



Via FedEx

July 12th, 2022

Connecticut Siting Council
ATTN: Melanie Bachman
10 Franklin Square
New Britain, Connecticut 06051

**RE: American Tower Corporation's Petition for a Declaratory Ruling – Expansion of Existing Telecommunications Facility's Compound
401 Lopus Road, Beacon Falls, Connecticut 06403**

Dear Ms. Bachman:

Submitted herein on behalf of American Tower Corporation is a petition for a declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required for the expansion the existing telecommunications facility's compound located at 401 Lopus Road, Beacon Falls, Connecticut (41°25'58.03" N, 73°04'13.20" W).

Notice has been provided to the underlying property owner and the abutting property owners. Included is a list of the abutting properties and the proof of delivery of said notice.

If you have any questions, please reach out to me by email at JLehman@airosmithdevelopment.com or by phone (518) 932-7049. Thank you for your consideration.

Sincerely,

Jake Lehman
Site Acquisition Specialist I
Airosmith Development, Inc.
318 West Ave.
Saratoga Springs, NY 12866
(518) 306-1711 fax
(518) 932-7049 cell
jlehman@airosmithdevelopment.com

Enclosed: (15) Copies of the Petition and Supporting Documentation
Check #9776 for \$625.00 for Associated Filing Fees

318 West Ave., Saratoga Springs, NY 12866
Office 518-306-1711 – Fax 518-306-1711
www.airosmithdevelopment.com



**STATE OF CONNECTICUT
CONNECTICUT SITING COUNCIL**

PETITION OF AMERICAN TOWER CORPORATION FOR A DECLARATORY RULING THAT NO NEW OR AMENDED CERTIFICATE OF ENVIRONMENTAL COMPATIBILITY AND PUBLIC NEED IS REQUIRED FOR THE EXPANSION OF THE EXISTING TELECOMMUNICATIONS FACILITY IN BEACON FALLS, CONNECTICUT)	PETITION NO. _____
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)	July 12th, 2022

**PETITION FOR A DECLARATORY RULING
EXPANSION OF THE EXISTING TELECOMMUNICATIONS
FACILITY COMPOUND
401 LOPUS ROAD, BEACON FALLS**

I. Introduction

American Tower Corporation hereby petitions the Connecticut Siting Council pursuant to Sections 16-50j-38 and 16-50j-39 of the Regulations of Connecticut State Agencies, for a declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required under the provisions set forth by the Connecticut General Statutes Section 16-50k to expand the existing compound inside American Tower Corporation’s easement parcel for the purpose of installing a new 80kw shared use backup generator.

II. Background

On October 27th, 2005, the Town of Beacon Falls approved New Cingular Wireless’ application to construct a 150’ telecommunications tower (“Tower”) that is currently maintained by successor-in-interest American Tower Corporation. The Tower and attendant equipment is currently inside a 1,992-sf compound (“Compound”) on the property owned by the Town of Beacon Falls, however the Easement Agreement (“Easement”) is for two

parcels. The first being the existing “Tower Area”, which is previously described. The second parcel is the “Expansion Area”, which is a 100’ x 100’ (10,000 sf) parcel (Depicted in Attachments D, E, & F). While American Tower Corporation does not intend to expand the Compound the full 10,000 sf depicted in the Easement, it is necessary to expand it 11” x 15’-4” (approximately 170 sf) for the installation of the proposed Generator.

III. Proposed Modification

American Tower Corporation is seeking to extend the existing compound as proposed in Attachment B for the sole purpose of installing an 80kw self-contained diesel generator (“Generator”) inside the fenced Compound.

The proposed fence will match the existing fence and there will be no adverse effect to the environment around or in the proposed expansion.

The Tower itself will not increase in height, nor will it be modified in any way. The proposed expansion is for American Tower Corporation’s Tenants to have access to a backup emergency Generator and associated equipment that will not fit into the existing Compound.

IV. The Proposed Modification Should Be Approved

Pursuant to Section 16-50k of the Connecticut General Statutes, the proposed Generator is exempt from needing a Certificate of Environmental Compatibility and Public Need because the proposed Generator is a fuel cell **“built within the state with a generating capacity of two hundred fifty kilowatts (250kw) or less.”** (Emphasis added).

Also, the Tower is currently approved for a 1,992-sf compound, however, American Tower Corporation, or its successor-in-interest, have secured an Expansion Area of 100’ x 100’ (10,000 sf) Easement area, and is proposing to expand the existing fenced compound by 11” x 15’-4” (approximately 170 sf). The environmental effects of the proposed increase are minimal

with no notable effects. Alongside of this, the ground in the proposed expansion would have been disturbed during the original construction of the Tower, meaning there would be no new ground disturbance on the property.

As mentioned previously, the proposed expansion of less than 170 sq. ft. would allow for a new emergency backup generator for T-Mobile, an existing tenant, to ensure that in the event of a power outage, T-Mobile's service to the surrounding community will not be disrupted.

The following documentation has been included in support of American Tower Corporation's Petition for a declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required.

Attachment A – Letter of Authorization for Airosmith Development from American Tower Corporation

Attachment B – Signed and Stamped Construction Drawings

Attachment C – Original Approval

Attachment D – Underlying Easement Agreement

Attachment E – As-Built Survey

Attachment F – Updated Site Plan – See Attached Note

Attachment G – Wetlands Map

Attachment H – Notice to Abutting Properties and Other Interested Parties as well as Proof of Delivery, Tax Records Included

V. Conclusion

American Tower Corporation's proposal for the expansion of the existing compound will allow for a new shared use backup Generator that will initially be used as backup power by T-Mobile, an existing tenant of American Tower Corporation. The proposed actions will have a minimal environmental effect, and will provide necessary backup power to T-Mobile in the event of a power outage. Accordingly, American Tower Corporation respectfully requests that the

Connecticut Siting Council issue a declaratory ruling that the proposed expansion and installation of said Generator is authorized without a new or amended Certificate of Environmental Compatibility and Public Need.

Sincerely,

A handwritten signature in cursive script that reads "Jake Lehman".

Jake Lehman
Site Acquisition Specialist I
Airosmith Development, Inc.
318 West Ave.
Saratoga Springs, NY 12866
(518) 306-1711 fax
(518) 932-7049 cell
jlehman@airosmithdevelopment.com

cc: Gerard Smith – First Selectman of the Town of Beacon Falls as Chief Elected Official and Property Owner
Keith Rosenfield – Town Planner of Beacon Falls as Planning and Zoning Representative
American Tower Corporation – Tower Owner (Via Email)

Attachment A

Letter of Authorization from American Tower Corporation to
Airosmith Development



AMERICAN TOWER®
CORPORATION
LETTER OF AUTHORIZATION

SITE NO/PROJECT NO: 370641 / ATC834525

SITE NAME: Beacon Falls CT

**ADDRESS: 401 LOPUS RD BEACON FALLS, CT
06403**

APN: BEAC-000003-000001-000016-001800

I, Margaret Robinson, Senior Counsel, US Tower Division on behalf of American Tower*, owner of the tower facility located at the address identified above (the "Tower Facility"), do hereby authorize **AIROSMITH DEVELOPMENT** its successors and assigns, to act as American Tower's non-exclusive agent for the purpose of filing and securing any zoning, land-use, building permit and/or electrical permit application(s) and approvals of the applicable jurisdiction for and to conduct the construction of the installation of antennas and related telecommunications equipment on the Tower Facility located at the above address. This installation shall not affect adjoining lands and will occur only within the area leased by American Tower.

American Tower understands that the application may be denied, modified or approved with conditions. The above authorization is limited to the acceptance by American Tower of conditions related to American Tower's installation. Any such conditions of approval or modifications will not be effective unless approved in writing by American Tower.

The above authorization does not permit **AIROSMITH Development** to modify or alter any existing permit(s) and/or zoning or land-use conditions or impose any additional conditions unrelated to American Tower's installation of telecommunications equipment without the prior written approval of American Tower.

Signature: _____

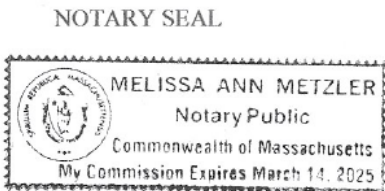
Margaret Robinson, Senior Counsel
US Tower Division

NOTARY BLOCK

COMMONWEALTH OF MASSACHUSETTS
County of Middlesex

This instrument was acknowledged before me by Margaret Robinson, Senior Counsel of American Tower (Tower Facility owner and/or operator), personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same.

WITNESS my hand and official seal, this 30th day of March 2022.

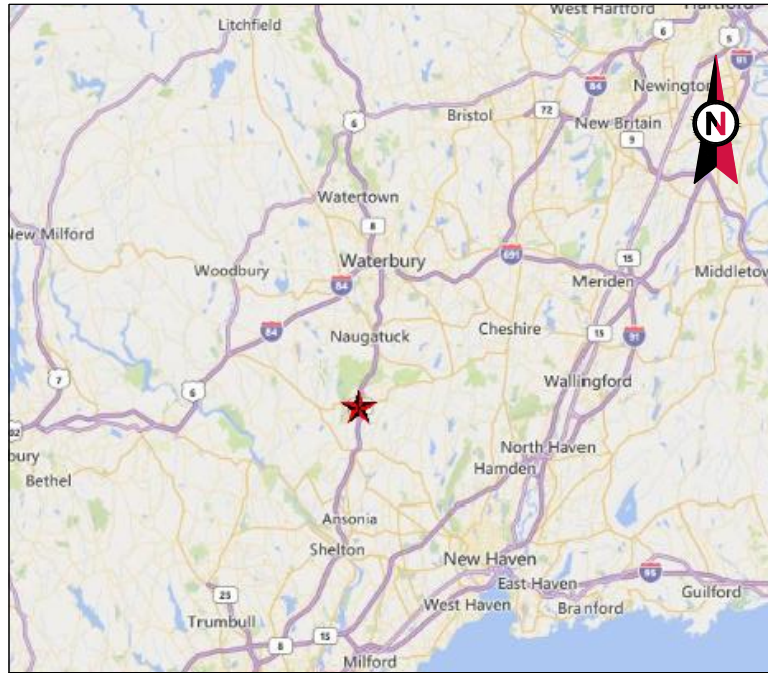


Notary Public
My Commission Expires: March 14, 2025

* American Tower as used herein is defined as American Tower Corporation and any of its affiliates or subsidiaries.

Attachment B

Signed and Stamped Construction Drawings



VICINITY MAP



AMERICAN TOWER®

ATC SITE NAME: BEACON FALLS CT
 SITE NUMBER: 370641
 SITE ADDRESS: 401-411 LOPUS ROAD
 BEACON FALLS, CT 06403



LOCATION MAP

**SHARED GENERATOR PROGRAM
 ANCHOR TENANT**

AMERICAN TOWER®
 A.T. ENGINEERING SERVICE, PLLC
 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112
 COA: PEC.0001553

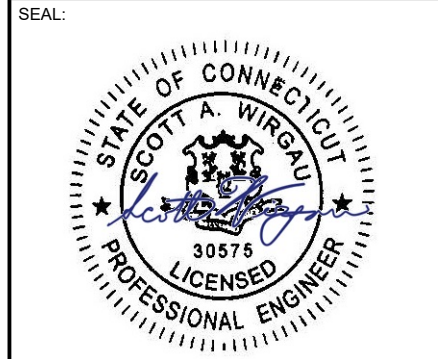
THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	FR	03/25/22

ATC SITE NUMBER:
370641

ATC SITE NAME:
BEACON FALLS CT

SITE ADDRESS:
401-411 LOPUS ROAD
BEACON FALLS, CT 06403



DRAWN BY:	CB
DATE DRAWN:	03/25/22
ATC JOB NO:	13770400_M4

TITLE SHEET

SHEET NUMBER:	REVISION:
G-001	0

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX				
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES	<u>SITE ADDRESS:</u> 401-411 LOPUS ROAD BEACON FALLS, CT 06403 COUNTY: NEW HAVEN <u>GEOGRAPHIC COORDINATES:</u> LATITUDE: 41.43283333 LONGITUDE: -73.07022222 GROUND ELEVATION: 159' AMSL <u>ZONING INFORMATION:</u> JURISDICTION: NEW HAVEN PARCEL NUMBER: UNKNOWN	THE PROPOSED PROJECT INSTALLS AN OPTIONAL STANDBY GENERATOR SYSTEM, AUTOMATIC TRANSFER SWITCH, GENERATOR AUXILIARY POWER DISTRIBUTION, AND REMOTE MONITORING COMMUNICATIONS CIRCUITRY FOR A COMMUNICATION TOWER TENANT.	SHEET NO:	DESCRIPTION:	REV:	DATE:	BY:
	<u>PROJECT TEAM</u> <u>ATC REGIONAL NETWORK DEVELOPMENT PROJECT MANAGER:</u> MICHAEL JOYCE (508) 326-5522 <u>ATC NETWORK OPERATIONS CENTER:</u> (877) 518-6937 <u>TOWER OWNER:</u> AMERICAN TOWER 10 PRESIDENTIAL WAY WOBURN, MA 01801 <u>PROPERTY OWNER:</u> THE TOWN OF BEACON FALLS, CT 10 MAPLE AVE, BEACON FALLS, CT 06403 <u>ENGINEERED BY:</u> ATC TOWER SERVICES 3500 REGENCY PARKWAY SUITE 100 CARY, NC 27518	<u>PROJECT NOTES</u> 1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT LAND DISTURBANCE OR EFFECT OF STORM WATER DRAINAGE. 4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. 5. HANDICAP ACCESS IS NOT REQUIRED. 6. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS AN ELIGIBLE FACILITIES REQUEST ENTITLED TO EXPEDITED REVIEW UNDER 47 U.S.C. § 1455(A) AS A MODIFICATION OF AN EXISTING WIRELESS TOWER THAT INVOLVES THE COLLOCATION, REMOVAL, AND/OR REPLACEMENT OF TRANSMISSION EQUIPMENT THAT IS NOT A SUBSTANTIAL CHANGE UNDER CFR § 1.61000 (B)(7).	G-001	TITLE SHEET	0	03/25/22	FR
	<u>PROJECT LOCATION DIRECTIONS</u> FROM HAMDEN CT, HEAD EAST TOWARD CT-10 S IN 250 FT. TURN RIGHT ONTO CT-10 S/WHITNEY AVE IN .3 MI. TURN RIGHT TO MERGER ONTO CT-15 S TOWARD NEW HAVEN IN 5 MI. TAKE EXIT 59 IN .2 MI TURN LEFT ONTO CT-69 N IN .3 MI. TURN LEFT ONTO BRADLEY RD IN .3 MI. TURN RIGHT ONTO CT-63 N IN 2.7 MI. TURN LEFT ONTO CT-67 N IN 3.6 MI. TURN RIGHT ONTO STATE HIGHWAY 721 IN 2.3 MI. TURN LEFT ONTO CT-42 W IN .2 MI. TURN RIGHT ONTO OLD PINES BRIDGE RD IN .2 MI. TURNS TO LOPUS RD IN .4 MI AND DESTINATION IS ON RIGHT	R-601	SUPPLEMENTAL				



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GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSIEIA/TIA-222, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ATC CM PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE ATC CM PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE ATC CM, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE ATC CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR SHALL NOTIFY THE ATC CONSTRUCTION MANAGER IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH ATC WITH A PDF MARKED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CM TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH ATC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY ATC. ALL REQUIRED PERMITS NOT OBTAINED BY ATC MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH ATC SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ATC FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO ATC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY ATC CM A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND PPM AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/SLOPING, BARRIERS, ETC.
- THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY DURING THE CONSTRUCTION PERIOD. ANY DAMAGE CAUSED BY NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, OR BY THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS

REPRESENTATIVES, EITHER TO THE EXISTING WORK, OR TO HIS WORK OR THE WORK OF ANY OTHER CONTRACTOR, SHALL BE REPAIRED AT HIS EXPENSE TO THE OWNER'S SATISFACTION.

- ALL WORK SHALL BE INSTALLED IN A FIRST CLASS, NEAT AND WORKMANLIKE MANNER BY MECHANICS SKILLED IN THE TRADE INVOLVED. THE QUALITY OF WORKMANSHIP SHALL BE SUBJECT TO THE APPROVAL OF THE ATC CM. ANY WORK FOUND BY THE ATC CM TO BE OF INFERIOR QUALITY AND/OR WORKMANSHIP SHALL BE REPLACED AND/OR REWORKED AT CONTRACTOR EXPENSE UNTIL APPROVAL IS OBTAINED.
- IN ORDER TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE, ALL TYPES OF MATERIALS LISTED HEREINAFTER BY MANUFACTURER'S NAMES AND/OR MANUFACTURER'S CATALOG NUMBER SHALL BE PROVIDED BY THESE MANUFACTURERS AS SPECIFIED.

CONCRETE AND REINFORCING STEEL NOTES:

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS", AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- MIX DESIGN SHALL BE APPROVED BY ATC CM PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6 % AIR ENTRAINED (+/- 1.5%) WITH A SLUMP RANGE OF 3-5" AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.
- THE FOLLOWING MATERIALS SHALL BE USED:
 - PORTLAND CEMENT: ASTM C150, TYPE 2
 - REINFORCEMENT: ASTM A185, PLAIN STEEL WELDED WIRE FABRIC
 - REINFORCEMENT BARS: ASTM A615, GRADE 60, DEFORMED
 - NORMAL WEIGHT AGGREGATE: ASTM C33
 - WATER: ASTM C 94/C 94M
 - ADMIXTURES:
 - WATER-REDUCING AGENT: ASTM C 494/C 494M, TYPE A
 - AIR-ENTERING AGENT: ASTM C 260/C 260M
 - SUPERPLASTICIZER: ASTM C494, TYPE F OR TYPE G
 - RETARDING: ASTM C 494/C 494M, TYPE B
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE NO LESS THAN 3".
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ATC CM APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN "METHOD 1" OF ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER(ACI 306) AND HOT-WEATHER(ACI 301M) CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS, MINIMUM.
- ALL CONCRETE SHALL HAVE A "SMOOTH FORM FINISH."
- UNLESS OTHERWISE NOTED:
 - A. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615/A 615M/A-996, GRADE 60.
 - B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- SPLICING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING STEEL SHALL BE SPLICED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
- REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FORM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPLICED LENGTHS SHOWN IN THE

DRAWINGS. APPLY APPROPRIATE MODIFICATION FACTORS FOR TOP STEEL, BAR SPACING, COVER AND THE LIKE.

- DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS.
- SPLICES OF WWF, AT ALL SPLICED EDGES, SHALL BE SUCH THAT THE OVERLAP MEASURED BETWEEN OUTERMOST CROSS WIRES OF EACH FABRIC SHEET IS NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS 2 INCHES, NOR LESS THAN 6".
- BAR SUPPORTS SHALL BE ALL-GALVINIZED METAL WITH PLASTIC TIPS.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. TIE WIRE SHALL BE OF SUFFICIENT STRENGTH FOR INTENDED PURPOSE, BUT NOT LESS THAN NO. 18 GAUGE.
- SLAB ON GROUND:
 - A. COMPACT SUBGRADE AND ENSURE THERE IS PLACE 6" GRAVEL BENEATH SLAB.
 - B. PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."
- STRUCTURAL STEEL ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:
 - A. ASTM A-572, GRADE 50 - ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE
 - B. ASTM A-36 - ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE
 - C. ASTM A-500, GRADE B - HSS SECTION (SQUARE, RECTANGULAR, AND ROUND)
 - D. ASTM A-325, TYPE SC OR N - ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS
 - E. ASTM F-1554 07 - ALL ANCHOR BOLTS, UNLESS NOTED OTHERWISE
- ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123. EXPOSED STEEL HARDWARE AND ANCHOR BOLTS SHALL BE GALVANIZED PER ASTM A153 OR B695.
- ALL FIELD CUT SURFACES, FIELD DRILLED HOLES AND GROUND SURFACES WHERE EXISTING PAINT OR GALVANIZATION REMOVAL WAS REQUIRED SHALL BE REPAIRED WITH (2) BRUSHED COATS OF ZRC GALVILITE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURER'S RECOMMENDATIONS.
- DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- CONNECTIONS:
 - A. ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D1.1.
 - B. ALL WELDS SHALL BE INSPECTED VISUALLY. 25% OF WELDS SHALL BE INSPECTED WITH DYE PENETRANT OR MAGNETIC PARTICLE TO MEET THE ACCEPTANCE CRITERIA OF AWS D1.1. REPAIR ALL WELDS AS NECESSARY.
 - C. INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.
 - D. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE BURNING/WELDING PERMITS AS REQUIRED BY LOCAL GOVERNING AUTHORITY AND IF REQUIRED SHALL HAVE FIRE DEPARTMENT DETAIL FOR ANY WELDING ACTIVITY.
 - E. ALL ELECTRODES TO BE LOW HYDROGEN, MATCHING FILLER METAL, PER AWS D1.1, UNLESS NOTED OTHERWISE.
 - F. MINIMUM WELD SIZE TO BE 0.1875 INCH FILLET WELDS, UNLESS NOTED OTHERWISE.
 - G. PRIOR TO FIELD WELDING GALVANIZING MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZING 1/2" BEYOND ALL FIELD WELD SURFACES. AFTER WELD AND WELD INSPECTION IS COMPLETE, REPAIR ALL GROUND AND WELDED SURFACES WITH ZRC GALVILITE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURERS RECOMMENDATIONS.



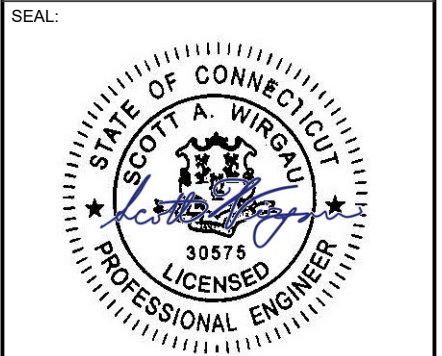
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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	FR	03/25/22

ATC SITE NUMBER:
370641

ATC SITE NAME:
BEACON FALLS CT

SITE ADDRESS:
401-411 LOPUS ROAD
BEACON FALLS, CT 06403



DRAWN BY:	CB
DATE DRAWN:	03/25/22
ATC JOB NO:	13770400_M4

GENERAL NOTES

SHEET NUMBER:
G-002

REVISION:
0

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SITE PLAN NOTES:

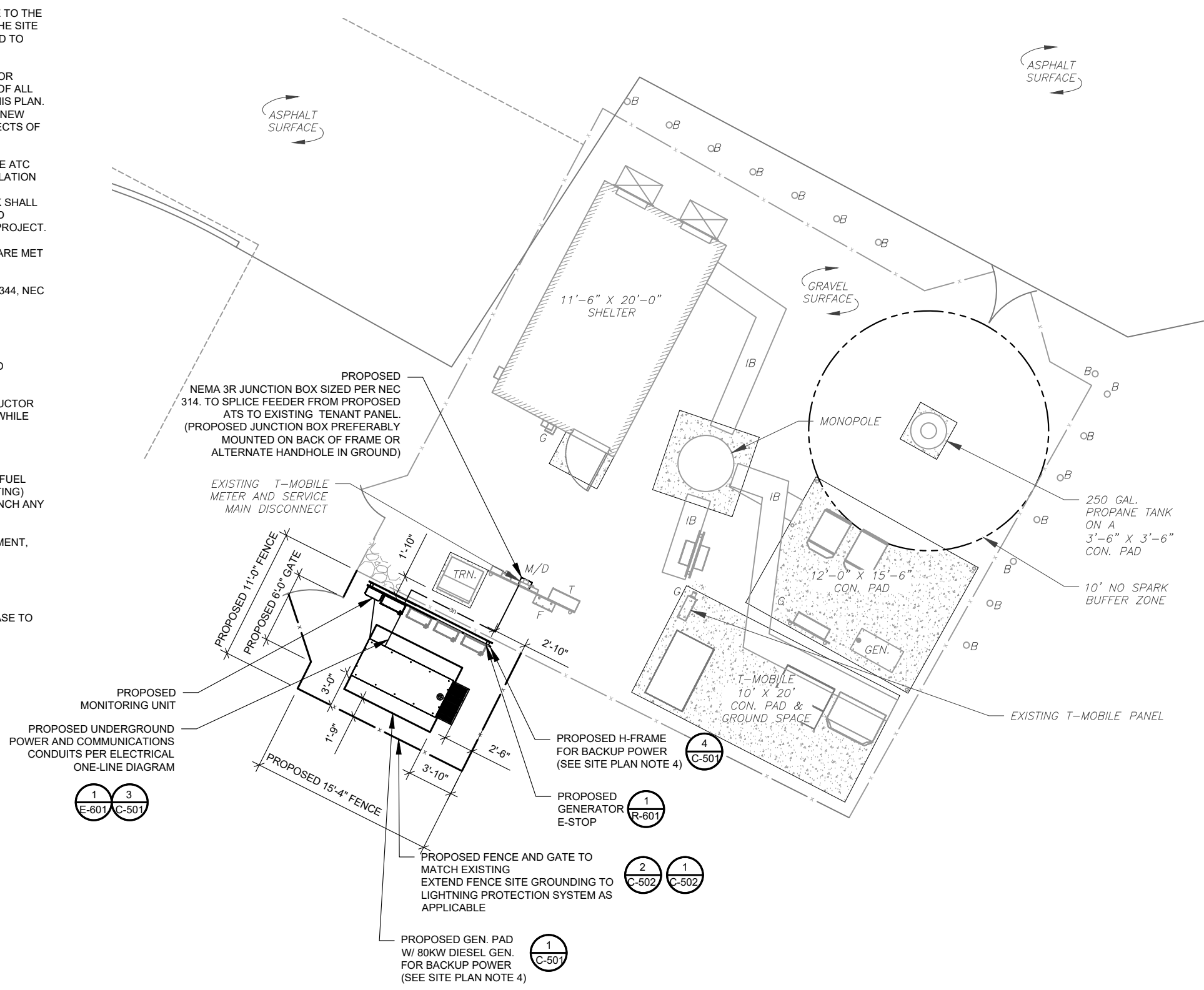
- THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
- ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN. BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT, CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE ATC CONSTRUCTION MANAGER AND LOCAL UTILITY COMPANY FOR THE INSTALLATION OF CONDUITS, CONDUCTORS, BREAKERS, DISCONNECTS, OR ANY OTHER EQUIPMENT REQUIRED FOR ELECTRICAL SERVICE. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE STATE AND NATIONAL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THIS PROJECT.
- CONTRACTOR SHALL INSURE THAT ALL WORKING SPACE REQUIREMENTS ARE MET PER APPLICABLE CODES AND MANUFACTURER SPECIFICATIONS.
- ABOVE GROUND CONDUITS NEED TO BE SUPPORTED/FASTENED PER NEC 344, NEC 352, AND PER ATC CONSTRUCTION SPECIFICATIONS.
- THE FOLLOWING SIGNS SHALL BE INSTALLED AT TENANT SERVICE MAIN DISCONNECT PER NEC 702.7.
 - "CAUTION: TWO SOURCES OF SUPPLY STANDBY GENERATOR LOCATED OUTDOORS"
 - "WARNING: SHOCK HAZARD EXISTS IF GROUNDING ELECTRODE CONDUCTOR OR BONDING JUMPER CONNECTION IN THIS EQUIPMENT IS REMOVED WHILE ALTERNATE SOURCE IS ENERGIZED"

RODENT CONTROL AROUND GENERATOR ENVELOPE:

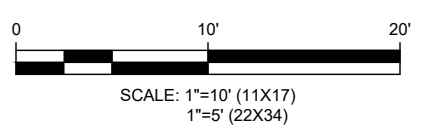
- INSTALL ALL PROVIDED SEALS, PLUGS, COVERS, ETC. IN GENERATOR AND FUEL TANK ENVELOPE. SEAL ALL REMAINING OPENINGS (EXCEPT NORMAL VENTING) WITH RODENT FOAM SEALANT. NO OPENING SHALL BE LARGER THAN 1/4 INCH ANY DIMENSION.
- SEAL ALL CONDUITS INCLUDING CONDUITS ENTERING GENERATOR EQUIPMENT, BOXES, ATTACHMENTS, ETC. WITH RODENT FOAM SEALANT.
- SEAL ALL CONDUIT ACCESS OPENINGS THROUGH CONCRETE PAD WITH CONCRETE.
- SLOPE GRAVEL BASE AT CONCRETE PAD PERIMETER FROM ABOVE PAD BASE TO EXISTING GRADE LEVEL TYPICAL ALL PERIMETER SIDES.

LEGEND	
⊗	GROUNDING TEST WELL
ATS	AUTOMATIC TRANSFER SWITCH
B	BOLLARD
CSC	CELL SITE CABINET
D	DISCONNECT
E	ELECTRICAL
F	FIBER
GEN	GENERATOR
G	GENERATOR RECEPTACAL
HH, V	HAND HOLE, VAULT
IB	ICE BRIDGE
K	KENTROX BOX
LC	LIGHTING CONTROL
M	METER
PB	PULL BOX
PP	POWER POLE
T	TELCO
TRN	TRANSFORMER
— x —	CHAINLINK FENCE

APPROXIMATE TRENCH DISTANCES	
30'	POWER CONDUIT TRENCH



1 DETAILED SITE PLAN



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 3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112
 COA: PEC.0001553

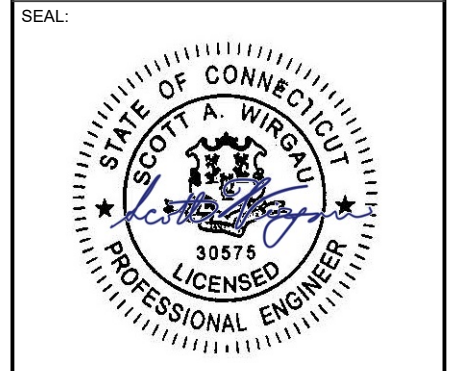
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REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	FR	03/25/22
1			
2			
3			
4			

ATC SITE NUMBER:
370641

ATC SITE NAME:
BEACON FALLS CT

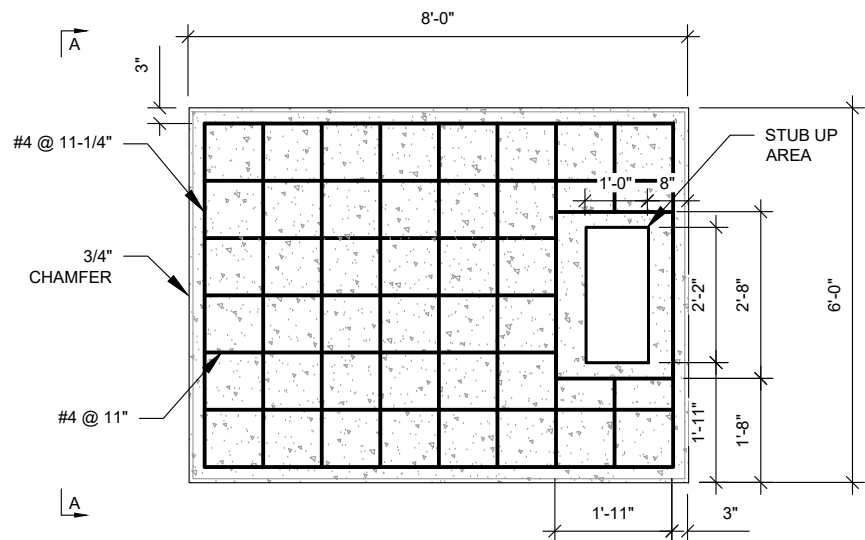
SITE ADDRESS:
401-411 LOPUS ROAD
BEACON FALLS, CT 06403



DRAWN BY:	CB
DATE DRAWN:	03/25/22
ATC JOB NO:	13770400_M4

SITE PLAN	
SHEET NUMBER:	REVISION:
C-101	0

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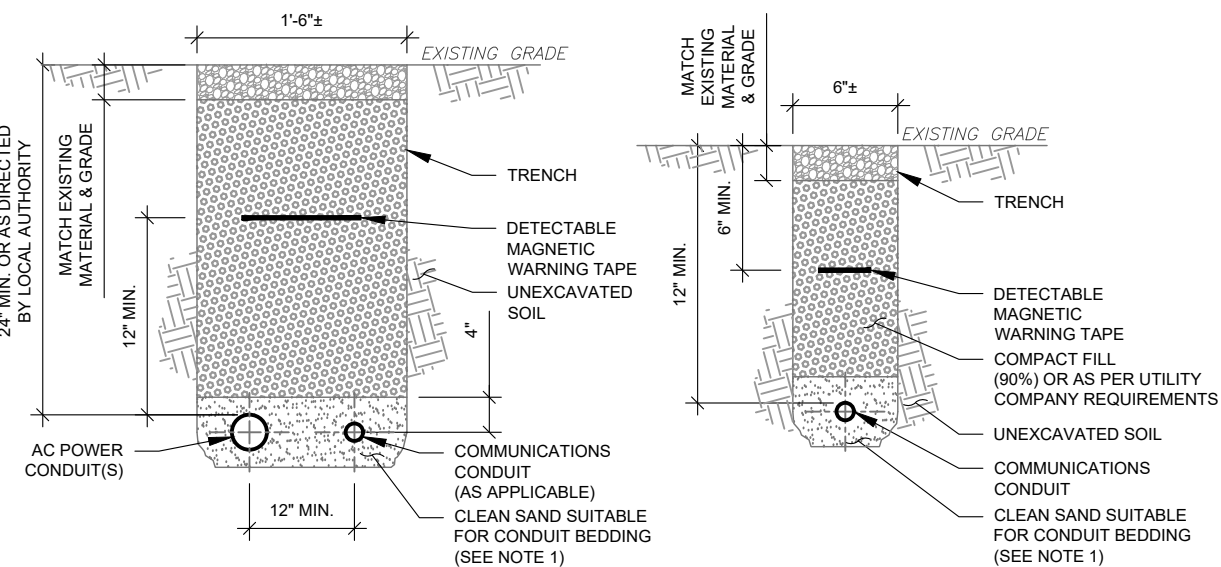


PAD NOTES:

- PADS SHALL BE PRE-CAST MATCHING THIS DESIGN WHERE ALLOWED BY LOCAL JURISDICTION.
- PADS SHALL HAVE A MIN 28 DAY COMPRESSIVE STRENGTH AS SPECIFIED ON G-002, CONCRETE AND REINFORCING STEEL NOTES #3 REFER TO CONCRETE & REINFORCED STEEL NOTES ON SHEET G-002 & ATC CONSTRUCTION SPECIFICATION 033000 FOR CAST-IN-PLACE PADS.
- STUB UP AREA SHALL BE FILLED WITH QUIKRETE, OR APPROVED EQUAL, PRIOR TO FINAL SET OF GENERATOR ON PAD.
- AFTER FINAL SET OF GENERATOR ON PAD, GROUT ALL EXTERIOR OPENINGS AT PAD INTERFACE SO THAT FINISHED MAXIMUM OPENING SHALL BE 1/4 INCH.
- GROUT SHALL BE PER ATC CONSTRUCTION SPECIFICATION DIVISION 03, CONCRETE.

1 REINFORCED PAD LAYOUT

SCALE: N.T.S.



POWER AND COMMUNICATIONS JOINT TRENCH

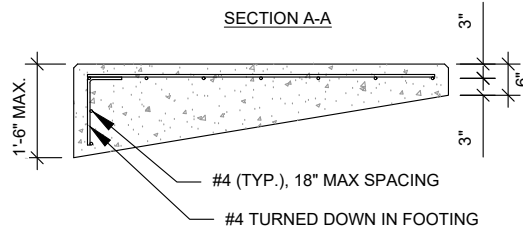
COMMUNICATIONS ONLY TRENCH

TRENCH NOTES:

- IF FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE MATERIAL.
- COMPACT IN 8" LIFTS USING A MECHANICAL PLATE TAMPER, MIN 3 PASSES. REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING U/G UTILITIES PRIOR TO DIGGING. SEE ATC CONSTRUCTION SPECIFICATION 312000 SECTION 3.15.
- IF CURRENT AS-BUILT DRAWINGS ARE NOT AVAILABLE CONTRACTOR SHALL HAND DIG U/G TRENCHING.
- CONFIRM SPACING AND DEPTH WITH NEC OR LOCAL CODE REQUIREMENTS

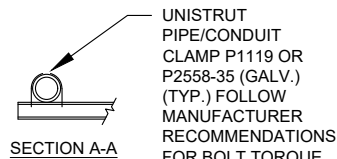
3 CONDUIT TRENCH DETAILS

SCALE: N.T.S.

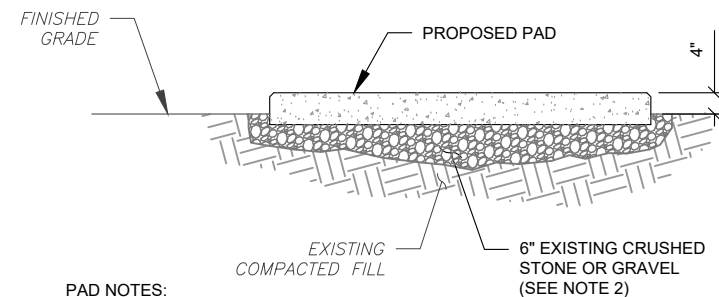


PAD NOTES:

- PAD THICKNESS SHALL VARY FROM 6" TO 18"



3 CONDUIT TRENCH DETAILS

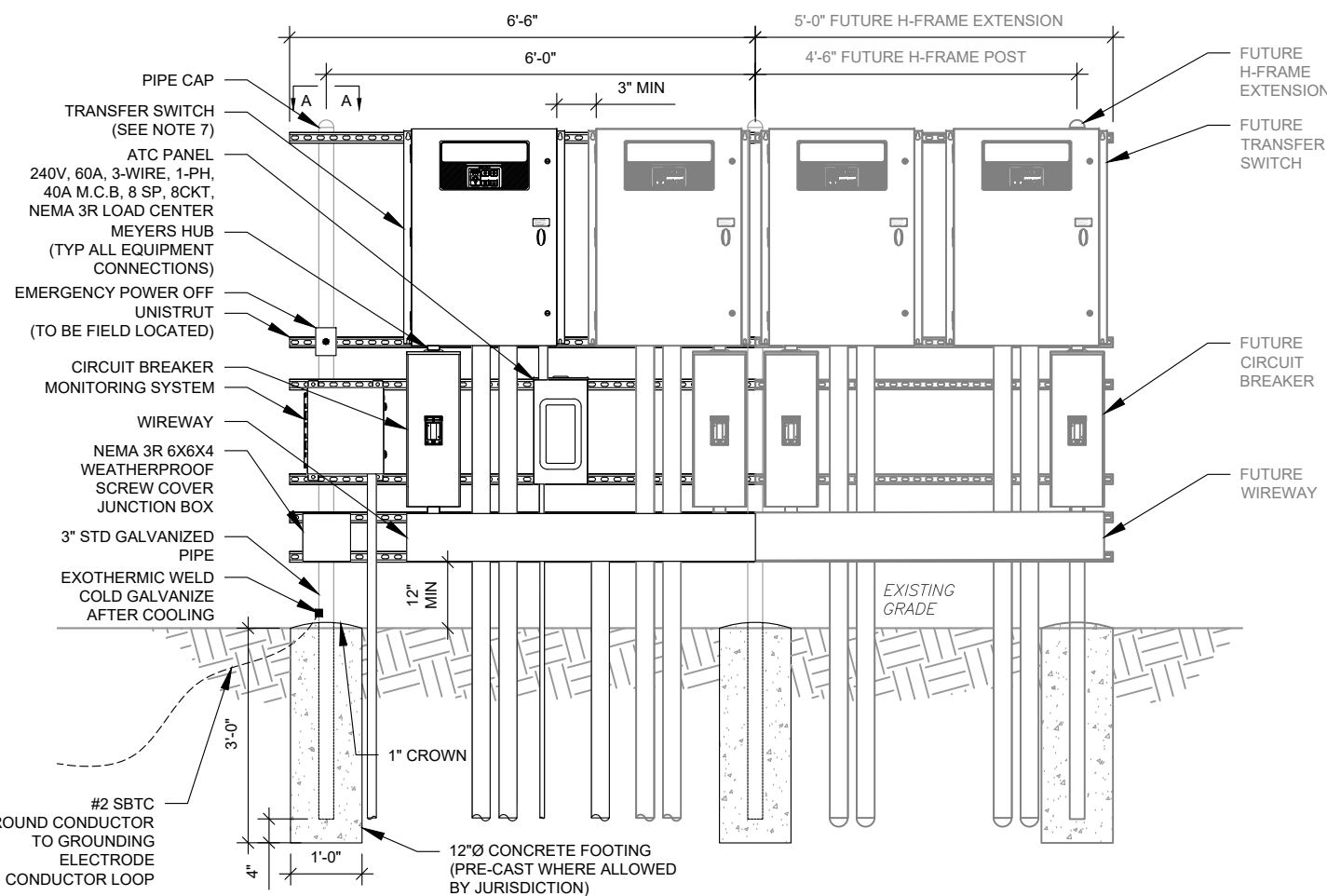


PAD NOTES:

- SUBGRADE AND FILL SHALL CONSIST OF CLEAN SOIL. DELETERIOUS MATERIAL AND ORGANICS SHALL BE REMOVED.
- MECHANICALLY COMPACT FOOTPRINT OF PAD PLUS 2' PERIMETER USING A MECHANICAL PLATE TAMPER, MIN 3 PASSES. SEE ATC CONSTRUCTION SPECIFICATION 312000 ACCESS ROAD AND EARTH WORK.
- USE GALVANIZED HILTI EXPANSION ANCHORS OR, APPROVED EQUAL, FOR EQUIPMENT ANCHORAGE.
- FOR SIZE AND LOCATION OF ANCHORS AND OTHER REQUIREMENT, SEE EQUIPMENT VENDOR DRAWINGS.

2 GRAVEL PREPARATION

SCALE: N.T.S.



H-FRAME NOTES:

- IF IT IS NECESSARY TO EXTEND THE H-FRAME, AN ADDITIONAL POST SHALL BE REQUIRED.
- PROPOSED UNISTRUTS TO BE FIELD CUT AND SHALL NOT EXTEND MORE THAN 6 INCHES BEYOND THE LAST POST.
- SPRAY ENDS OF UNISTRUT WITH COLD GALVANIZING SPRAY PAINT, ALLOW TO DRY, THEN COVER WITH RUBBER PROTECTIVE CAPS FOR SAFETY.
- UNISTRUT TO BE CUT FLUSH WITH NO SHARP OR JAGGED EDGES.
- ALL PROPOSED HARDWARE TO BE MOUNTED AND GROUNDED PER MANUFACTURERS SPECS
- ALL ITEMS ARE PROPOSED UNLESS OTHERWISE NOTED.
- LAYOUT H-FRAME & PROPOSED EQUIPMENT EXACTLY AS SHOWN TO ALLOW FOR FUTURE EQUIPMENT. ANY DEVIATIONS MUST BE APPROVED BY ATC CM, IN WRITING, NO EXCEPTIONS.
- FOOTINGS SHALL BE ONE OF THE FOLLOWING: USS POLECRETE STABILIZER SYSTEM, PRECAST CONCRETE (WHERE ALLOWED BY JURISDICTION) OR CAST IN PLACE. FOR PRECAST FOOTINGS, CONTRACTORS SHALL THOROUGHLY COMPACT THE PERIMETER (2' MIN) OF FOOTING WITH MECHANICAL PLATE TAMPER.

4 H-FRAME

SCALE: N.T.S.

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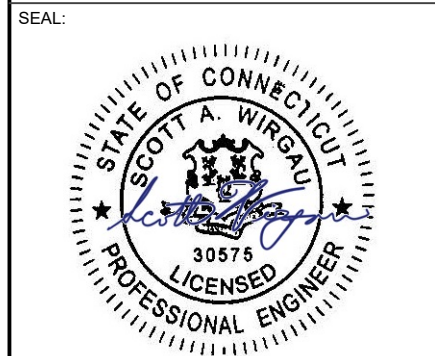
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ATC SITE NUMBER:
370641

ATC SITE NAME:
BEACON FALLS CT

SITE ADDRESS:
 401-411 LOPUS ROAD
 BEACON FALLS, CT 06403

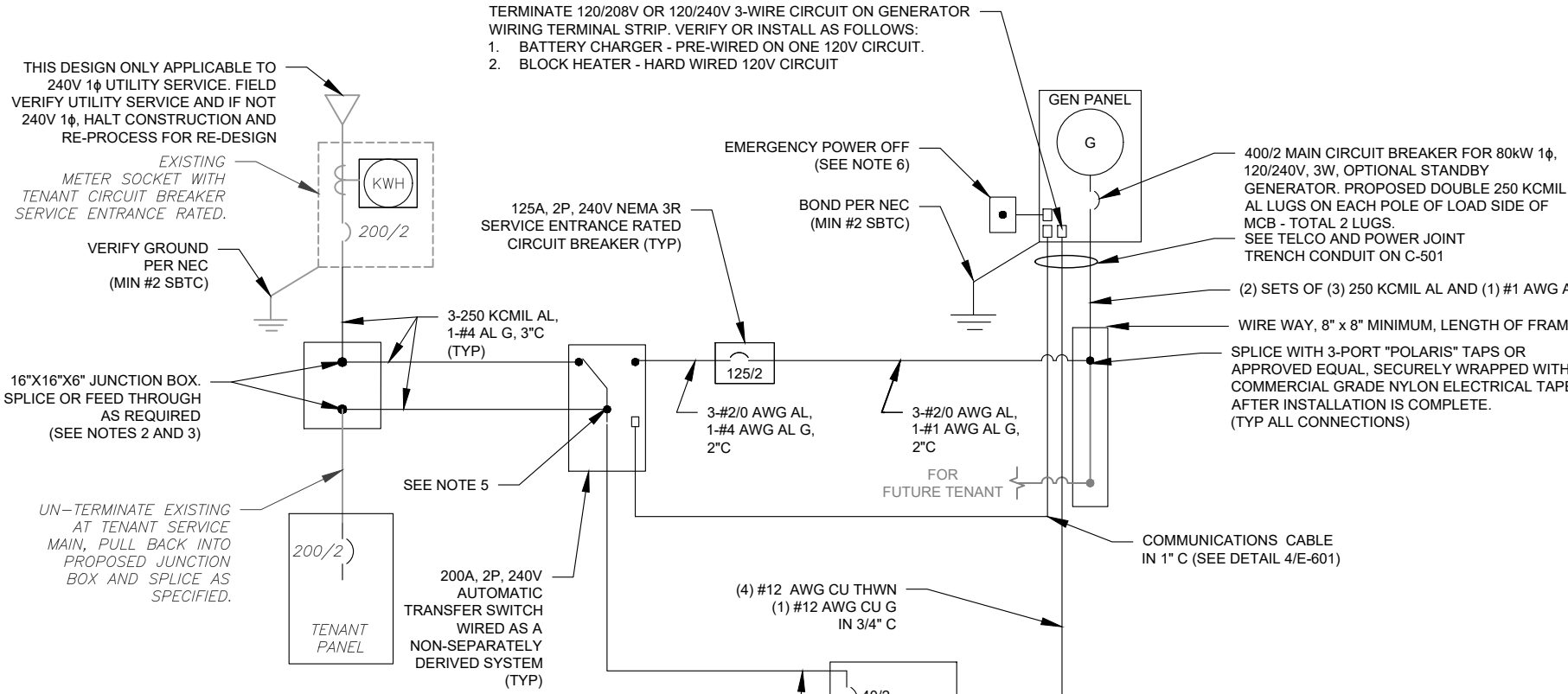


DRAWN BY:	CB
DATE DRAWN:	03/25/22
ATC JOB NO:	13770400_M4

CONCRETE PAD DETAILS

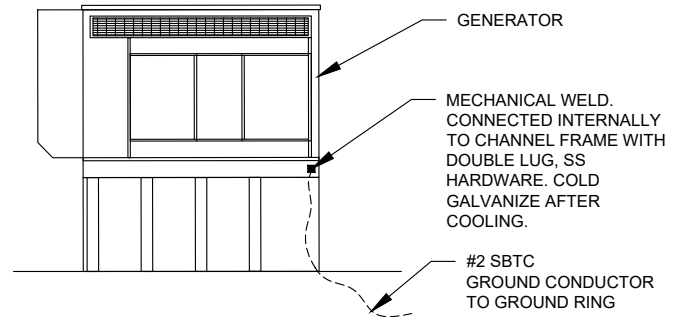
SHEET NUMBER:	REVISION:
C-501	0

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- ONE-LINE NOTES:**
- CONNECT CT'S PER HTS OWNERS MANUAL-SECTION 3.11.2 INSTRUMENT PACKAGE
 - SPLICE WITH "POLARIS" TAPS OR APPROVED EQUAL, SECURELY WRAPPED WITH COMMERCIAL GRADE NYLON ELECTRICAL TAPE AFTER INSTALLATION IS COMPLETE.
 - UTILIZE EXISTING ENCLOSURES FOR SPLICING (PER NEC 312.8) OR INSTALL NEW JUNCTION BOX AS APPLICABLE PER SITE CONDITIONS AND CODES. SIZE JUNCTION BOX AS PER NEC 314.28
 - IF TAPPING AT TENANT EQUIPMENT, NO TAPS MAY BE MADE WITHIN THEIR EXISTING EQUIPMENT, INCLUDING PPC.
 - TAP GENERATOR PANEL CIRCUIT TO LUGS ON T-TERMINALS (LOAD SIDE) WITH AUXILIARY TAP SCREW. TERMINATE CONDUCTOR ON EACH LUG WITH INSULATED RING TERMINAL PROPERLY SIZED.
 - EMERGENCY POWER OFF PUSHBUTTON IN WEATHERPROOF ENCLOSURE FOR REMOTE SHUTDOWN OF GENERATOR ENCLOSURE. FURNISHED BY GENERATOR MANUFACTURER AND INSTALLED BY CONTRACTOR. CONNECT TO Y TERMINALS LOCATED NEAR TB2 VIA 2#18 AWG WIRES IN 1/2" LFMC.

1 ELECTRICAL ONE-LINE DIAGRAM
SCALE: NOT TO SCALE



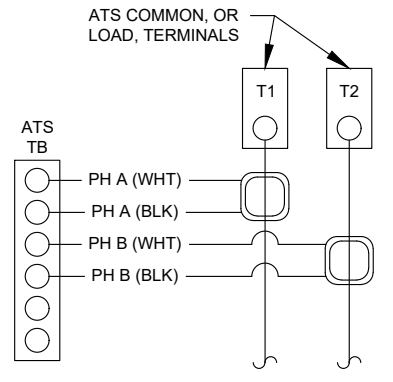
GENERATOR INSTALLATION NOTE:

INSTALL GENERATOR AND TRANSFER SWITCH WITH ALL SUPPLIED ACCESSORIES PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, ACCESSORIES FOR THE EXHAUST SYSTEM, FUEL SYSTEM, ENCLOSURE INTEGRITY (CAPS, PLUGS, COVERS, ETC.), ELECTRICAL CONNECTIONS, AND GROUNDING CONNECTIONS.

2 GENERATOR GROUNDING
SCALE: NOT TO SCALE

DEMAND LOAD CALCULATION

GENERATOR LOADS	2.5 KW
TENANT PANEL DEMAND LOADS	25.0 KW
TOTAL DEMAND LOADS (KW)	27.5 KW
TOTAL DEMAND CURRENT (A)	114.5 A
AT 120/240V, 1PH, 3W	

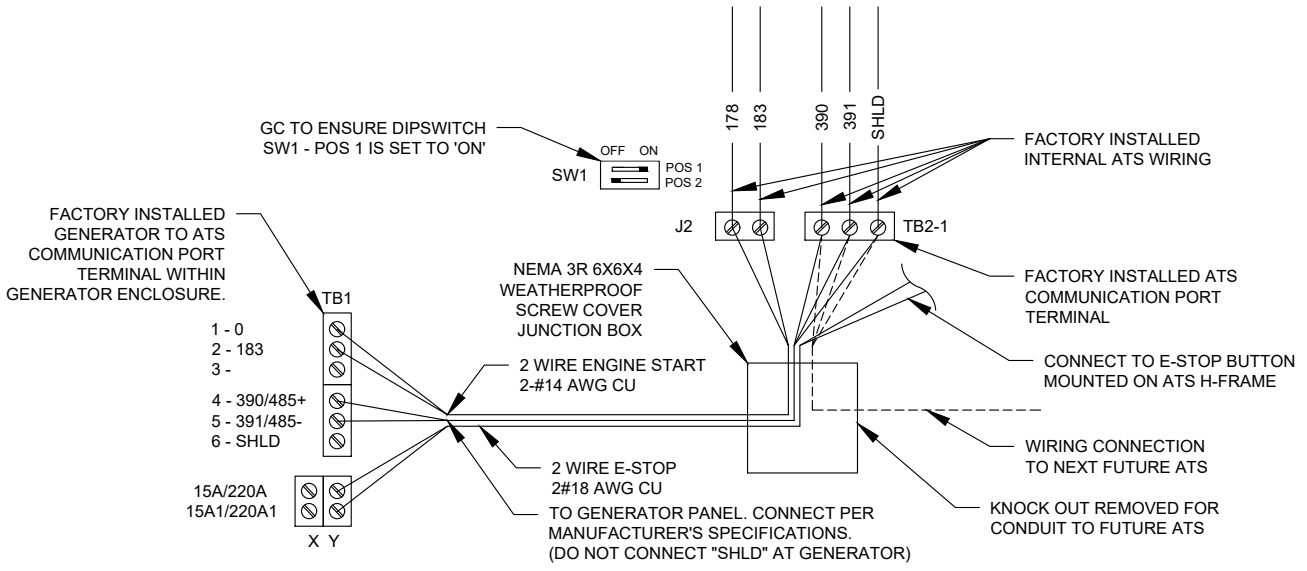


- CT NOTES:**
- CT'S FURNISHED BY GENERATOR MANUFACTURER WITH LEAD WIRE OPTION, 200:1 AMP RATIO.
 - WIRING SHOWN FOR SINGLE PHASE TENANT LOAD ON PHASES A-B. ADJUST ACCORDINGLY FOR INDIVIDUAL SITES THAT ARE BALANCING THREE PHASE SERVICES.
 - 1-PHASE: MOUNT ONE CT WITH WHITE DOT FACING AWAY FROM, AND OTHER CT WITH WHITE DOT FACING TOWARDS, THE ATS TERMINAL CONNECTIONS
 - 3-PHASE: MOUNT ALL CT'S WITH WHITE DOTS ALL FACING AWAY FROM THE ATS TERMINAL CONNECTIONS

3 CT WIRING DIAGRAM
SCALE: NOT TO SCALE

- NOTES:**
- INSTALL NETWORK OPERATING CENTER (NOC) MONITORING COMMUNICATION SYSTEM (RMC-700) ON MAIN UTILITY H-FRAME. THE RMC-700 IS FURNISHED BY ATC, COMPLETE WITH MOUNTING BRACKETS.
 - INSTALL EXTERNAL ANTENNA KIT (FURNISHED BY ATC). ANTENNA MOUNTS TO KENTROX ENCLOSURE OR MOUNTED TO H-FRAME. FEED CABLE THROUGH RMC-700 ENTRY PORT #3 AND CONNECT TO ANTENNA PORT TX/RX. HAND TIGHTEN ONLY. LEAVE POWER AND DATA CABLES IN RMC-700 UNCONNECTED FOR COMMISSIONING TEAM
 - BRANCH CIRCUIT WIRING FOR MONITORING DEVICE SHALL BE 2-#12 AWG CU, 1-#12 AWG CU G, IN 3/4" C.

5 PROPOSED MONITORING
SCALE: NOT TO SCALE



4 COMMUNICATIONS CABLE DETAIL
SCALE: NOT TO SCALE

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BEACON FALLS, CT 06403



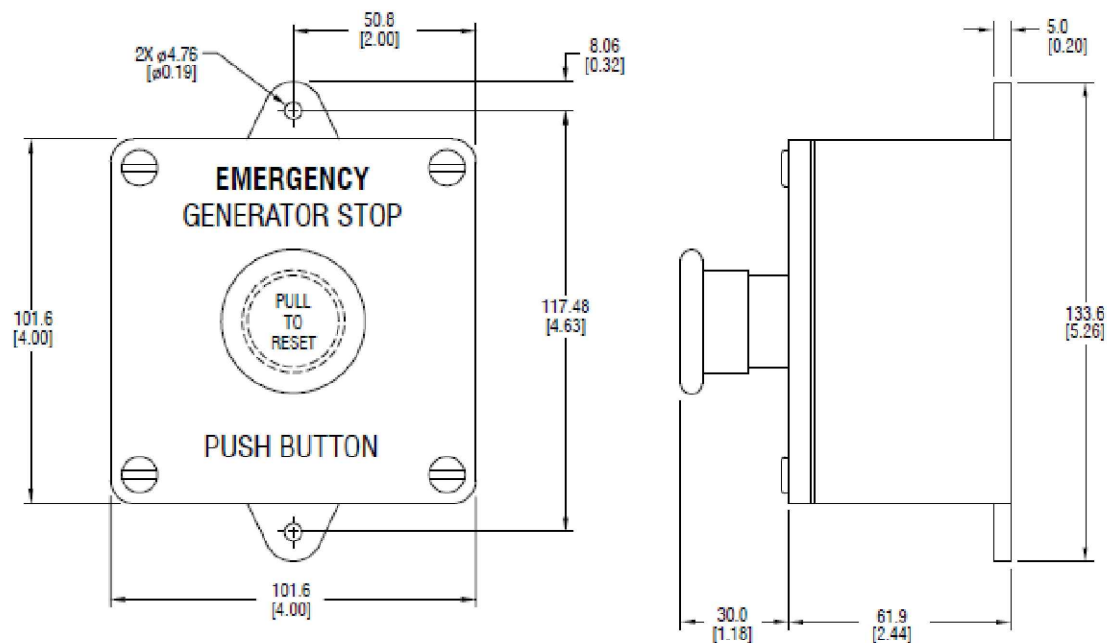
DRAWN BY:	CB
DATE DRAWN:	03/25/22
ATC JOB NO:	13770400_M4

ELECTRICAL ONE-LINE AND WIRING DETAILS

SHEET NUMBER:	REVISION:
E-601	0

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REMOTE EMERGENCY STOP SWITCH SURFACE MOUNT, H-PANEL



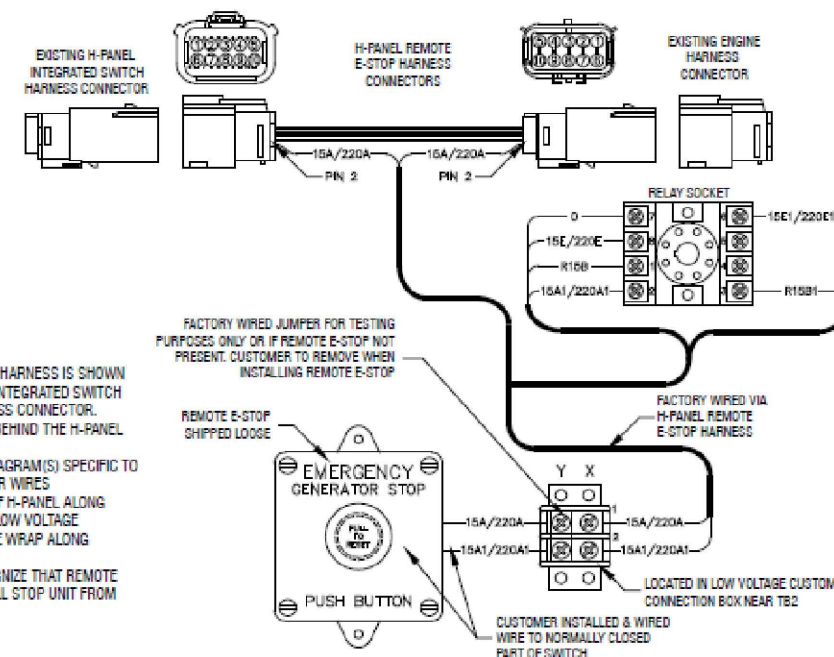
- MANUFACTURER: PILLA ELECTRICAL PRODUCTS, INC.
- MODEL SG120
- GENERAC PART NUMBER 061120E
- SURFACE MOUNT, NEMA 4X
- NONMETALLIC BACKBOX

DIMENSIONS: mm [INCHES]

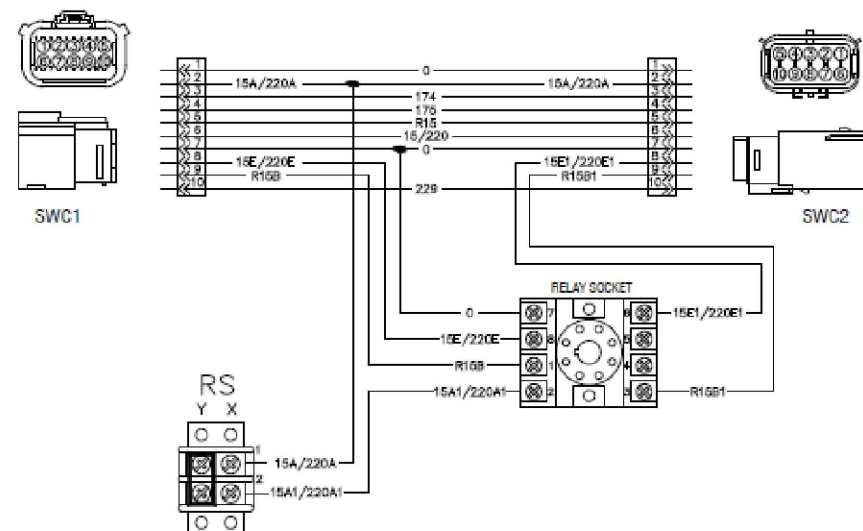
GENSET CONTROLS

1 OF 2

REMOTE EMERGENCY STOP SWITCH SURFACE MOUNT, H-PANEL



- NOTES:
- 1) THE H-PANEL REMOTE E-STOP HARNESS IS SHOWN IN POSITION BETWEEN EXISTING INTEGRATED SWITCH CONNECTOR AND ENGINE HARNESS CONNECTOR. CONNECTION POINT IS LOCATED BEHIND THE H-PANEL HINGED COVER
 - 2) SEE WIRING OR SCHEMATIC DIAGRAM(S) SPECIFIC TO UNIT FOR INFORMATION ON OTHER WIRES
 - 3) FACTORY RUNS WIRING OUT OF H-PANEL ALONG ENGINE HARNESS THAT ENTERS LOW VOLTAGE CUSTOMER CONNECTION BOX. TIE WRAP ALONG HARNESS AS NEEDED.
 - 4) THE H-PANEL WILL NOT RECOGNIZE THAT REMOTE E-STOP WAS ACTIVATED, BUT WILL STOP UNIT FROM RUNNING



GENSET CONTROLS

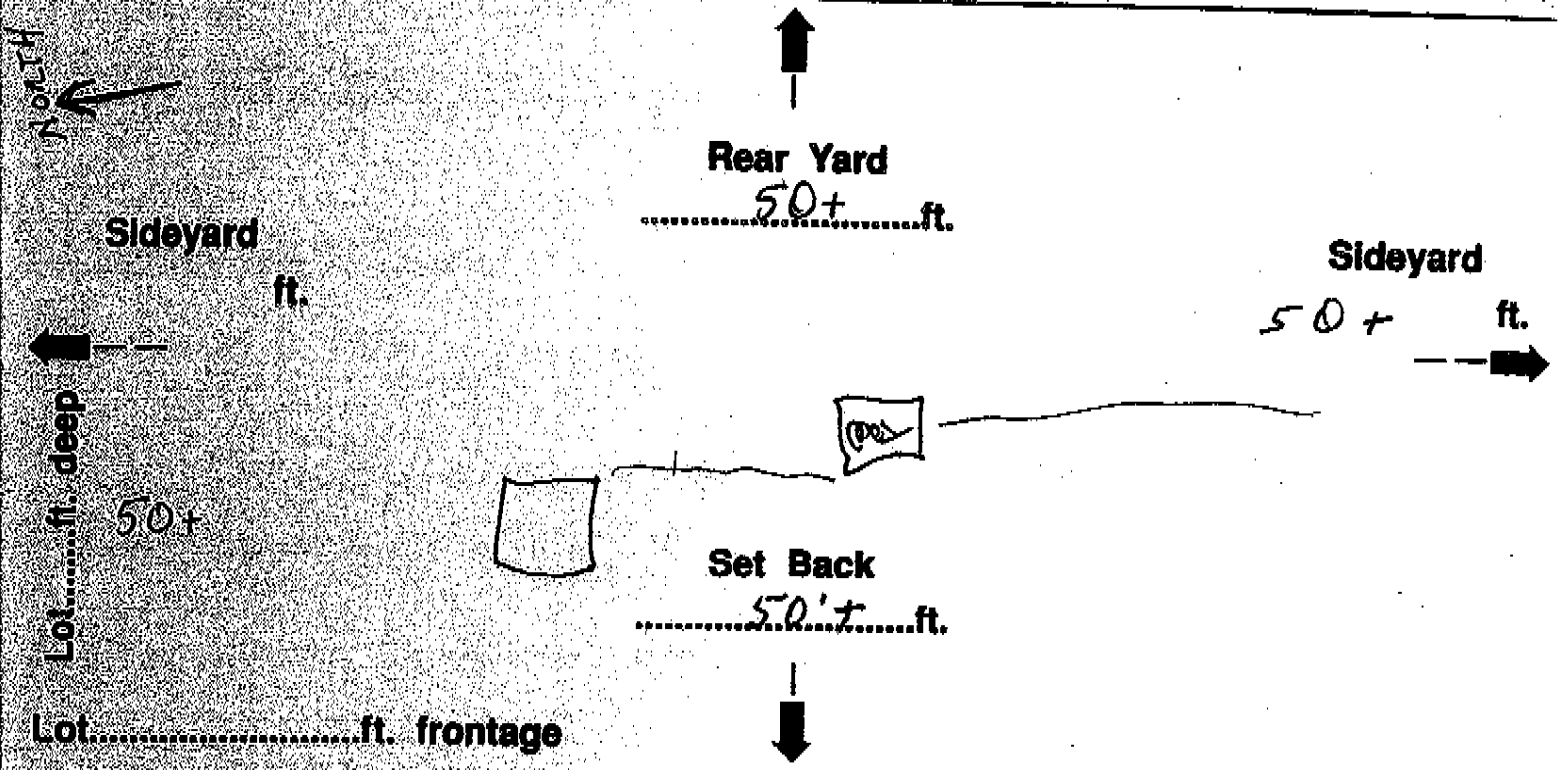
2 OF 2

Attachment C

Original Approval

PLOT PLAN

Indicate location of garage or accessory building with dashed lines



401 LOPUS ROAD Street

Application for Certificate of Zoning Compliance

Date 10-27-05

NEW CINGULAR WIRELESS PCS, LLC of 500 ENTERPRISE DRIVE

Name of Applicant

Street Address

ROCKY HILL, CT 06067

City

State

hereby applies to the Beacon Falls Zoning Commission

for a certificate of Zoning Compliance for

CINGULAR CELL TOWER SITE AT BEACON FALLS PUBLIC WORKS

Size and Location - Zone

GARAGE ON LOPUS RD. MONOPOLE TOWER IN FENCED COMPOUND; EQUIPMENT SHELTER; COAXIAL CABLES; ANTENNAS.
NEW CINGULAR WIRELESS PCS, LLC

Applicant's Signature STEVEN L. LEVINE

Date Approved 10/27/05

Zoning Enforcement Officer

FEE: \$10.00

TOWN TO OWN

Town of Beacon Falls

Record of Building Permit

No. 011

Owner Cingular

Owner's Address 500 Enterprise Dr Rocky Hill

Site Location Lopus Road Town Garage

Construction: New Alteration Addition Repair
Garage Shed Other CELL TOWER

One family residence

Permit Number #P-11-6-2005 Date Issued Nov 3 2005

Value of Permit 250,000.00

Fee Paid \$ 1792.00 Pd check # 1072

Application Approved John Petersen
Building Inspector



APPLICATION FOR BUILDING PERMIT
CONNECTICUT STATE BUILDING CODE (SBC 111.0)
CITY/TOWN OF BEACON FALLS



1. 10-27-05 (Please Print or Type All Entries)
 Date

2. PUBLIC WORKS GARAGE, LOPUS ROAD, B. FALLS 3. MAP 3 BLK 1 LOT 16
 Property Location Street Address Lot #

4. TOWN OF BEACON FALLS
 Owner's Name (As it appears in the Land Records)

5. TOWN HALL BEACON FALLS CT 06403
 Street Address Town State Zip Code

6. _____
 Home Phone # Work Phone # Fax # Mobile Phone #

7. NEW CINGULAR WIRELESS PCS, LLC (STEVE LEVINE)
 Applicant's Name

8. 500 ENTERPRISE DR. ROCKY HILL CT 06002
 Street Address Town State Zip Code

9. _____ 860-513-7636 860-513-7190 203-556-1655
 Home Phone # Work Phone # Fax # Mobile Phone #

10. TO BE DETERMINED 11. _____
 Contractor/General Contractor Registration #

12. Permit Type: a) Building Permit Estimated Cost \$250,000⁰⁰
 Foundation Superstructure
 Tenant Fitout Other

b) Electrical Permit Estimated Cost _____
 c) Mechanical Permit Estimated Cost _____
 d) Plumbing Permit Estimated Cost _____
 e) Demolition Permit* Estimated Cost _____
 f) Other _____ Estimated Cost _____

TOTAL \$250,000

13. Project Type: a) New Construction f) Relocation
 b) Addition g) Change of Use
 c) Alteration h) Article 32
 d) Repair/Replacement i) Designated Historic Structure
 e) Demolition*

CELL TOWER, FENCED COMPOUND, EQUIPMENT SHELTER, COAX CABLES, MOVE OIL TANK

Is Structure within the 100 year flood plain Yes No

14. Construction Type: 1A 1B 2A 2B 2C 3A 3B 4 5A 5B

15. Use Group(s): A-1 B H-1 I-1 M S-1
 A-2 H-2 I-2 S-2 UNMANNED
 A-3 F-1 H-3 I-3 R-1
 A-4 F-2 H-4 R-2 U
 A-5 R-3

Mixed Use: N/A Yes No Separated Nonseparated

STATE OF CONNECTICUT/OFFICE OF STATE BUILDING INSPECTOR
 (Over)

16. LOPUS ROAD - PUBLIC WORKS GARAGE 17. 3-1-16
Property Location Street Address Lot #

18. Height of building: Stories: 1 Feet: 10'

19. Total Sq. Ft. of Building: 240 SQ. FT

20. List below the gross square footage of each story, above and below grade:

Story	Area in Sq. Ft.	Story	Area in Sq. Ft.	Story	Area in Sq. Ft.
<u>1</u>	<u>240</u>	<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>
<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>
<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>	<u>/</u>

21. Architect's Information: (Attach as applicable) License # 22038

TELECOM ENGINEERING
MIKE PATEL
" "

22. Engineers Information: (Attach as applicable) License # 22038

23. Interior Design: (Attach as Applicable) Registration # N/A

24. Documents Submitted /Attached:

- Zoning Building Plans Site Plans Building Sections Building Elevations Health
- Reports Calculations Details Photographs Threshold Review*
- Correspondence Authorization of Applicant Other Than Owner Manufacturer's Literature
- Statement of Special Inspections* Other (describe) _____

25. Estimated Cost of Construction \$ 250,000.00
(Value of Labor & Materials)

CERTIFICATION: I hereby certify that: I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent, and we agree to conform to all applicable laws, regulations and ordinances. All information contained within is true and accurate to the best of my knowledge and belief.

NEW CINCINNATI WIRELESS PCS, LLC
BY [Signature]
Signature of Owner/Authorized Agent
STEVEN L. LEVINE

ITEMS 26 - 29 ARE FOR BUILDING OFFICIAL'S USE ONLY

26. Building Permit Fee: \$ 1792.00

27. Plan Review Fee: 0.00

28. Certificate of Occupancy Fee: 0.00

29. Other Fees: 0.00

TOTAL FEE: Cash Check \$ 1792.00

#P-11-6-2005
11/3/2005

Completed Application Received Date: 10/27/2005

[Signature] check # 1072

[Signature]
(Signature Building Official)



STATE OF CONNECTICUT

CONNECTICUT SITING COUNCIL

Ten Franklin Square, New Britain, CT 06051

Phone: (860) 827-2935 Fax: (860) 827-2950

E-Mail: siting.council@po.state.ct.us

www.ct.gov/csc

October 24, 2005

Steven Levine
Real Estate Consultant
New Cingular Wireless PCS, LLC
500 Enterprise Drive
Rocky Hill, CT 06067-3900

RE: **TS-CING-006-051007** - New Cingular Wireless PCS, LLC. request for an order to approve tower sharing at an existing telecommunications facility located at Beacon Falls Public Works Department garage, Lopus Road, Beacon Falls, Connecticut.

Dear Mr. Levine:

At a public meeting held October 19, 2005, the Connecticut Siting Council (Council) ruled that the shared use of this existing tower site is technically, legally, environmentally, and economically feasible and meets public safety concerns, and therefore, in compliance with General Statutes § 16-50aa, the Council has ordered the shared use of this facility to avoid the unnecessary proliferation of tower structures. This facility has also been carefully modeled to ensure that radio frequency emissions are conservatively below State and federal standards applicable to the frequencies now used on this tower.

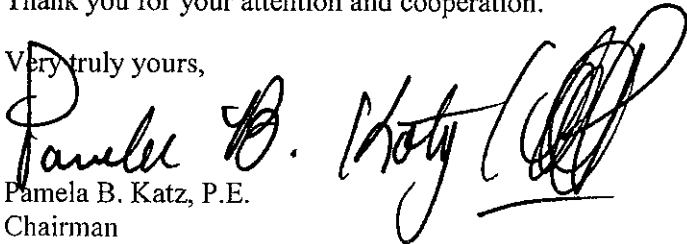
This decision is under the exclusive jurisdiction of the Council. Any additional change to this facility may require an explicit request to this agency pursuant to General Statutes § 16-50aa or notice pursuant to Regulations of Connecticut State Agencies Section 16-50j-73, as applicable. Such request or notice shall include all relevant information regarding the proposed change with cumulative worst-case modeling of radio frequency exposure at the closest point of uncontrolled access to the tower base, consistent with Federal Communications Commission, Office of Engineering and Technology, Bulletin 65. Any deviation from this format may result in the Council implementing enforcement proceedings pursuant to General Statutes § 16-50u including, without limitation, imposition of expenses resulting from such failure and of civil penalties in an amount not less than one thousand dollars per day for each day of construction or operation in material violation.

This decision applies only to this request for tower sharing and is not applicable to any other request or construction. Please be advised that the validity of this action shall expire one year from the date of this letter.

The proposed shared use is to be implemented as specified in your letter dated October 7, 2005 and additional information received October 17, 2005, including the placement of all necessary equipment and shelters within the tower compound.

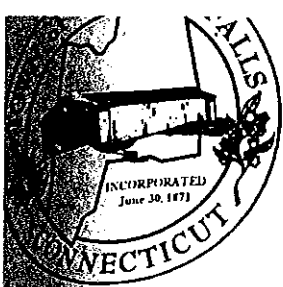
Thank you for your attention and cooperation.

Very truly yours,


Pamela B. Katz, P.E.
Chairman

PBK/laf

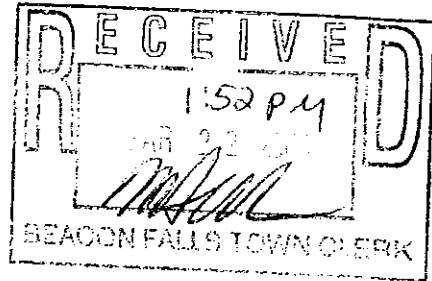
c: The Honorable Susan Ann Cable, First Selectman, Town of Beacon Falls
Brian Herb, Zoning Enforcement Officer, Town of Beacon Falls



Town of BEACON FALLS
Connecticut

Planning and Zoning Commission

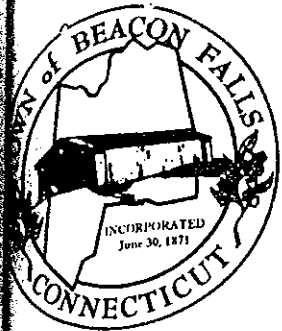
Board of Selectman
10 Maple Avenue
Beacon Falls, CT. 06403



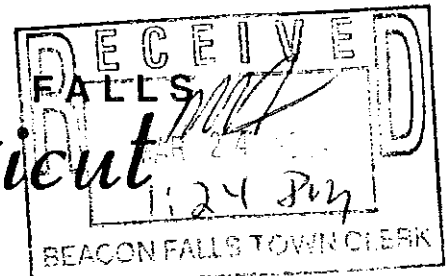
The Beacon Falls Planning and Zoning Commission, after review of site plan proposed by AT&T, respectfully recommends acceptance.

If you have any questions or concerns please contact Chairman Jeff Burkitt.

Mary Ellen Fernandes
Mary Ellen Fernandes
Clerk, P & Z Commission
March 20, 2004



TOWN of BEACON FALLS
Connecticut



**Planning and Zoning Commission
Regular Meeting Minutes
March 18, 2004
Draft Minutes Subject to Modification**

I Call to Order

Chairman Burkitt called the regular meeting of the Beacon Falls Planning and Zoning Commission to order at 7:30 P.M.

Present: Chairman Burkitt, Commissioners Carl Vitale, Peter Betkoski, Richard Franco, David Chadderton and Bill Abromaitis.

Absent: Kevin McDuffie

II Approval of Minutes

A motion to approve the minutes of the Feb 2004 regular meeting as submitted was made by Comm. Abromaitis and 2nd by Comm. Franco. All in favor. A motion to approve the minutes of Public Hearing on 6 month moratorium was made by Comm. Vitale and 2nd by Comm. Abromaitis. All in favor. A motion to approve the minutes of the Public Hearing on Pond Spring was made by Comm. Abromaitis and 2nd by Comm. Franco. All in favor.

III Comments from the Public

John Smith, E.J. Smith Company came forward and requested an extension for filing of the mylar for application P-2003-115 Smith Farms-Section IV. Chairman Burkitt stated that this would be handled under Old Business.

IV Zoning Enforcement Officers Report

A written report was submitted. Discussion followed. A motion to accept report as submitted was made by Comm. Abromaitis and 2nd by Comm. McDuffie. All in favor. Charlie Edwards requested permission to have site trailer on project for 18 months. Comm. Chadderton made a motion to grant request for construction trailer for up to 18 months or more specifically September 18, 2005. Seconded by Comm. Abromaitis. All in favor.

V Town Engineers Report

An written report was submitted. Discussion followed. A motion to accept report as submitted was made by Comm. Abromaitis and was 2nd by Comm. Franco. All in favor.

VI Comprehensive Plan of Conservation and Development

No report.

VII Old Business

A joint discussion between the Board of Selectman, Atty. Civitello, Planning & Zoning and Atty. Buemi. After hearing from both attorneys, it was decided that this discussion does not belong before the Planning and Zoning Commission.

- 1) Application P-2003-114SP- Chatfield/Woodhaven – A motion to set a Public Hearing date for May 4, 2004 at 7:30 PM was made by Comm. Vitale and 2nd by Comm. Abromaitis. All in favor.
- 3) Fawn Hill Estates – A motion to send a letter to Board of Selectman to recommend reducing the maintenance bond was made by Comm. Vitale and 2nd by Comm. Abromaitis. All in favor.
- 2) Pond Spring Village – Site Plan – Accept for review.
- 4) E J Smith – A motion to grant request of extension to file mylar was made by Comm. Chadderton and 2nd by Comm. Abromaitis. All in favor.

VIII New Business

- 1) Application P-2004-120- 6 month moratorium – A motion to table to April 15, 2004 was made by Comm. Vitale and 2nd by Comm. Betkoski. All in favor.
- 2) Joyce Van Lines – Application accepted under review.
- 3) Earth Works – Application accepted under review.

IX New Applications

- 1) ATT Cell Tower – A motion to recommend to Board of Selectman to accept was made by Comm. Chadderton and 2nd by Comm. Abromaitis. All in favor.
- 2) Cotton Hollow Rd – Multi unit – A brief discussion resulted in a motion to Table until issues are resolved was made by Comm. Chadderton and 2nd by Comm. Franco. All in favor.
- 3) Oakwood Estates – A motion to set Public Hearing for May 4, 2004 at 7:00 PM was made by Comm. Abromaitis and 2nd by Comm. Franco. All in favor.
- 4) Westwind Estates – Resubdivision Lot 22 & 23 – Public Hearing date set for March 18, 2004 at 7:15 P.M.
- 5) Charlie Edwards – Lot Line Revisions – A motion to approve was made by Comm. Chadderton and 2nd by Comm. Vitale. All in favor.



X Correspondence and Payment of Bills

The following bills were submitted for payment:

- Nafis & Young \$ 552.50 / M.E. Fernandes \$ 192.00 / Wtby Republican \$102.90
- Nutmeg Printers \$394.00 / Fasano, Ippitio & Lee \$730.00 / Karen Wilson \$115.00. A motion to accept Payment of Bills as submitted was made by Comm. Abromaitis and 2nd by Comm. Franco. All in favor.
- A motion to accept all correspondence and place on file was made by Comm. Chadderton and 2nd by Comm. Franco. All in favor.

XI Executive Session

A motion to go into executive session was made by Comm. Chadderton and 2nd by Comm. Vitale. All in favor. A motion to come out of executive session was made by Comm. Vitale and 2nd by Comm. Abromaitis. All in favor.

MAR 24 2004

XII Petitions from Commissioners

No activity

XII Adjournment

A motion to adjourn was made by Comm. Chadderton and 2nd by Comm. Abromaitis. All in favor.

Respectfully Submitted,

Mary Ellen Fernandes

Mary Ellen Fernandes

Clerk, March 20, 2004

Attachment DD

Underlying Easement Agreement - Redacted

Doc# 1288

This document prepared by:

GTP Infrastructure I, LLC
750 Park of Commerce Blvd., Suite 300
Boca Raton, FL 33487
14863071

WHEN RECORDED, RETURN TO THE
Fidelity National
7130 Glen Forest Dr.
Richmond, Va 23226

(Space Above for Recorder's Use)

**EASEMENT AGREEMENT
REGARDING COMMUNICATION TOWER**

THIS EASEMENT AGREEMENT REGARDING COMMUNICATION TOWER (this "Easement Agreement") is made as of October 5th, 2012 ("Effective Date"), by and between The Town of Beacon Falls, CT, a Connecticut municipality ("Grantor"), and GTP STRUCTURES I, LLC, a Delaware limited liability company, having an office at 750 Park of Commerce Blvd., Suite 300, Boca Raton, FL 33487 ("Grantee").

A. WHEREAS, Grantor is currently the fee owner of that certain improved real property more particularly described on Exhibit "A" attached hereto and incorporated herein (the "Burdened Property").

B. WHEREAS, pursuant to an Asset Purchase Agreement between Grantor and Grantee (the "Asset Purchase Agreement"), Grantee purchased from Grantor a communication tower (the "Tower") and related systems and equipment (collectively, the "Equipment") located on a portion of the Burdened Property specified below (the "Benefited Property").

B. WHEREAS, in consideration for the purchase price paid to Grantor pursuant to the Asset Purchase Agreement, Grantor has agreed to grant Grantee an easement for the right to operate and maintain the Tower and Equipment in and on the Benefited Property.

NOW, THEREFORE, for the mutual covenants and agreements contained herein, the parties hereto agree as follows:

- 1. Creation of the Easement. Grantor hereby grants to Grantee the following easements:

CT-5061
Beacon Falls
{00552503;v5 }

RECEIVED OCT 10 2012

(a) an exclusive easement (the "Tower Easement") for the right to operate, maintain, repair, replace, access, and supply utility services to the Tower and Equipment in, under, across and through that portion of the Burdened Property shown on Exhibit "B" attached hereto and incorporated herein (the "Tower Easement Premises");

(b) a non-exclusive easement (the "Access Easement") (the Tower Easement and the Access Easement are sometimes referred to herein collectively as the "Easement" or "Easements") for ingress, egress and public utilities, including but not limited to locating, relocating, erecting, constructing, reconstructing, installing, operating, maintaining, patrolling, inspecting, repairing, replacing, altering, extending, and/or removing one or more overhead and/or underground telecommunication cables and lines for communication, microwave and/or electricity and any necessary manholes, handholes, equipment, poles, appurtenances and attachments incidental thereto for all the above purposes, within, along, under and across in, under, across and through that portion of the Burdened Property shown on Exhibit "C" attached hereto and incorporated herein (the "Access Easement Premises") (the Tower Easement Premises and the Access Easement Premises are sometimes referred to herein collectively as the "Easement Area").

2. Use of Easement. The use of the Easement shall be limited to (i) the operation, maintenance, repair, replacement of the Tower and related Equipment located within the Easement Area and (ii) access and supply of utility services to the Tower and Equipment, and Grantor, for itself and its successors and assigns, hereby grants to Grantee, its sublessees, and its and their successors and assigns (and each of their respective agents, contractors and employees) the right to enter onto the Easement Area, subject to the terms and conditions of this Easement Agreement, for the purpose of conducting such permitted uses of the Easement.

3. Term; Consideration. The term of this Easement Agreement (the "Term") shall commence on the Effective Date set forth above (the "Commencement Date") and shall continue for a period of thirty-five (35) years. Grantor and Grantee understand that Grantor and Grantee understand that full consideration for this Easement Agreement was paid by Grantee to Grantor under the Asset Purchase Agreement and this Easement Agreement is irrevocable during the Term.

4. Maintenance. Grantor shall be responsible for, and shall pay the cost of, all repairs and maintenance with respect to the Burdened Property, including without limitation the repair and maintenance of all roads, trees and Grantor owned buildings located thereon; *provided* that Grantee shall be responsible for and shall pay the cost of all repairs to the Easement Area, Tower and Equipment and any buildings owned by Grantee or Grantee's tenants as well as repairs necessary for appurtenant uses of such Tower, Equipment or buildings.

5. Taxes. Grantor will be responsible for the payment of all real and personal property taxes and special assessments assessed against the Burdened Property. Grantor agrees to defend, indemnify and hold harmless the Grantee, its heirs, successors and assigns, from and against any and all claims, demands, causes of action, suits, proceedings, liabilities, damages, losses, costs and expenses, including attorney's fees arising out of Grantor's failure to pay such taxes it is obligated to pay. Notwithstanding anything to the contrary, Grantee shall be responsible for payment of taxes on the Easement Area and any improvement therein as well as on any property no matter where located owned by Grantee or Grantee tenants.

6. Security Lien. Grantor consents to the granting by Grantee of a lien, security interest and mortgage in Grantee's interest in the Easement and all of Grantee's personal property and fixtures attached to the real property described herein, and furthermore consents to the exercise by Grantee's mortgagee ("Lender") of its rights of foreclosure with respect to its lien and security interest. Grantor

hereby agrees to give Lender written notice of any breach or default of the terms of the Easement Agreement, within fifteen (15) days after the occurrence thereof, at such address as may be specified from time to time by Grantee or Lender. Lender shall have the right, to the same extent, for the same period and with the same effect, as the Grantee, to cure or correct any such default whether the same shall consist of the failure to pay amounts due or the failure to perform, and Grantor agrees to accept such payment or performance on the part of the Lender as though the same had been made or performed by the Grantee.

7. Operations. Grantee shall operate the Tower and Equipment and its owned buildings in compliance with all present and future rules and regulations imposed by any local, state, or federal authority having jurisdiction with respect thereto.

8. Use and Access Restrictions. The uses and operation of the Burdened Property and any equipment or facilities thereon (the "Burdened Property Uses") shall not interfere electrically or with the communications systems currently on the Tower or with the Equipment of the Benefited Property. Notwithstanding anything in this Easement Agreement to the contrary, if the Burdened Property Uses shall interfere with communications systems or equipment or the operation of the Tower or communications systems currently located on the Benefited Property, Grantor shall upon a reasonable written request immediately suspend its Burdened Property Uses causing the interference and do whatever Grantee deems reasonably necessary, at Grantor's expense, to eliminate or remedy such interference or otherwise rectify the situation to the reasonable satisfaction of Grantee. Grantor and Grantee shall use good faith efforts to resolve any interference issues.

9. Ownership The Tower and Equipment shall at all times remain the property of Grantee. Grantee shall have the right to remove the Tower or Equipment, or any part thereof, at any time. Grantee shall give prior written notification to Grantor if Grantee removes the Tower, or any part thereof.

10. Survey. Grantor agrees to use its best efforts to cooperate with Grantee in obtaining a survey of the Burdened Property and the Easement Area, at Grantee's cost. Upon completion, such survey will be attached as an exhibit to this Easement and a copy of such survey will be given to Grantor.

11. Amendment; Termination Except as otherwise expressly set forth herein, this Easement Agreement and the Easement may be amended, abandoned or terminated only with the consent of both Grantor and Grantee. Any such amendment, abandonment or termination shall be in writing, executed and acknowledged by the required parties, and duly recorded in the land records of the parish where the Burdened Property is located.

12. Assignment. Grantee reserves the right to assign, transfer, mortgage or otherwise encumber the Tower, Equipment and Grantee's rights in this Easement Agreement, subject to this Easement Agreement.

13. No Dedication for Public Use. The provisions hereof are not intended to and do not constitute a dedication for public use, and the rights herein created are private and for the benefit only of the parties hereto, the successors, assigns, tenants, subtenants, employees, invitees and licensees, and the guests and invitees of such tenants and subtenants.

14. Runs with the Land. This Easement Agreement and Easement shall run with the land so as to bind successors and assigns of the Burdened Property and to benefit successors and assigns of the Tower and Equipment located on the Benefited Property, including, in each case, interests of tenants and subtenants and other users of the Burdened Property and the Benefited Property.

15. Entire Agreement. This instrument contains the entire agreement between Grantor and Grantee with respect to the Easement. There are merged herein all prior and collateral representations, promises, and conditions in connection with the subject matter hereof. Any representation, promise, or condition not incorporated herein shall not be binding upon either party. The unenforceability of any provision hereof shall not affect the remaining provisions of this Easement Agreement, but rather such provision shall be severed and the remainder of this Easement Agreement shall remain in full force and effect.

16. Compliance with Law; No Waiver. This Easement Agreement and the rights and obligations created hereunder are subject to, and governed by the laws, decisions, rules and regulations of any federal, state, or local regulatory authority charged with the administration of the transactions contemplated hereby. Waiver of a breach of any provision hereof under any circumstances will not constitute a waiver of any subsequent breach of such provision, or of a breach of any other provision of this Easement Agreement.

17. Attorneys' Fees. In the event that either Grantor or Grantee should bring suit for the recovery of any sum due under this Easement Agreement, or because of the breach of any provision of this Easement Agreement or for any other relief against the other, then all costs and expenses, including reasonable attorneys' fees, incurred by the prevailing party therein shall be paid by the other party, which obligation on the part of the other party shall be deemed to have accrued on the date of the commencement of such action and shall be enforceable whether or not the action is prosecuted to judgment.

18. Governing Law. This Easement Agreement shall be construed and enforced in accordance with the laws of the state in which the Burdened Property is located.

19. Counterparts. This Easement Agreement may be executed in counterparts with the same effect as if both parties hereto had executed the same document. Both counterparts shall be construed together and shall constitute a single document.

20. Authority to Enter into Agreement. Grantee and Grantor each represent and warrant that they have full power and authority to execute, deliver, and perform their respective obligations under this Easement Agreement.



[remainder of page left blank]

[Grantor Signature Page to Easement]

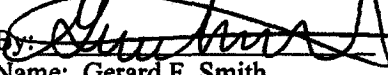
IN WITNESS WHEREOF, the undersigned have executed this Easement Agreement as of the date first written above.

Witness:

"Grantor"


Michael J. McVerry

Lucia K. Rinaldi

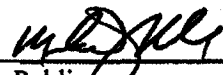
TOWN OF BEACON FALLS, CT


By: _____
Name: Gerard F. Smith
Title: First Selectman

Address of Grantor Signer: 10 Maple Avenue, Beacon Falls, CT 06403

STATE OF CONNECTICUT
COUNTY OF New Haven

The foregoing instrument was acknowledged before me this 3rd day of October, 2012, by Gerard F. Smith who is personally known to me ~~and has produced~~ _____ ~~his~~ ~~identification.~~



Notary Public
Printed Name of Notary: Michael J. McVerry

Commission #

Commission Expires: 2-21-14



[Grantee Signature Page to Easement]

Witness:

Renee Winslow
Renee Winslow
Milagros D. Shearer
Milagros D. Shearer

"Grantee"

GTP STRUCTURES I, LLC
a Delaware Limited Liability Company

By: M.C. Ganzi
Name: Marc C. Ganzi
Title: Chief Executive Officer

Address of Grantee Signer: 750 Park of Commerce Blvd., Suite 300, Boca Raton, FL 33487

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 5th day of October 2012, by Marc C. Ganzi, Chief Executive Officer of GTP STRUCTURES I, LLC, a Delaware limited liability company, on behalf of the limited liability company and who is personally known to me.

Anushka Fromer
Notary Public
Printed Name of Notary: Anushka Fromer

Commission # EE103062

My Commission Expires:

9.11.2015



EXHIBIT A

LEGAL DESCRIPTION OF BURDENED PROPERTY

PARCEL 1:

Being located northerly of other land of the said Town of Beacon Falls, being known as the Treatment Plant Site, and situate on the easterly line of Lopus Road, bounded and described as follows: COMMENCING at a point on the easterly street line of Lopus Road, said point being the northwesterly corner of land of the Town of Beacon Falls and the southwesterly corner of land herein described; THENCE: running along the arc of a curve, concave to the east, of radius 1854' a distance of 188.62 feet along the easterly street line of Lopus Road; THENCE: running N.19° 01' 50"-E, 161.38 feet along the easterly street line of Lopus Road; THENCE: running S-69° 55' 25"-E, 492.39 feet along land of Levery and Hurley Company; THENCE: running along the arc of a curve, concave to the southeast, of radius 1975.08' a distance of 385.95 feet along land of the Penn Central Railroad Company; THENCE: running N-43° 19' 10"-W, 73.0 feet along land of the Town of Beacon Falls; THENCE: running N-77° 59' 35"-W, 247.0 feet along land of the Town of Beacon Falls to the point and place of beginning.

Said parcel containing 3.058 acres.

AND BEING a portion of the same property conveyed to The Town of Beacon Falls, a municipal corporation from The Levery and Hurley Company, a Connecticut corporation by Warrantee Deed dated January 28, 1975 and recorded February 13, 1975 in Volume 37, Page 413.

PARCEL 2:

All that certain piece or parcel of land in the Town of Beacon Falls, New Haven County, State of Connecticut, known as the treatment plant site bounded and described as follows: COMMENCING at a point marked by a monument in the easterly line of Lopus Road seven hundred ninety-one (791) feet more or less southerly from the southwesterly corner of land now or formerly of Davio Gelmini,; thence easterly along other land now or formerly of the Levery and Hurley Co., two hundred forty-seven (247) feet more or less to an angle point; thence southeasterly along other land now or formerly of said The Levery and Hurley Co., in a line radial to the Right of Way now or formerly of the N.Y., N.H., & H. RR Co., seventy-three (73) feet more or less to said Railroad Right-of-Way; thence southwesterly along said Railroad Right-of-Way two hundred sixty (260) feet more or less to other land now or formerly of The Levery and Hurley Co.; thence westerly along other land now or formerly of said The Levery and Hurley Co., two hundred ten (210) feet, more or less to the easterly line of Lopus Road to a point marked by a monument; thence northerly along the easterly line of Lopus Road two hundred seventy-five (275) feet to point of commencement. Said parcel of land containing 1.6 acres.

AND BEING a portion of the same property conveyed to Town of Beacon Falls from The Levery & Hurley Company, a Connecticut corporation by Warrantee Deed dated January 02, 1970 and recorded February 19, 1970 in Volume 31, Page 372.

Tax Parcel Nos. Assessor's Map 3, Block 1, Lot 16; Parcel ID 00001800, Assessor's Map 3, Block 1, Lot 16B; Parcel ID 00002000

EXHIBIT B**DESCRIPTION OF LOCATION OF EXCLUSIVE EASEMENT****LEGAL DESCRIPTION OF: Tower Area**

From the **POINT OF BEGINNING** Having Connecticut State Plane Coordinates (NAD 83): E:912,195.65' -and- N:718,580.65'; Thence S 29° 06' 01" W a distance of 42.24 feet to a point; Thence, N 62° 08' 48" W for a distance of 45.92 feet to a point; Thence, N 27° 54' 11" E for a distance of 43.71 feet to a point; Thence, S 60° 20' 32" E for a distance of 46.83 feet to the **POINT OF BEGINNING**; Containing 1,992 square feet -and- 0.045 Acres.

LEGAL DESCRIPTION OF: Expansion Area

From the **POINT OF BEGINNING** Having Connecticut State Plane Coordinates (NAD 83): E:912,063.95' -and- N:718,489.37'; Thence, N 27° 51' 12" E for a distance of 100.00 feet to a point; Thence, S 62° 08' 48" E for a distance of 100.00 feet to a point; Thence, S 27° 51' 12" W for a distance of 100.00 feet to a point; Thence N 62° 08' 48" W a distance of 100.00 feet to the **POINT OF BEGINNING**; Containing 10,000 square feet -and- 0.23 Acres.

LEGAL DESCRIPTION OF: Overall Tower Area

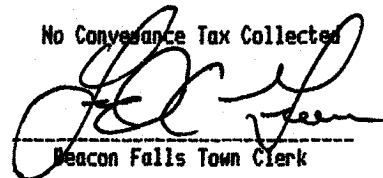
From the **POINT OF BEGINNING** Having Connecticut State Plane Coordinates (NAD 83): E:912,063.95' -and- N:718,489.37'; Thence, N 27° 51' 12" E for a distance of 100.00 feet to a point; Thence, S 62° 08' 48" E for a distance of 26.85 feet to a point; Thence, N 27° 54' 11" E for a distance of 43.71 feet to a point; Thence, S 60° 20' 32" E for a distance of 46.83 feet to a point; Thence S 29° 06' 01" W a distance of 42.24 feet to a point; Thence, S 62° 08' 48" E for a distance of 27.13 feet to a point; Thence, S 27° 51' 12" W for a distance of 100.00 feet to a point; Thence N 62° 08' 48" W a distance of 100.00 feet to the **POINT OF BEGINNING**; Containing 11,992 square feet -and- 0.275 Acres.

EXHIBIT C

DESCRIPTION OF LOCATION OF NON-EXCLUSIVE ACCESS AND UTILITY EASEMENT

From the **POINT OF BEGINNING** Having Connecticut State Plane Coordinates (NAD 83):
E:912,079.84' -and- N:718,639.52'; Thence, S 62° 05' 49" E for a distance of 82.99 feet to a
point; Thence, S 27° 54' 11" W for a distance of 40.11 feet to a point; Thence, N 62° 05' 48" W
for a distance of 20.00 feet to a point; Thence, N 27° 54' 11" E for a distance of 20.11 feet to a
point; Thence N 62° 05' 49" W a distance of 59.00 feet to a point; Thence, N 16° 36' 31" E for a
distance of 20.39 feet to the **POINT OF BEGINNING**; Containing 2,022 square feet -and-
0.046 Acres.

No Conveyance Tax Collected



Beacon Falls Town Clerk

DOC 00001288 REC'D Nov 26, 2012 @ 09:08A LEONARD C. GREENE

Attachment E

As-Built Survey

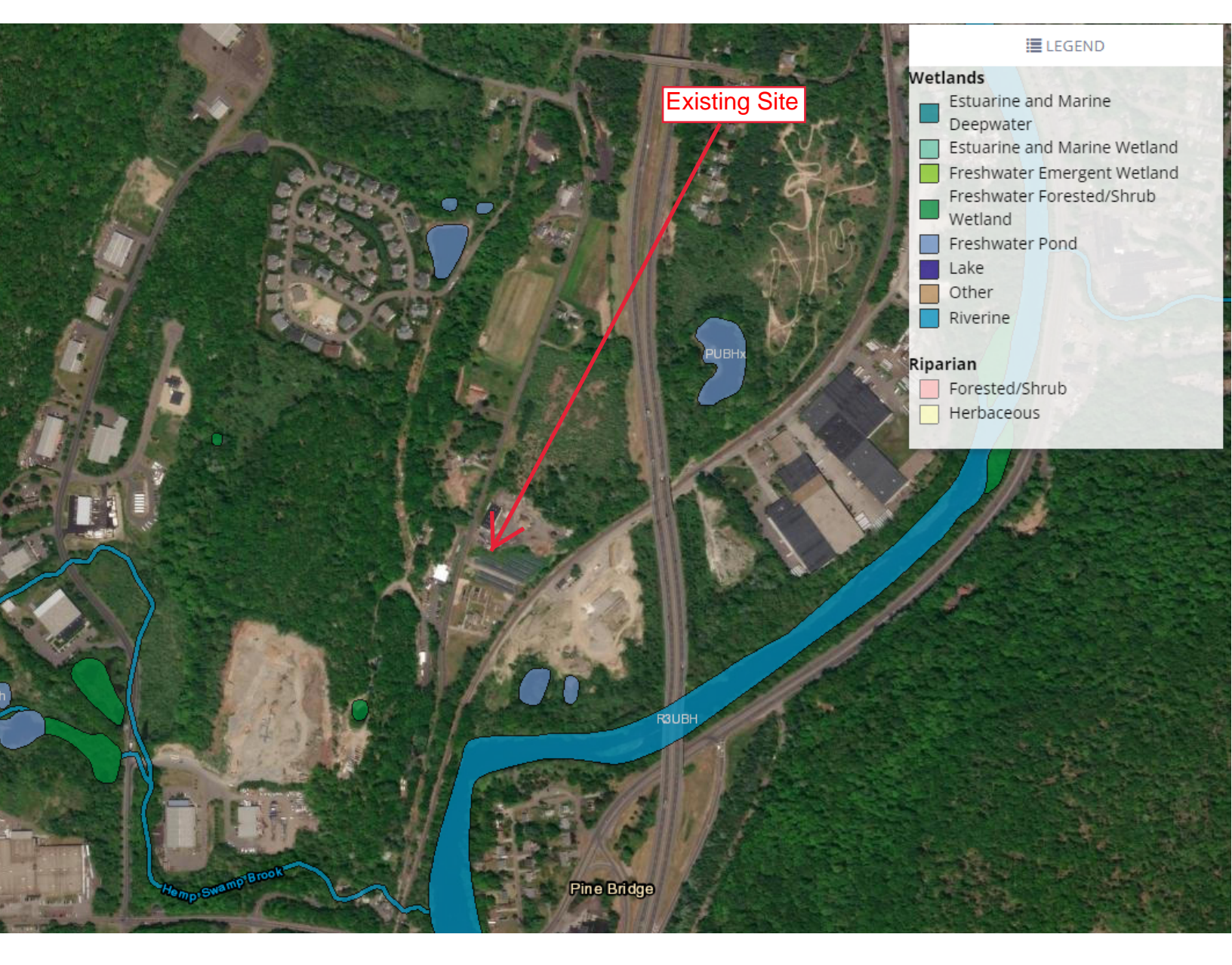
Attachment F

Updated Site Plan

Note – This site plan is solely to show the proposed expansion in relation to American Tower Corporation's Easement area, please refer to Attachment B for scope of work

Attachment G

Wetland Map



LEGEND

- Wetlands**
- Estuarine and Marine Deepwater
 - Estuarine and Marine Wetland
 - Freshwater Emergent Wetland
 - Freshwater Forested/Shrub Wetland
 - Freshwater Pond
 - Lake
 - Other
 - Riverine
- Riparian**
- Forested/Shrub
 - Herbaceous

Existing Site

Hemp Swamp Brook

Pine Bridge

R3UBH

PUBHx

Attachment H

Notice to Abutting Properties and Other Interested Parties as
well as Proof of Delivery, Tax Records Included

Mail-To List

Gerard Smith First Selectman of The Town of Beacon Falls As Chief Elected Official and Property Owner	10 Maple Avenue Beacon Falls, CT 06403
Keith Rosenfield Town Planner Town of Beacon Falls As Local Zoning and Planning Official	10 Maple Avenue Beacon Falls, CT 06403
American Tower Corporation As Tower Owner	Via Email

Abutter's List

Robert Posick Owner of 450 Lopus Road Parcel: 003-001-0003-B	139 West Road Beacon Falls, CT 06403
Town of Beacon Falls Owner of Lopus Road Parcel: 003-001-0016-A	10 Maple Avenue Beacon Falls, CT 06403
Town of Beacon Falls Owner of 411 Lopus Road Parcel: 003-001-0016-B	10 Maple Avenue Beacon Falls, CT 06403

0001
5.3Ac

0014
5.5Ac

0016-A
1.23Ac

Multi Account Parcel



MULTI ACCOUNT COMPLEX

MBL : 003-001-0016

Complex Name: : null

[Multi-Owner Records](#) [Quick Map](#) [BirdsEye Photo](#)

Generate Mailing List:

Ft:

0003-B
2.19Ac

0016
3.06Ac

0016-B
1.6Ac

BEACON FALLS TOWN OF
 10 MAPLE AVE
 BEACON FALLS, CT 06403
 Census: 3411

Neighborhood Number
 200

Neighborhood Name
 General Commercial

TAXING DISTRICT INFORMATION

Jurisdiction Name BEACON FALLS
 Area 006
 Routing Number 003-001-0016-B

Transfer of Ownership

Owner	Consideration	Transfer Date	Deed Type	Deed Book/Page
NA	0	02/19/1970		31 372

Site Description
 Topography

Public Utilities
 Electric

Street or Road
 Paved

Neighborhood

Zoning:

Legal Acres:
 1.6000

Valuation Record

Assessment Year	2006	2011	2016	2021				
Reason for Change	2006 Reval	2011 Reval	2016 Reval	2021 Reval				
2016 Market L	440000	396840	377400	382200				
I	3500000	3050000	3050000	3550000				
T	3940000	3446840	3427400	3932200				
70% Assessed L	308000	277790	264180	267540				
I	2450000	2135000	2135000	2485000				
T	2758000	2412790	2399180	2752540				



Land Size

Land Type	Rating, Soil ID - or - Actual Frontage	Acreage - or - Effective Frontage	Square Feet - or - Effective Depth	Influence Factor
Primary Commercial		1.6000		U 100%

Physical Characteristics

ROOFING

Built-up
Insulation

WALLS

	B	1	2	U
Frame	Yes	Yes	Yes	Yes
Guard	Yes	Yes	Yes	Yes

FRAMING

	B	1	2	U
F Res	2068	0	0	0
R Conc	0	2696	0	0

FINISH

	UF	SF	FO	FD
B	2068	0	0	0
1	2696	0	0	0
Total	4764	0	0	0

HEATING AND AIR CONDITIONING

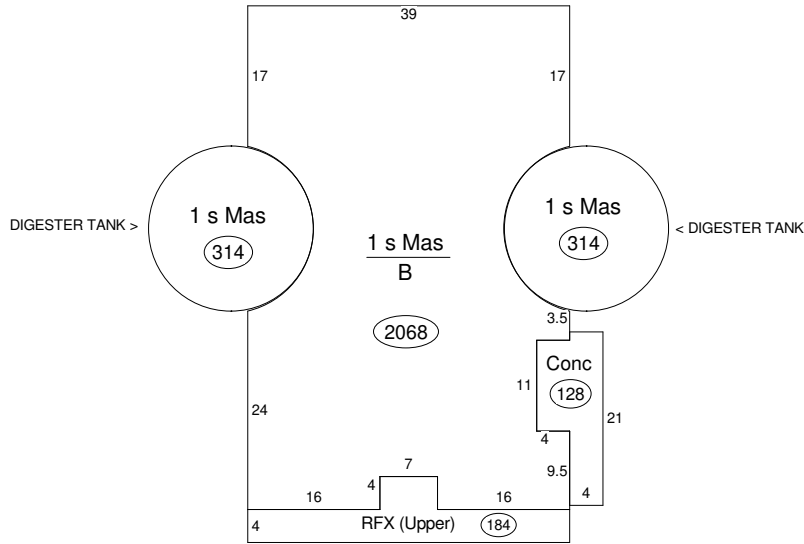
	B	1	2	U
Heat	0	2696	0	0

PLUMBING Residential Commercial

	#	TF	#	TF
Full Baths				
Half Baths			2	4
Extra Fixtures				4
TOTAL	0			8

CAPACITY: 700,000 GAL. PER DAY

01	02	03	04	05	06	07	08	09	10	11
										12



Special Features

Description

Summary of Improvements

ID	USE	Story Height	Const Type	Grade	Year Cons	Eff Year	Cond	Size or Area
C	HMF	0.00		Good	1970	2000	AV	2696
01	GPBUILD	0.00	1	AVG	1970	1990	AV	0
02	CONCTANK	0.00		AVG	1970	1970	AV	0@ 0
03	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
04	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
05	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
06	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
07	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
08	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
09	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
10	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
11	CONCTANK	0.00		AVG	1970	1990	AV	0@ 0
12	Railing	0.00		AVG	1970	1990	AV	0

BEACON FALLS TOWN OF
 10 MAPLE AVE
 BEACON FALLS, CT 06403
 Census: 3411

Neighborhood Number
 300

Neighborhood Name
 General Industrial

TAXING DISTRICT INFORMATION

Jurisdiction Name BEACON FALLS
 Area 006
 Routing Number 003-001-0016-A

Transfer of Ownership				
Owner	Consideration	Transfer Date	Deed Type	Deed Book/Page
NA	0	10/18/1977		43 45

Site Description
 Topography

Public Utilities
 Electric

Street or Road
 Paved

Neighborhood

Zoning:

Legal Acres:
 1.2300

Valuation Record									
Assessment Year		2006	2011	2016	2021				
Reason for Change		2006 Reval	2011 Reval	2016 Reval	2021 Reval				
2016 Market	L	79950	66420	63960	67650				
	I	0	0	0	0				
	T	79950	66420	63960	67650				
70% Assessed	L	55970	46490	44770	47360				
	I	0	0	0	0				
	T	55970	46490	44770	47360				

Land Size				
Land Type	Rating, Soil ID - or - Actual Frontage	Acreage - or - Effective Frontage	Square Feet - or - Effective Depth	Influence Factor
Vacant Industrial Site		1.2300		

BEACON FALLS TOWN OF
 10 MAPLE AVE
 BEACON FALLS, CT 06403
 Census: 3411

Neighborhood Number
 300

Neighborhood Name
 General Industrial

TAXING DISTRICT INFORMATION

Jurisdiction Name BEACON FALLS
 Area 006
 Routing Number 003-001-0016

Transfer of Ownership					
Owner	Consideration	Transfer Date	Deed Type	Deed Book	Page
NA	0	02/13/1975		37	413

Site Description

Topography
 Level

Public Utilities
 Electric

Street or Road
 Paved

Neighborhood

Zoning:
 IPD

Legal Acres:
 3.0600

Valuation Record								
Assessment Year	2006	2011	2014	2016	2021			
Reason for Change	2006 Reval	2011 Reval		2016 Reval	2021 Reval			
2016 Market	L 229500	206550	206550	189720	198900			
	I 328280	571150	321150	334780	382110			
	T 557780	777700	527700	524500	581010			
70% Assessed	L 160650	144590	144590	132800	139230			
	I 229800	399810	224810	234350	267480			
	T 390450	544400	369400	367150	406710			



Land Size				
Land Type	Rating, Soil ID - or - Actual Frontage	Acreage - or - Effective Frontage	Square Feet - or - Effective Depth	Influence Factor
Primary Industrial Land		3.0600		

Physical Characteristics

ROOFING

Metal

WALLS

	B	1	2	U
Frame		Yes		
Guard	Yes	Yes	Yes	Yes

FRAMING

	B	1	2	U
--	---	---	---	---

FINISH

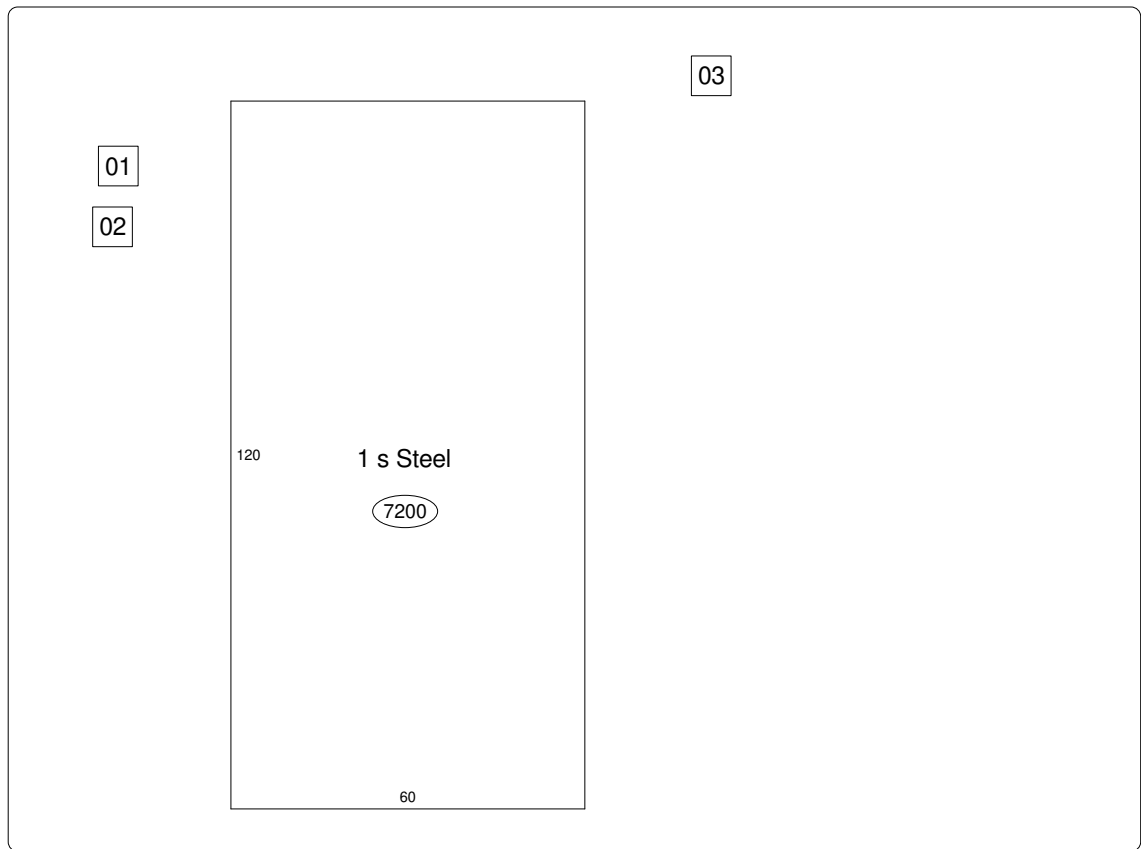
	UF	SF	FO	FD
1	7200	0	0	0
Total	7200	0	0	0

HEATING AND AIR CONDITIONING

	B	1	2	U
Heat	0	7200	0	0

PLUMBING Residential Commercial

	#	TF	#	TF
Full Baths				
Half Baths				
Extra Fixtures				4
TOTAL	0			4



Special Features

Description

Summary of Improvements

ID	USE	Story Height	Const Type	Grade	Year Cons	Eff Year	Cond	Size or Area
C	MUNIGAR	0.00		Fair	1979	2005	AV	7200
01	PAVING	0.00	85	AVG	1979	1979	AV	4300
02	FENCECL	5.00	51C	AVG	1979	1979	AV	80
03	POLEBLDG	1.00		EXE	1990	1990	AV	1000



Via FedEx

July 7th, 2022

Town of Beacon Falls
10 Maple Avenue
Beacon Falls, CT 06403

RE: American Tower Corporation's Petition for a Declaratory Ruling - Expansion of Existing Compound at 401 Lopus Road, Beacon Falls, Connecticut 06403

Dear Property Owner:

Your property at 411 Lopus Road, Beacon Falls, CT, and Lopus Road, Beacon Falls, CT (Parcel ID: 003-001-0016-A) shares a property line with 401 Lopus Road, Beacon Falls, Connecticut, where American Tower Corporation was granted an Easement for two Tower Parcels, one being 1992 sq. ft. and the other being 10,000 sq. ft. for the purpose of maintaining a telecommunications facility.

American Tower Corporation is requesting approval from the Connecticut Siting Council to expand their existing compound within their existing Easement space for the purpose of installing a backup generator. This proposed expansion will have no effect on your property.

Should you have any questions, I can be reached at the below contact information, and the Connecticut Siting Council can be reached at (860) 827-2935.

Sincerely,

Jake Lehman

Jake Lehman
Site Acquisition Specialist I
Airosmith Development, Inc.
318 West Ave.
Saratoga Springs, NY 12866
(518) 306-1711 fax
(518) 932-7049 cell
jlehman@airosmithdevelopment.com

318 West Ave., Saratoga Springs, NY 12866
Office 518-306-1711 – Fax 518-306-1711
www.airosmithdevelopment.com



ORIGIN ID: SCHA (518) 376-1880
ANNE CAMPBELL
AIROSMITH DEVELOPMENT INC.
28 HILLMAN RD
QUEENSBURY, NY 12804
UNITED STATES US

SHIP DATE: 07 JUL 22
ACTWGT: 0.50 LB
CAD: 10763113/IN/ET4490

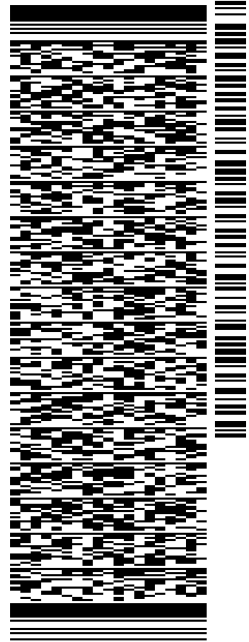
BILL SENDER

TO TOWN OF BEACON FALLS

10 MAPLE AVENUE

BEACON FALLS CT 06403

REF: (203) 729-4340
INV/ PO: DEPT:



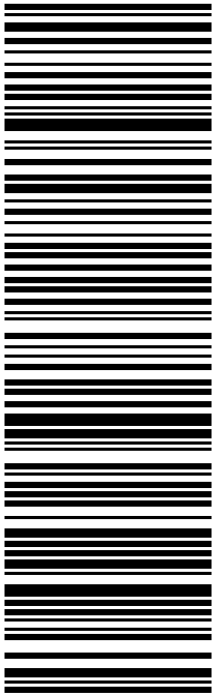
581J20A92/FE4A

TRK# 7773 3047 5191
#0201

TUE - 12 JUL 4:30P
EXPRESS SAVER

SE BNHA

06403
CT-US BDL



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Warning: Use only the printed original label for shipping. Using a photocopy of this label for shipping purposes is fraudulent and could result in additional billing charges, along with the cancellation of your FedEx account number.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on fedex.com. FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.

Dear Customer,

The following is the proof-of-delivery for tracking number: 777330475191

Delivery Information:

Status:	Delivered	Delivered To:	Receptionist/Front Desk
Signed for by:	C.DENISE	Delivery Location:	10 MAPLE AVE
Service type:	FedEx Express Saver		
Special Handling:	Deliver Weekday		BEACON FALLS, CT, 06403
		Delivery date:	Jul 11, 2022 11:57

Shipping Information:

Tracking number:	777330475191	Ship Date:	Jul 7, 2022
		Weight:	0.5 LB/0.23 KG

Recipient:
Town of Beacon Falls,
10 Maple Avenue
BEACON FALLS, CT, US, 06403

Shipper:
Anne Campbell, AIROSMITH DEVELOPMENT INC.
28 Hillman Rd
QUEENSBURY, NY, US, 12804





Town of Beacon Falls, Connecticut
Geographic & Property Information Application

Detailed Parcel Information

Parcel ID
 003-001-0003-B

Owner
 POSICK ROBERT

Location
 450 LOPUS RD

MAILING ADDRESS
 139 WEST ROAD
 BEACON FALLS CT 06403



[Quick Map](#) [Assessor Map](#) [Summary Card](#) [FEMA Firm Panel](#)

Scroll Down For Complete Property Detail

PARCEL VALUATIONS

	Appraised Value	Assessed Value
Buildings	168970	118279.0
Land	70610	49427.0
Outbuildings	0	0.0
TOTAL:	239580	167706.0

PROPERTY INFORMATION

Land use	Primary Industrial Land
Total Acres	2
GIS Acres	1.84683641

UTILITY INFORMATION

Electric	Y
Gas	
Sewer	
Public Water	

RECENT SALE INFORMATION

Sale Date	6/13/2016
Sale Price	0
Book / Page	215 532

CONSTRUCTION DETAILS

Building Gross - sqft	Not Available
Living Area - sqft	4956
Building Style	
Year Built	1975
Building Condition	normal for age
Number of Rooms	1
Number of Bedrooms	0
Number of Bathrooms	1
Number of Half Baths	1
Number of Extra Fixtures	Not Available
Stories	1
Frame Type	Fire Resistant
Roof Structure	2
Roof Cover	
Primary Exterior Wall Type	
Secondary Exterior Wall Type	
Primary Interior Wall Type	
Secondary Interior Wall Type	
Primary Floor Type	
Secondary Floor Type	
Heating/Cooling Type	Not Selected/Multi
Heating Fuel	
AC Type	None



Via FedEx

July 7th, 2022

Robert Posick
139 West Road
Beacon Falls, CT 06403

RE: American Tower Corporation's Petition for a Declaratory Ruling - Expansion of Existing Compound at 401 Lopus Road, Beacon Falls, Connecticut 06403

Dear Property Owner:

Your property at 450 Lopus Road, Beacon Falls, CT, shares a property line with 401 Lopus Road, Beacon Falls, Connecticut, where American Tower Corporation was granted an Easement for two Tower Parcels, one being 1992 sq. ft. and the other being 10,000 sq. ft. for the purpose of maintaining a telecommunications facility.

American Tower Corporation is requesting approval from the Connecticut Siting Council to expand their existing compound within their existing Easement space for the purpose of installing a backup generator. This proposed expansion will have no effect on your property.

Should you have any questions, I can be reached at the below contact information, and the Connecticut Siting Council can be reached at (860) 827-2935.

Sincerely,

A handwritten signature in black ink that reads "Jake Lehman".

Jake Lehman
Site Acquisition Specialist I
Airosmith Development, Inc.
318 West Ave.
Saratoga Springs, NY 12866
(518) 306-1711 fax
(518) 932-7049 cell
jlehman@airosmithdevelopment.com

318 West Ave., Saratoga Springs, NY 12866
Office 518-306-1711 – Fax 518-306-1711
www.airosmithdevelopment.com



ORIGIN ID: SCHA (518) 932-7049
JAKE LEHMAN
AIROSMITH DEVELOPMENT INC.
318 WEST AVENUE
SARATOGA SPRINGS, NY 12886
UNITED STATES US

SHIP DATE: 07 JUL 22
ACTWGT: 0.50 LB
CAD: 10763113/IN/ET4490

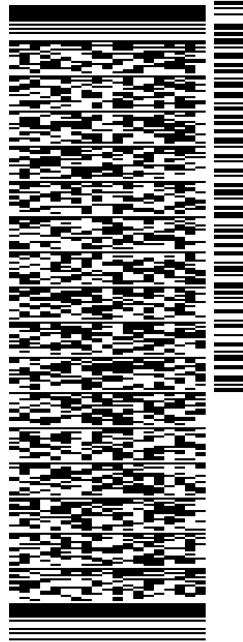
BILL SENDER

TO **ROBERT POSICK**

139 WEST ROAD

BEACON FALLS CT 06403

REF: (518) 932-7049
INV: PO: DEPT:



J222022041201uv

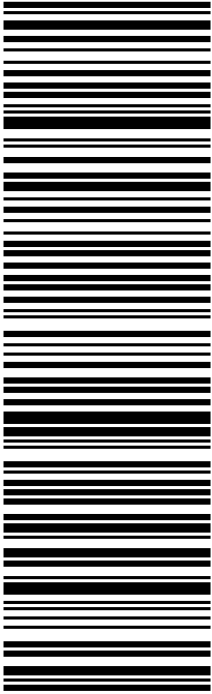
581J20A92/FE4A

TRK# 7773 3051 5887
#0201

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06403
CT-US BDL



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July 12, 2022

Dear Customer,

The following is the proof-of-delivery for tracking number: 777330515887

Delivery Information:

Status:	Delivered	Delivered To:	Residence
Signed for by:	Signature not required	Delivery Location:	139 WEST RD
Service type:	FedEx Express Saver		
Special Handling:	Deliver Weekday; Residential Delivery		BEACON FALLS, CT, 06403
		Delivery date:	Jul 11, 2022 14:22

Shipping Information:

Tracking number:	777330515887	Ship Date:	Jul 7, 2022
		Weight:	0.5 LB/0.23 KG

Recipient:
Robert Posick,
139 West Road
BEACON FALLS, CT, US, 06403

Shipper:
Jake Lehman, AIROSMITH DEVELOPMENT INC.
318 West Avenue
Saratoga Springs, NY, US, 12886

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx



Via FedEx

July 7th, 2022

Gerard Smith
First Selectman of Beacon Falls
10 Maple Avenue
Beacon Falls, CT 06403

RE: Notice of American Tower Corporation Petition for Declaratory Ruling

Dear Mr. Smith:

Airosmith Development is a contractor currently working on behalf of American Tower Corporation (“ATC”). ATC will be filing a petition for a declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required from the Connecticut Siting Council on or after July 15th, 2022.

The petition is regarding the existing telecommunications facility located at 401 Lopus Road, Beacon Falls, Connecticut. ATC currently maintains a compound of approximately 42’ x 46’ inside one of ATC’s Easement Parcels. ATC is seeking to expand the existing compound 15’-4” x 11’ (~170 sf.) inside ATC’s second Tower Parcel of 100’ x 100’ for the purpose of installing a new backup generator.

Further details and the full application can be found on the Connecticut Siting Council website or on file at the Connecticut Siting Council offices at 10 Franklin Square, New Britain, Connecticut.

Sincerely,

Jake Lehman

Jake Lehman
Site Acquisition Specialist I
Airosmith Development, Inc.
318 West Ave.
Saratoga Springs, NY 12866
(518) 306-1711 fax
(518) 932-7049 cell
jlehman@airosmithdevelopment.com

318 West Ave., Saratoga Springs, NY 12866
Office 518-306-1711 – Fax 518-306-1711
www.airosmithdevelopment.com



ORIGIN ID: SCHA (518) 932-7049
JAKE LEHMAN
AIROSMITH DEVELOPMENT INC.
318 WEST AVENUE
SARATOGA SPRINGS, NY 12886
UNITED STATES US

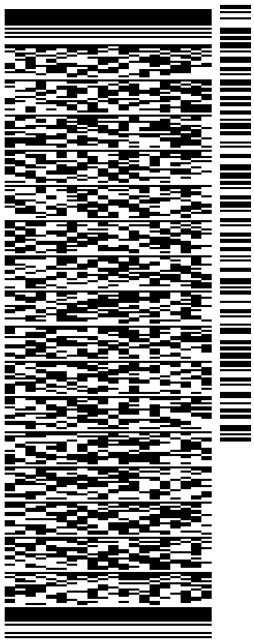
SHIP DATE: 07 JUL 22
ACTWGT: 0.50 LB
CAD: 10763113/IN/ET4490

BILL SENDER

TO GERARD SMITH
TOWN OF BEACON FALLS
10 MAPLE AVENUE

BEACON FALLS CT 06403

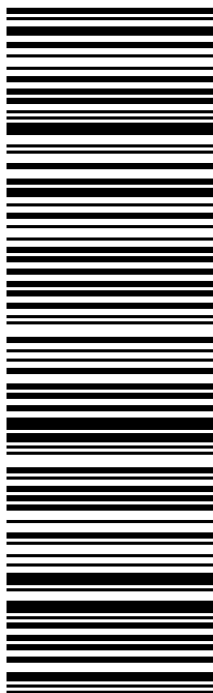
REF: (203) 729-4340
INV: PO: DEPT:



581J20A92/FE4A

TRK# 7773 3037 8279
0201

TUE - 12 JUL 4:30P
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SE BNHA 06403
CT-US BDL

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Dear Customer,

The following is the proof-of-delivery for tracking number: 777330415060

Delivery Information:

Status:	Delivered	Delivered To:	Receptionist/Front Desk
Signed for by:	C.DENISE	Delivery Location:	10 MAPLE AVE
Service type:	FedEx Express Saver		
Special Handling:	Deliver Weekday		BEACON FALLS, CT, 06403
		Delivery date:	Jul 11, 2022 11:57

Shipping Information:

Tracking number:	777330415060	Ship Date:	Jul 7, 2022
		Weight:	0.5 LB/0.23 KG

Recipient:
Keith Rosenfeld, Town of Beacon Falls
10 Maple Avenue
BEACON FALLS, CT, US, 06403

Shipper:
Jake Lehman, AIROSMITH DEVELOPMENT INC.
318 West Avenue
Saratoga Springs, NY, US, 12886





Via FedEx

July 7th, 2022

Keith Rosenfeld
Town Planner of Beacon Falls
10 Maple Avenue
Beacon Falls, CT 06403

RE: Notice of American Tower Corporation Petition for Declaratory Ruling

Dear Mr. Rosenfeld:

Airosmith Development is a contractor currently working on behalf of American Tower Corporation (“ATC”). ATC will be filing a petition for a declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required from the Connecticut Siting Council on or after July 15th, 2022.

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Further details and the full application can be found on the Connecticut Siting Council website or on file at the Connecticut Siting Council offices at 10 Franklin Square, New Britain, Connecticut.

Sincerely,

Jake Lehman

Jake Lehman
Site Acquisition Specialist I
Airosmith Development, Inc.
318 West Ave.
Saratoga Springs, NY 12866
(518) 306-1711 fax
(518) 932-7049 cell
jlehman@airosmithdevelopment.com

318 West Ave., Saratoga Springs, NY 12866
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ORIGIN ID: SCHA (518) 932-7049
JAKE LEHMAN
AIROSMITH DEVELOPMENT INC.
318 WEST AVENUE
SARATOGA SPRINGS, NY 12886
UNITED STATES US

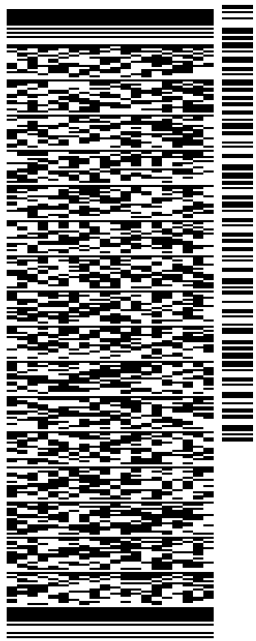
SHIP DATE: 07 JUL 22
ACTWG: 0.50 LB
CAD: 10763113/IN/ET4490

BILL SENDER

TO KEITH ROSENFELD
TOWN OF BEACON FALLS
10 MAPLE AVENUE

BEACON FALLS CT 06403

REF: (203) 489-0512
INV: PO: DEPT:



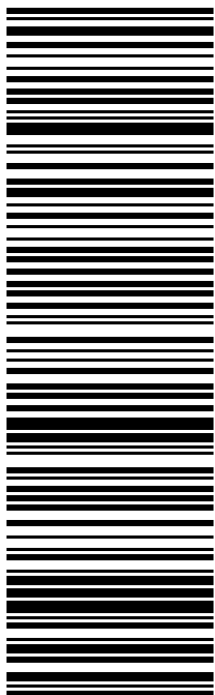
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TRK# 7773 3041 5060
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TUE - 12 JUL 4:30P
EXPRESS SAVER

SE BNHA 06403
CT-US BDL



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2. Fold the printed page along the horizontal line.
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The following is the proof-of-delivery for tracking number: 777330378279

Delivery Information:

Status:	Delivered	Delivered To:	Receptionist/Front Desk
Signed for by:	C.DENISE	Delivery Location:	10 MAPLE AVE
Service type:	FedEx Express Saver		
Special Handling:	Deliver Weekday		BEACON FALLS, CT, 06403
		Delivery date:	Jul 11, 2022 11:57

Shipping Information:

Tracking number:	777330378279	Ship Date:	Jul 7, 2022
		Weight:	0.5 LB/0.23 KG

Recipient:
Gerard Smith, Town of Beacon Falls
10 Maple Avenue
BEACON FALLS, CT, US, 06403

Shipper:
Jake Lehman, AIROSMITH DEVELOPMENT INC.
318 West Avenue
Saratoga Springs, NY, US, 12886

