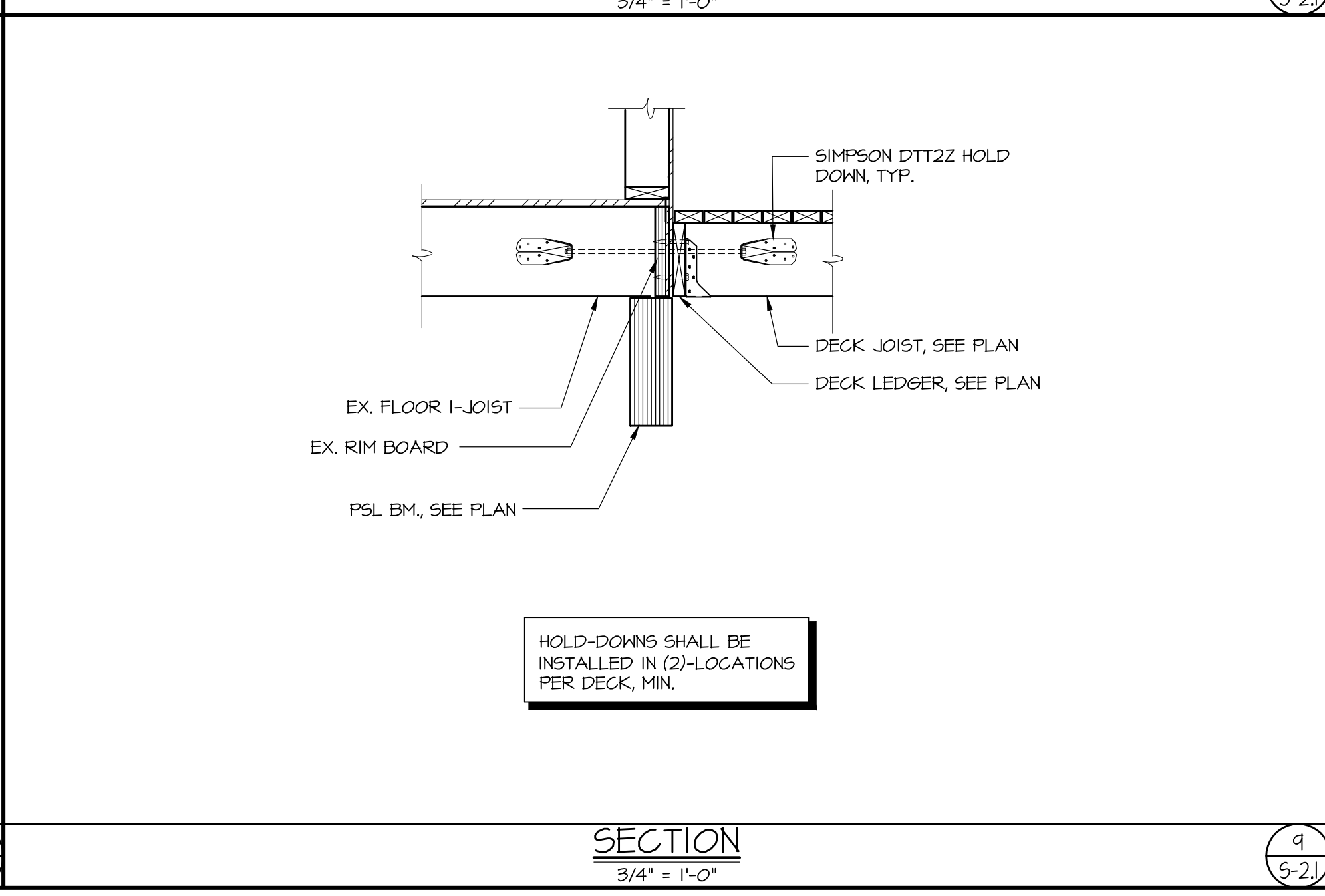
SECTION
3/4" = 1'-0"

7
S-2.1



NEW EXTERIOR WALL DETAIL
NO SCALE

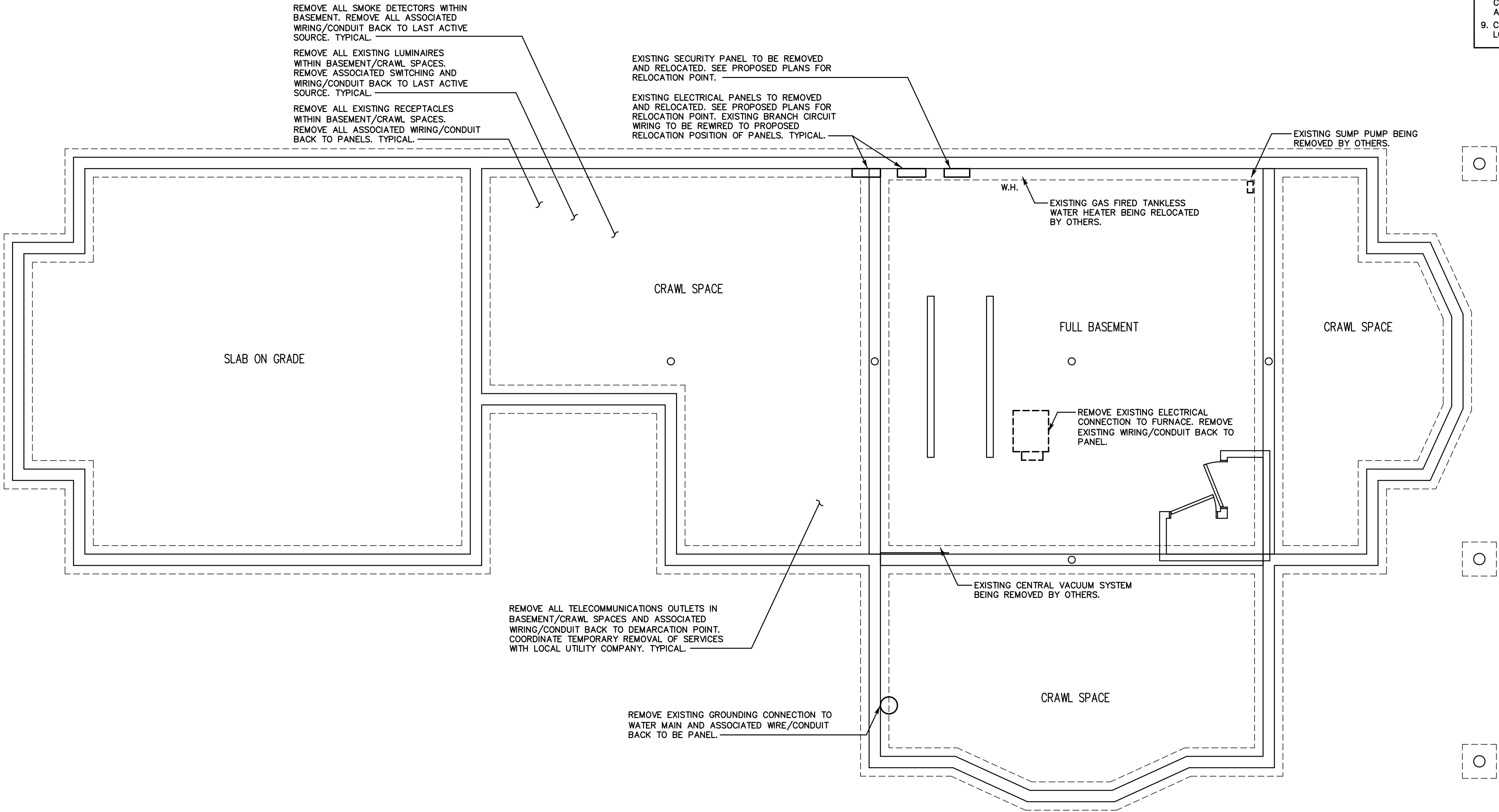
8
S-2.1



HOLD-DOWNS SHALL BE INSTALLED IN (2)-LOCATIONS PER DECK, MIN.

SECTION
3/4" = 1'-0"

9
S-2.1



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF DEMOLITION WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 2. REMOVE AND PROPERLY DISPOSE OF EQUIPMENT AND ASSOCIATED COMPONENTS/ACCESSORIES AS INDICATED ON DEMOLITION PLANS. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. TYPICAL.
 3. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING EQUIPMENT, PIPING, OR ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 4. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING ELECTRICAL CONNECTIONS, WIRING AND ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
 5. ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. COORDINATE WORK WITH ALL PROJECT DISCIPLINES AND EXISTING CONDITIONS. TYPICAL.
 6. DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDED IN AND RELATED TO THE PROJECT SCOPE OF WORK. TYPICAL.
 7. DO NOT DISTURB ANY SUSPECTED HAZARDOUS MATERIALS. NOTIFY OWNERS REPRESENTATIVE OR ANY SUSPECTED MATERIALS IMPEDING PERFORMANCE OF WORK. TYPICAL.
 8. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES. CONTRACTOR RESPONSIBLE FOR ALL FEES ASSOCIATED WITH ANY AND ALL UTILITY COMPANIES TO COMPLETE SCOPE OF WORK.
 9. CONTRACTOR SHALL VERIFY ALL EXISTING EQUIPMENT SIZES AND LOCATIONS IN FIELD AND PRIOR TO BIDDING.

BASEMENT ELECTRICAL DEMOLITION PLAN

SCALE: 1/4"=1'-0"

Revisions	Date
Bld Set	07.01.15

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APPLICANT No. 1034
51 BECKETT AVENUE
BRANFORD CT
ELECTRICAL DEMOLITION PLAN

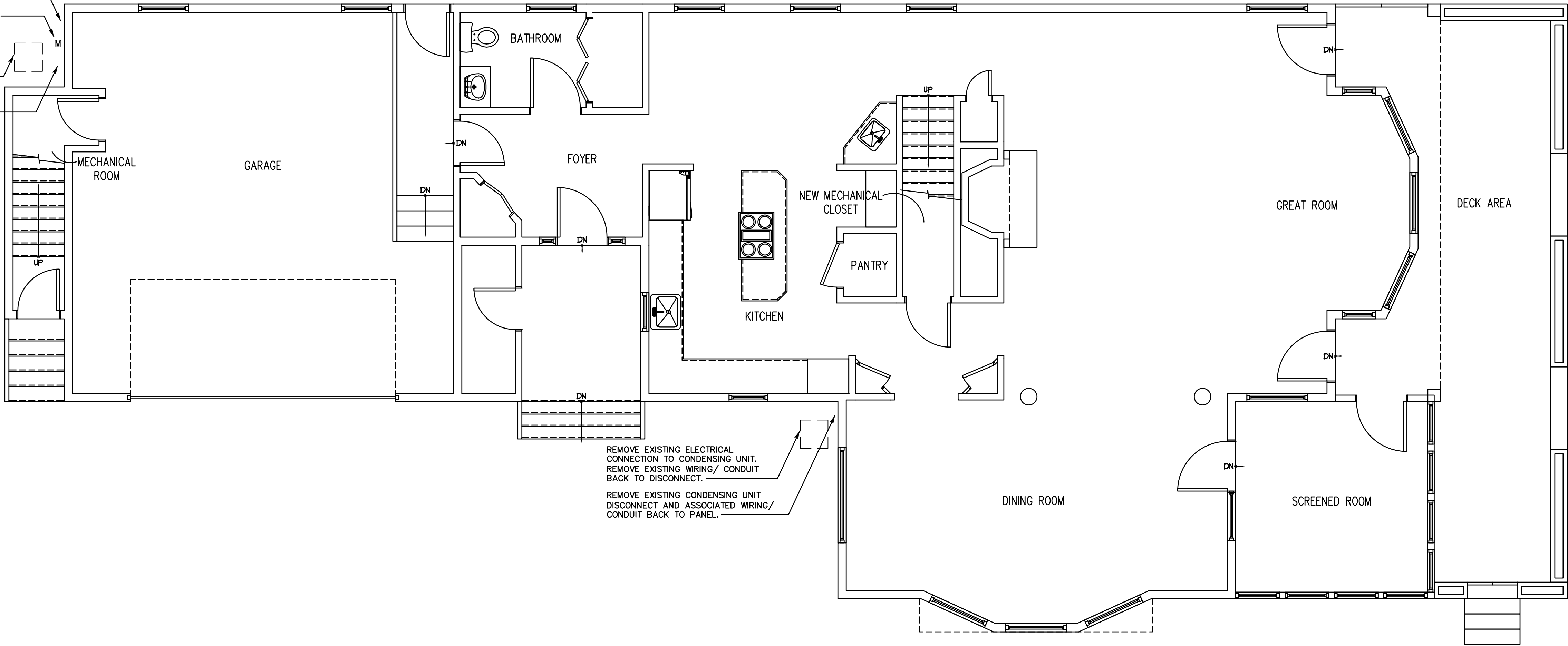
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EXISTING LOCAL COMMUNICATIONS COMPANY (TELEPHONE & CABLE TV) NETWORK INTERFACE EQUIPMENT AND ASSOCIATED WIRING TO BE TEMPORARILY REMOVED AND RELOCATED TO ALLOW FOR RAISING OF STRUCTURE. COORDINATE WITH LOCAL COMMUNICATIONS COMPANY AS REQUIRED. TYPICAL.

REMOVE EXISTING METER SOCKET. REMOVE EXISTING SERVICE CONDUCTORS FROM METER SOCKET TO SERVICE DROP. REMOVE PANEL FEEDER FROM METER SOCKET TO MAIN DISCONNECT AND FROM DISCONNECT TO MAIN ELECTRICAL PANEL.

REMOVE EXISTING ELECTRICAL CONNECTION TO CONDENSING UNIT. REMOVE EXISTING WIRING/ CONDUIT BACK TO DISCONNECT.

REMOVE EXISTING CONDENSING UNIT DISCONNECT AND ASSOCIATED WIRING/ CONDUIT BACK TO PANEL.



DEMOLITION NOTES:

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF DEMOLITION WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
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9. CONTRACTOR SHALL VERIFY ALL EXISTING EQUIPMENT SIZES AND LOCATIONS INFIELD AND PRIOR TO BIDDING.

Revisions	Date
Bld Set	07.01.15

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APPLICANT No. 1034

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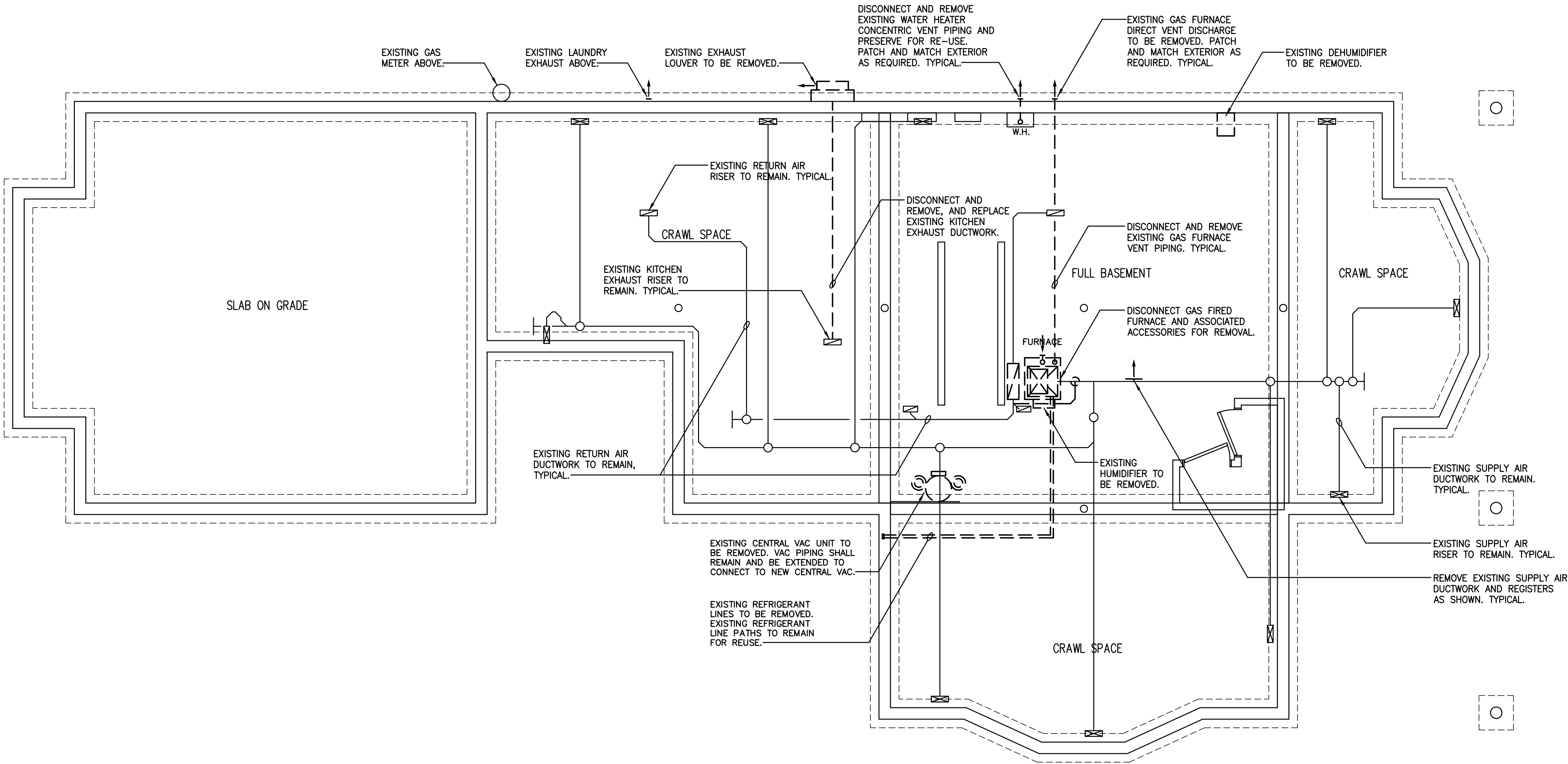
ELECTRICAL DEMOLITION PLANS

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JAS	Checked
03.25.15	Date
AS NOTED	Scale
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	Sheet

DE-2.0

MECHANICAL SYMBOL LIST	
	SUPPLY AIR DUCTWORK & EQUIP. TO REMAIN.
	RETURN & EXHAUST AIR DUCTWORK & EQUIP. TO REMAIN.
	DUCTWORK & EQUIP. TO BE DEMOLISHED.

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF DEMOLITION WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 2. REMOVE AND PROPERLY DISPOSE OF EQUIPMENT AND ASSOCIATED COMPONENTS/ACCESSORIES AS INDICATED ON DEMOLITION PLANS. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. TYPICAL.
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 6. CONTRACTOR SHALL VERIFY ALL EXISTING EQUIPMENT SIZES AND LOCATIONS INFIELD AND PRIOR TO BIDDING.
 7. ALL EXISTING DUCTWORK, REGISTERS, GRILLES, AND ASSOCIATED ACCESSORIES TO REMAIN IN PLACE AND BE REUSED UNLESS OTHERWISE NOTED. TYPICAL.
 8. COORDINATED EXISTING DUCTWORK BRANCHES TO REMAIN WITH THE PROPOSED TRUNK AND BRANCH DUCTWORK SHOWN ON M-1.0.
 9. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES. CONTRACTOR RESPONSIBLE FOR ALL FEES ASSOCIATED WITH ANY AND ALL UTILITY COMPANIES TO COMPLETE SCOPE OF WORK.



BASEMENT MECHANICAL DEMOLITION PLAN
SCALE: 1/4"=1'-0"

Revisions	Date
Bld Set	07.01.15

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APPLICANT No. 1034
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BRANFORD CT
MECHANICAL DEMOLITION PLAN

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03.25.15	Date
AS NOTED	Scale
	Job Number
	Sheet
DM-1.0	

MECHANICAL SYMBOL LIST	
	SUPPLY AIR DUCTWORK & EQUIP. TO REMAIN.
	RETURN & EXHAUST AIR DUCTWORK & EQUIP. TO REMAIN.
	DUCTWORK & EQUIP. TO BE DEMOLISHED.

- DEMOLITION NOTES:**
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Revisions	Date
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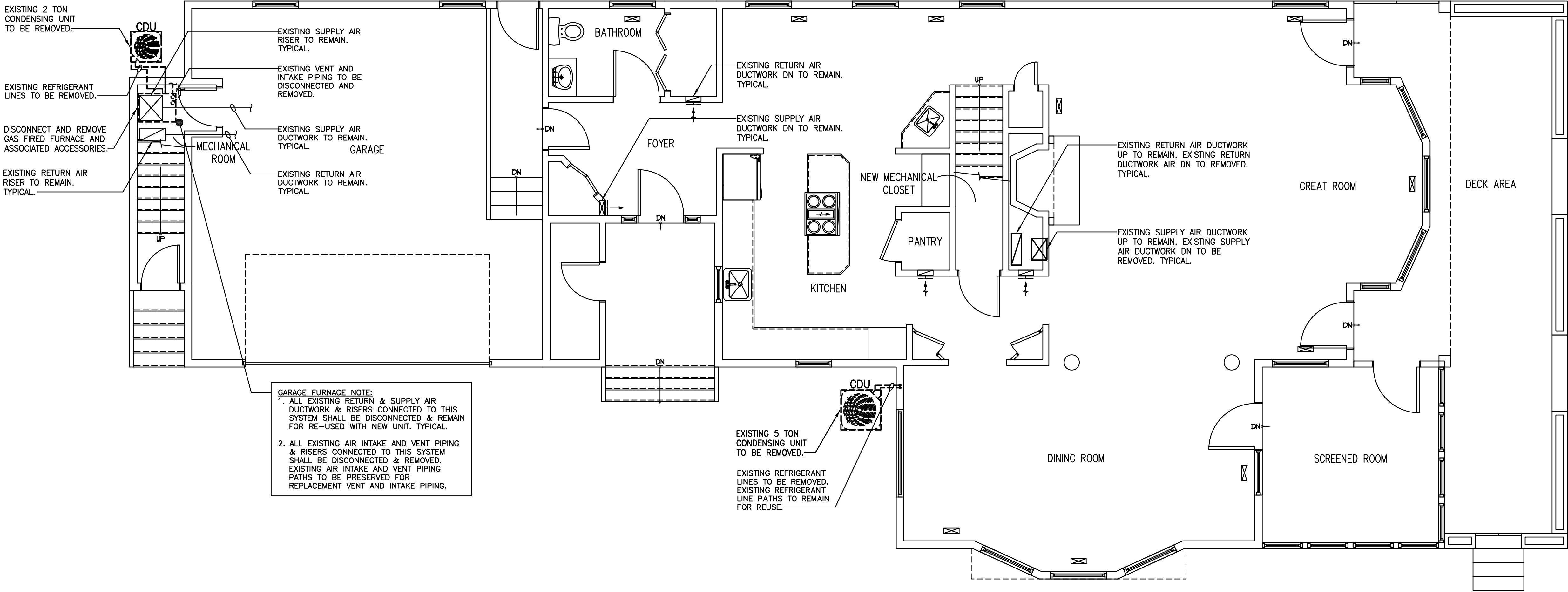
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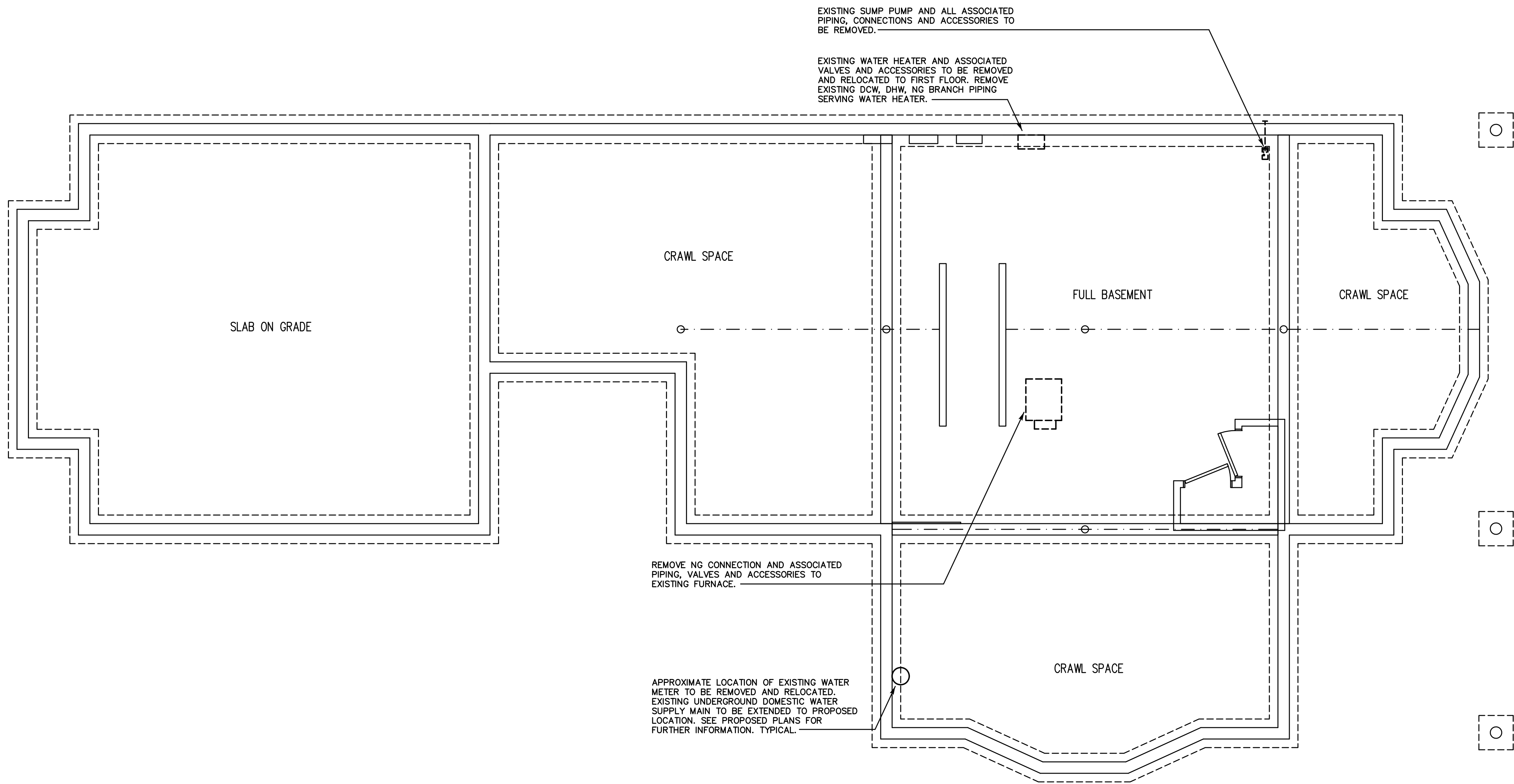
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BRANFORD CT
MECHANICAL DEMOLITION PLANS

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FIRST FLOOR MECHANICAL DEMOLITION PLAN
SCALE: 1/4"=1'-0"



- PLUMBING DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF DEMOLITION WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 2. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
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 4. DO NOT DAMAGE EXISTING EQUIPMENT AND/OR SYSTEMS NOT BEING REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING EQUIPMENT AND/OR SYSTEMS NOT BEING REMOVED.
 5. DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDED IN AND RELATED TO THE PROJECT SCOPE OF WORK. TYPICAL.

PIPING NOTE:
EXISTING HORIZONTAL PIPING AND FIXTURE BRANCH CONNECTIONS SERVING FIRST AND SECOND FLOOR FIXTURES/EQUIPMENT, SHALL BE RAISED WITH BUILDING, INCLUDING SAN, DCW & DHW. ALL EXISTING RISERS AND MAINS TO REMAIN AND BE EXTENDED/RECONNECTED.

WATER METER NOTE:
EXISTING WATER METER AND ASSOCIATED VALVES, FITTINGS, APPURTENANCES AND ACCESSORIES TO BE REMOVED AND RELOCATED/RECONNECTED WITH BUILDING ABOVE FLOOD PLAIN LEVEL. EXISTING UNDERGROUND DOMESTIC WATER SUPPLY MAIN TO BE EXTENDED TO PROPOSED LOCATION.

SANITARY NOTE:
EXISTING SANITARY BELOW FLOOR TO BE RAISED WITH STRUCTURE. ALL EXISTING RISERS TO REMAIN AND BE EXTENDED TO EXISTING BELOW GRADE SANITARY SEWER DRAIN. EXISTING CLEANOUTS TO BE EXTENDED TO ACCESSIBLE ABOVE GRADE LEVEL.

BASEMENT PLUMBING DEMOLITION PLAN

SCALE: 1/4"=1'-0"

Revisions	Date
Bld Set	07.01.15

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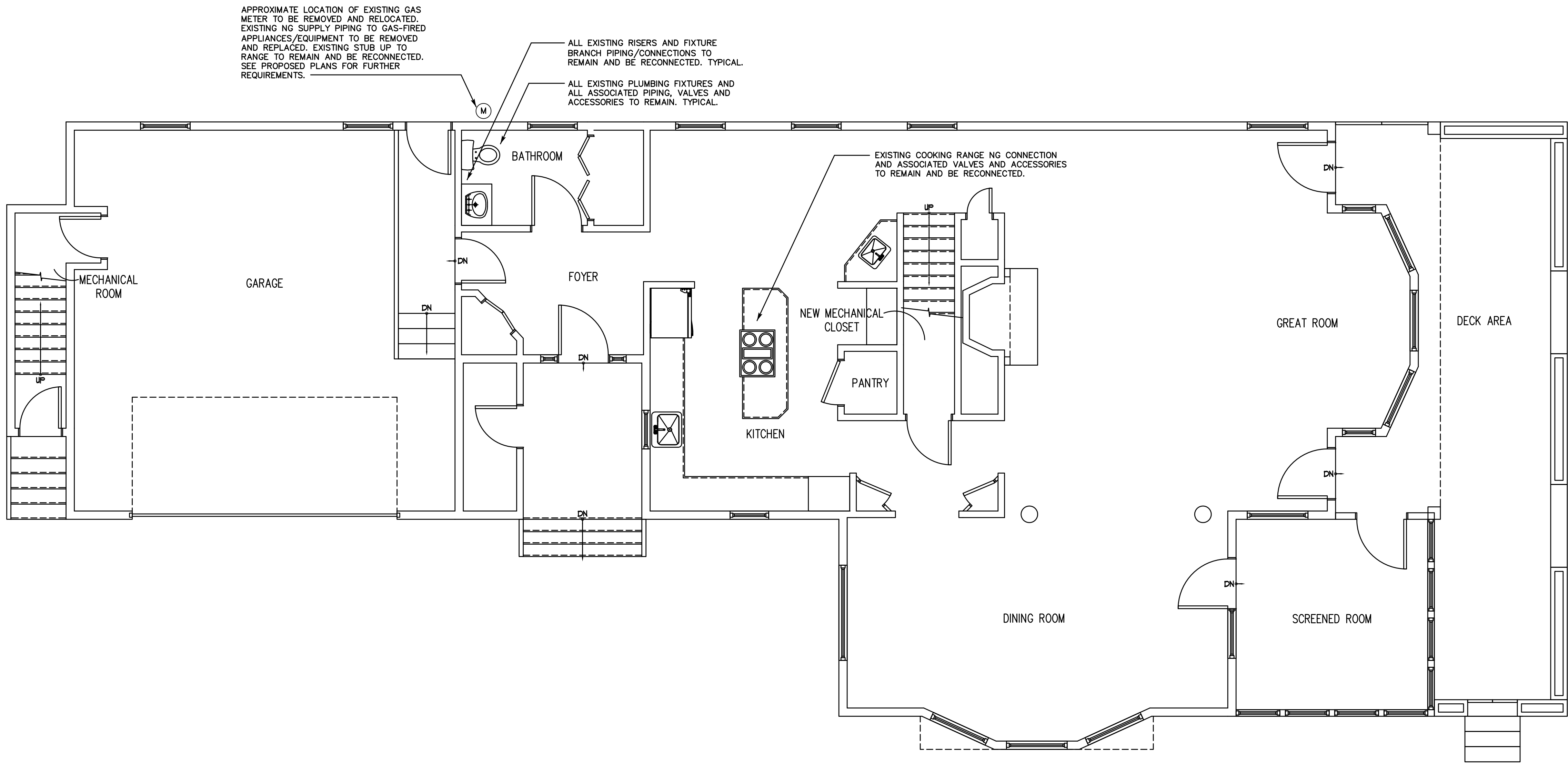
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203 661 0661

APPLICANT No. 1034

51 BECKETT AVENUE
BRANFORD CT

PLUMBING DEMOLITION PLAN

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JAS	Checked
03.25.15	Date
AS NOTED	Scale
	Job Number
	Sheet
DP-1.0	



- PLUMBING DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF DEMOLITION WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 2. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
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PIPING NOTE:
EXISTING HORIZONTAL PIPING AND FIXTURE BRANCH CONNECTIONS SERVING FIRST AND SECOND FLOOR FIXTURES/EQUIPMENT, SHALL BE RAISED WITH BUILDING, INCLUDING SAN, DCW & DHW. ALL EXISTING RISERS AND MAINS TO REMAIN AND BE EXTENDED/RECONNECTED.

WATER METER NOTE:
EXISTING WATER METER AND ASSOCIATED VALVES, FITTINGS, APPURTENANCES AND ACCESSORIES TO BE REMOVED AND RELOCATED/RECONNECTED WITH BUILDING ABOVE FLOOD PLAIN LEVEL. EXISTING UNDERGROUND DOMESTIC WATER SUPPLY MAIN TO BE EXTENDED TO PROPOSED LOCATION.

SANITARY NOTE:
EXISTING SANITARY BELOW FLOOR TO BE RAISED WITH STRUCTURE. ALL EXISTING RISERS TO REMAIN AND BE EXTENDED TO EXISTING BELOW GRADE. SANITARY SEWER DRAIN. EXISTING CLEANOUTS TO BE EXTENDED TO ACCESSIBLE ABOVE GRADE LEVEL.

FIRST FLOOR PLUMBING DEMOLITION PLAN

SCALE: 1/4"=1'-0"

Revisions	Date
Bld Set	07.01.15

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PLUMBING DEMOLITION PLAN

JB	Drawn
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	Sheet
DP-2.0	

REINSTALL EXISTING LOCAL COMMUNICATIONS COMPANY (TELEPHONE AND CABLE TV) NETWORK INTERFACE EQUIPMENT AND ASSOCIATED WIRING. EXTEND/REPLACE EXISTING WIRING AS REQUIRED FOR RECONNECTIONS. COORDINATE WITH LOCAL COMMUNICATIONS COMPANY AS REQUIRED. TYPICAL.

PROVIDE ELECTRICAL CONNECTION FOR CONDENSING UNIT CDU-1. PROVIDE 30A, 1PH NEMA 3R LOCAL DISCONNECT SWITCH. CONNECT TO SUB-PANEL CIRCUIT #1/3. PROVIDE 30A/2P CIRCUIT BREAKER FOR PANEL. PROVIDE 1/2" C, 3-#10 AWG.

PROVIDE MILBANK #U5140-RXL-200-BL COMBINATION METER SOCKET/MAIN DISCONNECT. PROVIDE 200A/2P MAIN CIRCUIT BREAKER. MOUNT WITH CENTER OF METER SOCKET AT FIVE (5) FEET ABOVE FINISHED LANDING. PROVIDE SLIP JOINT AND 3" UNDERGROUND CONDUIT WITH PULL STRING FROM COMBINATION METER SOCKET/MAIN DISCONNECT TO UTILITY POLE. PROVIDE CONDUIT UP UTILITY POLE TO HEIGHT REQUIRED BY LOCAL UTILITY COMPANY. INSTALL UNDERGROUND CONDUIT AND WARNING TAPE AT DEPTHS REQUIRED BY LOCAL UTILITY COMPANY AND NEC. PROVIDE 3-#2/0 AWG COPPER SERVICE LATERAL CONDUCTORS FROM UTILITY POLE TO METER SOCKET. INSTALL PER LOCAL UTILITY COMPANY AND NEC REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL UTILITY COMPANY. PROVIDE 5/8"x10' GROUND RODS. INSTALL PER NEC. PROVIDE 3/4" C, 1-#4 AWG COPPER GROUNDING ELECTRODE CONDUCTORS FROM MAIN SERVICE DISCONNECT TO PROPOSED GROUND RODS AND TO MAIN COPPER WATER PIPE PER NEC.

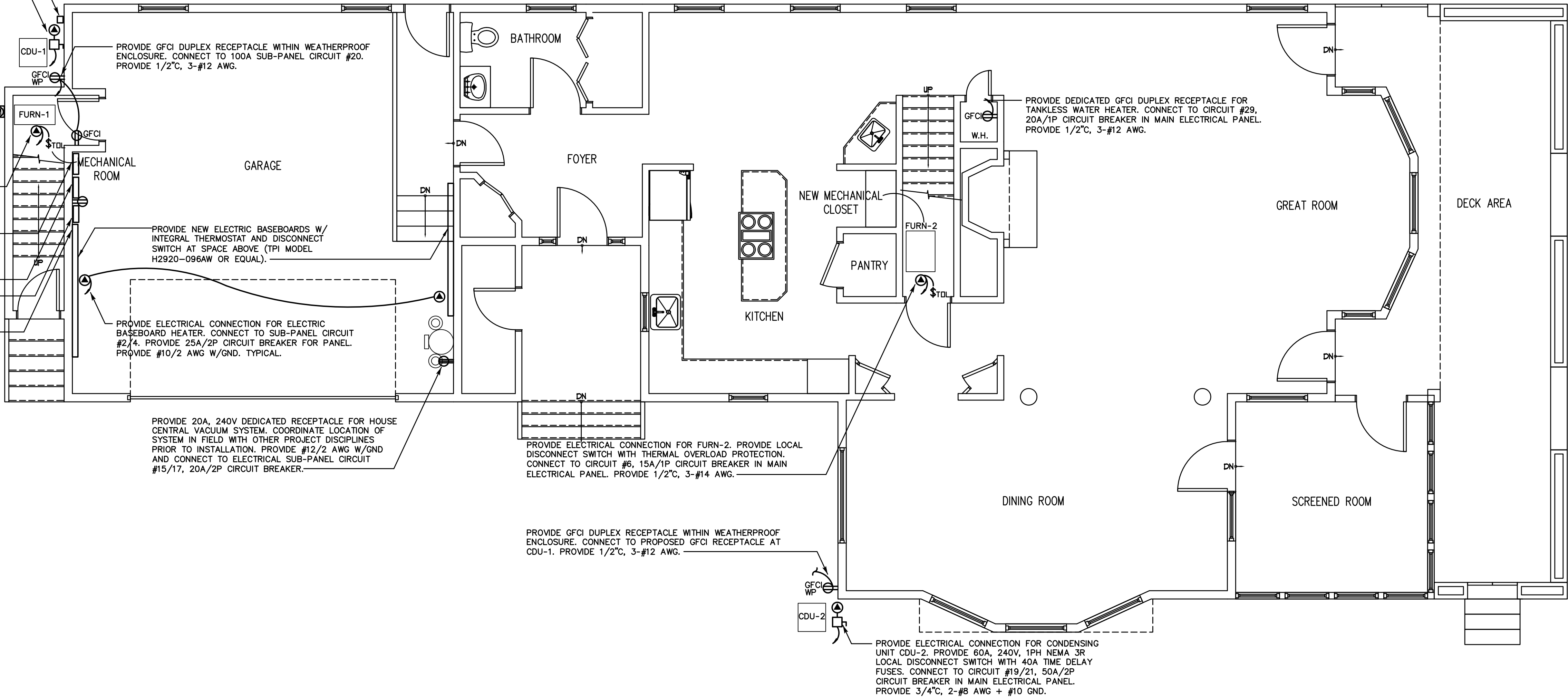
PROVIDE ELECTRICAL CONNECTION FOR FURN-1. PROVIDE LOCAL DISCONNECT SWITCH WITH THERMAL OVERLOAD PROTECTION. CONNECT TO CIRCUIT #26, 15A/1P CIRCUIT BREAKER IN MAIN ELECTRICAL PANEL. PROVIDE #14/2 AWG W/GND.

PROPOSED RELOCATION POSITION OF EXISTING 200A MAIN ELECTRICAL PANEL. PROVIDE 1-1/2" C, 3-#2/0 AWG + #6 GND COPPER CONDUCTORS FROM MAIN ELECTRICAL PANEL TO PROPOSED COMBINATION METER SOCKET/MAIN SERVICE DISCONNECT CIRCUIT BREAKER.

PROPOSED RELOCATION POSITION OF EXISTING 100A SUB-PANEL. PROVIDE 1-1/4" C, 3-#3 AWG + #8 GND COPPER CONDUCTORS FROM MAIN ELECTRICAL PANEL TO SUB-PANEL. CONNECT TO EXISTING 100A/2P CIRCUIT BREAKER IN MAIN ELECTRICAL PANEL.

PROPOSED RELOCATION POSITION OF EXISTING SECURITY PANEL.

PROVIDE DEDICATED DUPLEX RECEPTACLE FOR SECURITY PANEL. CONNECT TO MAIN ELECTRICAL PANEL CIRCUIT #2 20A/1P CIRCUIT BREAKER. PROVIDE #12/2 AWG W/GND.



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

HEAT TRACE NOTES:

1. CONTRACTOR SHALL PROVIDE 3 WATTS PER FOOT, LOW TEMP., SELF REGULATING HEAT TRACE (THERMOSTATICALLY CONTROLLED) FOR EXPOSED EXTERIOR COPPER DOMESTIC WATER SERVICE PIPING. COORDINATE LENGTH REQUIRED WITH PLUMBING CONTRACTOR. EMERSON FREEZE FREE WITH EH38 THERMOSTAT CONTROL.
2. CONTRACTOR SHALL PROVIDE 5 WATTS PER FOOT, IN-LINE HEAT TRACE WITH THERMOSTAT FOR EXPOSED EXTERIOR PE TYPE DOMESTIC WATER SERVICE PIPING WITH PIPE SIZES OF 1" AND 1-1/4". ALL OTHER SIZES PROVIDE HEAT TRACE PER NOTES #1 ABOVE. COORDINATE LENGTH REQUIRED WITH PLUMBING CONTRACTOR. EMERSON EASY HEAT WITH SL2G CONTROL.
3. PROVIDE ELECTRICAL CONNECTION AND INSTALL PER NEC AND MANUFACTURERS REQUIREMENTS. CONNECT TO MAIN ELECTRICAL PANEL CIRCUIT #16. PROVIDE 3-#14 AWG WITHIN CONDUIT.

ELECTRICAL PANEL NOTES:

1. CONTRACTOR SHALL REMOVE EXISTING CIRCUIT BREAKERS SERVING BEDROOM CIRCUITS (INCLUSIVE OF RECEPTACLES, LIGHTING AND FIRE ALARM) AND PROVIDE AFCI CIRCUIT BREAKERS. FIELD VERIFY QUANTITIES AND RATINGS REQUIRED.

ELECTRICAL NOTES:

1. THE CONTRACTOR(S) SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING, NOTING EXISTING CONDITIONS AND EQUIPMENT. IF SAID IS NOT BEING REMOVED AS PART OF PROJECT OR IS NOTED AS EXISTING TO REMAIN AND IMPENDS PROVIDING PROPOSED EQUIPMENT AND/OR PROVIDING PROPOSED SCOPE OF WORK, EQUIPMENT SHALL BE TEMPORARY RELOCATED AND COMPLETELY REINSTALLED AFTER PROPOSED SCOPE OF WORK IS COMPLETED. THIS SHALL BE PART OF BASE BID AND CONTRACTOR'S SHALL BID ACCORDINGLY, NO ADDITIONAL COMPENSATION WILL BE CONSIDERED FOR RELATED WORK OF COORDINATION WITH EXISTING CONDITIONS.
2. REMOVE AND PROPERLY DISPOSE OF EQUIPMENT AND ASSOCIATED COMPONENTS/ACCESSORIES AS INDICATED ON DEMOLITION PLANS. PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. TYPICAL.
3. CONTRACTOR SHALL NOT DAMAGE ANY EXISTING EQUIPMENT, PIPING, OR ASSOCIATED ACCESSORIES WHICH ARE TO REMAIN. ANY SUCH ITEMS DAMAGED SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. TYPICAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
5. DO NOT DISTURB ANY SUSPECTED HAZARDOUS MATERIALS. NOTIFY OWNERS REPRESENTATIVE OF ANY SUSPECTED MATERIALS IMPEDING PERFORMANCE OF WORK. TYPICAL.
6. ALL DEMOLITION WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. COORDINATE WORK WITH ALL PROJECT DISCIPLINES AND EXISTING CONDITIONS. TYPICAL.

WIRING DEVICE NOTES:

1. CONTRACTOR SHALL COORDINATE RECEPTACLE AND SWITCH COLORS WITH ARCHITECT PRIOR TO ORDERING AND INSTALLATION. PROVIDE MATCHING COVER PLATE. TYPICAL.
2. CONTRACTOR SHALL PROVIDE RED EMERGENCY SWITCH COVER PLATE WITH ON /OFF DIRECTION FOR FURNACE AND HOT WATER HEATER CIRCUITS.

EXISTING CIRCUITS NOTES:

1. CONTRACTOR SHALL EXTEND EXISTING BRANCH CIRCUITS TO PROPOSED ELECTRICAL PANELS RELOCATION POSITIONS PER NEC.
2. UNDERSIDE OF FIRST FLOOR SHALL BE SPRAYED WITH FOAM INSULATION. ALL JUNCTION BOXES SHALL BE INSTALLED SUCH THAT THEY ARE ACCESSIBLE ONCE SPRAY FOAM INSULATION IS INSTALLED.
3. WHERE JUNCTION BOXES WILL NO BE ACCESSIBLE ONCE SPRAY FOAM NSULATION IS INSTALLED, CONTRACTOR SHALL REMOVE WIRING/CONDUIT TO NEXT ACCESSIBLE POINT/BOX AND PROVIDE AN ENTIRE SECTION OF WIRING/CONDUIT WITHOUT JUNCTION/SPLICE BOXES FROM ACCESSIBLE POINT/BOX BACK TO ELECTRICAL PANELS.
4. ALL JUNCTION/SPLICE BOXES IN CRAWLSPACES SHALL BE NEMA 3R WEATHERPROOF. SIZED PER NEC.
5. ALL NON-METALLIC SHEATHED CABLE LOCATED IN CRAWL SPACE SHALL BE ROUTED WITHIN CONDUIT PER NEC REQUIREMENTS.
6. ALL SERVICE ENTRANCE CABLE SHALL BE INSTALLED WITHIN CONDUIT PER NEC REQUIREMENTS.

WIRING NOTES:

1. ALL WIRING SHALL BE COPPER THHN/THWN WITH EXCEPTION OF SERVICE ENTRANCE CONDUCTORS. SERVICE LATERALS SHALL BE COPPER.
2. CONTRACTOR MAY UTILIZE ALUMINUM WIRING FOR SERVICE ENTRANCE CONDUCTORS ONLY. SERVICE LATERALS SHALL BE COPPER.
3. ALL WIRING SHALL BE CONCEALED BEHIND WALL/CEILING SURFACES IN ALL FINISHED AREAS.

ELECTRICAL GENERAL NOTES

1. UNLESS OTHERWISE INDICATED, PROVIDE A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM INCLUDING ALL NECESSARY MATERIAL, LABOR AND EQUIPMENT.
2. ELECTRICAL PLANS AND DETAILS AND ONE LINE DIAGRAMS SHOW THE GENERAL LOCATION AND ARRANGEMENT OF THE ELECTRICAL SYSTEM. THEY ARE DIAGRAMMATIC AND DO NOT SHOW ALL CONDUIT BODIES, CONNECTORS, BENDS, FITTINGS, HANGERS AND ADDITIONAL PULL AND JUNCTION BOXES REQUIRED FOR INSTALLATION.
3. ALL EQUIPMENT AND MATERIAL SHALL BE LABELED, LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING.
4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
5. ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2011 NATIONAL ELECTRIC CODE (NEC) ANSI/NFPA 70, NFPA 72, NFPA 101.
7. THE TERM "INDICATED" SHALL MEAN "AS SHOWN ON CONTRACT DOCUMENTS (SPECIFICATIONS, DRAWINGS AND RELATED ATTACHMENTS)".
8. THE TERM "PROVIDE" SHALL MEAN "TO FURNISH, INSTALL AND CONNECT COMPLETELY".
9. THE TERM "SIZE" SHALL MEAN ONE OR MORE OF THE FOLLOWING: "LENGTH, CURRENT AND VOLTAGE RATING, NUMBER OF POLES, NEMA SIZE AND OTHER SIMILAR ELECTRICAL CHARACTERISTICS".
10. ELECTRICAL PLANS AND DETAILS DO NOT SHOW ALL INTERFERENCES AND CONDITIONS, VISIBLE AND/OR HIDDEN, THAT MAY EXIST; THUS REQUIRING THE CONTRACTOR TO INSPECT AND SURVEY THE SPACE BEFORE PERFORMING THE WORK.
11. BEFORE SELECTING MATERIAL AND EQUIPMENT, AND PROCEEDING WITH WORK, INSPECT AREAS WHERE MATERIAL AND EQUIPMENT ARE TO BE INSTALLED TO INSURE SUITABILITY, AND CHECK NEEDED SPACE FOR PLACEMENT, CLEARANCES AND INTERCONNECTIONS.
12. BEFORE CUTTING OR DRILLING INTO BUILDING ELEMENTS, INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
13. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LOCAL UTILITY COMPANIES CHARGES FOR DISCONNECTION AND RECONNECTION OF SERVICES.

Revisions	Date
Bid Set	07.01.15

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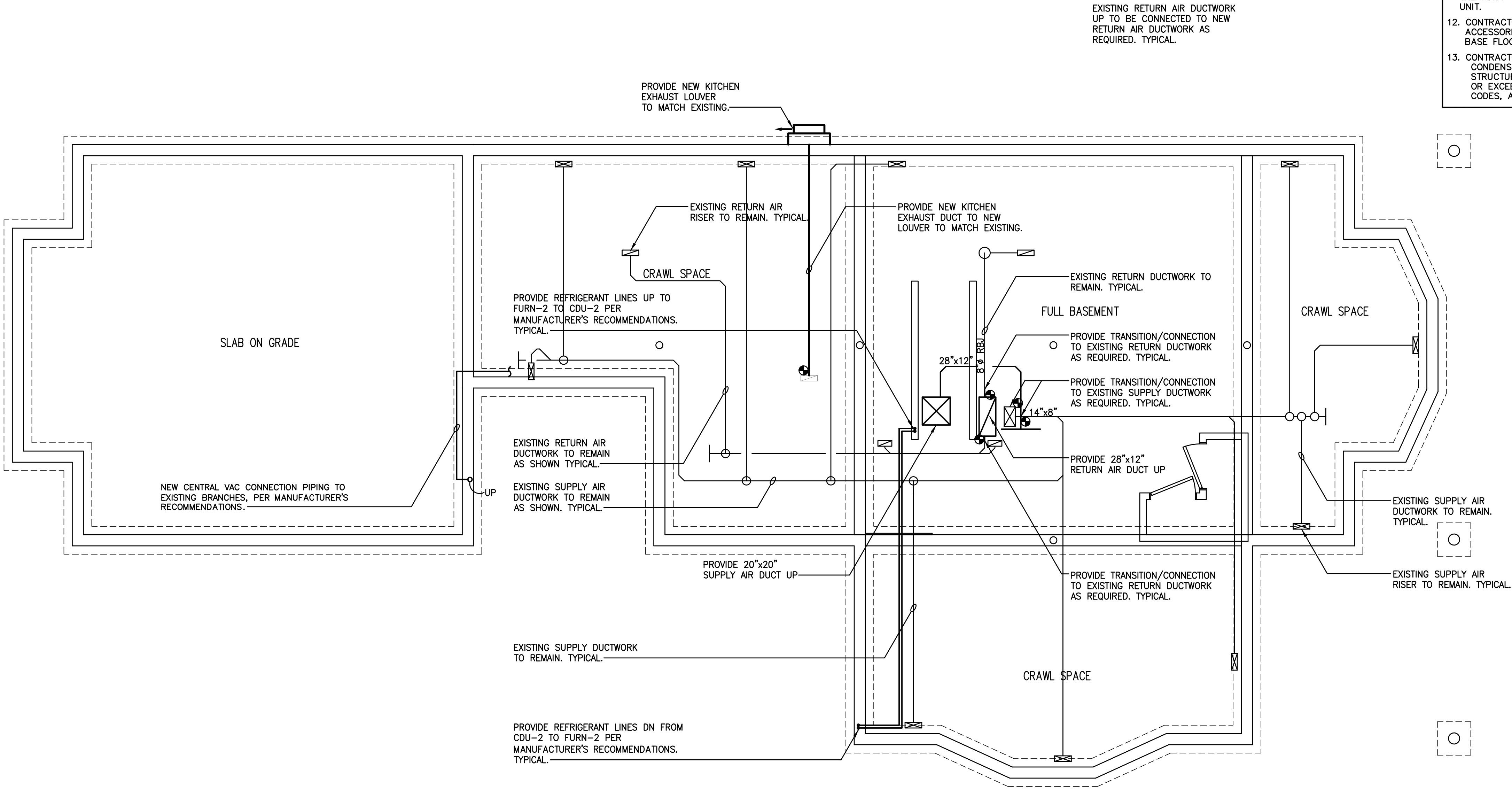
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APPLICANT No. 1034
51 BECKETT AVENUE
BRANFORD CT
ELECTRICAL PLAN

JB	Drawn
JAS	Checked
03.25.15	Date
AS NOTED	Scale
	Job Number
	Sheet
E-1.0	

MECHANICAL SYMBOL LIST	
	NEW SUPPLY AIR DUCTWORK & EQUIP.
	NEW RETURN AIR DUCTWORK & EQUIP.
	NEW EXHAUST AIR DUCTWORK & EQUIP.
	TRANSITION/CONNECTION TO EXISTING DUCTWORK.

- GENERAL PROPOSED MECHANICAL NOTES:**
1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
 3. ALL WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. TYPICAL.
 4. CONTRACTOR TO PROVIDE FIRE DAMPERS IF REQUIRED, COORDINATE WITH ARCHITECTURAL CODE SHEET.
 5. CONTRACTOR TO SEAL ALL PENETRATIONS OF THE AIR DISTRIBUTION SYSTEM TO REDUCE LEAKAGE PER HUD CPD GREEN BUILDING RETROFIT CHECKLIST.
 6. CONTRACTOR TO MAINTAIN A MINIMUM 10'-0" DISTANCE BETWEEN ANY AIR INTAKE AND THE GAS METER.
 7. CONTRACTOR TO MAINTAIN MANUFACTURER'S RECOMMENDED DISTANCE BETWEEN DIRECT VENTS.
 8. CONTRACTOR TO MAINTAIN A MINIMUM 10'-0" DISTANCE BETWEEN ANY AIR INTAKE AND BATHROOM EXHAUST.
 9. ALL DUCTWORK BELOW FIRST FLOOR ASSEMBLY TO BE INSULATED SIMILAR TO FLOOR ASSEMBLY.
 10. ALL DUCTWORK BELOW JOISTS OF FIRST FLOOR ASSEMBLY TO BE ENCLOSED WITH 2" OF INSULATION WRAP WITH WATERPROOF BARRIER, INSTALLED PER LOCAL CODE REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS.
 11. CONTRACTOR TO PROVIDE A MIN. OF 1" INSULATION WRAP ON THE FIRST 10'-0" OF SUPPLY AND RETURN DUCTWORK FROM THE UNIT.
 12. CONTRACTOR TO MAINTAIN THAT ALL DUCTWORK AND DUCTWORK ACCESSORIES BE INSTALLED AT MIN. 1'-0" ABOVE THE 500 YEAR BASE FLOOD ELEVATION, PER LOCAL CODE REQUIREMENTS.
 13. CONTRACTOR TO PROVIDE A MOUNTING PLATFORM FOR THE CONDENSING UNITS IN COORDINATION WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS AND DETAILS. PLATFORM SHALL MEET OR EXCEED MANUFACTURER'S RECOMMENDATIONS, APPLICABLE CODES, AND STANDARDS. TYPICAL.



BASEMENT MECHANICAL PLAN

SCALE: 1/4"=1'-0"

Revisions	Date
Bld Set	07.01.15

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APPLICANT No. 1034

51 BECKETT AVENUE
BRANFORD CT

MECHANICAL PLAN

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CONDENSING UNIT SCHEDULE		
UNIT NO.	CDU-1	CDU-2
SERVICE	FURN-1 DX COOLING COIL	FURN-2 DX COOLING COIL
LOCATION	OUTSIDE OF GARAGE	OUTSIDE OF MAIN BLDG.
COOLING TONS	2.5	5
NO. MOTOR	1	1
SEER	13.0	13.0
MCA	16.8	16.8
ELECTRICAL CHARA. (V/PH/Hz)	230/1/60	230/1/60
APPROXIMATE WEIGHT	120 LBS	210 LBS
DESIGN BASED MODEL	113AN10300NO	113AN10600NO
DESIGN BASED MANUFACTURER	BRYANT	BRYANT
NOTES: 1. SEE MANUFACTURER'S SPECIFICATIONS FOR FURTHER REQUIREMENTS. TYPICAL. 2. PROVIDE THE FOLLOWING ACCESSORIES: A. E-COATED COIL PROTECTION B. LOW AMBIENT CONTROLS C. LOUVERED HAIL GUARD D. POWERED CONVENIENCE OUTLET GFCI E. VIBRATION ISOLATORS WHERE APPLICABLE F. MOUNTING PAD WHERE APPLICABLE 3. PROVIDE CONNECTION TO PROPOSED SEVEN (7) DAY PROGRAMMABLE THERMOSTAT.		

GAS FIRED FURNACE SCHEDULE		
UNIT NO.	FURN-1	FURN-2
LOCATION	ABOVE GARAGE	ATTIC
SUPPLY CFM	965	1,960
PRESSURE (ESP.)	1/2"	1/2"
NOMINAL HEATING CAP. (MBH)	37	93
FUEL	NATURAL GAS	NATURAL GAS
MOTOR HP/WATTS	1/3	3/4
MOTOR FLA	4.6	8.2
FILTER	YES	YES
ELECTRICAL CHARA. (V/PH/Hz)	115/1/60	115/1/60
APPROXIMATE WEIGHT	140 LBS	175 LBS
DESIGN BASED MODEL	912SB-30040	912SB-60080
DESIGN BASED MANUFACTURER	BRYANT	BRYANT
PROVIDE DX COOLING COIL (BY)	YES (BRYANT OR EQUAL)	YES (BRYANT OR EQUAL)
FLOW	UP	DOWN
DX COOLING COIL PRESSURE DROP	.15" WG	.15" WG
NOTES: 1. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS. TYPICAL. 2. PROVIDE THE FOLLOWING ACCESSORIES: A. PREPAINTED B. CONCENTRIC VENT KIT C. CONDENSATE DRAIN TRAP D. FURNACE BASE KIT E. MEDIA FILTER CABINET F. DOWNFLOW SUBBASE (FOR DOWN FLOW FURNACE ONLY) 3. PROVIDE CONNECTION TO PROPOSED SEVEN (7) DIGIT DAY PROGRAMMABLE THERMOSTAT. 4. PROVIDE REFRIGERATION LINE SET TO AND FROM CDU/AHU (AS REQUIRED). PROVIDE DUAL INSTRUCTIONS. PROVIDE MANUFACTURES RECOMMENDED ACCESSORIES AS REQUIRED. TYPICAL. CIRCUIT CONNECTION AT AHU. INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTALLATION 5. PROVIDE DX COOLING COIL AND CONFIRM THAT IT IS FULLY COMPATIBLE WITH ASSOCIATED CONDENSER.		

MECHANICAL SYMBOL LIST	
	NEW SUPPLY AIR DUCTWORK & EQUIP.
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	NEW EXHAUST AIR DUCTWORK & EQUIP.
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MECHANICAL ABBREVIATIONS	
AHU	AIR HANDLING UNIT
AMP	AMPERE
BTU	BRITISH THERMAL UNIT
BTUH	BRITISH THERMAL UNIT/HOUR
CFM	CUBIC FEET PER MINUTE
CDU	CONDENSING UNIT
EF	EXHAUST FAN
ESP	EXTERNAL STATIC PRESSURE
EXH	EXHAUST
HP	HORSEPOWER
HZ	HERTZ
IN	INCHES
IWG	INCHES IN WATER GAUGE
LBS	POUNDS
MBH	THOUSAND BTU/HOUR
MIN	MINIMUM
NG	NATURAL GAS
NTS	NOT TO SCALE
PH	PHASE
SP	STATIC PRESSURE
TEMP	TEMPERATURE
TONS	TONS OF REFRIGERATION
V	VOLTS
VD	VOLUME DAMPER

GENERAL MECHANICAL NOTES:

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
3. ALL WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. TYPICAL.
3. ROUTING OF ALL PIPING SHALL BE COORDINATED WITH STRUCTURAL FRAMING ELEMENTS AND ALL OTHER PROJECT DISCIPLINES. TYPICAL.

PROPOSED MECHANICAL NOTES:

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
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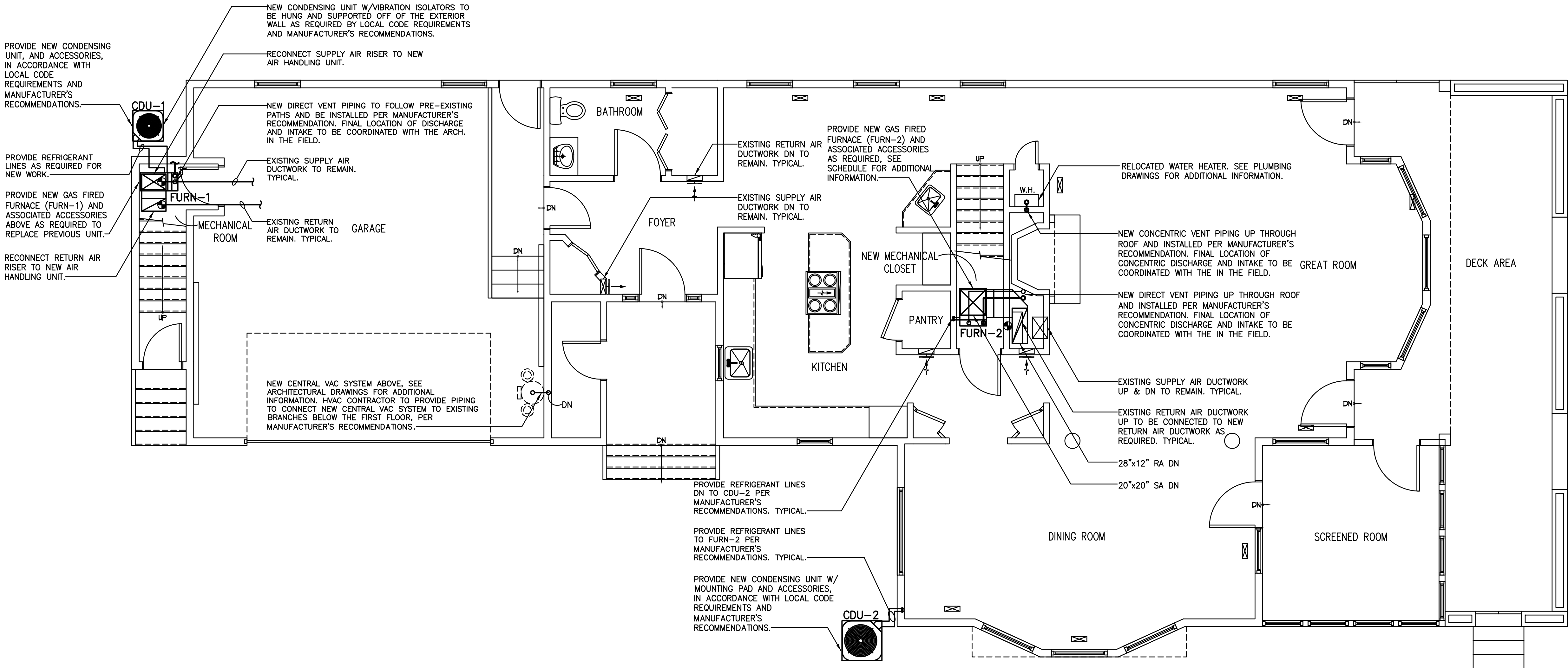
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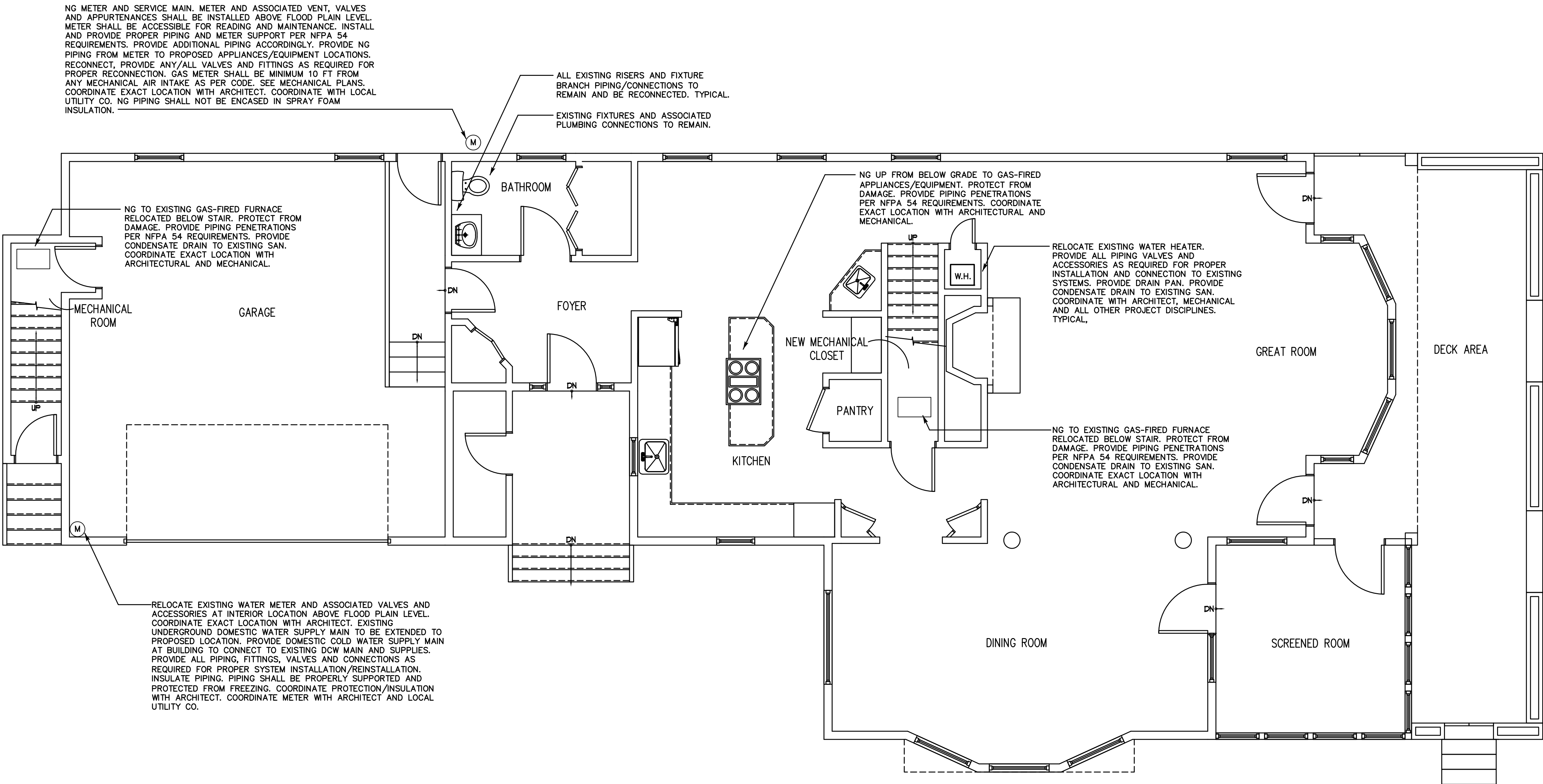
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MECHANICAL PLAN, SCHEDULES, NOTES & ABBREVIATIONS

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	Job Number
	Sheet
M-2.0	



FIRST FLOOR MECHANICAL PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR PLUMBING PLAN

SCALE: 1/4"=1'-0"

WARNING

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1-800-922-4455

CONTRACTOR SHALL REGISTER HIS INTENTION TO START EXCAVATIONS AT OR NEAR A PUBLIC UTILITY AT LEAST TWO FULL WORKING DAYS PRIOR TO THE ACTIVITY.

- CONTRACTOR SHALL RETURN SITE TO ORIGINAL CONDITION AFTER INSTALLATION OF ANY/ALL PROPOSED UTILITIES, EQUIPMENT, MATERIALS AND STRUCTURES.
- THE LOCATION OF ALL UNDERGROUND UTILITIES IS BASED UPON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL CONFIRM LOCATION OF ALL UNDERGROUND UTILITIES, FOUNDATIONS AND STRUCTURES PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND PAYMENT FOR ALL UTILITIES DAMAGED DURING CONSTRUCTION.

- PLUMBING GENERAL NOTES:**
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, PRIOR TO BIDDING, AND BECOME INFORMED AS TO THE NATURE AND SCOPE OF WORK REQUIRED, NOTING AND ACCOUNTING FOR EXISTING CONDITIONS. TYPICAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING TOOLS, MATERIAL, MANPOWER, ETC. REQUIRED FOR COMPLETE AND PROPER INSTALLATION OF PROPOSED MATERIALS, FIXTURES AND/OR EQUIPMENT.
 - ALL WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER WITH QUALIFIED AND LICENSED PERSONNEL IN ACCORDANCE WITH STATE AND LOCAL GOVERNING AUTHORITIES AND ALL APPLICABLE CODES AND STANDARDS. TYPICAL.
 - CONTRACTOR SHALL PROVIDE CLEANOUTS FOR PROPOSED SANITARY PIPING AS REQUIRED PER CURRENT APPLICABLE CODES AND STANDARDS. TYPICAL.
 - ROUTING OF ALL PIPING SHALL BE COORDINATED WITH STRUCTURAL FRAMING ELEMENTS AND ALL OTHER PROJECT DISCIPLINES. TYPICAL.
 - PROVIDE DOUBLE CHECK VALVE, BACKFLOW PREVENTER AND PRESSURE REDUCING VALVE ON DOMESTIC WATER SERVICE AS REQUIRED PER LOCAL WATER AUTHORITY AND CURRENT CODES AND STANDARDS.
 - CONTRACTOR SHALL CONFIRM COMPATIBILITY OF SPRAY FOAM INSULATION WITH EXISTING SANITARY PVC/CPVC/ABS PIPING.
 - CONTRACTOR SHALL CONFIRM COMPATIBILITY OF SPRAY FOAM INSULATION WITH PEX PIPING WHERE APPLICABLE.
 - NO VALVES SHALL BE ENCASED IN SPRAY FOAM INSULATION.
 - PROVIDE CONDENSATE DRAINAGE FOR DOMESTIC WATER HEATER AND FURNACE. PROVIDE PER MANUFACTURER'S REQUIREMENTS. COORDINATE WITH MECHANICAL. PROVIDE CONDENSATE PUMPS WHERE REQUIRED TO ROUTE TO LAUNDRY SINK. ANY/ALL EXISTING CONDENSATE SHALL BE EXTENDED. COORDINATE WITH MECHANICAL AND ARCHITECTURAL. TYPICAL.

- PLUMBING SYSTEM INSTALLATION NOTES:**
- EXISTING SANITARY TO REMAIN TO BE RAISED WITH STRUCTURE. PROVIDE PIPING TO EXTEND TO ALL EXISTING RISERS. PROVIDE EXTENSIONS OF ALL EXISTING CLEANOUTS TO MAINTAIN ABOVE GRADE ACCESS. PROVIDE ADDITIONAL ACCESSIBLE ABOVE GRADE CLEANOUTS AT PROPOSED MAIN BUILDING DRAIN RISER EXTENSIONS. TYPICAL.
 - EXISTING DOMESTIC HOT AND COLD WATER DISTRIBUTION PIPING BELOW FIRST FLOOR THAT IS TO REMAIN SHALL BE RAISED WITH BUILDING. ALL EXISTING RISERS TO EQUIPMENT AND FIXTURES AND MAINS TO REMAIN AND BE RECONNECTED. PROVIDE ALL PIPING AND ACCESSORIES AS REQUIRED FOR PROPER INSTALLATION AND RECONNECTION.
 - PROVIDE DOMESTIC WATER SERVICE PIPING FROM EXISTING UNDERGROUND SERVICE MAIN TO RELOCATED METER. COORDINATE ANY/ALL TRENCHING WITH SITE UTILITIES PLANS/CONTRACTOR AND LOCAL UTILITY CO.
 - PROVIDE/CONNECT PROPOSED COLD WATER SERVICE PIPING MAIN FROM RELOCATED WATER METER DN TO EXISTING MAIN AT BASEMENT LEVEL. RECONNECT EXISTING SYSTEM TO REMAIN. PROVIDE ALL PIPING, VALVES, FITTINGS AND ACCESSORIES AS REQUIRED FOR PROPER INSTALLATION/CONNECTION.
 - CONNECT PROPOSED HOT WATER SERVICE PIPING MAIN FROM PROPOSED WATER HEATER TO EXISTING MAINS RECONNECT EXISTING SYSTEM TO REMAIN. PROVIDE ALL PIPING, FITTINGS AND ACCESSORIES AS REQUIRED FOR PROPER INSTALLATION/CONNECTION.
 - ALL DOMESTIC WATER AND SANITARY PIPING SHALL BE INSULATED/PROTECTED FROM FREEZING AND WEATHER. COORDINATE PROTECTION DEVICE WITH STRUCTURAL DRAWINGS, INSULATION WITH ARCHITECTURAL DRAWINGS, AND HEAT TRACE WITH ELECTRICAL DRAWINGS.
 - PROVIDE NG PIPING FROM METER TO GAS FIRED EQUIPMENT/APPLIANCES. CONNECTION. DO NOT ENCASE NG PIPING IN SPRAY FOAM INSULATION. NG PIPING SHALL BE INSTALLED AND PROTECTED PER NFPA 54 REQUIREMENTS AND RECOMMENDATIONS. TYPICAL.
 - ANY/ALL VALVES SHALL BE LOCATED IN ACCESSIBLE LOCATION WITHIN BUILDING. RELOCATE EXISTING VALVES AS REQUIRED. COORDINATE VALVE ACCESS WITH ARCHITECT. TYPICAL.

SANITARY NOTE:
EXISTING SANITARY TO BE RAISED WITH STRUCTURE. PROVIDE PIPING TO EXTEND TO ALL EXISTING RISERS, LOCATE SANITARY MAIN VERT AT NEAREST PIER. PROVIDE EXTENSIONS OF ALL EXISTING CLEANOUTS TO MAINTAIN ABOVE GRADE ACCESS. PROVIDE ADDITIONAL ACCESSIBLE ABOVE GRADE CLEANOUTS AT PROPOSED MAIN BUILDING DRAIN RISER EXTENSIONS. TYPICAL.

DOMESTIC WATER NOTE:
EXISTING HORIZONTAL DOMESTIC HOT AND COLD WATER DISTRIBUTION PIPING THAT IS TO REMAIN SHALL BE RAISED WITH BUILDING. ALL EXISTING RISERS TO FIRST AND SECOND FLOOR EQUIPMENT AND FIXTURES AND MAINS TO REMAIN AND BE EXTENDED/RECONNECTED. PROVIDE ALL PIPING AND ACCESSORIES AS REQUIRED FOR PROPER INSTALLATION AND RECONNECTION.

NOTES:
INSULATE ANY/ALL PROPOSED DOMESTIC WATER SYSTEM PIPING WITHIN BUILDING INTERIOR WITH MIN. R-4.

COORDINATE ALL PIPING ROUTING WITH ARCHITECTURAL AND ALL OTHER PROJECT DISCIPLINES. PIPING SHALL BE INSTALLED PER CURRENT CODES AND STANDARDS. TYPICAL.

ALL DOMESTIC WATER & SANITARY PIPING EXTERIOR RISERS SHALL BE PROTECTED FROM IMPACTS, FREEZING, AND WEATHER. COORDINATE PROTECTION WITH STRUCTURAL DRAWINGS, INSULATION WITH ARCHITECTURAL DRAWINGS, AND HEAT TRACE WITH ELECTRICAL DRAWINGS.

ALL NG PIPING EXTERIOR RISERS SHALL BE PROTECTED FROM IMPACTS AND WEATHER. COORDINATE PROTECTION WITH STRUCTURAL DRAWINGS.

Revisions	Date
Bld Set	07.01.15

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PLUMBING PLAN

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