



# QUISENBERRY ARCARI MALIK LLC.

195 Scott Swamp Road, Farmington, CT 06032 www.qamarch.com t (860) 677 - 4594 f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

## KATHRYN STRACHAN

APPLICANT #1911

1062 REEF ROAD

ISSUE DATE: FEBRUARY 28, 2018

FAIRFIELD, CT

### LIST OF DRAWINGS

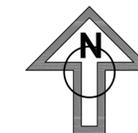
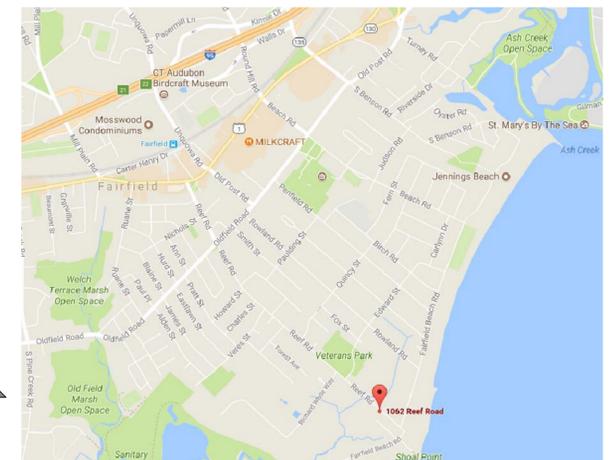
-	COVER
-	SURVEY
G1.0	GENERAL NOTES
A1.1	BASEMENT PLAN, FIRST FLOOR PLAN & DETAILS
A1.2	DOOR & EXTERIOR ELEVATIONS

### COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

### OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING

### LOCATION MAP



STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED	AS-BUILT
Minimum Lot Area (tot area)	6,000 SF	7,375 ± SF	7,375 ± SF	
Minimum Square on Lot	60.0' SQ.	50.0' SQ.	50.0' SQ.	
Minimum Lot Frontage	50.00'	50.00'	50.00'	
Minimum Setback Street Line	20.0'	24.9'	24.9'	
Min. Setback From Street Line Corner Lot	12.0' / 17.0'	N/A	N/A	
Min. Setback From One Side Property Line	5.0'	11.4'	11.4'	
Minimum Setback From Side Property Lines	15.0' / 20.0'	23.1'	23.1'	
Minimum Rear Setback	20.0'	72.3'	72.3'	
Minimum Floor Area	750 SF	1248 SF	1248 SF	
Maximum Height for a Building or Structure	32.0'	20.1'	20.1'	
Maximum Number of Stories Per Building	3	1	1	
Maximum Building Lot Coverage as a Percentage of Lot Area	30.0%	20.6%	20.6%	
Minimum First Floor Elevation	11.0' NAVD	14.2'	14.2'	
Maximum Floor Area as a Percentage of Lot Area	50.0%	16.9%	16.9%	

### FLOOD OPENING CALCUALTIONS

TOTAL BUILDING AREA = 1148 SQ. FT.  
 TOTAL # OF FLOOD VENTS = 6 SMART VENTS  
 TOTAL FLOOD VENT AREA = 1200 SQ. FT.  
 1200 SQ. IN. > 1148 SQ. FT.  
 FLOOD VENTS ARE COMPLIANT



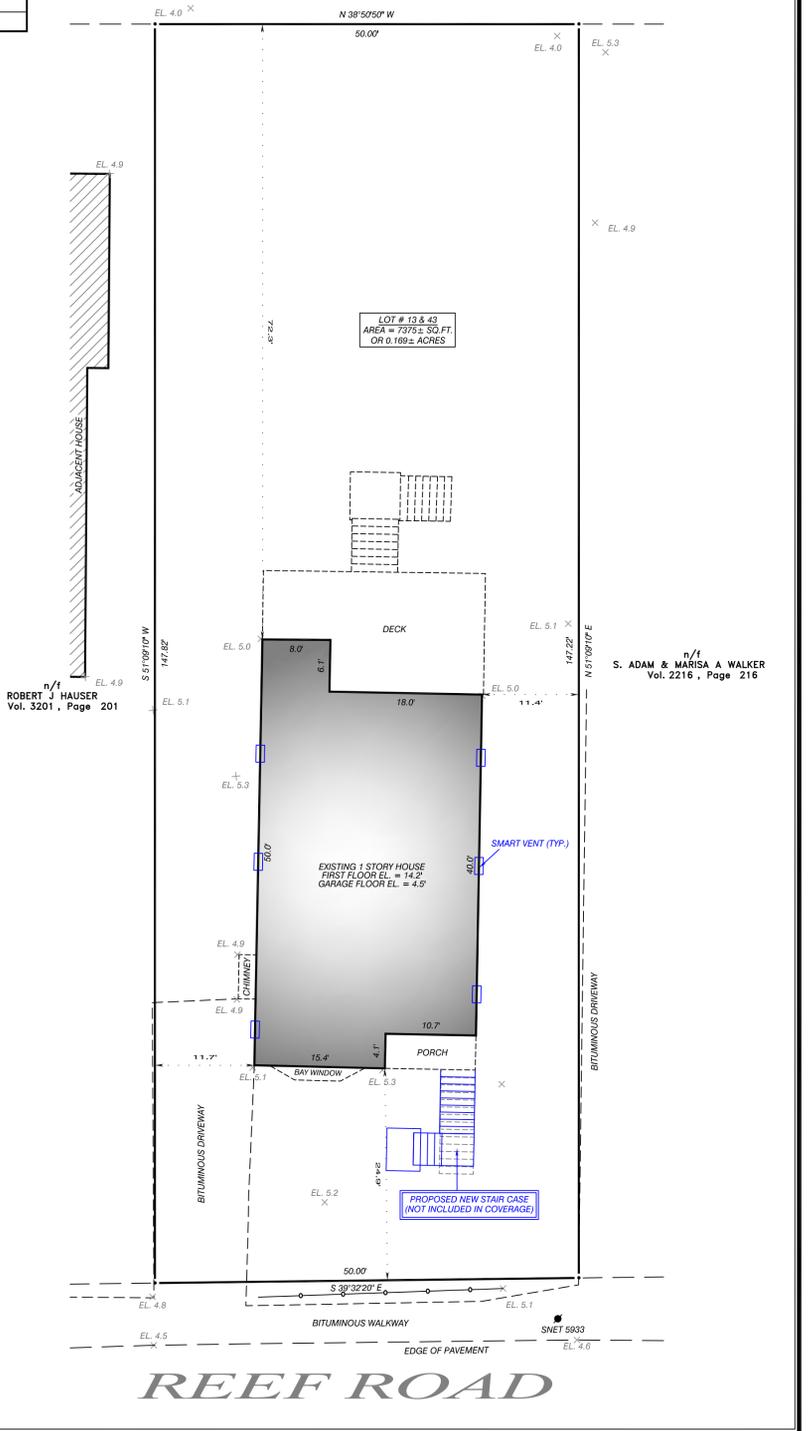
## COLLEGE PLACE

### GENERAL NOTES

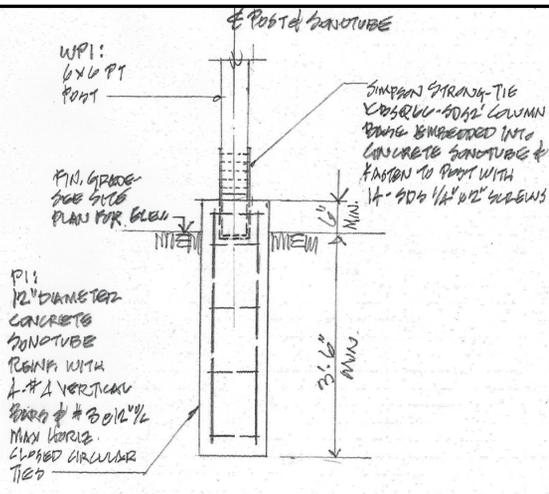
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Subject Property Under Zone: AE (EL. 11) per Flood Insurance Rate Map, Community-Panel Number 090001C0438G Panel 438 of 565, Rev. JULY 8, 2013.
- Elevations are based on N.A.V.D. Datum.
- Bench Mark Provided by Fairfield Engineering Department.
- Lot served by Public Water Supply and Town Sewer System.

### MAP REFERENCES

- Map of Property for STEWART B. AND LUCIE C. MCKINNEY, Fairfield, Connecticut, Nov. 21, 1966, Last Rev. Oct. 15, 1967, Scale: 1"=20'. Prepared by The Huntington Company.
- Property of PERRY & GRAY, at Fairfield Beach, Fairfield, Connecticut, Fairfield, Connecticut, Date Sept. 2, 1921, Prepared by Andrew Huntington.

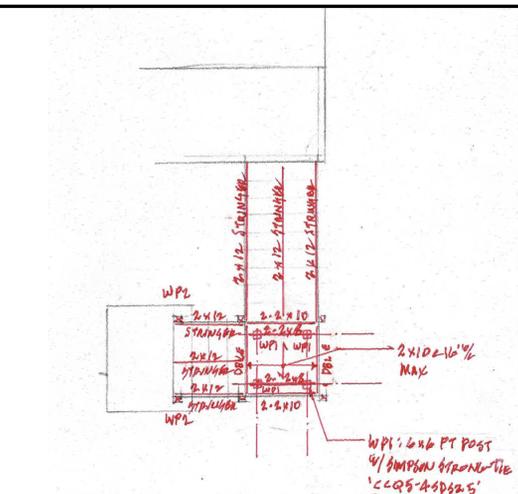


<p><b>LAND SURVEYING SERVICES, LLC</b>          135 FAIRCHILD AVENUE          FAIRFIELD, CONNECTICUT 06825          TEL. (203) 522-4177          FAX. (203) 615-0123          EMAIL: info@nealjain.com</p>	<p><b>TITLE BLOCK</b></p> <p>ASSESSORS MAP # 194 PARCEL # 142          APPLICANT: SAME AS OWNER ZONE: B</p> <p>DESCRIPTIVE TITLE: PROPOSED STAIRS          To the best of my knowledge and belief this map is substantially correct as noted hereon</p> <p>NEAL K. JAIN L.S. # 18139</p>	<p>REVISIONS</p> <table border="1"> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>03-15-2018</td> <td>PROPOSED STAIRS</td> </tr> <tr> <td>03-12-2018</td> <td>UPDATED SURVEY</td> </tr> </table>	DATE	DESCRIPTION	03-15-2018	PROPOSED STAIRS	03-12-2018	UPDATED SURVEY	<p>IMPROVEMENT LOCATION SURVEY          PREPARED FOR  <b>KATHRYN NORA STRACHAN</b>          1062 REEF ROAD, FAIRFIELD, CONNECTICUT</p> <p>SCALE: 1" = 10'          DATE: AUG. 07, 2005</p>
	DATE	DESCRIPTION							
03-15-2018	PROPOSED STAIRS								
03-12-2018	UPDATED SURVEY								
<p>RES:KJK SKT:KJZ PL:KJZ MAP:JZ DWG: 2005306</p>									

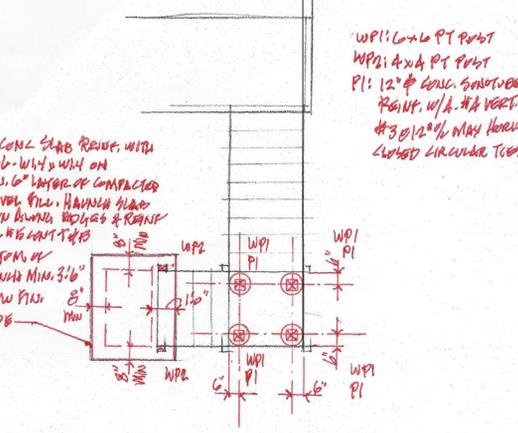


TYP. SECTION AT LOW POST OF  
12" DIA. CONG. SONOTUBE  
SCALE: 3/4" = 1'-0"

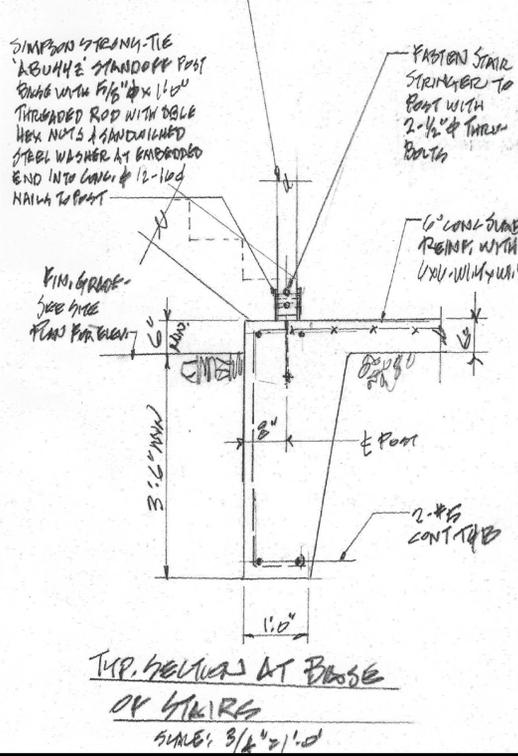
ABBREVIATIONS			
A.F.F.	Above Finish Floor	HGT.	Height
AC	Air Conditioning	H.M.	Hollow Metal
ALT.	Alternate	HORIZ.	Horizontal
APPR.	Approved	H.B.	Hose Bibb
ARCH.	Architect, Architectural	IN.	Inch
A.P.O.	As Provided By Owner	INCL.	Included
A.S.B.O.	As Selected By Owner	INFO.	Information
ASSY.	Assembly	INSUL.	Insulation
ASST.	Assistant	INT.	Interior
BM	Beam	JT.	Joint
BRG.	Beaming	K.P.	Kick Plate
BEV.	Bevel, Beveled	LTG.	Lighting
BLK.	Block	MFRG.	Manufacturer
BLKG.	Blocking	MAS.	Masonry
BD.	Board	M.O.	Masonry Opening
B.O.	Bottom Of	MAT.	Maternal
BLDG.	Building	MAX.	Maximum
B.U.R.	Built Up Roofing	MECH.	Mechanical
CAB.	Cabinet	MIN.	Minimum
C.U.H.	Cabinet Unit Heater	MISC.	Miscellaneous
CASE	Casement	N	North
CLG.	Ceiling	N.I.C.	Not In Contract
CLGHT.	Ceiling Height	N.T.S.	Not To Scale
CEM.	Cement	O.C.	On Center
CTR.	Center	O.H.	Overhead
CL	Centerline	O.D.	Outside Diameter
C.T.	Ceramic Tile	PTD.	Painted
CLO.	Closet	PR	Pair
COL.	Column	PASS.	Passage
CONC.	Concrete	PERP.	Perpendicular
CONT.	Continuous	PLAM.	Plastic Laminate
CONTR.	Contractor	PL.	Plate
DEG.	Degree	PLUMB.	Plumbing
DEMO.	Demolition	PLYWD.	Plywood
DEPT.	Department	PVC.	Polyvinylchloride
DET.	Detail	PREFAB.	Prefabricated
DIA.	Diameter	QTY.	Quantity
DIM.	Dimension	RAD.	Radius
DIST.	Distance	RECV.	Receiving
DR.	Door	REFR.	Refrigerator
DBL.	Double	REINF.	Reinforce
D.H.	Double Hung	REM	Remove
DN	Down	REQD	Required
D.S.	Downspout	REV.	Revised, Revision
DWG.	Drawing	R.	Riser
EA.	Each	RM.	Room
ELEC.	Electric, Electrical	SCHED.	Schedule
EWC.	Electric Water Cooler	SECT.	Section
EL.	Elevation	SHT.	Sheet
ELEV.	Elevator	SIM.	Similar
EMERG.	Emergency	SPEC.	Specifications
EQ.	Equal	SQ.	Square
EXIST.	Existing	S.F.	Square Feet
E.T.R.	Existing To Remain	STD.	Standard
EXT.	Exterior	STL.	Steel
E.I.F.S.	Exterior Insulation Finish System	STOR.	Storage
FT.	Feet, Foot	STRUCT.	Structure, Structural
FIN.	Finish, Finished	S.STL.	Structural Steel
FIXT.	Fixture	SUSP.	Suspend, Suspension
FLASH.	Flashing	THRU	Through
FLR.	Floor	T.M.E.	To Match Existing
F.D.	Floor Drain	T&G	Tongue and Groove
FLR.FIN.	Floor Finish	T.O.	Top Of
FTG.	Footing	T.	Tread
FDN	Foundation	TYP.	Typical
FURN.	Furnish, Furnishings, Furniture	U.L.	Underwriter's Laboratory
FURR.	Furred, Furring	U.H.	Unit Heater
GALV.	Galvanized	U.V.	Unit Ventilator
GYP. BD.	Gypsum Board	U.O.N.	Unless Otherwise Noted
G.C.	General Contractor	W.P.	Waterproofing
		W.W.F.	Welded Wire Fabric
		W	With
		WD.	Wood



STAIR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



STAIR FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



TYP. SECTION AT BASE OF  
6x6 PT POST  
SCALE: 3/4" = 1'-0"

DESIGN CRITERIA	
CODES THIS PROJECT WAS DESIGNED TO:	
2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT	
2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT	
2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT	
ARCHITECTURAL SYMBOLS	
	EXISTING WALL
	WALL TO BE DEMOLISHED
	KITCHEN
	KEY NOTE IDENTIFICATION
	DOOR IDENTIFICATION
	ELEVATION MARKER
	SECTION MARKER
	EXISTING DOOR
	NEW DOOR
FINISHES	
GYPSUM BOARD	
1. PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.	
PAINT	
2. APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.	
THERMAL & MOISTURE PROTECTION	
1. PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING: A. CEILINGS OVER BASEMENT: R-21 MINIMUM	
2. DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.	
GENERAL NOTES	
1. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.	
2. NOTIFY QUISENBERY ARCANI MALIK AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.	
3. THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.	
4. PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE ARCHITECT.	
5. ALL FURNISHINGS SHALL BE REMOVED FOR SPACES TO RECOVER. WORK BY HOMEOWNER.	

STAIR FOUNDATION PLAN NOTES:	
1.	Verify existing conditions and dimensions in the field prior to fabrication and installation of any new materials. Notify Architect of any field discrepancies for possible further instructions.
2.	New concrete pad at base of new exterior stairs to be 6" concrete slab reinforced with 5x6-W1.4x W1.4, cast on minimum 6" layer of compacted gravel fill. Provide minimum 8" wide slab haunch along edges of concrete pad reinforced with 2 #5 continuous horizontal bars top and bottom, except at noted 1'-0" wide slab haunch to be reinforced with 2 #5 continuous horizontal bars top and bottom. Bottom of slab haunches to be minimum 3'-6" below finish grade elevation.
3.	For top of concrete pad elevation coordinate with Site drawings for referenced elevation.
4.	P1 indicates 12" diameter concrete Sonotube pier reinforced with 4 #4 vertical bars and #3 at 12" o/c maximum horizontal closed circular ties. Top of concrete Sonotube pier to be minimum 6" above finish grade elevation.
5.	Bottom of footing elevation for slab haunches and Sonotube pier to be at elevation 3'-6" minimum below finish grade.
6.	Coordinate bottom of footing elevations with utilities. Notify Architect and/or Engineer of conflicts for further instructions.
7.	Assumed allowable soil bearing pressure is 3000 lbs per sq. ft. (PSF).
8.	Concrete to have minimum compressive strength of 4000 psi at 28 days.
9.	Reinforcing to be Fy = 60000 psi, conforming to ASTM A615.
10.	Concrete coverage of reinforcing to be as follows: 3" at bottom of footings, 2" for rebars with soil contact, 1 1/2" for rebars in all other conditions, and 1/2" for slabs.
11.	Reinforcing to lap a minimum of 48 bar diameters. Provide corner bars to lap with continuous wall reinforcing.
12.	Footings to bear on virgin undisturbed inorganic soil.
13.	WP1 indicates 6 x 6 pressure treated (PT) wood post.
14.	WP1 indicates 4 x 4 PT wood post.
15.	Provide Simpson Strong-Tie items as follows: 'CSD66-SDS2' column base at base of 6x6 PT posts with column base embedded into concrete and fastened to post with 1/4-20 1/2" x 2" screws; 'ABU442' Standoff post base at 4 x 4 PT posts with 5/8" diameter x 1'-0" steel threaded rod with double hex nuts + sandwiched steel washer at embedded end and post base fastened to post with 1/2-16d (0.162" diameter x 3 3/4") nails.
16.	Fasten base of stair stringers to side of 4 x 4 PT posts with 2 - 1/2" diameter thru-bolts.

STAIR FRAMING PLAN NOTES:	
1.	Verify existing conditions and dimensions in the field prior to fabrication and installation of any new materials. Notify Architect of any field discrepancies for possible further instructions.
2.	All exterior framing lumber to be pressure treated (PT).
3.	All exterior deck and stair treads to be composite wood decking, unless noted otherwise.
4.	WP1 indicates 6 x 6 pressure treated (PT) wood post.
5.	WP1 indicates 4 x 4 PT wood post.
6.	Provide Simpson Strong-Tie items as follows: 'CCQS-4SDS2.5' column caps at 6 x 6 PT posts with 1/2-1/2" x 2 1/2" SDS screws to beam and 1/4-1/2" x 2 1/2" SDS screws to posts; 'LSC2' adjustable stringer connectors at upper end of 2x12 stringers with 8-10d (0.148" dia.) x 1 1/2" hot-dip galvanized nails to rim joist, 8-10d (0.148" dia.) x 1 1/2" hot-dip galvanized nails to stringer wide face and 1-10d (0.148" dia.) x 1 1/2" hot-dip galvanized nail to stringer narrow face; 'TAC2' staircase angles at stair treads to side stringers with 3-SDS 1/2" x 1 1/2" screws at stringer and 3-SDS 1/2" x 1 1/2" screws to treads; and 'DTTZ' holdown horizontally installed at upper 1/2" diameter thru-bolt of 2 - 1/2" diameter thru-bolt connection of 4 x 4 vertical rail to rim joists with 8-SDS 1/2" x 1 1/2" screws to floor joist/blocking.

**QA+M**  
architecture  
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ISSUED FOR REVIEW ONLY

REHABILITATION/RECONSTRUCTION WORK FOR:  
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APPLICANT #1911  
1062 REEF ROAD  
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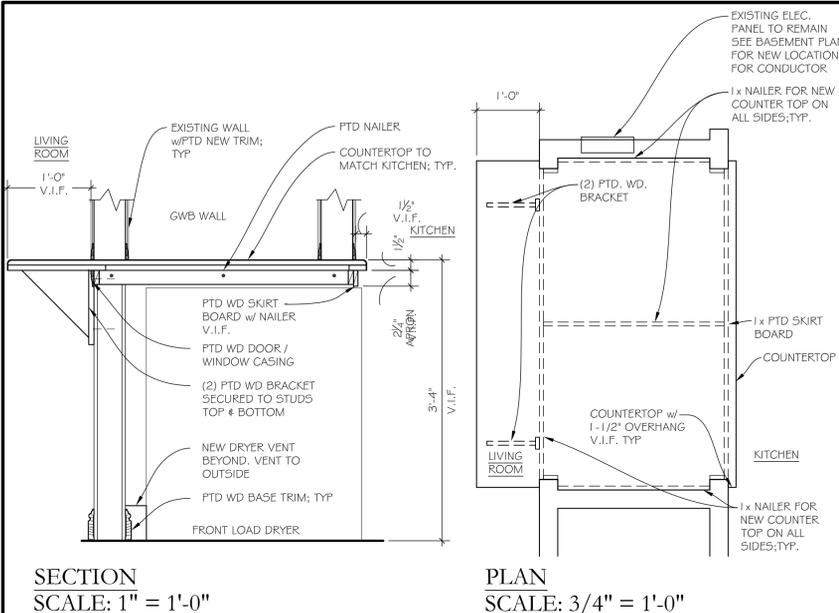
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**GENERAL NOTES**

Issue Dates:  
FEBRUARY 28, 2018

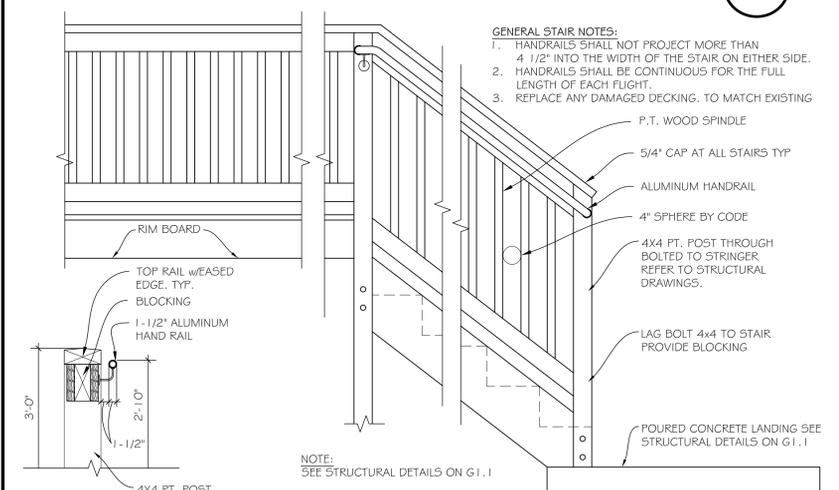
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Project #: QA 1346-32  
Drawn By: JCB

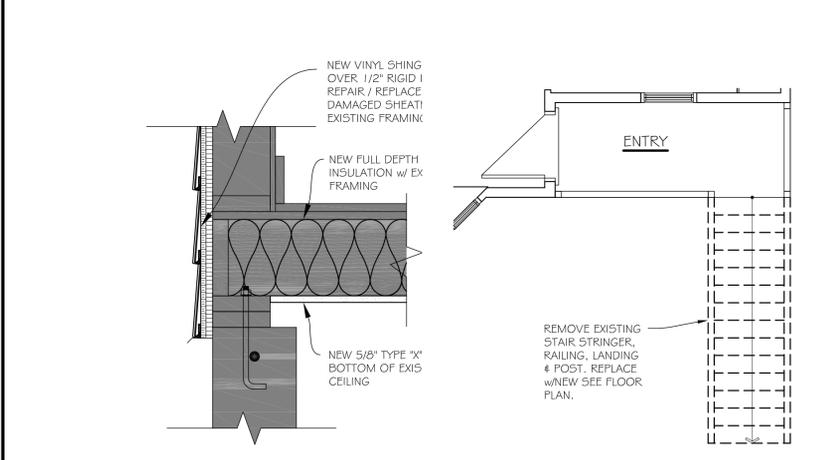
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**PLAN / DETAIL OF COUNTER TOP @LAUNDRY**

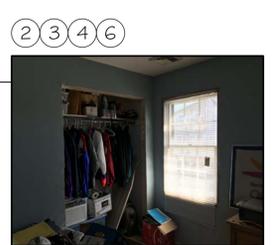
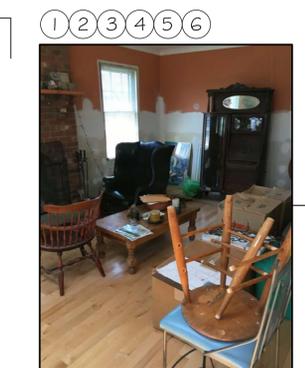
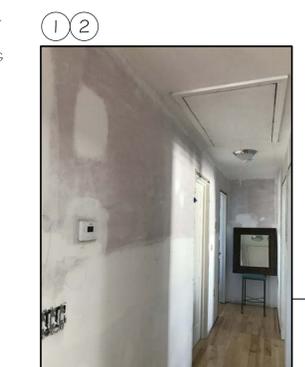
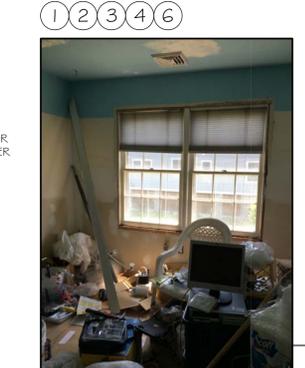
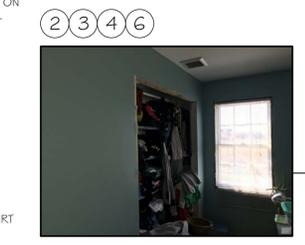
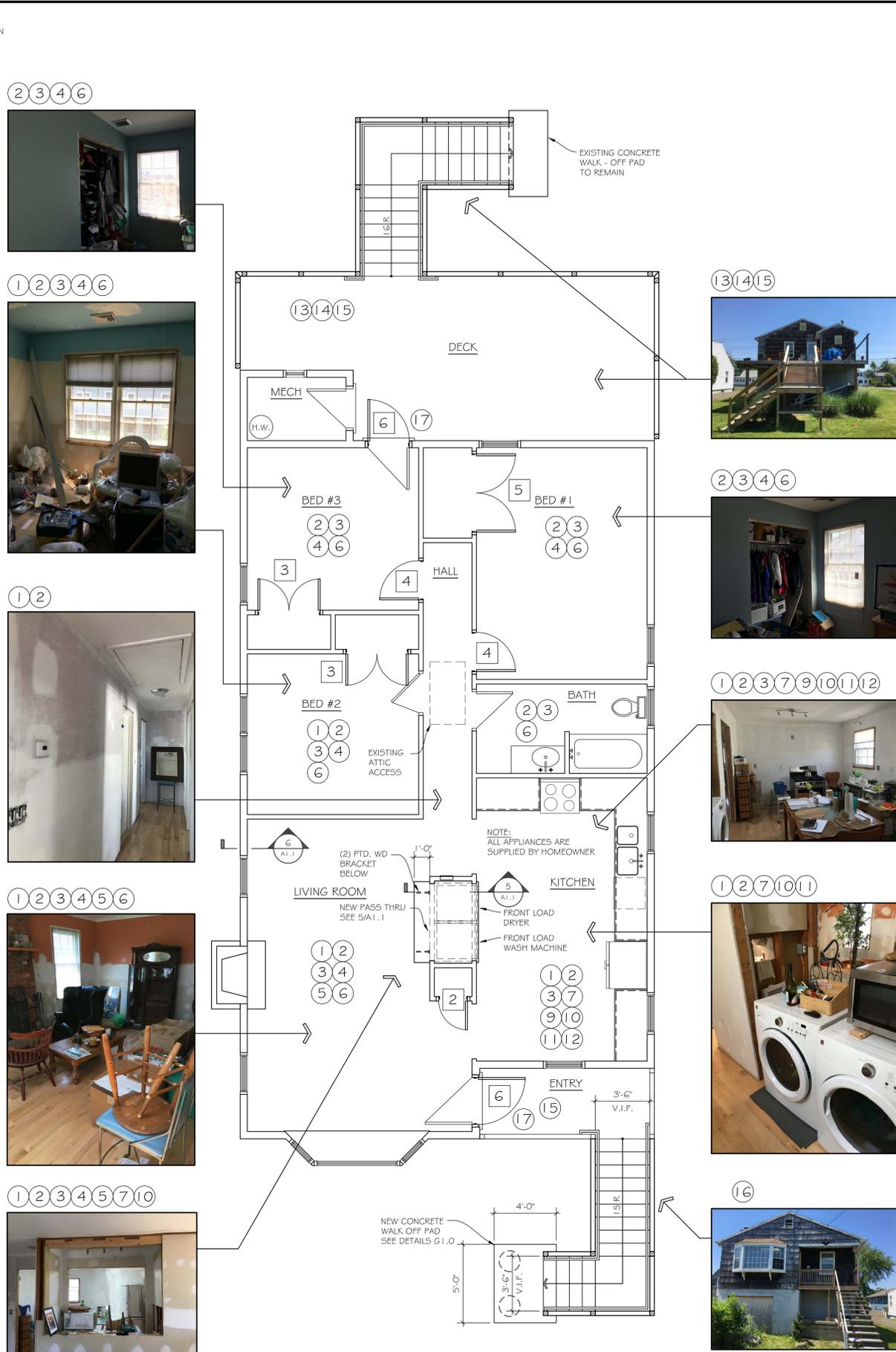


**DECK DETAILS**

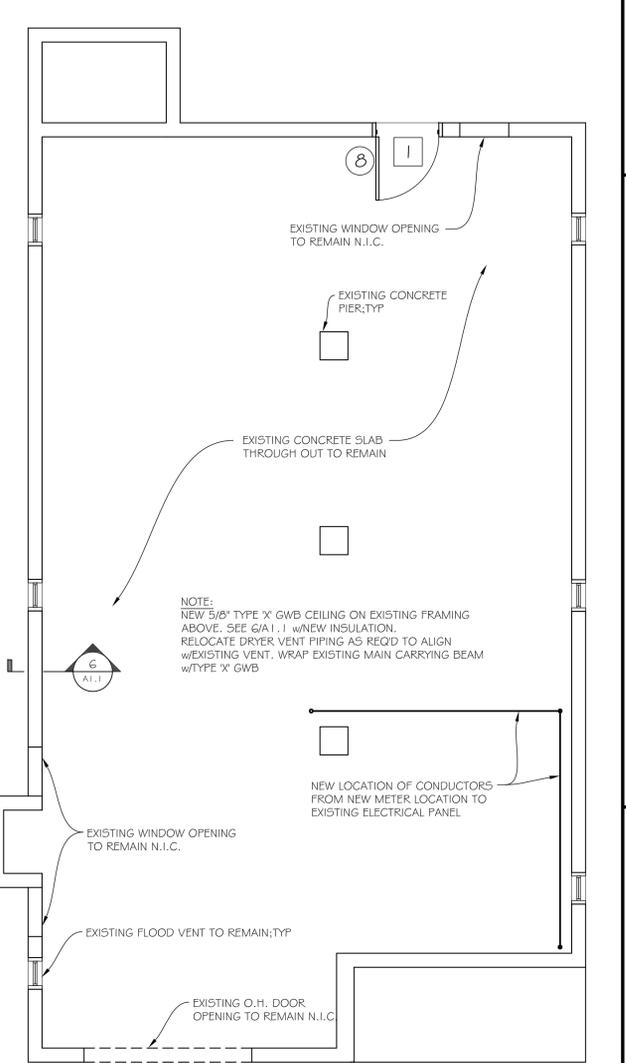


**EXTERIOR WALL / GARAGE CEILING DETAIL**

**DEMOLITION PLAN**



- KEY NOTES**
- PATCH, REPAIR & REPAINT EXISTING WALLS & CEILING AS REQUIRED TO PROVIDE A SMOOTH PAINTABLE FINISH. PROVIDE & INSTALL NEW OUTLET & SWITCH COVERS
  - PROVIDE & INSTALL NEW 3-1/4" TALL BASEBOARD TRIM THROUGHOUT. PRIME & PAINT WITH SEMI-GLOSS FINISH. OWNER TO SELECT COLOR.
  - PROVIDE & INSTALL NEW 2-1/2" WIDE WINDOW & DOOR TRIM THROUGHOUT. PRIME & PAINT WITH SEMI-GLOSS FINISH. OWNER TO SELECT COLOR.
  - PROVIDE & INSTALL NEW INTERIOR DOORS WITH HARDWARE TO MATCH EXISTING. SEE DOOR ELEVATIONS ON A1.2
  - PROVIDE & INSTALL CROWN MOLDING TO MATCH EXISTING. PRIME & PAINT WITH SEMI-GLOSS FINISH. OWNER TO SELECT COLOR.
  - PROVIDE & INSTALL NEW DOOR HARDWARE TO MATCH EXISTING. EXTERIOR DOORS TO BE ENTRY FUNCTION; BEDROOMS & BATHROOMS TO BE PRIVACY FUNCTION; CLOSETS TO BE PASSAGE FUNCTION
  - PROVIDE & INSTALL NEW VENT, FIELD VERIFY WORK TO INCLUDE ALL REQUIRED DUCTWORK & EXTERIOR HOOD. EXTERIOR HOOD TO MATCH SIDING COLOR
  - PROVIDE & INSTALL NEW EXTERIOR DOOR & HARDWARE. NEW DOOR TO BE FULLY WEATHER-STRIPPED & HAVE ALUMINUM ADJUSTABLE THRESHOLD. PRIME & PAINT WITH EXTERIOR SEMI-GLOSS FINISH. OWNER TO SELECT COLOR.
  - PROVIDE & INSTALL NEW KITCHEN CABINETS. G.C. TO WORK WITH HOMEOWNER TO FINALIZE DESIGN & SELECTION. SEE ALLOWANCE SPEC SECTION FOR MATERIAL ALLOWANCE. INSTALLATION IS PART OF BASE BID
  - PROVIDE & INSTALL NEW COUNTERTOPS. G.C. TO WORK WITH HOMEOWNER FOR SELECTION. SEE ALLOWANCE SPEC SECTION FOR MATERIAL ALLOWANCE. INSTALLATION IS PART OF BASE BID
  - INSTALL OWNER PROVIDED APPLIANCES. COORDINATE KITCHEN DESIGN AROUND APPLIANCES
  - PROVIDE & INSTALL NEW SINK, FAUCET, DRAIN LINE & STOPS. SEE ALLOWANCE SPEC SECTION FOR MATERIAL ALLOWANCE (SINK & FAUCET). INSTALLATION, DRAIN LINE & STOPS ARE PART OF BASE BID
  - PROVIDE & INSTALL NEW P.T. RAILING & SPINDLES ON THE EXISTING DECK & STAIR. SEE DETAIL 4 / A1.1
  - REMOVE EXISTING DECKING. PROVIDE & INSTALL NEW 5/4"x6" P.T. DECKING
  - PROVIDE & INSTALL NEW P.T. WOOD 4X4 POSTS & RAILING ASSEMBLY ATTACHED THE EXISTING DECK PLATFORM. SEE DETAIL 4 / A1.1
  - PROVIDE & INSTALL NEW P.T. WOOD STAIR, LANDING, SPINDLES & RAILING / HANDRAIL. SEE DETAIL 17.
  - PROVIDE & INSTALL NEW STORM DOORS. SEE DOOR ELEVATIONS ON A1.2



**EXISTING BASEMENT PLAN**

**QA+M**  
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Sheet Description:  
**BASEMENT PLAN, FIRST FLOOR PLAN & DETAILS**

Issue Dates:  
FEBRUARY 28, 2018

SCALE: AS NOTED

Project #: QA 1346-32  
Drawn By: JCB

Sheet #:  
**A1.1**

