

***Owner Occupied and Scattered Site Rehabilitation Programs***

**ADDENDUM ACKNOWLEDGEMENT**

**Addendum # 1  
February 27<sup>th</sup>, 2019**

Project # 1247 Property Address: 12 Jacob Street, Norwalk, CT

Addendum Description

The addendum modifies the Bid Specification and Drawings prepared by Martinez Couch and Associates, LLC and Consultants to the following particulars;

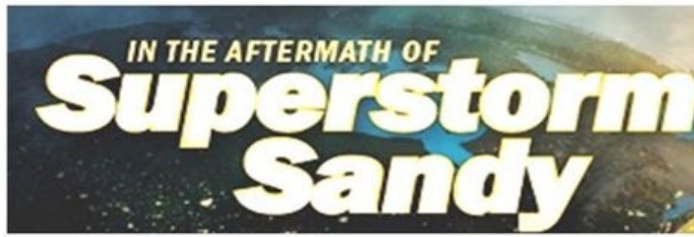
A. General

1. Contractor Bid Walkthrough sign in sheet is attached for bidder's reference as Attachment #1

B. Drawings & Sketches

1. Attached is a copy of the Norwalk's Department Public Health sketch (Dated: December 21, 1987) for the approximate location of existing septic tank at 12 Jacob Street in Norwalk, CT. The sketch has been attached for bidder's reference and is not part of the contract documents.
2. Attached is a copy of the Modular Builders Confirmation Drawings for modular home to be installed at 12 Jacob Street in Norwalk, CT. The confirmation drawings have been attached for bidder's reference and is not part of the contract documents for Project 1247.

\*The bid due date has not been extended by Bid Addendum #1



Addendum #1 – Attachment 1

Contractor Bid Walkthrough Attendance Sheet



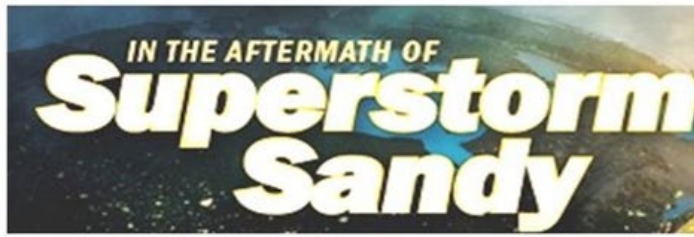
MARTINEZ COUCH & ASSOCIATES, LLC

Project Number: 1247

Date: February 22, 2019 @ 10:00am

CDBG-DR Owner Occupied Rehabilitation and Rebuilding Program  
Contractor Walkthrough Sign-In Sheet

Contractor Name	Representative Name	Phone	Email
MADISON PROPERTIES, LLC	MICHAEL A. VITELLO	263-610-4734	MIKE.VITELLO@ICLOUD.COM
OREGON BOBS LLC	BRIAN D. RUSCOB	(203) 650-1475	OREGONBOB1225@YAHOO.COM
NEWS LLC	ROBERT HUSMANE	(860) 571-3800	INFO@NEWSLLC.NET
STATSWIS	Phil Bililes	203 605 1588	970 years 1@yahoo.com
Raise High Const.	Joe Carter	203-919-2110	joscarter@spiritmail.com
Kenneth Warner & Sons Inc	Robert D. Warner	203-987-3481	robertwarner42@icloud.com



Addendum #1 – Attachment 2

Norwalk Department of Public Health – Septic Tank Location Sketch

# Department of Health

137 East Avenue  
Norwalk, CT 06851  
(203) 854-7865

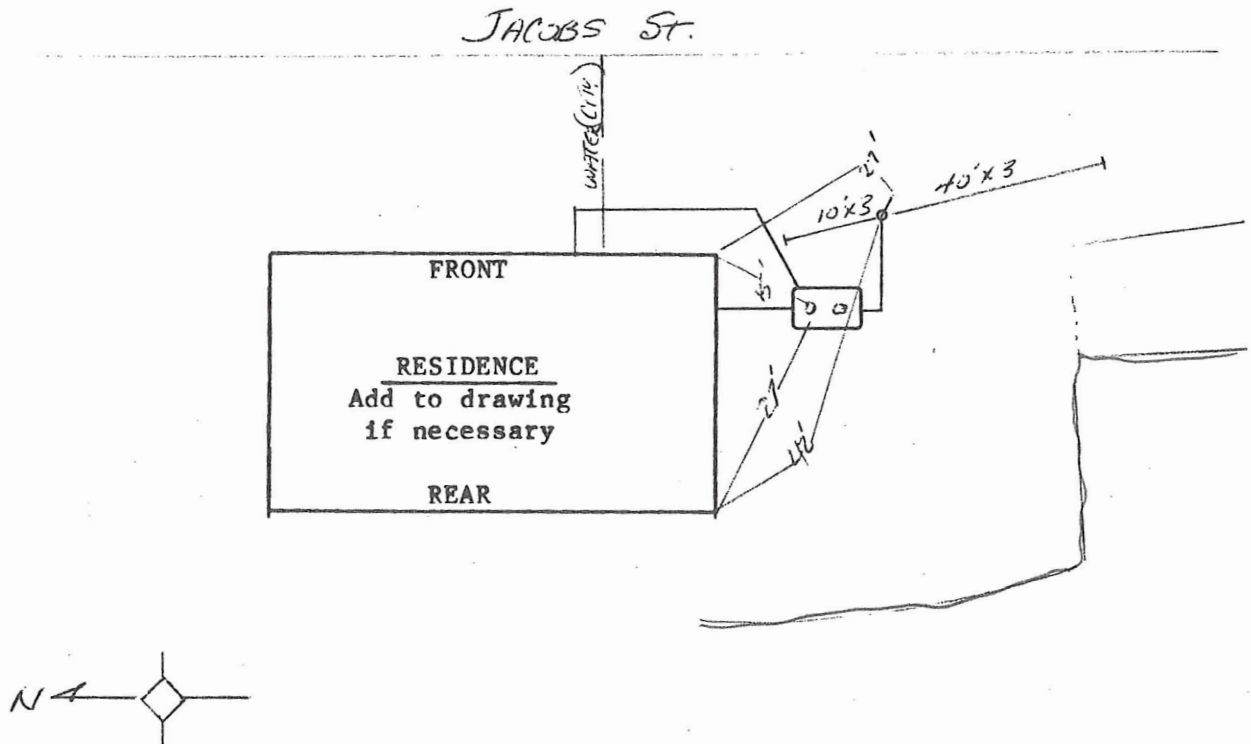
# NORWALK

STREET NAME: JACOBS ST.

OWNER: DEBARR

INSTALLER: ABC SEPTIC SERVICE

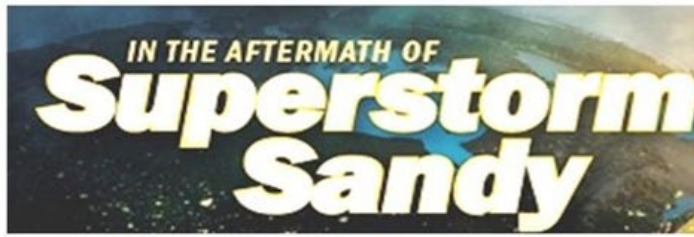
DATE INSTALLED: 21 DEC 87



### INDICATE:

1. NORTH
2. Water Well or City Water Line Location:
3. System you installed.

**NOTE:** A scaled drawing is not necessary.



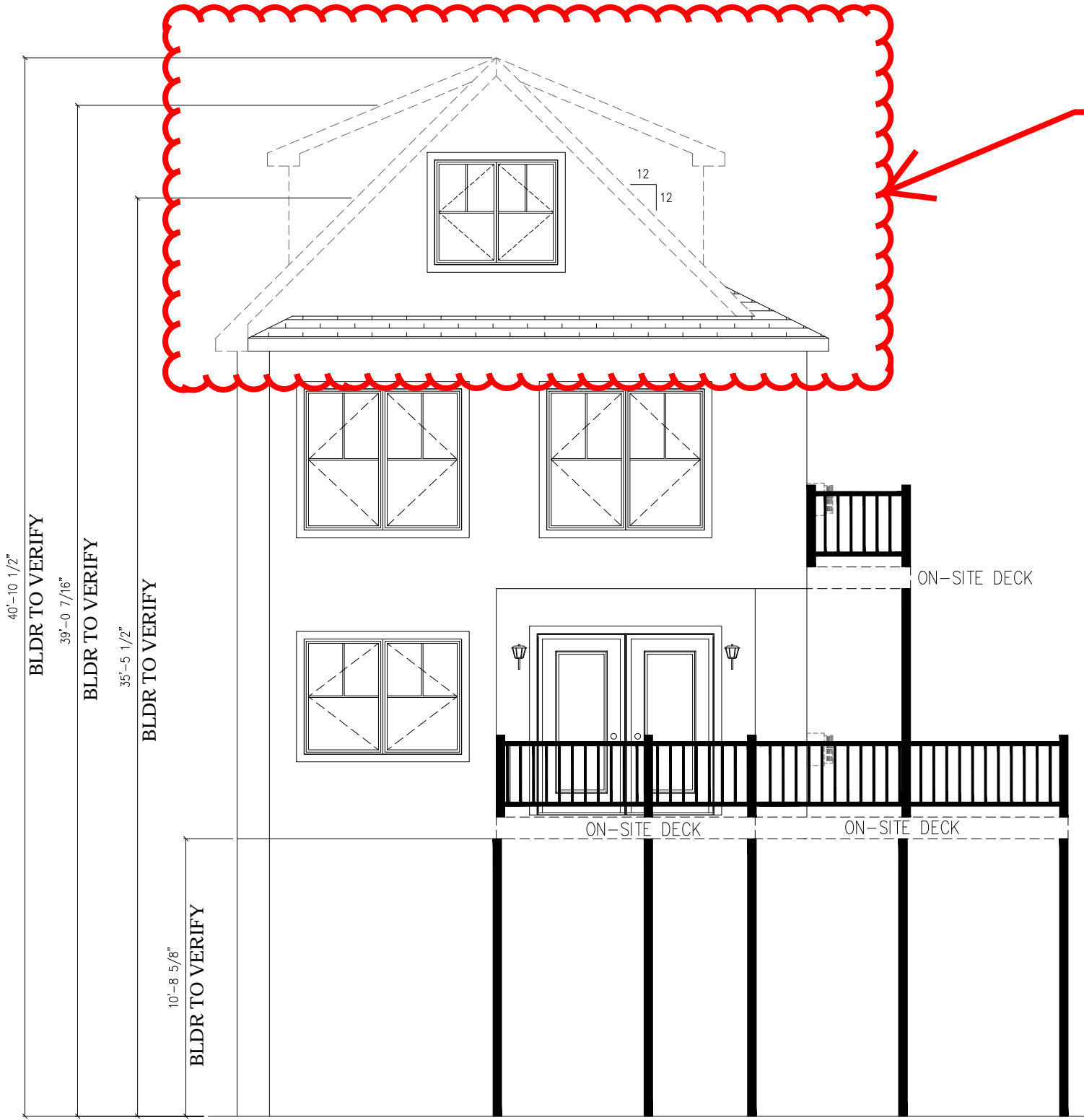
*Department of Housing*



Addendum #1 – Attachment 3

Modular Builder Confirmation Drawings

**ROOF ON-SITE BY OTHERS  
OMIT SOFFIT, FASCIA, & SIDING  
INSTALL WIND BARRIER & SHIPLOOSE DRIP EDGE**



**ROOF CONSTRUCTED  
ON-SITE BY G.C.**

CEILING  
8'-0"  
FLOOR  
CEILING  
8'-0"  
FLOOR

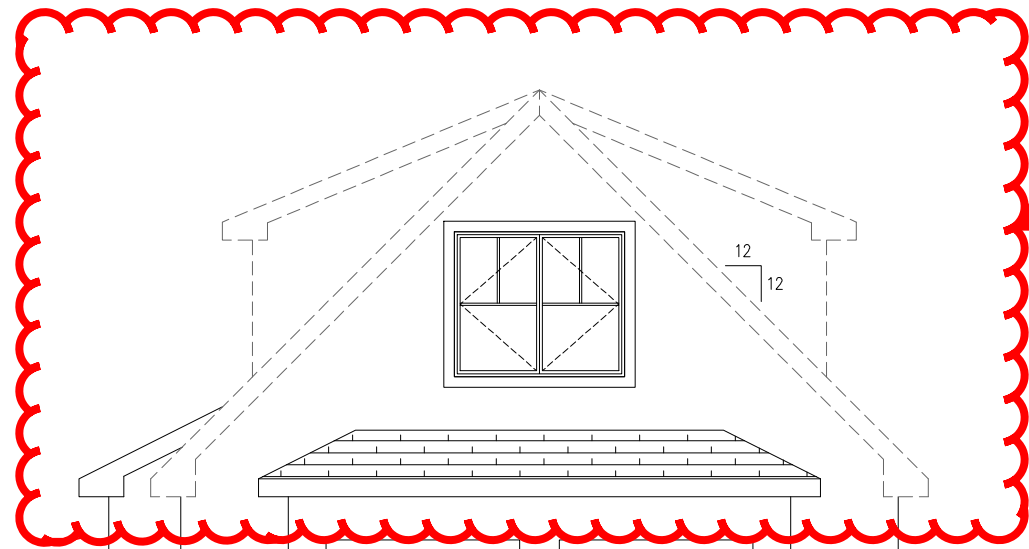
CEILING  
FLOOR  
CEILING  
FLOOR

ACTUAL HOUSE MAY VARY FROM ELEVATION—ACCESS TO GRADE ON-SITE BY OTHERS

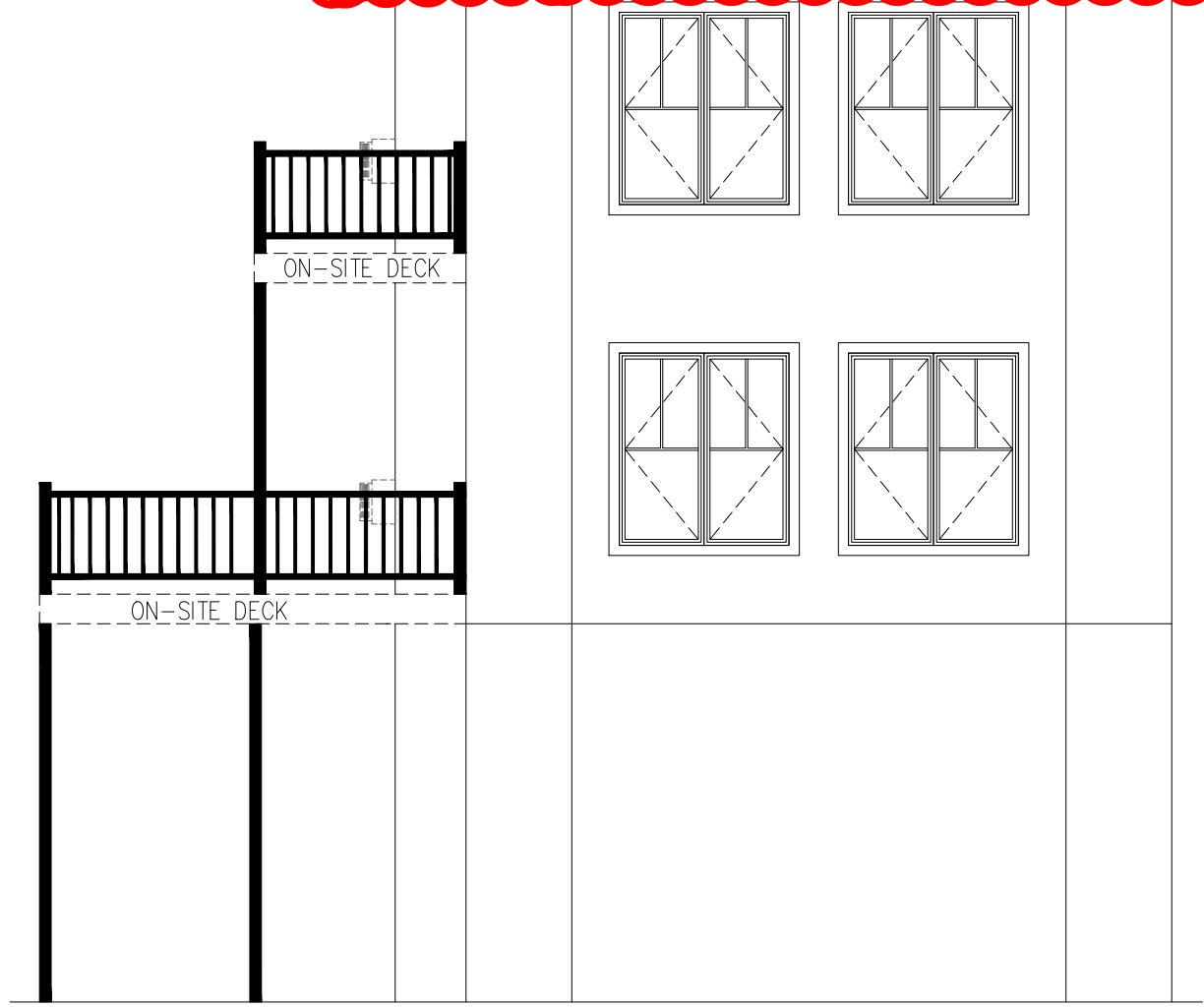
PAULK 12/7/2018 10:40:38 AM

DATE: 12/07/2018	DRAWN BY: PK	STATUS: REV. CONFO	2047-CBS 2 STORY FRONT ELEVATION		BUILDER CUSTOM BUILDING SYSTEMS,	CUSTOMER MATTHEW HEIS
			72 EAST MARKET STREET MIDDLEBURG, PA. 17842 PHONE: (570) 837-1424 FAX: (570) 837-6133		CITY NORWALK	STATE CT
					COUNTY FAIRFIELD	SNOW LOAD 30
					WIND SPEED 120 MPH VULT	SQ. FT. 2034
					ORDER NO. 73120	FILE NO. P73120(760)
					SERIAL NO.	

ROOF ON-SITE BY OTHERS  
 OMIT SOFFIT, FASCIA, & SIDING  
 INSTALL WIND BARRIER & SHIPLOOSE DRIP EDGE



ROOF CONSTRUCTED  
 ON-SITE BY G.C.



ACTUAL HOUSE MAY VARY FROM ELEVATION—ACCESS TO GRADE ON-SITE BY OTHERS

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CEILING  
 FLOOR  
 CEILING  
 FLOOR

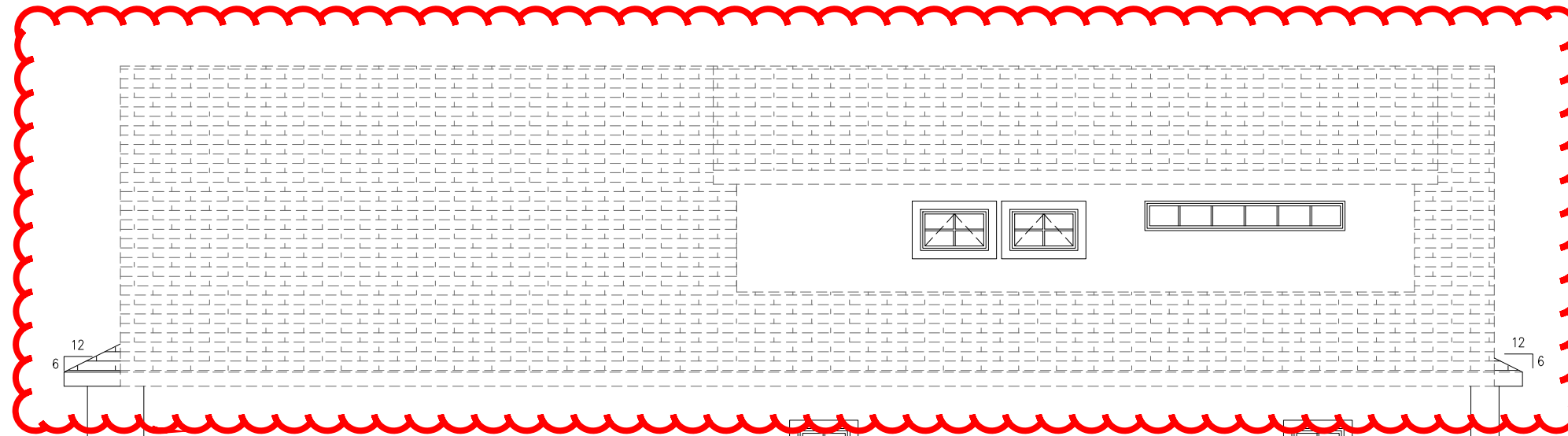
CEILING  
 FLOOR  
 CEILING  
 FLOOR

BUILDER	CUSTOM BUILDING SYSTEMS,	CUSTOMER	MATTHEW HEIS
CITY	NORWALK	COUNTY	FAIRFIELD
STATE	CT	SNOW LOAD	30
WIND SPEED	120 MPH	VULT	30
ORDER NO.	73120	SERIAL NO.	FILE NO.
			P73120(760)
			2034

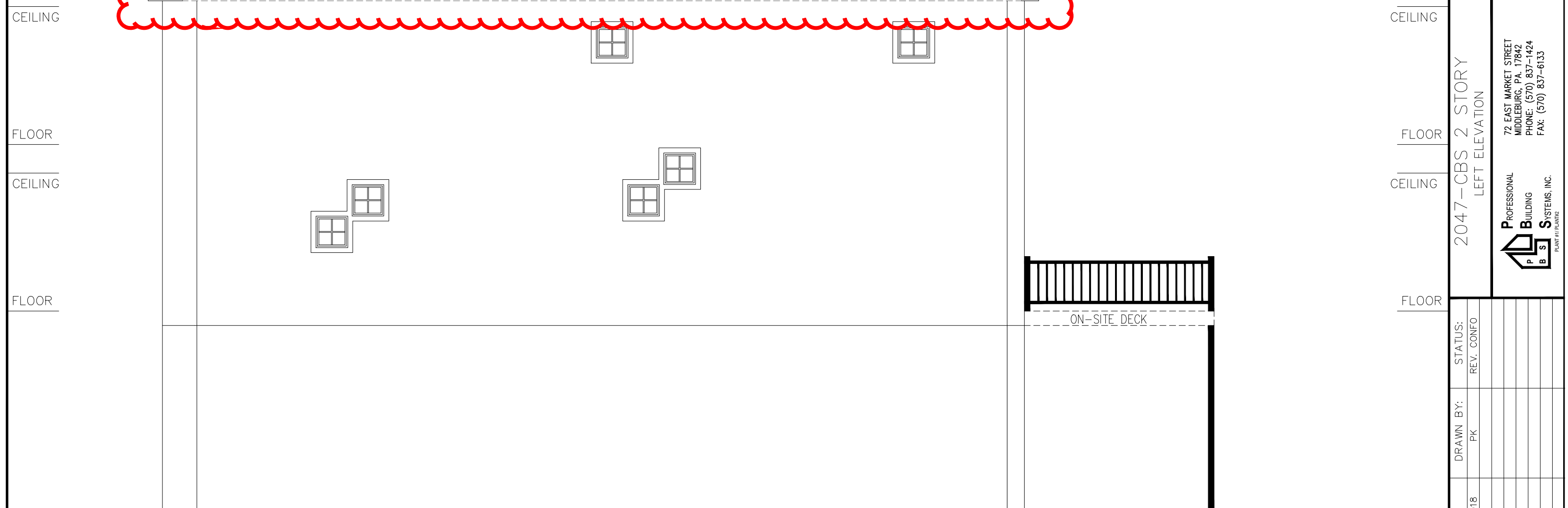
2047-CBS 2 STORY	72 EAST MARKET STREET
REAR ELEVATION	MIDDLEBURG, PA. 17842
	PHONE: (570) 837-1424
	FAX: (570) 837-6133
	<b>P B S</b> SYSTEMS, INC.
	PLANT #1/PLANT#2

DATE:	DRAWN BY:	STATUS:
12/07/2018	PK	REV. CONFO

**ROOF ON-SITE BY OTHERS  
OMIT SOFFIT, FASCIA, & SIDING  
INSTALL WIND BARRIER & SHIPLOOSE DRIP EDGE**



ROOF CONSTRUCTED  
ON-SITE BY G.C.



ACTUAL HOUSE MAY VARY FROM ELEVATION—ACCESS TO GRADE ON-SITE BY OTHERS

PAULK 12/7/2018 10:40:38 AM

DATE: 12/07/2018	DRAWN BY: PK	STATUS: REV. CONFO	2047—CBS 2 STORY LEFT ELEVATION	 72 EAST MARKET STREET MIDDLEBURG, PA. 17842 PHONE: (570) 837-1424 FAX: (570) 837-6133	CUSTOMER MATTHEW HEIS
			BUILDER CUSTOM BUILDING SYSTEMS, NORWALK	COUNTY FAIRFIELD	STATE CT
			WIND SPEED 120 MPH VULT	SNOW LOAD 30	SQ. FT. 2034
			ORDER NO. 73120	SERIAL NO.	FILE NO. P73120(760)

**ROOF ON-SITE BY OTHERS  
OMIT SOFFIT, FASCIA, & SIDING  
INSTALL WIND BARRIER & SHIPLOOSE DRIP EDGE**

**ROOF CONSTRUCTED  
ON-SITE BY G.C.**



ACTUAL HOUSE MAY VARY FROM ELEVATION—ACCESS TO GRADE ON-SITE BY OTHERS

PAULK 12/7/2018 10:40:38 AM

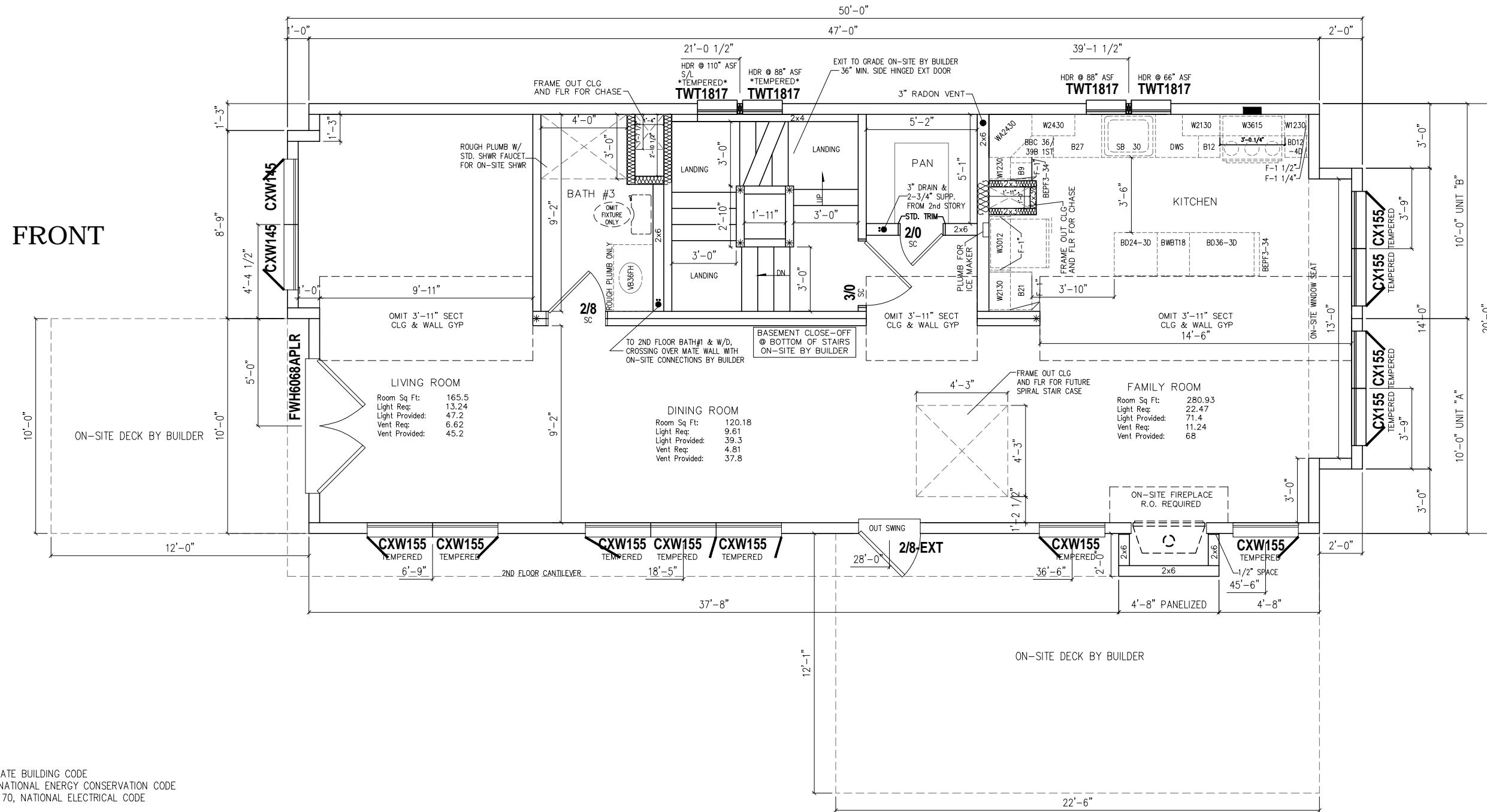
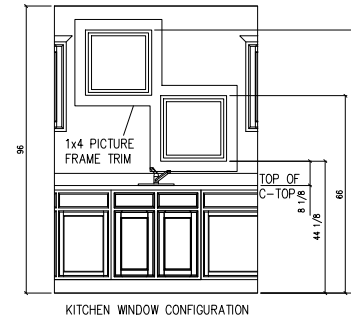
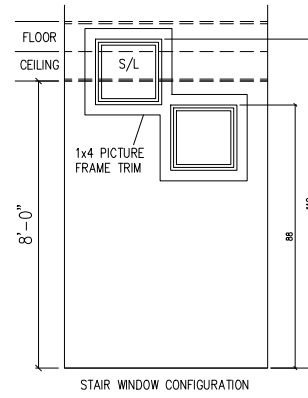
BUILDER	CUSTOM BUILDING SYSTEMS,	CUSTOMER	MATTHEW HEIS
CITY	NORWALK	COUNTY	FAIRFIELD
WIND SPEED	120 MPH	VULT	SNOW LOAD
ORDER NO.	73120	SERIAL NO.	30
		FILE NO.	P73120(760)
		STATE	CT
		SQ. FT.	2034

2047-CBS 2 STORY	RIGHT ELEVATION
72 EAST MARKET STREET MIDDLEBURG, PA. 17842 PHONE: (570) 837-1424 FAX: (570) 837-6133	

DATE:	12/07/2018	STATUS:	REV. CONFO
DRAWN BY:	PK		

BUILDER TO PROVIDE LOCATIONS FOR:  
CAPE STUB PLUMB

\*MDF 4 5/8" CROWN MOULDING THROUGHOUT\*



FRONT

CODES:  
2016 CT STATE BUILDING CODE  
2012 INTERNATIONAL ENERGY CONSERVATION CODE  
2014 NFPA 70, NATIONAL ELECTRICAL CODE

-MECHANICAL VENTILATION ON-SITE BY BUILDER PER TABLE M1507.3.3(1).  
DUCT TIGHTNESS AND BLOWER DOOR TESTING ON-SITE BY BUILDER AND CERTIFIED BY STATE

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BUILDER	CUSTOM BUILDING SYSTEMS,	CUSTOMER	MATTHEW HEIS
CITY	NORWALK	COUNTY	FAIRFIELD
STATE	CT	SNOW LOAD	30
WIND SPEED	120 MPH VULT	SQ. FT.	2034
ORDER NO.	73120	FILE NO.	P73120(760)

2047-CBS 2 STORY  
1st STORY FLOOR PLAN

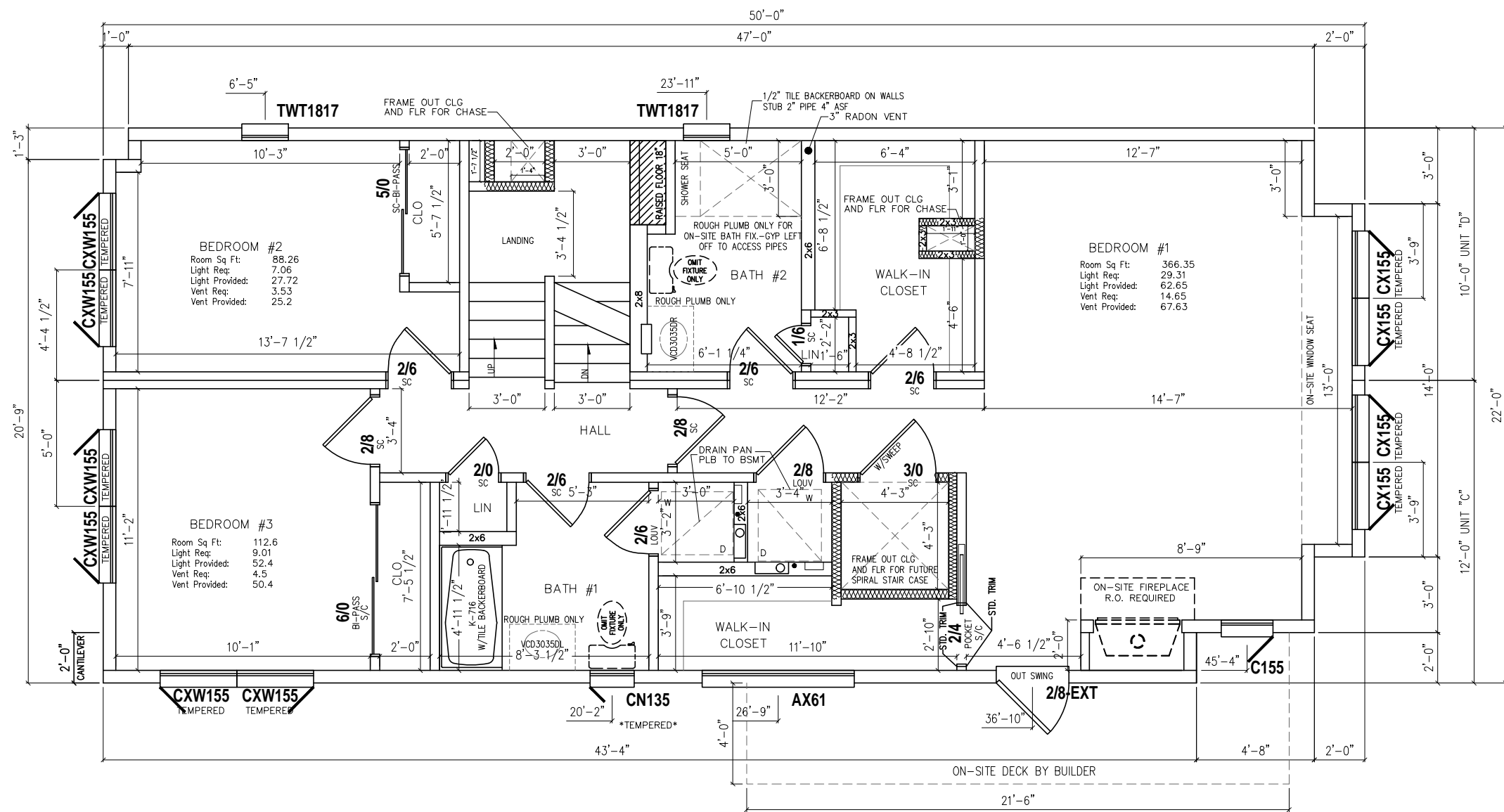
PROFESSIONAL BUILDING SYSTEMS, INC.  
72 EAST MARKET STREET  
MIDDLEBURG, PA. 17842  
PHONE: (570) 837-1424  
FAX: (570) 837-6133

DATE:	12/07/2018	STATUS:	REV. CONFO
DRAWN BY:	PK	REV.	

- NOTES: 1.\* - DENOTES ADDITIONAL COLUMN IN BASEMENT  
2. 2X6 EXTERIOR WALLS 16" O.C.  
3. 2X4 MARRIAGE WALLS 16" O.C.  
4. ROOF RAFTERS 16" O.C.  
5. 8'-0" CLG.  
6. STAIRS TO BE 8 1/4" RISERS AND 9" TREADS.  
7. CENTER CEILING GIRDER OVER LIVING ROOM TO BE DETERMINED  
8. CENTER CEILING GIRDER OVER FAMILY ROOM / KITCHEN TO BE DETERMINED  
9.  
10.  
11.  
12.

**\*MDF 4 5/8" CROWN MOULDING THROUGHOUT\***

**FRONT**



BUILDER	CUSTOM BUILDING SYSTEMS,	CUSTOMER	MATTHEW HEIS
CITY	NORWALK	COUNTY	FAIRFIELD
STATE	CT	SNOW LOAD	30
WIND SPEED	120 MPH VULT	SQ. FT.	2034
ORDER NO.	73120	SERIAL NO.	P73120(760)

**2047-CBS 2 STORY  
2nd STORY FLOOR PLAN**

72 EAST MARKET STREET  
MIDDLEBURG, PA. 17842  
PHONE: (570) 837-1424  
FAX: (570) 837-6133

**PROFESSIONAL BUILDING SYSTEMS, INC.**  
PLANT #1/PLANT#2

DATE:	12/07/2018	STATUS:	REV. CONFO
DRAWN BY:	PK	REV.	
		REV.	
		REV.	

PAULK 12/7/2018 10:40:38 AM

- NOTES: 1.\* - DENOTES ADDITIONAL COLUMN IN BASEMENT  
 2. 2X6 EXTERIOR WALLS 16" O.C.  
 3. 2X4 MARRIAGE WALLS 16" O.C.  
 4. ROOF RAFTERS 16" O.C.

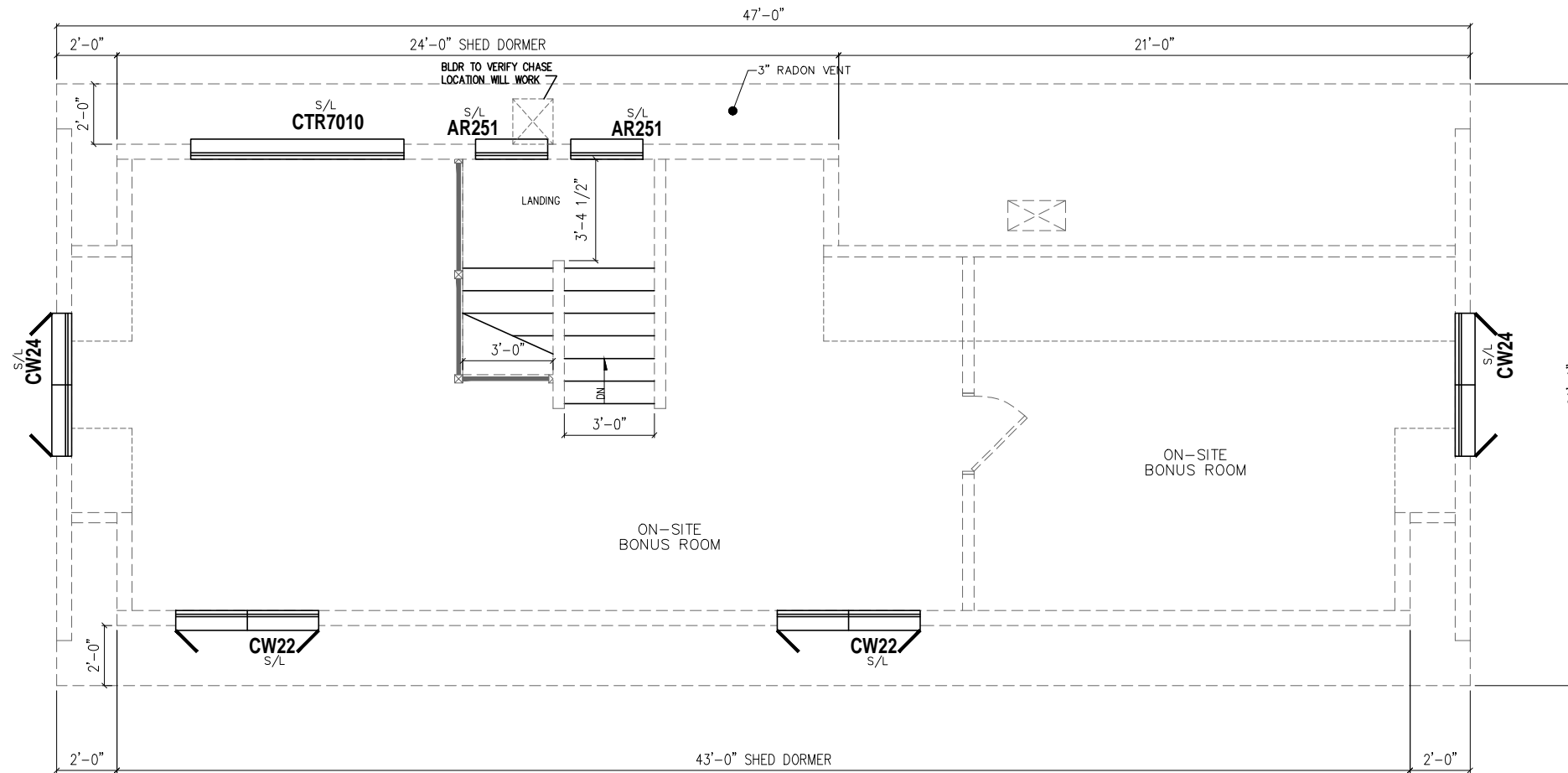
5. 8'-0" CLG.  
 6. CENTER CEILING BEAM OVER BEDROOM#1 TO BE DETERMINED  
 7.  
 8.

9.  
 10.  
 11.  
 12.

# LAYOUT OF 3RD FLR. SUBJECT TO CHANGE PENDING ROOF DESIGN BLDR TO PROVIDE ROOF DESIGN CALCS

PROPOSED THIRD FLOOR DRAWINGS ARE TO BE USED AS A GUIDE ONLY. BEAM SIZE IS BASED ON SUGGESTED PLAN SHOWN. MANUFACTURER WILL NOT ASSUME ANY LIABILITY OR RESPONSIBLE FOR ALTERED CONSTRUCTION OF THIRD FLOOR LAYOUT.

FRONT



ROOF ON-SITE BY OTHERS

BUILDER	CUSTOM BUILDING SYSTEMS,	CUSTOMER	MATTHEW HEIS
CITY	NORWALK	COUNTY	FAIRFIELD
WIND SPEED	120 MPH VULT	STATE	CT
ORDER NO.	73120	SNOW LOAD	30
SERIAL NO.		SQ. FT.	2034
FILE NO.	P73120(760)		

2047-CBS 2 STORY  
3rd STORY FLOOR PLAN

72 EAST MARKET STREET  
MIDDLEBURG, PA. 17842  
PHONE: (570) 837-1424  
FAX: (570) 837-6133

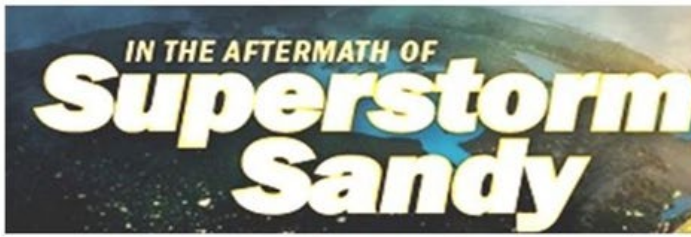
PROFESSIONAL  
BUILDING  
SYSTEMS, INC.  
PLANT #1/PLANT#2

DATE:	12/07/2018	STATUS:	REV. CONFO
DRAWN BY:	PK		

PAULK 12/7/2018 10:40:38 AM

- NOTES: 1.\* - DENOTES ADDITIONAL COLUMN IN BASEMENT  
 2. 2X6 EXTERIOR WALLS 16" O.C.  
 3. ROOF RAFTERS 16" O.C.  
 4.

5.  
6.  
7.  
8.  
9.  
10.  
11.  
12.



## BID ADDENDUM ACKNOWLEDGMENT

The undersigned acknowledges that he/she have reviewed and acknowledge receipt of this Addendum #1 for Project 1247 – 12 Jacob Street, Norwalk, CT

Any bids collected which do not contain a signed and executed copy of this page are subject to disqualification.

### BIDDER ACKNOWLEDGEMENT:

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Name of Bidder

Signature

Date

---

Bidder's Title

Bidder's Company