

***Owner Occupied and Scattered Site Rehabilitation Programs***

**ADDENDUM ACKNOWLEDGEMENT**

**Addendum # 4  
March 13<sup>th</sup>, 2019**

Project # 1247 Property Address: 12 Jacob Street, Norwalk, CT

Addendum Description

The addendum modifies the Bid Specification and Drawings prepared by Martinez Couch and Associates, LLC and Consultants to the following particulars;

A. Drawings & Sketches

1. Replace drawings sheet G-1.0 – “General Notes & Project Information” with attachment 1 of this addendum.

B. Bidder Request for Information.

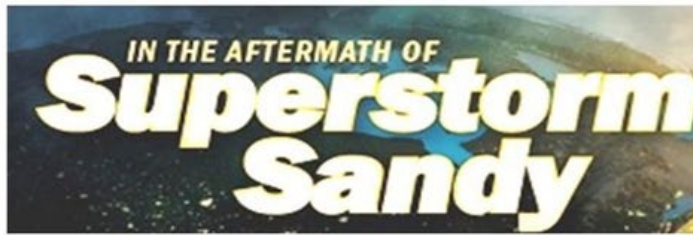
Bidder Request for Information 1: Date: 03-12-2019

Who is responsible for corrections to the modular unit once set on the foundation if the unit is set on the foundation incorrectly by the Owners Contractor, and is set beyond the property setbacks as required per the drawings?

RFI – Response #1

As indicated on the contract drawings, the Contractor is responsible for verifying the modular unit(s) dimensions prior to the delivery and at placement of modular units on new concrete foundation. The Contractor is also responsible for verifying the foundation formwork placement prior to concrete pour and preparing as-builts drawings of the constructed foundation for compliance of setbacks as indicated on drawing sheet C-1.0. Refer to detail plans 1, 2, and 3 on drawing sheet C-1.0 identifying tolerances to permitted setbacks of designed foundation and modular units built to dimensions indicated.

Acceptance of a modular unit outside the specified dimensions will require correction by the contractor at no additional cost.



Department of Housing



Bidder Request for Information 2: Date: 03-12-2019

Should the Owner or Contractor carry a cost to have a survey crew on site to insure the modular is set on the foundation in the correct location and its certification thereof?

RFI – Response #2

See sheet G-0.0, 'Modular Home Notes' Note 2, setting of modular home onto foundation is by separate contract by owner. Contractor is responsible for building foundation to receive the modular units. It is the contractors means and methods to insure the modular unit is set on the new foundation in the correct location. Use of a licensed land surveyor is an acceptable means.

Bidder Request for Information 3: Date 3-12-18

Who is responsible for damage to the modular unit during delivery/ being installed on the foundation on site?

RFI – Response #3

Refer to drawing sheet G-0.0, 'Special Notice to Bidders', note 3. The Contractor responsibility for protection of modular home is required once it has been set on structural foundation.

Bidder Request for Information 4: Date 3-12-18

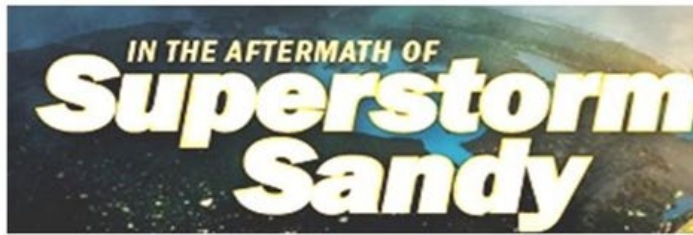
Will there be an inspection by the Owner, Contractor and Architect to verify the condition of the modular prior to being turned over to the Contractor?

RFI – Response #4

The Owner is be responsible for inspecting and verifying the condition of the modular unit upon delivery and prior to placement on structural foundation.

Bidder Request for Information 5: Date 3-12-18

Will the Owner supply Proof of Insurance to the Contractor and Architect to cover his modular Contractor while on site and is the Owner responsible for also insuring his modular, liability, vandalism, replacement value etc. once the modular is delivered on site?



Department of Housing



RFI – Response #5

The Owner shall provide proof of insurance for modular contractor. The Contractor will be required to furnish and provide the CT DOH with the specification required insurances and is responsible for the protection of the finished construction modular units upon placement on new structural foundation under said insurances until acceptance of the work.

Bidder Request for Information 6: Date 3-12-18

According to the speculations the Contractor is supposed to go to the factory to verify modular dimensions prior to shipping to the site. Does that mean if the modular factory is in Pennsylvania, we are to carry a cost in our base bid for travel to do so?

RFI – Response #6

It is the contractors means and methods to verify the modular unit dimensions prior to delivery to the site. All costs associated with this task are borne by the general contractor.

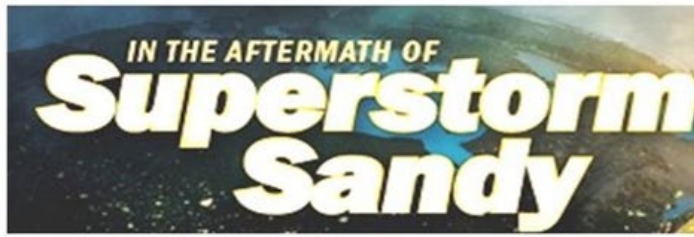
Bidder Request for Information 7: Date 3-12-18

Is the Owners Modular Contractor responsible for connecting/ securing his Modular to our foundation and if so will they be supplying the Simpson(sic) ties or other fasteners to do so?

RFI – Response #7

The Contractor is responsible for securing and anchoring of the modular units to the new structural foundation along with providing all necessary materials to do so as indicated on the contract drawings. Refer to drawing sheet A-1.0 – ‘Floor Plans-1’, work note 22, drawing sheet A-1.4- ‘Framing Details’ detail 6, and Structural drawing S-3 ‘Foundation Design – Sections & Notes’, Section 1.

\*The bid due date has not been extended by Bid Addendum #4. The bid due date remains on Friday, March 15<sup>th</sup>, 2019 at 4:00PM.



Addendum #4 – Attachment 1

Drawing Sheet G-1.0 – General Notes & Project Information

**GENERAL NOTES:**

- WHERE REFERENCED IN THIS PLAN SET, MARTINEZ COUCH & ASSOCIATES, LLC SHALL HEREIN BE REFERRED TO AS "MCA."
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MCA IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MCA PRIOR TO BIDDING.
- REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

**DRAWING INDEX**

SHEET TITLE	SHEET NUMBER
TITLE SHEET	T-0.0
GENERAL NOTES & PROJECT INFORMATION	G-0.0
TOPOGRAPHIC AND BOUNDARY SURVEY	1 OF 1
IMPROVEMENT LOCATION PLAN	C-1.0
SOIL EROSION, SEDIMENT CONTROL AND DEMOLITION PLAN	C-1.1
DEMOLITION PLAN – DETAIL AT HOUSE	C-1.1-A
SITE PLAN	C-1.2
SITE PLAN – DETAIL AT HOUSE	C-1.2-A
SITE UTILITY PLAN	C-1.3
SOIL EROSION AND SEDIMENT CONTROL DETAILS	C-2.0
SITE DETAILS	C-2.1
SITE UTILITY DETAILS	C-2.2
FLOOR PLANS – 1	A-1.0
FLOOR PLANS – 2	A-1.1
FRAMING PLANS – 1	A-1.2
FRAMING PLANS – 2	A-1.3
FRAMING DETAILS	A-1.4
BUILDING ELEVATIONS	A-2.0
BUILDING SECTIONS – 1	A-2.1
BUILDING SECTIONS – 2	A-2.2
BUILDING SECTIONS – 3	A-2.3
ROOF SECTIONS	A-2.4
DECK AND STAIR DETAILS	A-3.0
ARCHITECTURAL DETAILS	A-3.1
DETAILS AND SCHEDULES	A-5.0
FOUNDATION DESIGN – FOUNDATION PLAN	S1
FOUNDATION DESIGN – FIRST FLOOR FRAMING SUPPORT PLAN	S2
FOUNDATION DESIGN – SECTIONS & NOTES	S3
MECHANICAL AND PLUMBING PLAN – 1	MP-1.0
MECHANICAL AND PLUMBING PLAN – 2	MP-1.1
ELECTRICAL PLAN – 1	E-1.0
ELECTRICAL PLAN – 2	E-1.1

**PROJECT/SITE INFORMATION**

**PROJECT SITE:**

- PARCEL ID MAP 6, BLOCK 26 LOT 16, CITY OF NORWALK ASSESSOR'S MAPPING, KNOWN AS 12 JACOB STREET NORWALK CONNECTICUT
- OWNER OF RECORD: MATTHEW HEISSAN, 12 JACOB STREET NORWALK, CT 06853-1216

**PERMIT INFORMATION**

- CITY OF NORWALK CAM PERMIT #6-17 APPROVED BY NORWALK ZONING COMMISSION AT MARCH 15, 2017 MEETING, ONE YEAR EXTENSION OBTAINED ON APRIL 5, 2018 NORWALK ZONING COMMISSION MEETING
- CITY OF NORWALK ZONING BOARD OF APPEALS VARIANCE 18-0301-01 GRANTED AT MARCH 1, 2018 ZONING BOARD OF APPEALS MEETING. EXTENSION FOR BUILDING PERMIT APPLICATION APPROVED AT ZONING BOARD OF APPEALS SEPTEMBER, 6, 2018 MEETING
- PERMIT REFERENCE PLANS BY OTHERS:
  - ZONING LOCATION SURVEY DEPICTING PROPOSED IMPROVEMENTS 12 JACOB STREET NORWALK CT, PREPARED FOR MERRITT CONSTRUCTION SERVICES, DATED 11/1/2016.
  - SITE DEVELOPMENT PLAN DEPICTING 12 JACOB STREET NORWALK, CT, PREPARED FOR MERRITT CONSTRUCTION SERVICES, DATED 2/10/17

**DRAWING ANNOTATION LEGEND**

	DEMOLITION WORK NOTE, SEE INDIVIDUAL SHEETS FOR WORK DESCRIPTION REFERENCED BY CALLOUT
	NEW WORK KEY NOTE, SEE INDIVIDUAL SHEETS FOR WORK DESCRIPTION REFERENCED BY CALLOUT
	PARTITION TYPE LABEL
	DETAIL REFERENCE
	SECTOPM REFERENCE

**SPECIAL NOTICE TO BIDDERS**

- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY COORDINATION FOR SUCCESSFUL PROJECT COMPLETION. THIS INCLUDES ALL WORK INDICATED ON DRAWINGS AND SPECIFICATIONS.
- THE PROJECT SCOPE INCLUDES THE FURNISHING A NEW MODULAR HOME BY THE PROPERTY OWNER FOR PLACEMENT ON NEW STRUCTURAL FOUNDATION PIERS CONSTRUCTED BY THE CONTRACTOR. ALL OTHER WORK IDENTIFIED ON THE DRAWINGS AND SPECIFICATIONS, COLLECTIVELY THE CONTRACT DOCUMENTS, IS INCLUDED IN THE CONTRACTORS SCOPE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE INSTALLED MODULAR HOME IMMEDIATELY UPON SETTING ON THE STRUCTURAL FOUNDATION SHOWN ON THESE PLANS. THE SCOPE OF PROTECTION SHALL INCLUDE BUT BE LIMITED TO THE FOLLOWING
  - PROTECTION OF THE MODULAR BUILDING CONSTRUCTION, AS SET BY MODULAR BUILDER, FROM WEATHER, DAMAGE, OR OTHER DETERIORATION RESULTING FROM THE BUILDING ENVELOPE WORK IDENTIFIED ON THESE DRAWINGS NOT COMPLETED AT THE TIME OF MODULAR STRUCTURE SET.
  - ANY REQUIRED PHASING FOR PROTECTION OF THE MODULAR HOME UNTIL THE COMPLETION OF THE BUILDING ENVELOPE AS SHOWN ON THIS DRAWING SET.
  - REFER TO MODULAR HOME NOTES FOR FURTHER INFORMATION
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING AND SEALING THE EXTERIOR OF THE MODULAR HOME. ANY DAMAGE WHICH OCCURS PRIOR TO ROOF CONSTRUCTION, BUILDING INSULATION, WEATHER BARRIERS, EXTERIOR FINISH CARPENTRY, AND SIDING INSTALLATION COMPLETION WILL BE REPAIRED AT THE CONTRACTORS EXPENSE WITHOUT ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL PREPARE A WRITTEN PHASING PLAN FOR PROTECTION OF THE MODULAR HOME WHICH SHALL CLEARLY IDENTIFY MEASURES TO BE IMPLEMENTED BY THE CONTRACTOR THAT WILL PROVIDE PROTECTION OF SAID MODULAR HOME. ANY FAILURE TO PROTECT THE MODULAR STRUCTURE, THROUGH MEASURES IDENTIFIED IN THE PHASING PLAN, AFTER INSTALLATION BY THE MODULAR BUILDER WILL BE REMEDIED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION.

**PROJECT PHASING NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH THE COMPLETION OF FOUNDATION CONSTRUCTION AND DELIVERY/SET OF MODULAR HOME ON NEW FOUNDATION
- AS BUILT CONSTRUCTION DOCUMENTS ARE REQUIRED TO BE PREPARED BY THE CONTRACTOR DURING MULTIPLE PHASES OF CONSTRUCTION. CERTIFIED AS BUILTS SHALL BE SUBMITTED TO MCA PRIOR TO CONTINUANCE WITH WORK. DELIVERABLE TO INCLUDE A CERTIFIED MYLAR PRINT AND AN AUTOCAD .DWG FILE IN CONNECTICUT STATE PLANE COORDINATES WITH AS BUILT LOCATIONS CERTIFIED A-2/V-2/T-2 BY A LICENSED LAND SURVEYOR IN THE STATE OF CONNECTICUT. THE AS BUILTS SHALL BE COMPLETED AT THE FOLLOWING PHASES OF CONSTRUCTION:
  - AT FORM WORK INSTALLATION PRIOR TO CONCRETE POUR OF ANY STRUCTURAL PIER VERIFYING SET BACKS OF PROJECT ZONING VARIANCE ARE MET.
  - PRIOR TO SETTING OF MODULAR HOME AS BUILT LOCATION PLAN OF STRUCTURE PIERS TO SUPPORT MODULAR HOME AND DECK PIERS AFTER REMOVAL OF CONCRETE FORM WORK.
  - ALL WORK FOUND TO NOT BE IN COMPLIANCE WITH CONTRACT DRAWINGS WILL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NOT ADDITIONAL COST TO THE OWNER OR STATE.
- NORTHWEST DECK MAY ONLY EXPOSE 10 LINEAL FEET OF EXISTING STONE WALL AT ANY ONE TIME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE STONE WALL WITH A TEMPORARY SHORING SYSTEM MEETING THE SPECIFICATION REQUIREMENTS. THROUGHOUT THE ENTIRE PHASED EXCAVATION AND CONSTRUCTION OF MAT FOOTING FOR THE DECK.

**MODULAR HOME NOTES**

- MODULAR HOME SHALL BE A PRE-ENGINEERED WOOD FRAME STRUCTURE BUILT IN COMPLIANCE WITH THE 2018 STATE OF CONNECTICUT BUILDING CODE. THE FOLLOWING ITEMS DESCRIBE THE CONSTRUCTION OF THE MODULAR HOME AS DELIVERED
  - STRUCTURE EXTERIOR WALLS INSULATED AND SHEATHED WITH 1/2" NOMINAL SHEATHING WITH INTEGRAL AIR BARRIER
  - WINDOWS OPENINGS ARE COMPLETE WITH WINDOW INSTALLATION TO THE NAILING FLANGE ONLY
  - UNDERSIDE OF MODULAR STRUCTURE UNITS UN-INSULATED WITH EXPOSED UNTREATED WOOD FRAMING AND WOOD SHEATHING
  - TOP OF MODULAR UNITS EXPOSED UN-INSULATED, UNTREATED WOOD FRAMING AND GYPSUM BOARD SHEATHING
- THE PROPERTY OWNER WILL FURNISH AND SET A MODULAR HOME ON THE FOUNDATION SHOWN ON THIS DRAWING SET. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE PROPOSED MODULAR HOME COMPLYING THE DIMENSIONS INDICATED ON THIS DRAWING SET FOR PROPER FIT AND INSTALLATION ON THE FOUNDATION
- RECTANGULAR FINISHED EXTERIOR DIMENSIONS OF MODULAR HOME, FROM EXTERIOR SHEATHING TO EXTERIOR SHEATHING ARE PROPOSED AT 20'-0" WIDE BY 47'-0" LONG.
  - THE GENERAL CONTRACTOR SHALL VERIFY THE DIMENSIONS OF MODULAR UNITS AT THE FACTORY PRIOR TO DELIVERY AND AGAIN ONSITE PRIOR TO INSTALLATION ON FOUNDATION FOR COMPLIANCE WITH SETBACKS AND CONTRACT DRAWING DIMENSIONAL REQUIREMENTS.
  - RECTANGULAR DIMENSION DOES NOT INCLUDE CANTILEVERED SECTIONS OF MODULAR HOME AT 20' WIDTH FOR WHICH DIMENSIONS ARE CONTAINED IN THIS DRAWING SET.
- SHOULD THE MODULAR STRUCTURE EXCEED ANY OF THE INDICATED DIMENSIONS, THE GENERAL CONTRACTOR SHALL NOT BE PERMITTED TO INSTALL THE MODULAR HOME UNTIL DEVIATIONS FROM DIMENSIONS INDICATED ON THESE PLANS ARE CORRECTED.
- INSTALLATION OF A MODULAR HOME EXCEEDING DIMENSIONAL REQUIREMENTS OF CONTRACT DRAWINGS WILL NOT BE CONSIDERED A CHANGE OF CONDITIONS AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR REMEDIAL WORK TO MEET SPECIFIED DIMENSIONS AND BUILDING LINE SETBACKS OF THESE PLANS.
- THE OWNER IS RESPONSIBLE FOR INSPECTING AND VERIFYING THE CONDITION OF THE MODULAR UNIT UPON DELIVERY AND PRIOR TO PLACEMENT ON STRUCTURAL FOUNDATION. (BID ADDENDUM #4 – DATED 3/13/19)
- THE OWNER SHALL PROVIDE PROOF OF INSURANCE FOR MODULAR CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO FURNISH AND PROVIDE THE CT DOH WITH THE SPECIFICATION REQUIRED INSURANCES AND IS RESPONSIBLE FOR THE PROTECTION OF THE FINISHED CONSTRUCTION MODULAR UNITS UPON PLACEMENT ON NEW STRUCTURAL FOUNDATION UNDER SAID INSURANCES UNTIL APPEACEANCE OF THE WORK. (BID ADDENDUM #4 – DATED 3/13/19)

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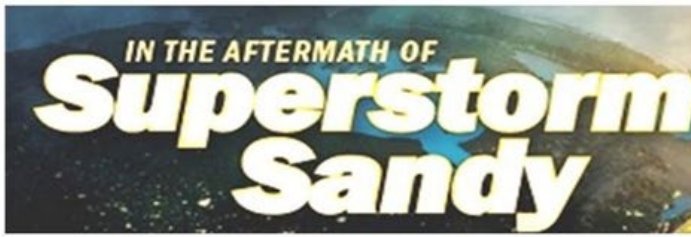
PROJECT 1247  
12 JACOB STREET  
NORWALK, CONNECTICUT 06853

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

3	3/13/19	BID ADDENDUM 4	MBR	MBR	REC
2	2/18/19	ISSUED FOR BIDDING	MBR	MBR	REC
1	12/17/18	ISSUED FOR CT DOH REVIEW AND APPROVAL	MBR	MBR	REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: MBR	CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE: 12/17/18	

**GENERAL NOTES  
& PROJECT INFORMATION**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1247	33-262-1247-BASE.dwg	G-0.0



## BID ADDENDUM ACKNOWLEDGMENT

The undersigned acknowledges that he/she have reviewed and acknowledge receipt of this Addendum #4 for Project 1247 – 12 Jacob Street, Norwalk, CT

Any bids collected which do not contain a signed and executed copy of this page are subject to disqualification.

### BIDDER ACKNOWLEDGEMENT:

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Name of Bidder

Signature

Date

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Bidder's Title

Bidder's Company