

APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT

APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT

Applicant:

Town of Fairfield
725 Old Post Road
Fairfield, CT 06824

Project Location:

Southport Beach
1505 Pequot Avenue
Fairfield, CT 06824



Proposed Beach Grading

April 2017

Prepared By:



611 Access Road
Stratford, CT 06615
Tel: (203)-377-0663
Fax: (203)-375-6561

Project # 201644

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SECTION 1

Application to the Department of the Army Permit



U.S. ARMY CORPS OF ENGINEERS
APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT
33 CFR 325. The proponent agency is CECW-CO-R.

Form Approved -
OMB No. 0710-0003
Expires: 30-SEPTEMBER-2015

Public reporting for this collection of information is estimated to average 11 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding this burden estimate or any other aspect of the collection of information, including suggestions for reducing this burden, to Department of Defense, Washington Headquarters, Executive Services and Communications Directorate, Information Management Division and to the Office of Management and Budget, Paperwork Reduction Project (0710-0003). Respondents should be aware that notwithstanding any other provision of law, no person shall be subject to any penalty for failing to comply with a collection of information if it does not display a currently valid OMB control number. Please DO NOT RETURN your form to either of those addresses. Completed applications must be submitted to the District Engineer having jurisdiction over the location of the proposed activity.

PRIVACY ACT STATEMENT

Authorities: Rivers and Harbors Act, Section 10, 33 USC 403; Clean Water Act, Section 404, 33 USC 1344; Marine Protection, Research, and Sanctuaries Act, Section 103, 33 USC 1413; Regulatory Programs of the Corps of Engineers; Final Rule 33 CFR 320-332. Principal Purpose: Information provided on this form will be used in evaluating the application for a permit. Routine Uses: This information may be shared with the Department of Justice and other federal, state, and local government agencies, and the public and may be made available as part of a public notice as required by Federal law. Submission of requested information is voluntary, however, if information is not provided the permit application cannot be evaluated nor can a permit be issued. One set of original drawings or good reproducible copies which show the location and character of the proposed activity must be attached to this application (see sample drawings and/or instructions) and be submitted to the District Engineer having jurisdiction over the location of the proposed activity. An application that is not completed in full will be returned.

(ITEMS 1 THRU 4 TO BE FILLED BY THE CORPS)

1. APPLICATION NO.	2. FIELD OFFICE CODE	3. DATE RECEIVED	4. DATE APPLICATION COMPLETE
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(ITEMS BELOW TO BE FILLED BY APPLICANT)

5. APPLICANT'S NAME First - Middle - Last - Company - Town of Fairfield E-mail Address - BCarey@fairfieldct.org	8. AUTHORIZED AGENT'S NAME AND TITLE (agent is not required) First - Azure Middle - Dee Last - Sleicher Company - RACE Coastal Engineering E-mail Address - AzureDee@racecoastal.com
6. APPLICANT'S ADDRESS: Address- 725 Old Post Road City - Fairfield State - CT Zip - 06824 Country - USA	9. AGENT'S ADDRESS: Address- 611 Access Road City - Stratford State - CT Zip - 06615 Country - USA
7. APPLICANT'S PHONE NOs. w/AREA CODE a. Residence b. Business c. Fax 203-256-3071	10. AGENTS PHONE NOs. w/AREA CODE a. Residence b. Business c. Fax 203-377-0663 203-375-6561

STATEMENT OF AUTHORIZATION

11. I hereby authorize, Azure Dee Sleicher to act in my behalf as my agent in the processing of this application and to furnish, upon request, supplemental information in support of this permit application.

SIGNATURE OF APPLICANT

DATE

NAME, LOCATION, AND DESCRIPTION OF PROJECT OR ACTIVITY

12. PROJECT NAME OR TITLE (see instructions)

Southport Beach Regrading

13. NAME OF WATERBODY, IF KNOWN (if applicable)

Long Island Sound

14. PROJECT STREET ADDRESS (if applicable)

Address 1505 Pequot Avenue

15. LOCATION OF PROJECT

Latitude: °N 41.125258

Longitude: °W 73.29748

City - Fairfield

State- CT

Zip- 06824

16. OTHER LOCATION DESCRIPTIONS, IF KNOWN (see instructions)

State Tax Parcel ID 2810210000

Municipality Town of Fairfield

Section -

Township -

Range -

17. DIRECTIONS TO THE SITE

From I-95 Exit 19

Head south on Center Street

Right onto Pequot Ave

The site will be on the left

18. Nature of Activity (Description of project, include all features)

See attached

19. Project Purpose (Describe the reason or purpose of the project, see instructions)

The purpose of this project is to design the beach such that it may be eligible for FEMA funding following a severe coastal storm. The proposed work will stabilize the existing beach making it less susceptible to erosion.

USE BLOCKS 20-23 IF DREDGED AND/OR FILL MATERIAL IS TO BE DISCHARGED

20. Reason(s) for Discharge

N/A

21. Type(s) of Material Being Discharged and the Amount of Each Type in Cubic Yards:

Type	Type	Type
Amount in Cubic Yards	Amount in Cubic Yards	Amount in Cubic Yards
N/A	N/A	N/A

22. Surface Area in Acres of Wetlands or Other Waters Filled (see instructions)

Acres N/A

or

Linear Feet N/A

23. Description of Avoidance, Minimization, and Compensation (see instructions)

N/A

24. Is Any Portion of the Work Already Complete? Yes No IF YES, DESCRIBE THE COMPLETED WORK

N/A

25. Addresses of Adjoining Property Owners, Lessees, Etc., Whose Property Adjoins the Waterbody (if more than can be entered here, please attach a supplemental list).

a. Address- See Attached

City - State - Zip -

b. Address-

City - State - Zip -

c. Address-

City - State - Zip -

d. Address-

City - State - Zip -

e. Address-

City - State - Zip -

26. List of Other Certificates or Approvals/Denials received from other Federal, State, or Local Agencies for Work Described in This Application.

AGENCY	TYPE APPROVAL*	IDENTIFICATION NUMBER	DATE APPLIED	DATE APPROVED	DATE DENIED
Town of Fairfield	Coastal Site Plan	N/A	To be filed	TBD	TBD
CT DEEP	General Permit	GP-2015-02	N/A	N/A	N/A

* Would include but is not restricted to zoning, building, and flood plain permits

27. Application is hereby made for permit or permits to authorize the work described in this application. I certify that this information in this application is complete and accurate. I further certify that I possess the authority to undertake the work described herein or am acting as the duly authorized agent of the applicant.

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF AGENT

DATE

The Application must be signed by the person who desires to undertake the proposed activity (applicant) or it may be signed by a duly authorized agent if the statement in block 11 has been filled out and signed.

18 U.S.C. Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both.

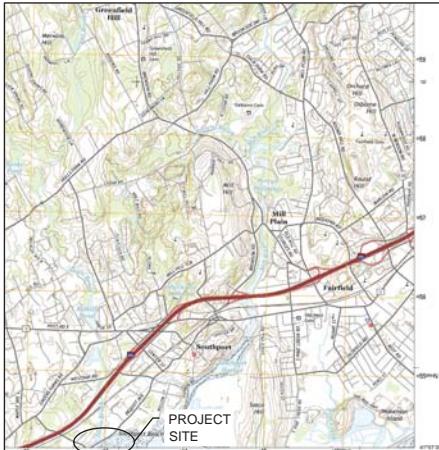
SECTION 2

Drawings



**SOUTHPORT BEACH
ENGINEERED BEACH DESIGN
PEQUOT AVE
FAIRFIELD, CT**

3/22/2017



VICINITY MAP



FAIRFIELD



AERIAL PHOT



RACE
COASTAL ENGINEERING

611 Access Road Stratford, CT 06615
Tel: 203-377-0663 www.racecoastal.com

LIST OF DRAWINGS

DRAWING NO. DRAWING NAME

- 1 TITLE SHEET, DRAWING LIST & VICINITY MAP
- 2 PROJECT NOTES
- 3 SITE PLAN
- 4 GRADING PLAN
- 5 SECTIONS

NOT VALID WITHOUT ENGINEER'S SIGNATURE

FOR REGULATORY REVIEW
NOT FOR CONSTRUCTION

PREPA

CONSERVATION DEPT
TOWN OF FAIRFIELD
725 OLD POST RD
FAIRFIELD, CT 06824

PROJE

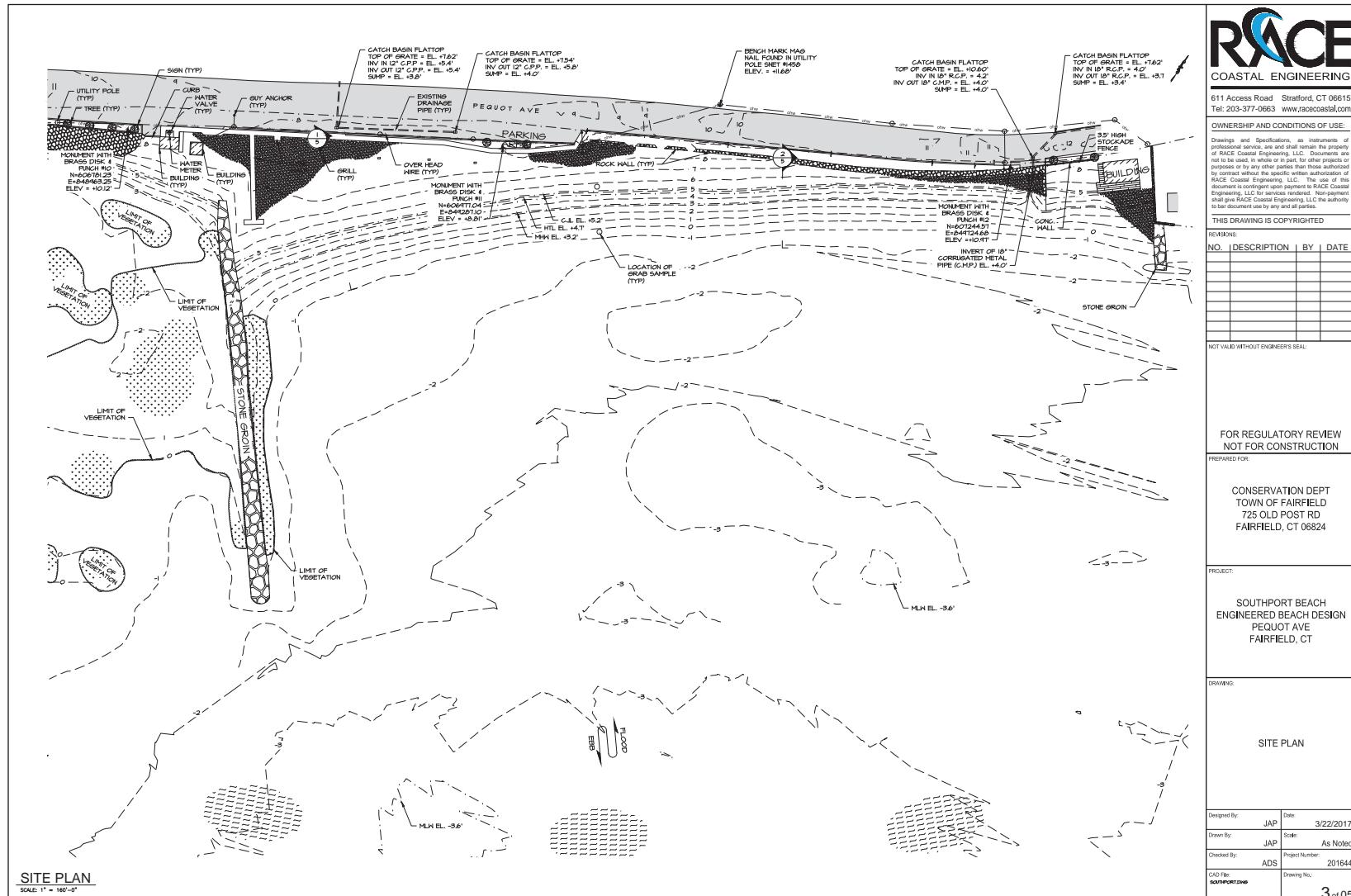
SOUTHPORT BEACH
ENGINEERED BEACH DESIGN
PEQUOT AVE
FAIRFIELD, CT

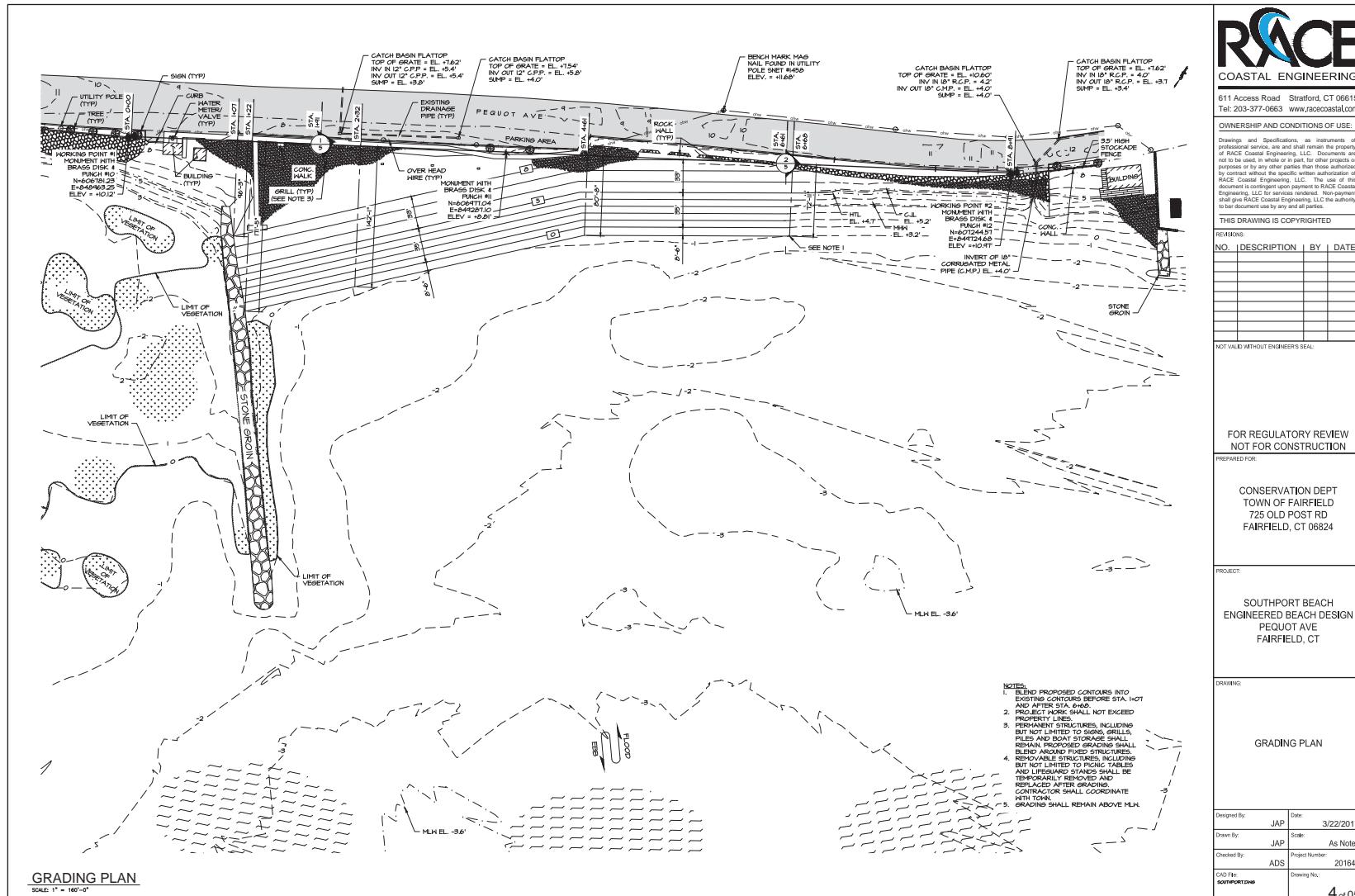
GRAN

**TITLE SHEET, DRAWING LIST &
VICINITY MAP**

Designed By:	JAP	Date:	3/22/2017
Drawn By:	JAP	Scale:	As Note
Checked By:	ADS	Project Number:	20164
CAD File:	<u>SOUTHERNTRIM</u>	Drawing No.:	1 of 0

1 of 2





SECTION 3

Project Narrative



A. DESCRIPTION OF PROPOSED PROJECT

1. **Description of Existing Sites** – The site is one of the five Town beaches in Fairfield, CT. The site is described below:

Southport Beach – 1505 Pequot Avenue, Fairfield, CT 06824

The property has an area of approximately 86,733.59 square feet (2.0± acres). It is a linear beach utilized by the public for recreational beach opportunities. The western end of the site is armored as it transitions into Sasco Creek which separates the Town of Fairfield from Westport. The site contains a large stone jetty at the western end which aids in keeping sediment out of Sasco Creek. East of the site is a groin which separates the site from a seawall to its east. Geomorphologically, the site can be described as a sand beach. It is a dynamic coastal landform whose shape and form will be most strongly influenced by wave action. It remains in a natural state in spite of relatively high utilization and modest anthropogenic impacts. Areas adjacent to the site are more developed and include a parking lot and road way.

The site is exposed to Long Island Sound and is subject to coastal flooding associated with storm conditions. The subject property is located in a Special Flood Hazard Area (SFHA) designated by FEMA as Zone VE (El 13)/Zone AE (El 11) according to FEMA Flood Insurance Rate Map (FIRM) Panel 09001C0556G and 09001C0418G with an effective date of July 8, 2013.

2. Proposed Activities

The Applicant proposes to perform the following activities:

- Regrade the beach to engineered slopes and specifications.

The regrading of the Southport Beach site will result in an excess of 400 cubic yards of sand to be stockpiled on the site. Regrading is limited to above mean low water (MLW) and the stockpile area is to be above CJL and HTL.

The purpose of this project is to design the beach such that it may be eligible for FEMA funding following a severe coastal storm. Regular maintenance of the beach is important to maintain the beach profile and prevent erosion and damage. The level of protection in the aftermath of a major storm will be decreased if proper maintenance is not performed. Beaches that have eroded to a critical condition are not eligible for FEMA funding. As such, the Applicant is also proposing to maintain the beach through periodic nourishment, advance nourishment, and emergency maintenance. Periodic nourishment of the beach will be necessitated by the cumulative erosion of the beach caused by storm events.

B. DESCRIPTION OF COASTAL RESOURCES

The Coastal Land and Water Resources as identified by Town of Fairfield Plan and Zoning Department, site inspection and review of the Coastal Resources Map, the Sherwood Point Quadrangle (dated 1979), and defined in the Connecticut General Statutes (CGS) Sec. 22a-93 include the following:

General Resources:

The site is located within the *Coastal Area Management Zone*.



Coastal Hazard Areas:

“Coastal Hazard Areas” means those land areas inundated during coastal storm events or subject to erosion induced by such events including flood hazard areas as defined by the National Flood Insurance Act.

The subject property is located in a Special Flood Hazard Area (SFHA) designated by FEMA as Zone VE (El 14)/Zone AE (El 12) according to FEMA Flood Insurance Rate Map (FIRM) Panel 09001C0556G and 09001C0418G with an effective date of July 8, 2013.

Nearshore Coastal Water:

The nearshore coastal waters of Long Island Sound and its various substrates lie immediately seaward of this site’s mean high water boundary out to a depth approximated by the 10-meter contour.

The site contains nearshore coastal waters.

Beaches and Dunes:

*“Beaches and Dunes” are ‘moderately sloping shores composed of water worked sand, gravel or cobble deposits (beach) and when present, wind deposited sands (dunes and sand flats). The beach (proper) is positioned between mean low water and coastal bluffs/escarpments or dunes or vegetation. The map designations include all areas of sandy beach fill. Dunes and sand flats positioned landward and elevated above the beach, support coastal grasslands dominated by beach grass (*Ammophila breviligulata*)’.*

The site contains beaches. The proposed regrading will reshape the beach to achieve idealized slopes and grades and make it more resistant to coastal storms. The proposed work will enhance this resource. It is not anticipated that the beach regrading will impact dunes or beach grass they support.

Intertidal Flats

“Intertidal Flats” are level to gently sloping areas subjected to alternating periods of tidal inundation and exposure. Sediment is variable ranging from mud to sand.

Sandy intertidal flats are found on the Southport Beach site. It is not anticipated that the proposed work will alter this resource or have a negative impact. The proposed work will take place on the sloping portion of the beach landward of the intertidal flats.

Tidal Wetlands

“Tidal Wetlands” are wetlands as defined by section 22a-29.

Tidal wetlands are found on the Southport Beach Site. The site contains a stone groin on the western portion of the site. The tidal wetlands are located west of the stone groin. All proposed work is to the east of the groin, away from the tidal wetlands. It is not anticipated that the proposed work will have an impact on this resource.



C. ASSESSMENT OF SUITABILITY OF COASTAL RESOURCES TO ACCOMMODATE THE PROPOSED PROJECT

1. Identify all coastal resource policies (in Section 22a-92(b)(2) of the CCMA) applicable to the proposed project.

Section 22a-92(b)(2)(C):

To preserve the dynamic form and integrity of natural beach systems in order to provide critical wildlife habitats, a reservoir for sand supply, a buffer for coastal flooding and erosion, and valuable recreational opportunities; to ensure that coastal uses are compatible with the capabilities of the system and do not unreasonably interfere with natural processes of erosion and sedimentation, and to encourage the restoration and enhancement of disturbed or modified beach systems.

Section 22a-92(b)(2)(F):

To manage coastal hazard areas so as to ensure that development proceeds in such a manner that hazards to life and property are minimized.

2. Identify all coastal use policies (in Section 22a-92(b)(1) of the CCMA) applicable to the proposed project.

Section 22a-92(a)(1):

To ensure that the development, preservation or use of the land and water resources of the coastal area proceeds in a manner consistent with the capability of the land and water resources to support development, preservation or use without significantly disrupting either the natural environment or sound economic growth.

Section 22a-92(a)(2):

To preserve and enhance coastal resources in accordance with the policies established by chapters 439, 440, 446i, 446k, 447, 474 and 477.

Section 22a-92(a)(3):

To give high priority and preference to uses and facilities which are dependent upon proximity to the water or the shorelands immediately adjacent to marine and tidal waters.

Section 22a-92(a)(5):

To consider in the planning process the potential impact of a rise in sea level, coastal flooding and erosion patterns on coastal development so as to minimize damage to and destruction of life and property and minimize the necessity of public expenditure and shoreline armoring to protect future new development from such hazards.

Section 22a-92(a)(6):

To encourage public access to the waters of Long Island Sound by expansion, development and effective utilization of state-owned recreational facilities within the coastal area that are consistent with sound resource conservation procedures and constitutionally protected rights of private property owners.



3. Describe how the proposed project is consistent with the coastal resource and use policies identified in items 1 and 2 above. Assess the extent to which the project conforms or conflicts with each policy.

In addition to resiliency, the project will also serve as a baseline such that the Town beach may be eligible for FEMA funding following a severe coastal storm event allowing it to be continually retained as valuable public recreational opportunities and resources. Therefore, this project is consistent with Section 22a-92(b)(2)(C).

The proposed regrading will be minimal in nature to preserve the natural beach system. The work will enhance the shoreline making it more resilient to storm damage. Therefore, this project is consistent with Section 22a-92(b)(2)(F).

Overall, the proposed project will be consistent with the general development use policy (Section 22a-92(a)(1)) for land and water resources of the coastal area. The proposed work is designed to enhance the coastal resources (Section 22a-92(a)(2)) found on the public beach which will encourage public access to the waters of Long Island Sound (Section 22a-92(a)(3) and Section 22a-92(a)(6)). The work is being proposed to increase resiliency to coastal storms and to minimize damage to and destruction of life and property, and is therefore consistent with Section 22a-92(a)(5).

D. EVALUATION OF POTENTIAL BENEFICIAL AND ADVERSE IMPACTS OF THE PROJECT

1. Identify and describe the potential benefits and adverse impacts of the project on coastal resources.

The potential adverse impacts (as defined in Section 22a-93(15)) of the Connecticut Coastal Management Act (CCMA) and potential beneficial impacts of the project on coastal resources are described below.

"Adverse impacts on coastal resources" include but are not limited to: (A) Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity; (B) degrading existing circulation patterns of coastal waters through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours; (C) degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction; (D) degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff; (E) increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones; (F) degrading visual quality through significant alteration of the natural features of vistas and view points; (G) degrading or destroying essential wildlife, finfish or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alteration of the natural components of the habitat and (H) degrading tidal wetlands, beaches and dunes, rocky shorefronts, and



bluffs and escarpments through significant alteration of their natural characteristics or function.

The project has been designed to not only minimize the adverse impacts listed above, but to improve the stability and make the Town beach more resilient to storm damage. The development and associated construction activity will take place within proper erosion controls and is limited to landward of MLW. There is no potential to degrade surrounding water resources through introduction of substances, alteration of flow patterns or littoral transport. Numerical modeling has been performed to demonstrate that the project will not affect local flooding along the Applicant's (or adjacent) property and that the proposed work will lead to a more stable, resilient beach.

2. For waterfront property:

a. Is the project a water dependent use as defined by Section 22-93(16) of the CCMA?

The project is for a water dependent use. The proposed work will enhance the Town beach and therefore encourage public access to the waters of Long Island Sound.

b. Describe the impacts or effects that the project will have on future water dependent uses or development on and adjacent to the site.

The proposed work is designed to enhance the resiliency of the public beach which will encourage public access to the waters of Long Island Sound. In addition, the project will serve as a baseline such that the Town beach may be eligible for FEMA funding following a severe coastal storm event allowing it to be continually retained as a valuable public recreational opportunity and resource.

c. Describe the proposed measures to mitigate any adverse impacts on coastal resources described in D1 and, if applicable, on future water dependent development opportunities.

No mitigation to coastal resources is necessary and therefore not proposed in this application.



E. ACCEPTABILITY OF REMAINING ADVERSE IMPACTS ON COASTAL RESOURCES AND FUTURE WATER DEPENDENT USES AND DEVELOPMENT

1. Describe what adverse impacts remain after employing all reasonable mitigation measures.

No adverse impacts remain.

2. Explain why these adverse impacts were not mitigated.

Not applicable

3. Explain why the Commission reviewing this application should find these remaining adverse impacts acceptable.

Not applicable

RACE COASTAL ENGINEERING

Azure Dee Sleicher

Azure Dee Sleicher, PE
Manager of Coastal Engineering



SECTION 4

Abutters



SASQUANAUG SOC FOR VILLAGE IMP
C/O BARBA
P O BOX 471
SOUTHPORT, CT 06890-0471

BINAL MEHMET 50% & YADIGAR 50%
1334 PEQUOT AVENUE
SOUTHPORT, CT 06890-1423

BARRY POLLY M & CLARIDA RICHARD
H (SV)
1252 PEQUOT AVENUE
SOUTHPORT, CT 06890-1423

FAIRFIELD TOWN OF
725 OLD POST ROAD
FAIRFIELD, CT 06824

BALDWIN LEE & HAFNER DANIELS S
1316 PEQUOT AVENUE
SOUTHPORT, CT 06890-1423

ASPETUCK LAND TRUST
P O BOX 444
WESTPORT, CT 06880-0444

O'CONNOR PETER W
1338 PEQUOT AVENUE
SOUTHPORT, CT 06890-1423

FAIRFIELD TOWN OF
725 OLD POST ROAD
FAIRFIELD, CT 06824

BURTON DONALD C & LETITIA B (SV)
1376 PEQUOT AVENUE
SOUTHPORT, CT 06890-1423

SECTION 5

Site Photographs





Source: Google Earth, 2016

Photo 1: Aerial Photograph – Southport Beach





Photo 2: Site Looking East



Photo 3: Site Looking West





Photo 4: Existing Jetty Area May 2016

