

Owner Occupied and Scattered Site Rehabilitation Programs

ADDENDUM ACKNOWLEDGEMENT

**Addendum # 2
March 6th, 2019**

Project # 1247 Property Address: 12 Jacob Street, Norwalk, CT

Addendum Description

The addendum modifies the Bid Specification and Drawings prepared by Martinez Couch and Associates, LLC and Consultants to the following particulars;

A. General

1. The bid due date is extended to allow bidders to obtain pricing based on the Add Alternate 5. The bid due date has been extended to Friday, March 15th, 2019.

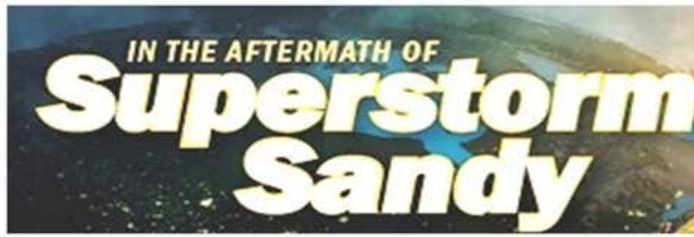
B. Drawings & Sketches

1. Replace drawings sheet C-2.1 – “Site Details” with attachment 1 of this addendum.

C. Specifications

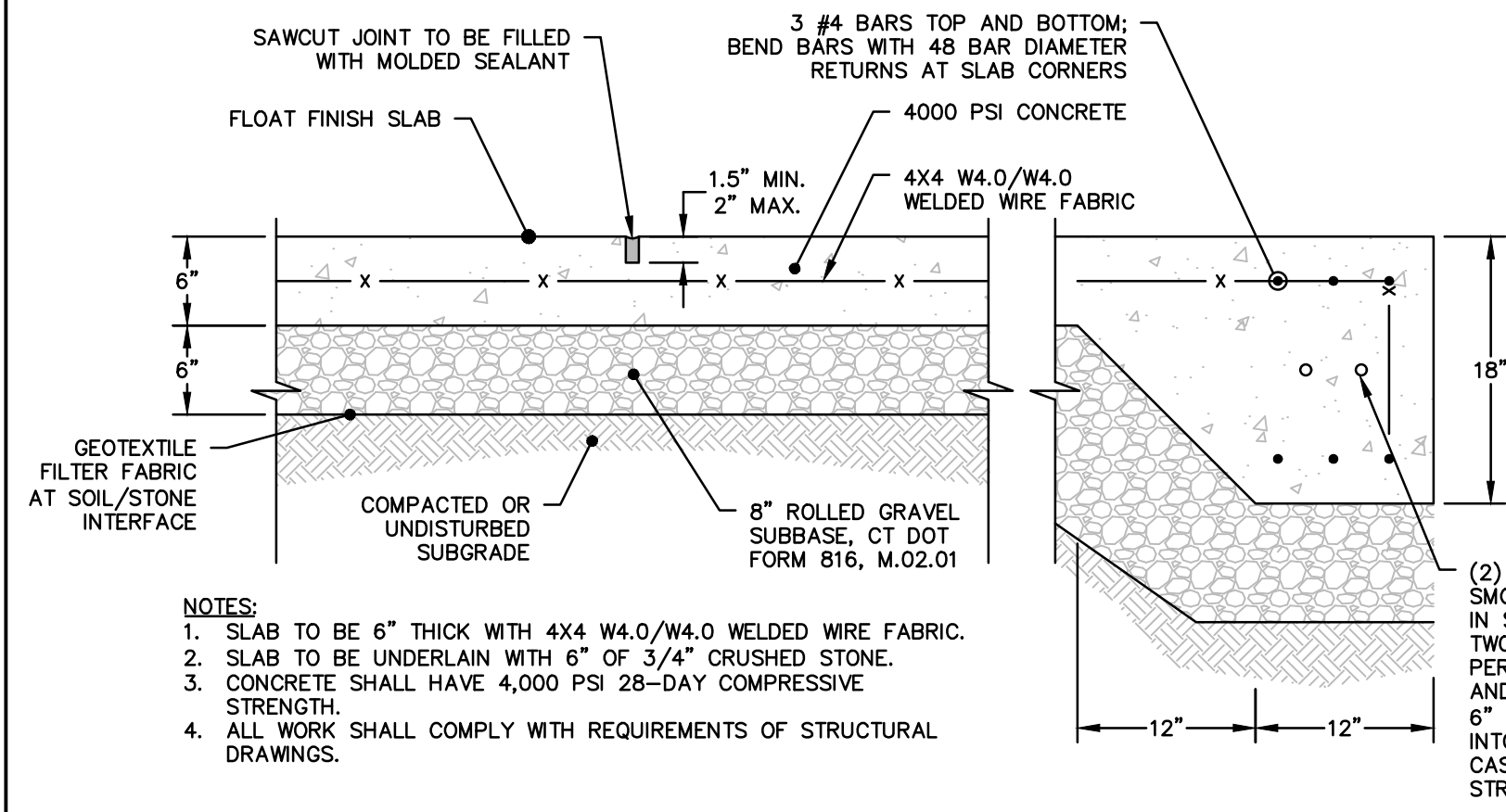
1. Attachment 2 of this addendum replaces pages 7-8 in the bid specifications.
2. Attachment 3 of this addendum replaces pages 11-13 in the bid specifications.
3. Attachment 4 of this addendum replaces pages 151-152 in the bid specifications.

*The bid due date has been extended by Bid Addendum #2



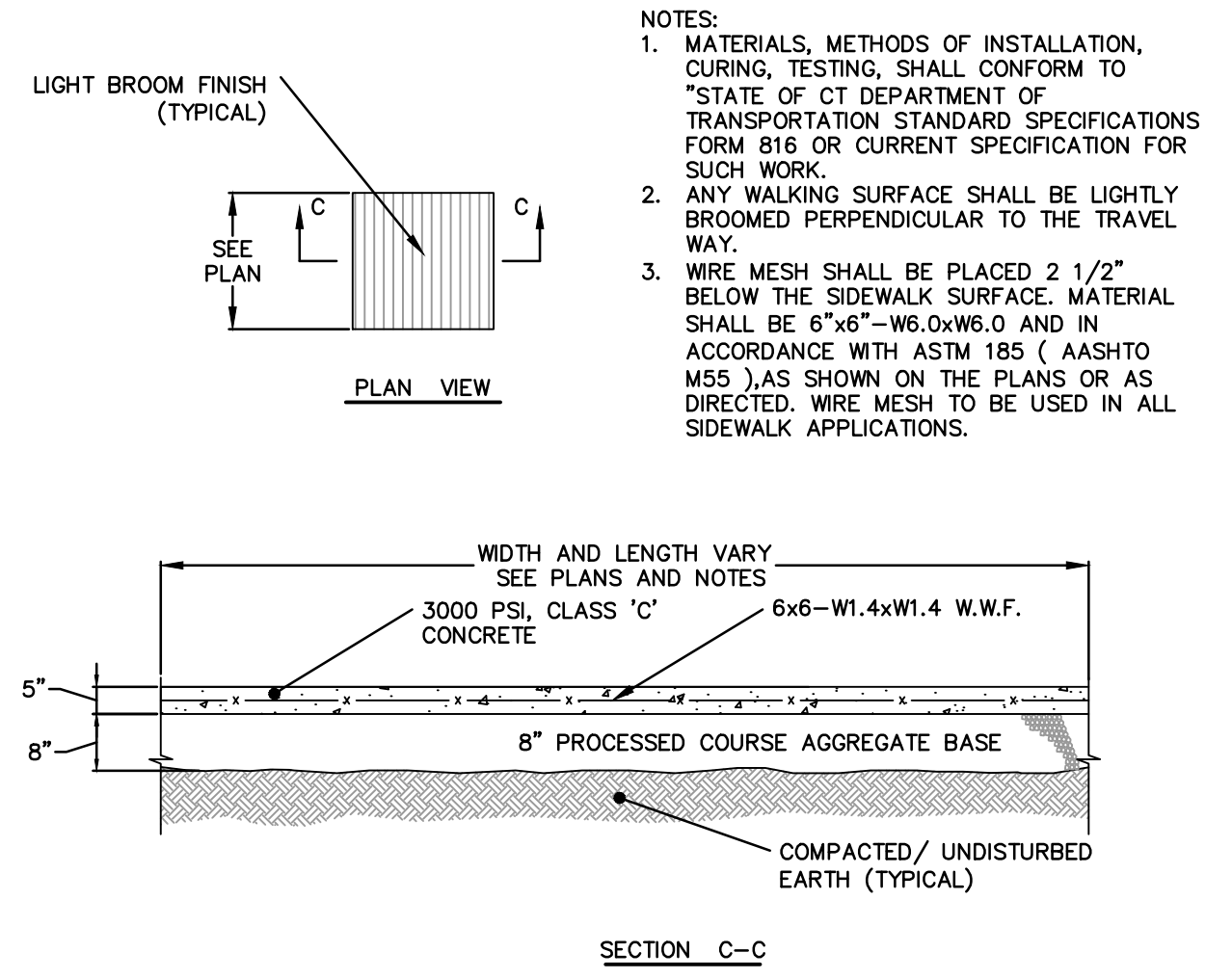
Addendum #2 – Attachment 1

Drawing Sheet C-2.1 – Site Details



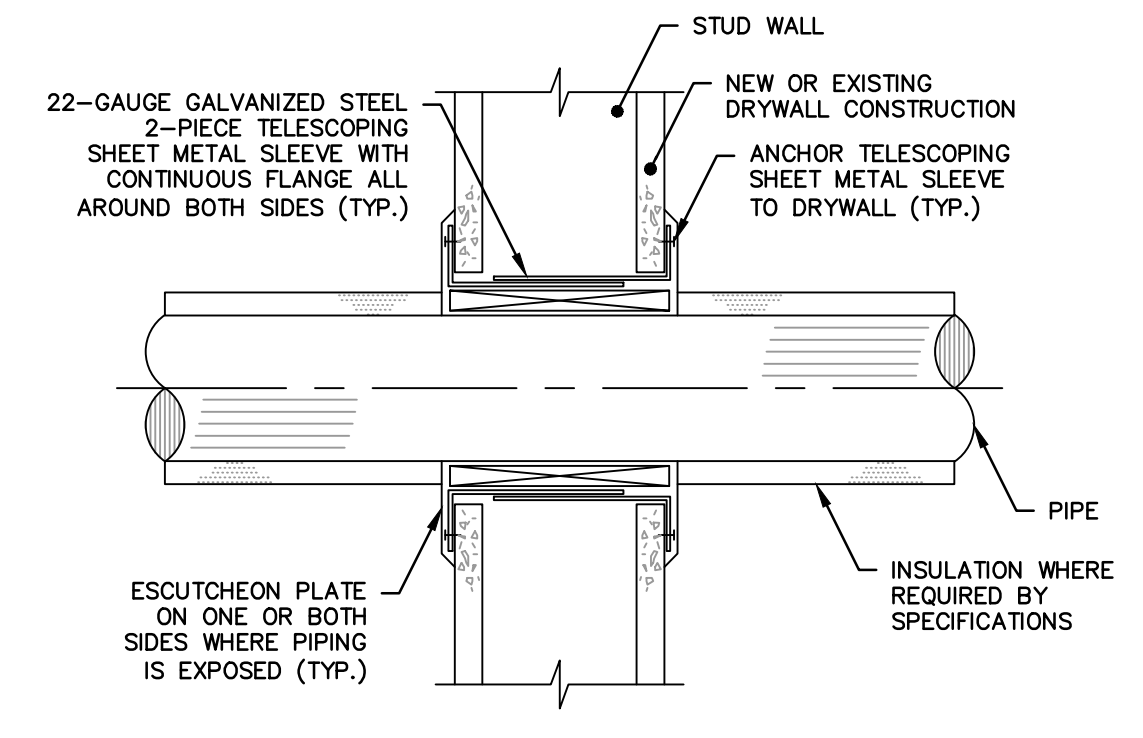
- NOTES:
1. SLAB TO BE 6" THICK WITH 4X4 W4.0/W4.0 WELDED WIRE FABRIC.
 2. SLAB TO BE UNDERLAIN WITH 6" OF 3/4" CRUSHED STONE.
 3. CONCRETE SHALL HAVE 4,000 PSI 28-DAY COMPRESSIVE STRENGTH.
 4. ALL WORK SHALL COMPLY WITH REQUIREMENTS OF STRUCTURAL DRAWINGS.

1 CONCRETE SLAB STORAGE AREA
C-2.1 N.T.S.

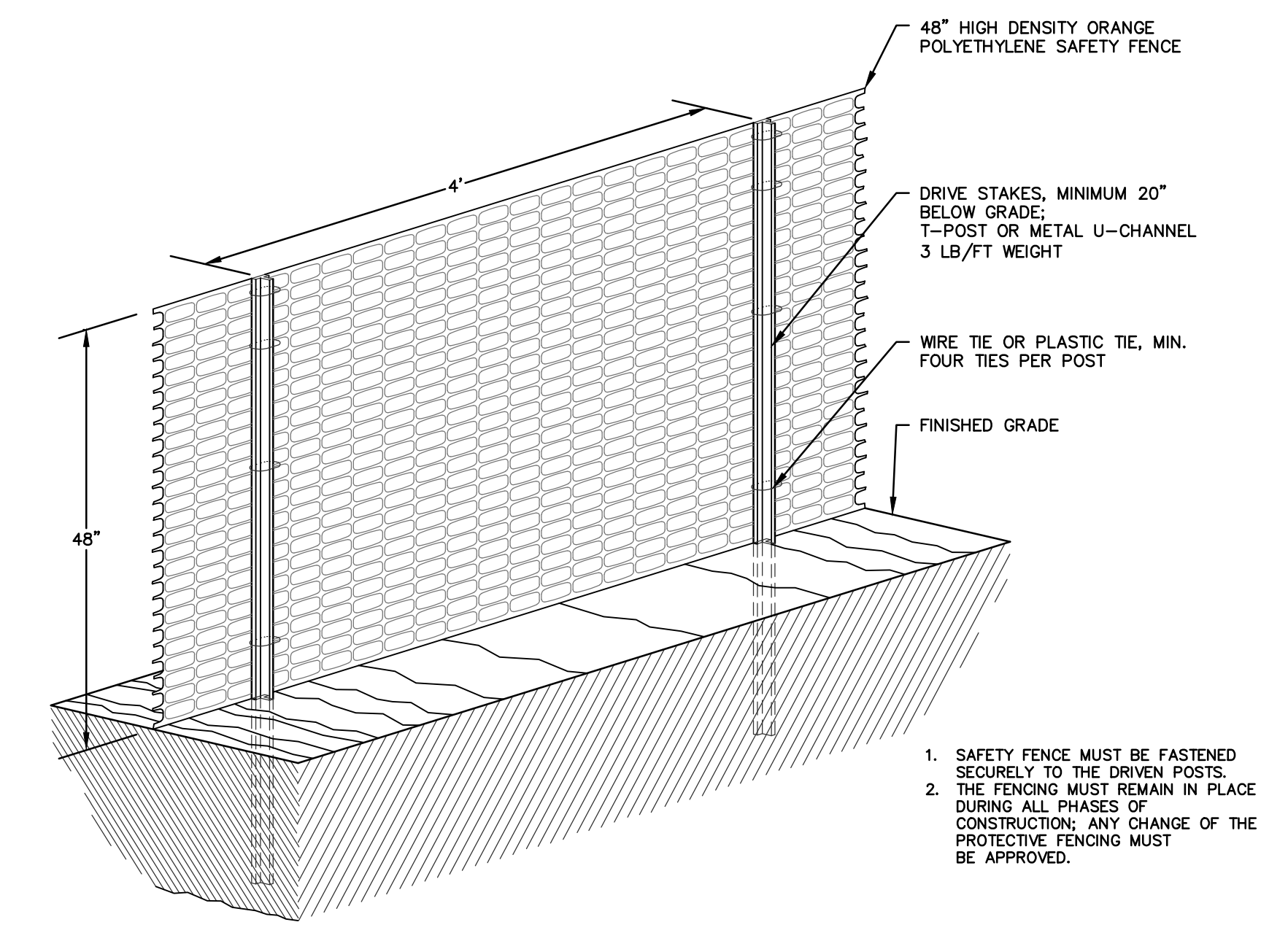


- NOTES:
1. MATERIALS, METHODS OF INSTALLATION, CURING, TESTING, SHALL CONFORM TO "STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 816 OR CURRENT SPECIFICATION FOR SUCH WORK."
 2. ANY WALKING SURFACE SHALL BE LIGHTLY BROOMED PERPENDICULAR TO THE TRAVEL WAY.
 3. WIRE MESH SHALL BE PLACED 2 1/2" BELOW THE SIDEWALK SURFACE. MATERIAL SHALL BE 6"x6"-W6.0xW6.0 AND IN ACCORDANCE WITH ASTM 185 (AASHTO M55), AS SHOWN ON THE PLANS OR AS DIRECTED. WIRE MESH TO BE USED IN ALL SIDEWALK APPLICATIONS.

2 TYPICAL CONCRETE PAD
C-2.1 N.T.S.

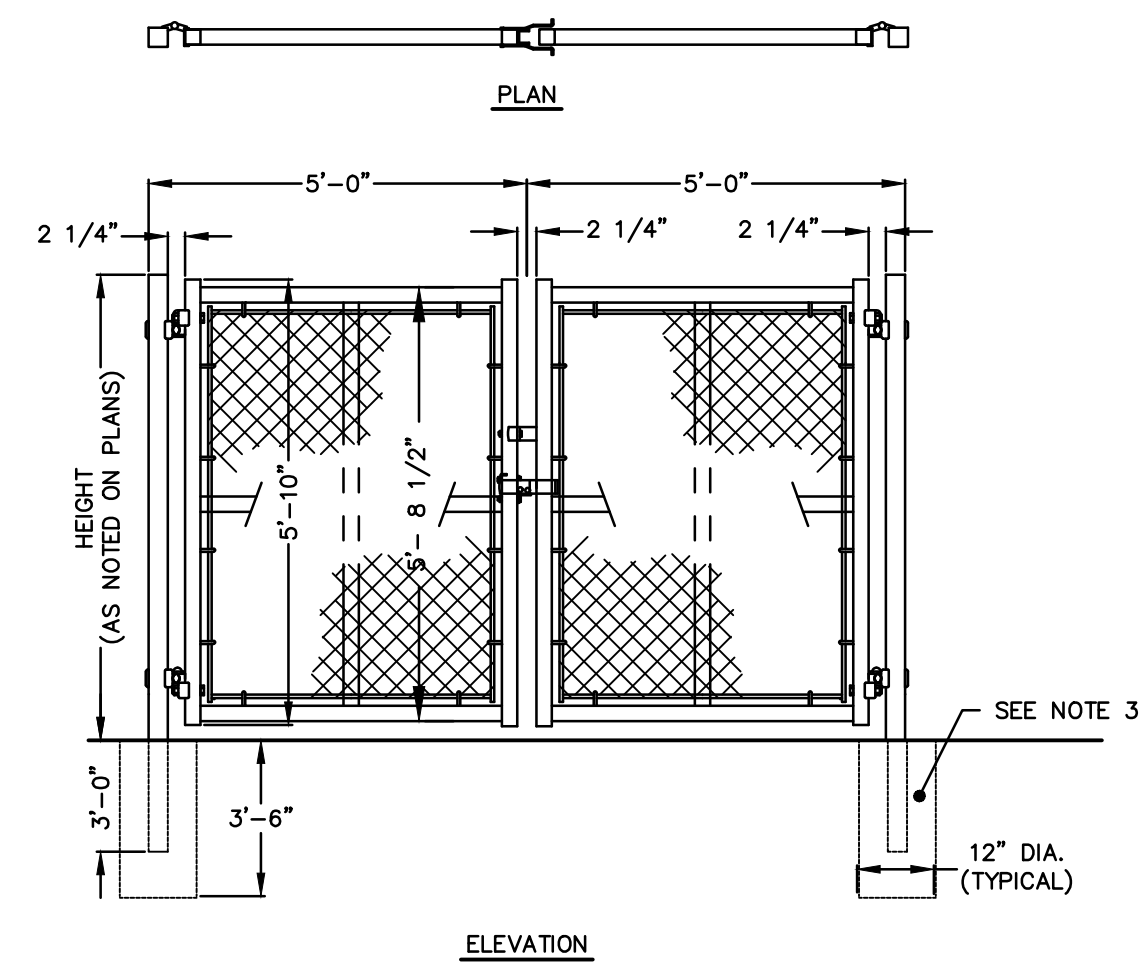


3 TYPICAL WALL/FLOOR PENETRATION
C-2.1 N.T.S.



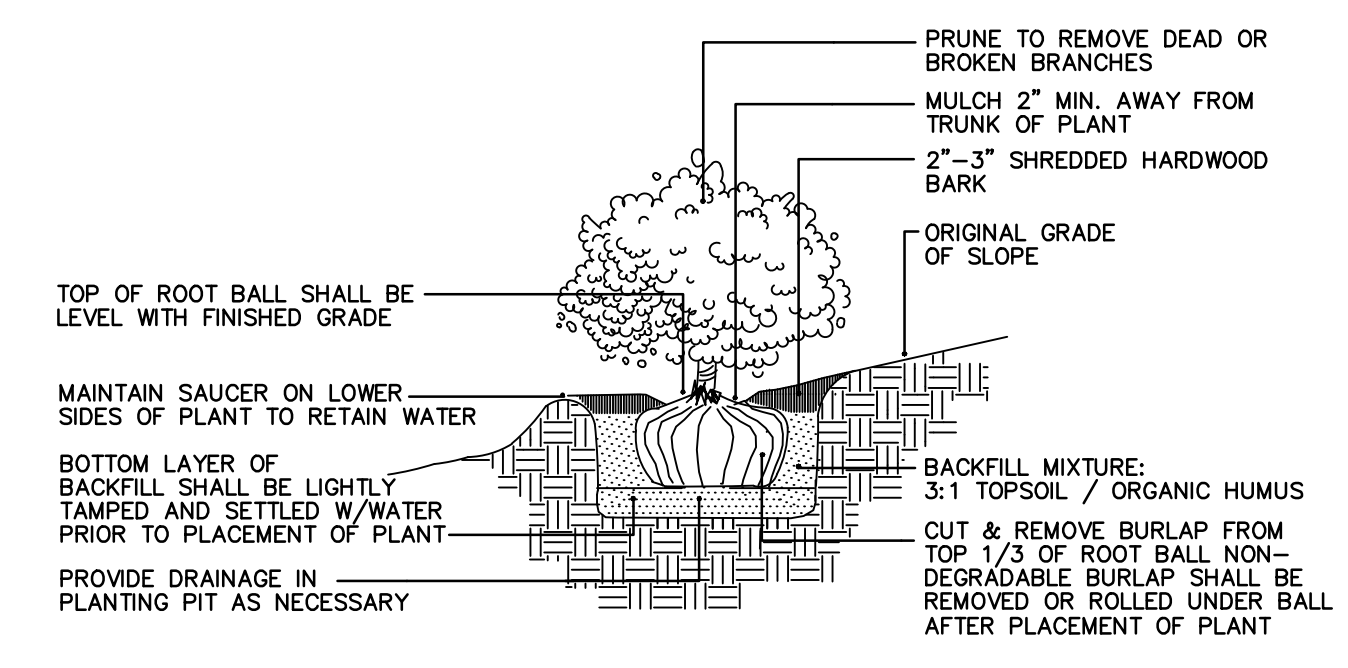
1. SAFETY FENCE MUST BE FASTENED SECURELY TO THE DRIVEN POSTS.
2. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION. ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

4 TYPICAL PORTABLE CONSTRUCTION CHAIN LINK FENCE
C-2.1 N.T.S.

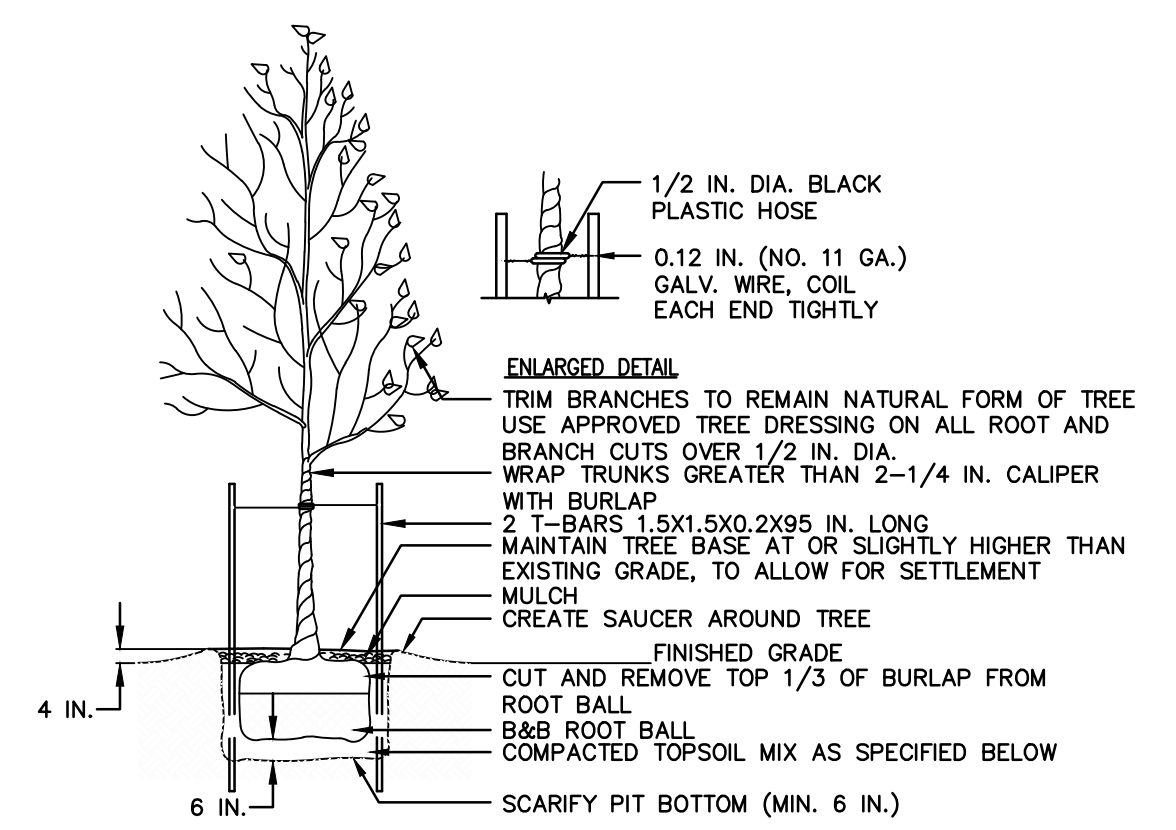


- NOTES:
1. GATES SHOULD OPEN TOWARD SITE, AWAY FROM STREET.
 2. GATES SHALL HAVE LOCKING MECHANISM THAT CAN BE PADLOCKED.
 3. METAL TRIPODS MAY BE USED FOR BOTTOM SUPPORTS INSTEAD OF MOUNTING INTO THE GROUND.
 4. MATERIALS, METHODS OF INSTALLATION SHALL BE CONFORM TO "STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 817 M.10.05" OR CURRENT SPECIFICATION FOR SUCH WORK.

5 TYPICAL DOUBLE LEAF CHAIN LINK FENCE GATE
C-2.1 N.T.S.

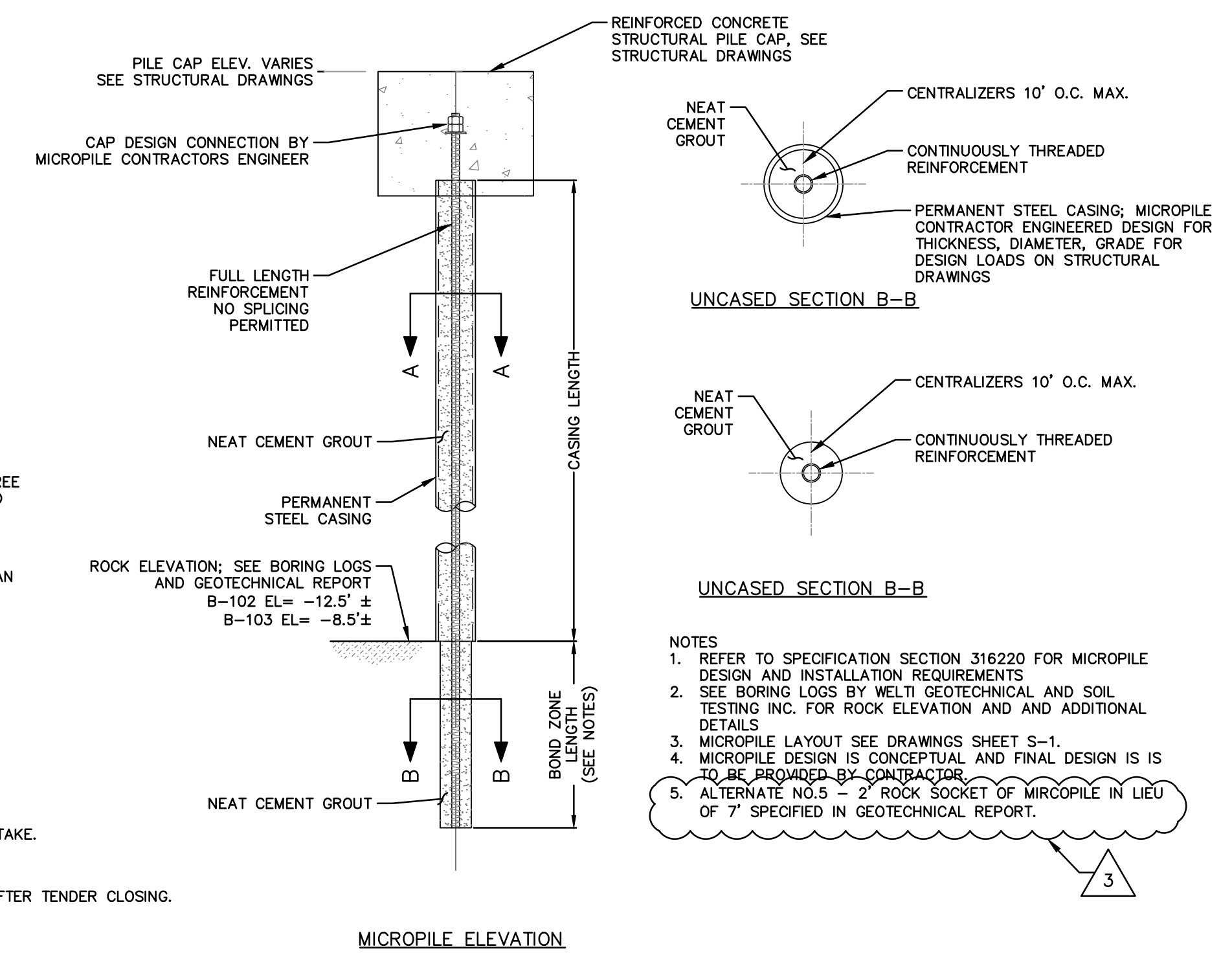


6 TYPICAL SHRUB
C-2.1 N.T.S.



- NOTES:
1. TOPSOIL MIX, SEE SPEC.
 2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 3. WATER THOROUGHLY AFTER INSTALLATION.
 4. REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.
 5. PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
 6. ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

7 TYPICAL DECIDUOUS TREE
C-2.1 N.T.S.



- NOTES:
1. REFER TO SPECIFICATION SECTION 316220 FOR MICROPILE DESIGN AND INSTALLATION REQUIREMENTS
 2. SEE BORING LOGS BY WELTI GEOTECHNICAL AND SOIL TESTING INC. FOR ROCK ELEVATION AND ADDITIONAL DETAILS
 3. MICROPILE LAYOUT SEE DRAWINGS SHEET S-1.
 4. MICROPILE DESIGN IS CONCEPTUAL AND FINAL DESIGN IS TO BE PROVIDED BY CONTRACTOR.
 5. ALTERNATE NO. 5 - 2" ROCK SOCKET OF MICROPILE IN LIEU OF 7" SPECIFIED IN GEOTECHNICAL REPORT.

8 TYPICAL MICROPILE
C-2.1 N.T.S.

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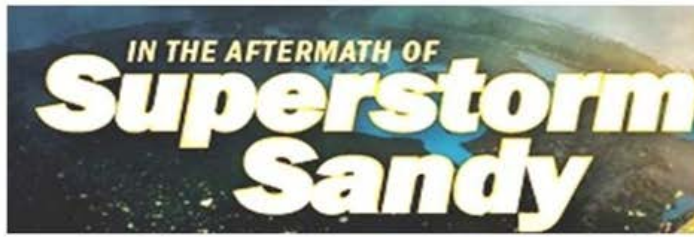
PROJECT 1247
12 JACOB STREET
NORWALK, CONNECTICUT 06853

**ISSUED FOR BID
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
3	3/6/19	BID ADDENDUM #2		MBR	MBR REC
2	2/18/19	ISSUED FOR BIDDING		MBR	MBR REC
1	12/17/18	ISSUED FOR CT DOH REVIEW AND APPROVAL		MBR	MBR REC
NO.	DATE	REVISIONS	BY	CHK	APPV
DRAWN: MBR		CHECKED: MBR	APPROVED: REC	SCALE: N.T.S.	DATE: 12/17/18

SITE DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1247	B3-262-1247-BASE.dwg	C-2.1



Addendum #2 – Attachment 2

Pages 7-8 of Bid Specifications

Section 1

ADVERTISEMENT FOR BIDS

Project # 1247 – 12 Jacob Street

DOH: _____

The State of Connecticut Department of Housing (DOH) is seeking proposals through a Request for Proposal (RFP) process for the rehabilitation, reconstruction and/or mitigation of residential structures damaged by Superstorm Sandy in compliance with all applicable local, federal, and state statutory requirements with special attention paid to requirements for Community Development Block Grants under the United States Department of Housing and Urban Development (“HUD”) Disaster Recovery grant program.

Separated sealed bids for 1247 – 12 Jacob Street will be received by Martinez, Couch & Associates LLC until 4:00 O’clock PM on Friday, March 15th, 2019, and then at said office publicly opened and read aloud.

The Information to Bidders, Form of Bid, Form of Contract, Plans, Specifications, and Form of Bid Bond, Performance and Payment Bond, and other contract documents may be examined on the Department of Housing Hurricane Sandy Recover website at www.ct.gov/doh/ and click on the “Hurricane Sandy” link.

Copies of plans may be downloaded directly from the Department of Housing website under bid notices or obtained at the office of Martinez, Couch and Associates LLC located at 1084 Cromwell Avenue Suite A-2, Rocky Hill, CT 06067 upon payment of \$50 for each set. Requests for copies of plans shall provide 2 business days notice to Martinez, Couch and Associates, LLC.

DOH reserves the right to waive any informalities or to reject any or all bids.

Each bidder must deposit with his bid, security in the amount, form and subject to the conditions provided in the Information to Bidders.

Attention to bidders is particularly called to the requirements as to conditions of employment to be observed and minimum wages rates to be paid under the contract (if applicable), Section 3, Segregated Facilities, Section 109 and E. O. 11246.

No bidder may withdraw his bid within 30 calendar days after the actual date of the bid opening thereof. Submitted bid values are allowed three percent (3) per annum increase for award by the DOH made beyond ninety calendar (90) days. Cost increases for such periods shall be prorated monthly and calculated by the DOH.

INFORMATION FOR BIDDERS

Receipt and Opening of Bids:

The State of Connecticut Department of Housing (herein called the "DOH"), invites bids on the form attached hereto, all blanks of which must be appropriately filled. Bids will be received by DOH at the office of Martinez, Couch & Associates, LLC until 4:00 O'clock PM on Friday, March 15th, 2019, and then at said office publicly opened and read aloud. The envelopes containing the bids must be sealed, addressed to Mr. Richard Couch, P.E. at Martinez, Couch and Associates, LLC and designated as bid for Project 1247 – 12 Jacob Street, Norwalk, CT.

DOH may consider informal any bid not prepared and submitted in accordance with the provisions hereof and may waive any informalities or reject any and all bids. Any bid may be withdrawn prior to the above scheduled time for the opening of bids or authorized postponement there considered. NO bidder may withdraw a bid within 30 days after the actual date of the opening thereof. Submitted bid values are allowed three percent (3) per annum increase for award by the DOH made beyond ninety calendar (90) days. Cost increases for such periods shall be prorated monthly and calculated by the DOH.

Mandatory Walk Through: All bidders must attend a mandatory walk through of the property designated above. The date and time of the walk through is set for 10:00AM on Friday, February 22nd, 2019.

Preparation of Bids:

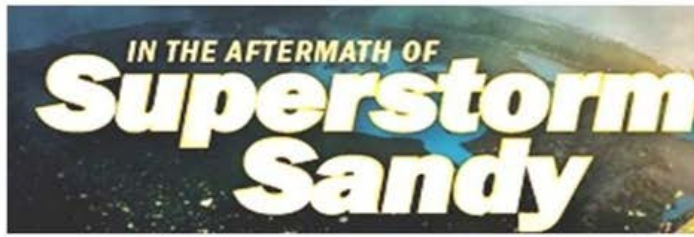
Each bid must be submitted on the prescribed form and accompanied by Certification by Bidder Regarding Equal Employment Opportunity, Form HUD-950.1, and Certification of Bidder Regarding Section 3 and Segregated Facilities. All blank spaces for bid process must be filled in, in ink or typewritten, in both words and figures, and the foregoing Certifications must be fully completed and executed when submitted.

Each bid must be submitted in a sealed envelope bearing on the outside the name of the bidder, his/her address, and the name of the project for which the bid is submitted. If forwarded by mail, the sealed envelope containing the bid must be enclosed in another envelope addressed as specified in the bid form.

Subcontracts: The bidder is specifically advised that any person, for, or other party to whom it is proposed to award a subcontract under this contract:

1. Must be acceptable to the DOH after verification by the State of the current eligibility status; and,
2. Must submit Form HUD-950.2, Certification by Proposed Subcontractor Regarding Equal Employment Opportunity and Certification of Proposed Subcontractor Regarding Section 3 and Segregated Facilities. Approval of the proposed subcontractor award cannot be given by the DOH unless and until the proposed subcontractor has submitted the Certifications and/or other evidence showing that it has fully complied with any reporting requirements to which it is or was subject. Although the bidder is not required to attach such Certifications by proposed subcontractors to his/her bid, the bidder is here advised of this requirement so that appropriate action can be taken to prevent subsequent delay in subcontract awards.

Method of Bidding: DOH invites the following bid(s):



Addendum #2 – Attachment 3

Pages 11-13 of Bid Specifications

BID FORM

The undersigned, being familiarized with the local conditions affecting the cost of the work and with the Drawings, Specifications, Invitation to Bidders, Instructions to Bidders, General Conditions, Bid Form, Form of Contract and Form of Bonds for Project No. 1247 – 12 Jacob Street, Norwalk, CT and Addenda No. _____ and _____ thereto, as prepared by Martinez, Couch & Associates, LLC, Connecticut, and on file in the office of DOH, hereby proposes to furnish all permits, labor, materials, tools, equipment, and related items required for the rehabilitation and reconstruction for said Project No. 1247 – 12 Jacob Street, Norwalk, CT located at 12 Jacob Street in Norwalk, State of Connecticut, all in accordance with the Drawings and Specifications, for the sum of:

BASE BID:	Lump Sum Price (\$)	
	Full Time Work Superintendent	
Div. 01	General Requirements & Temporary Facilities	
02 41 19	Existing House Demolition	
03 30 00	Cast in Place Concrete	
04 20 00	Unit Masonry	
05 12 00	Structural Steel	
06 10 00	Rough Carpentry	
06 10 63	Exterior Rough Carpentry	
06 15 33	Wood Decking	
06 18 00	Glue Laminated Construction	
06 20 13	Exterior Finish Carpentry	
07 21 00/ 07 21 19	Building Insulation/ Foamed in Place Insulation	
07 46 23	Weather Barriers/Wood Siding	
07 71 23	Gutters Downspouts and Accessories	
Div. 08	Doors and Openings	
09 29 00	Gypsum Board Assemblies	
09 90 00/ 09 93 00	Paintings and Coatings/ Staining and Transparent Finishing	
Div. 22	Plumbing	
Div. 23	H.V.A.C	
Div. 26	Electrical	
31 10 00/ 31 20 00	Site Clearing /Earth Moving	
31 23 19/ 31 25 13	Dewatering/ Erosion Controls	
31 50 00	Excavation Support and Protection	
31 62 19	Micropiles (Mobilization and Demobilization)	
31 62 19	Micropiles	
32 31 13	Temporary Construction Fencing	
Division 33	Utilities	
	Allowance No. 1	\$ 5,000
	Allowance No. 2	\$ 10,000

Total Lump Sum _____

_____ Dollars (\$))

ALTERNATES:

ALTERNATES: See definitions in Section 01 23 00 – Alternates.	Dollars (\$)
<u>Alternate 1:</u> Add __ Deduct ___ from Base Bid _____(Dollars)	
<u>Alternate 2:</u> Add __ Deduct ___ from Base Bid _____(Dollars)	
<u>Alternate 3:</u> Add __ Deduct ___ from Base Bid _____(Dollars)	
<u>Alternate 4:</u> Add __ Deduct ___ from Base Bid _____(Dollars)	
<u>Alternate 5:</u> Add __ Deduct ___ from Base Bid _____(Dollars)	

UNIT PRICES:

Unit Prices: See Definitions in Section 01 22 00 – Unit Prices	Dollars (\$)	Unit
Unit Price 1: _____(Dollars)		Cubic Yard
Unit Price 2: _____(Dollars)		Cubic Yard
Unit Price 3: _____(Dollars)		Linear Foot

The undersigned agrees to commence the work on a date to be specified in the contract and to complete such work within **180** consecutive calendar days.

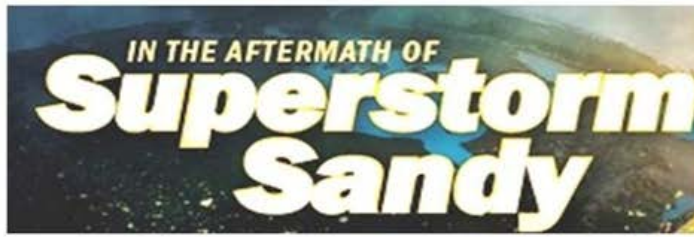
The undersigned agrees that if within the period of thirty (30) calendar days after the opening of bids, or when extended to the next work day immediately following said period, notice of the acceptance of this

bid shall be mailed, or delivered to him/her at the business address given below, or at any time thereafter before this bid is withdrawn, _____, will within fifteen (15) calendar days thereafter deliver to DOH, where directed, a contract properly executed in such number of counterparts as may be required by said DOH, on the forms annexed, with such changes therein as shall have been made by the DOH, prior to the time named for delivery of this proposal, together with a 100% Performance Bond of a Surety Company, which Surety must be authorized to transact business in the State of Connecticut, and duly qualified therefore, and in the form constituting part of the Specification and a letter indicating those Small/Minority Business Enterprises that will perform work and/or provide materials, equipment or services as part of the contract.

In submitting this bid, it is understood that the right is reserved by the abovementioned DOH to reject any and all bids; and it is agreed that this bid may not be withdrawn for a period of thirty calendar (30) days from the date of bid opening or until the next work day immediately following said period if such period ends on weekend or a State holiday.

Submitted bid values are allowed three percent (3) per annum increase for award by the DOH made beyond ninety calendar (90) days. Cost increases for such periods shall be prorated monthly and calculated by the DOH.

Security in the sum of _____ Dollars (\$ _____)
in the form of _____ is submitted herewith in accordance with the Specifications.



Addendum #2 – Attachment 4

Pages 151-152 of Bid Specifications

SECTION 01 23 00

ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.

- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Add Alternate No 1. – Exterior Decking Material Change
1. In lieu of pressure treated wood decking per section 06 15 33 – “Wood Patio Decking” on all exterior decks, platforms, landings, and stairs shown on contract drawings furnish and install composite decking per specification section 06 45 22 – “Composite Decking”
- B. Add Alternate No 2. – Siding Material Change
1. In lieu of drawing identified vertical prefinished cedar ship lap siding all material and labor for vinyl siding.
- C. Add Alternate No 3. – Mechanical Heating Installation by Owner
1. Owner shall furnish and install materials for forced air heating system. General contractor to provide all cutting/patching, testing services required by authorities having jurisdiction and identified on drawings, and electrical installation.
- D. Add Alternate No 4. – Gutter Leaf Guards
1. Material and Labor to Furnish and install leaf guards on all gutters.
- E. Add Alternate No 5. – Reduce Micropile Socket Length
1. In lieu of Section 00 31 32 “Geotechnical Data”, Welti Geotechnical report specified 7 foot micropile rock socket length all work material and labor for 2 foot micropile rock socket length.

END OF SECTION

