



STATE OF CONNECTICUT  
CONNECTICUT SITING COUNCIL

Ten Franklin Square, New Britain, CT 06051

Phone: (860) 827-2935 Fax: (860) 827-2950

E-Mail: [siting.council@ct.gov](mailto:siting.council@ct.gov)

Web Site: [portal.ct.gov/csc](http://portal.ct.gov/csc)

**VIA ELECTRONIC MAIL**

June 10, 2024

Catherine Conklin  
Site Acquisition Specialist  
General Dynamics Information Technology  
4603 Kemper Street  
Rockville, MD 20853  
[Catherine.Conklin@gdit.com](mailto:Catherine.Conklin@gdit.com)

RE: **PETITION NO. 1625** – New Cingular Wireless PCS, LLC (AT&T) and Town of Wethersfield joint petition for a declaratory ruling, pursuant to Connecticut General Statutes §4-176 and §16-50k, for proposed modifications to an existing telecommunications facility and associated equipment located at 23 Kelleher Court, Wethersfield, Connecticut. **Withdrawal of Petition.**

**SUBPETITION NO. 1133-CING-20240605** - New Cingular Wireless PCS, LLC sub-petition for a declaratory ruling for an eligible facility request for modifications to an existing telecommunications facility located at 23 Kelleher Court, Wethersfield, Connecticut. **Re-Submission of Petition 1625 as Eligible Facility Request.**

**PETITION NO. 1628** – New Cingular Wireless PCS, LLC (AT&T) and 48 Newtown Road Corporation c/o BRT Realty joint petition for a declaratory ruling, pursuant to Connecticut General Statutes §4-176 and §16-50k, for proposed modifications to an existing telecommunications facility and associated equipment located at 48 Newtown Road, Danbury, Connecticut. **Withdrawal of Petition.**

**SUBPETITION NO. 1133-CING-20240605** - New Cingular Wireless PCS, LLC sub-petition for a declaratory ruling for an eligible facility request for modifications to an existing telecommunications facility located at 48 Newtown Road, Danbury, Connecticut. **Re-Submission of Petition 1628 as Eligible Facility Request.**

Dear Catherine Conklin:

The Connecticut Siting Council (Council) is in receipt of correspondence, dated June 10, 2024, confirming withdrawal of the above-referenced petitions for declaratory rulings and re-submission of the above-referenced petitions for declaratory rulings as respective Eligible Facility Requests (EFRs) in accordance with the Council's March 6, 2015 Declaratory Ruling in Petition No. 1133.

The Council hereby acknowledges your withdrawal of the petitions for declaratory rulings and re-submission as EFRs as of **June 10, 2024**.

Please be advised that expenses associated with the EFRs will be directly invoiced.

Should you have any questions, please feel free to contact the Council office.

Sincerely,



Melanie A. Bachman  
Executive Director

c: Council Members

Shea Shelton, Site Acquisition East Manager, General Dynamics  
([shea.shelton@gdit.com](mailto:shea.shelton@gdit.com))

**For Petition 1625:**

The Honorable Ken Lesser, Mayor, Town of Wethersfield ([ken.lesser@wethersfield.gov](mailto:ken.lesser@wethersfield.gov))  
Fred Presley, Town Manager, Town of Wethersfield ([fred.presley@wethersfieldct.gov](mailto:fred.presley@wethersfieldct.gov))  
Service List, dated April 4, 2024

**For Petition 1628:**

The Honorable Roberto Alves, Mayor, City of Danbury ([mayor@danbury-ct.gov](mailto:mayor@danbury-ct.gov))  
Service List, dated April 15, 2024

**From:** Shelton, Shea <Shea.Shelton@GDIT.com>

**Sent:** Monday, June 10, 2024 10:46 AM

**To:** Bachman, Melanie <Melanie.Bachman@ct.gov>; Conklin, Catherine (NE) <Catherine.Conklin@gdit.com>; CSC-DL Siting Council <Siting.Council@ct.gov>

**Cc:** LANDRY, DAVID J <DL8732@att.com>; rb9471@att.com; Bumpus, John W <John.Bumpus@GDIT.com>; t.obrien@danbury-ct.gov; Tom <Bickelhaupt@danbury-ct.gov>; Jennifer Emminger <j.emminger@danbury-ct.gov>; Jessica Granger <jessicag@brt.com>; r.alves@danbury-ct.gov

**Subject:** RE: Eligible Facilities Request (Section 6409) - Proposed AT&T Generator at 48 Newtown Road, Danbury, CT 06810

Melanie,

Thank you for your correspondence. We did not misinterpret the ruling. I will again state that the petitions are being **withdrawn** to move forward with the **Eligible Facilities Request** as stated in my earlier email and as such the shot clock has begun as of June 5, 2024. This is at the advise of AT&T's legal counsel based off your original correspondence.

Thanks,

Shea Shelton  
Site Acquisition East Manager

770-225-1577 Office  
[www.gdit.com](http://www.gdit.com)

**GENERAL DYNAMICS**  
Information Technology

**From:** Bachman, Melanie <[Melanie.Bachman@ct.gov](mailto:Melanie.Bachman@ct.gov)>

**Sent:** Wednesday, June 5, 2024 3:53 PM

**To:** Shelton, Shea <[Shea.Shelton@GDIT.com](mailto:Shea.Shelton@GDIT.com)>; Conklin, Catherine (NE) <[Catherine.Conklin@gdit.com](mailto:Catherine.Conklin@gdit.com)>; CSC-DL Siting Council <[Siting.Council@ct.gov](mailto:Siting.Council@ct.gov)>

**Cc:** LANDRY, DAVID J <[DL8732@att.com](mailto:DL8732@att.com)>; [rb9471@att.com](mailto:rb9471@att.com); Bumpus, John W <[John.Bumpus@GDIT.com](mailto:John.Bumpus@GDIT.com)>; [t.obrien@danbury-ct.gov](mailto:t.obrien@danbury-ct.gov); Tom <[Bickelhaupt@danbury-ct.gov](mailto:Bickelhaupt@danbury-ct.gov)>; Jennifer Emminger <[j.emminger@danbury-ct.gov](mailto:j.emminger@danbury-ct.gov)>; Jessica Granger <[jessicag@brt.com](mailto:jessicag@brt.com)>; [r.alves@danbury-ct.gov](mailto:r.alves@danbury-ct.gov)

**Subject:** RE: Eligible Facilities Request (Section 6409) - Proposed AT&T Generator at 48 Newtown Road, Danbury, CT 06810

Good afternoon.

There appears to be confusion about the Siting Council vote to **set the date by which to render a decision** in Petition 1625 as no later than September 1, 2024 consistent with state statute related to petitions for declaratory rulings. Correspondence describing the Siting Council's action and citing to the state statute was sent to the service list for Petition 1625 on May 23, 2024. A copy is attached for your convenience. AT&T's local counsel is very familiar with this legal requirement.

Unfortunately, the date that was set by which to render a decision on Petition 1625 was possibly misinterpreted as the date the Siting Council would render a decision. September 1, 2024 is a Sunday. After receipt of the Siting Council correspondence, EFRs were submitted for the two sites in Danbury and Wethersfield. Petition 1628 is on our meeting agenda for tomorrow **to set the date by which to render a decision** as required by state statute. Unless the pending petitions are withdrawn, we will not process EFRs for the same modification request at the same site. The petitions will be decided before September 1. There are four regular meetings scheduled in the interim.

Here are links to our filing guides for each type of request for your convenience:

- For an exempt modification request: [Modification of Existing Telecommunications Facilities Filing Guide, dated April 2013](#)
- For an EFR: [PETITION NO. 1133 - Eligible Facilities Requests under the October 21, 2014 FCC Wireless Infrastructure Report and Order, dated March 2015](#)
- For a petition for a declaratory ruling: [Petition for a Declaratory Ruling, dated September 2012](#)

If you have any further questions, please feel free to contact our office or AT&T's local counsel.

Thank you.

Melanie A. Bachman, Esq.  
Executive Director/Staff Attorney  
Connecticut Siting Council  
10 Franklin Square  
New Britain, CT 06051



860-827-2951



**CONFIDENTIALITY NOTICE:** This message is intended only for the use of the individual(s) named above. Information in this e-mail or any attachment may be confidential or otherwise protected from disclosure by state or federal law. Any unauthorized use, dissemination, or copying of this message is prohibited. If you are not the intended recipient, please refrain from reading this e-mail or any attachments and notify the sender immediately. Please destroy all copies of this communication.

**From:** Shelton, Shea <[Shea.Shelton@GDIT.com](mailto:Shea.Shelton@GDIT.com)>

**Sent:** Wednesday, June 5, 2024 1:00 PM

**To:** Conklin, Catherine (NE) <[Catherine.Conklin@gdit.com](mailto:Catherine.Conklin@gdit.com)>; Bachman, Melanie <[Melanie.Bachman@ct.gov](mailto:Melanie.Bachman@ct.gov)>

**Cc:** LANDRY, DAVID J <[DL8732@att.com](mailto:DL8732@att.com)>; [rb9471@att.com](mailto:rb9471@att.com); Bumpus, John W <[John.Bumpus@GDIT.com](mailto:John.Bumpus@GDIT.com)>; [t.obrien@danbury-ct.gov](mailto:t.obrien@danbury-ct.gov); Tom <[Bickelhaupt@danbury-ct.gov](mailto:Bickelhaupt@danbury-ct.gov)>; Jennifer Emminger <[j.emminger@danbury-ct.gov](mailto:j.emminger@danbury-ct.gov)>; Jessica Granger <[jessicag@brt.com](mailto:jessicag@brt.com)>; [r.alves@danbury-ct.gov](mailto:r.alves@danbury-ct.gov)

**Subject:** RE: Eligible Facilities Request (Section 6409) - Proposed AT&T Generator at 48 Newtown Road, Danbury, CT 06810

Ms. Bachman,

We are in receipt of your response to our Eligible Facilities Request under Section 6409 attached. I understand that the petitions are currently deemed complete and in review. We also are aware that we received a ruling for a declaration hearing on one of the sites by September 1, 2024.

Unfortunately, that timeline does not allow us enough time to complete the site per our contract with AT&T to be built and on-air this year. We would prefer to work with you to bring in that timeline for review as we have multiple other sites that petitions will need to be submitted on for this year vs. forcing the 30 day review by Eligible Facilities Request. **If** that is not a possible request then, yes we formally withdraw the petitions Nos. 1625 and 1628 and move to have the site reviewed under the Eligible Facilities Request.

We do understand that there may be additional charges in relation to the review of the site under the Eligible Facilities Request and will agree to take care of the fees, but hope that your jurisdiction would be reasonable with the fees and potentially use the fees submitted for the petition review without additional charges since your staff has just issued that a decision for ruling on one of the sites less than 2 weeks ago and has not on the other. The same information would be reviewed under either requests and potentially the same amount of time and therefore we shouldn't be charged twice for the same review.

Thanks,

Shea Shelton  
Site Acquisition East Manager

770-225-1577 Office  
[www.gdit.com](http://www.gdit.com)

**GENERAL DYNAMICS**  
Information Technology



May 30, 2024

Connecticut Siting Council  
10 Franklin Square  
New Britain, CT 06051  
Attn: Melanie Bachman, Executive Director

Re: New Cingular Wireless PCS, LLC (“AT&T”) and 48 Newtown Road Corporation c/o BRT Realty  
**Site Name:** Danbury East / FA#10035077 / Petition No. 1628  
for collocation at the existing wireless telecommunications facility located at  
48 Newtown Road, Danbury, CT 06810

Dear Ms. Bachman,

AT&T is seeking to modify the exiting wireless site at the above-referenced address. We are requesting an eligible facilities request under Section 6409, referenced below. Please find enclosed the following documents in support of our request to obtain Council approval:

1. Exempt Modification Denial
2. Petition Package

Section 6409 of the Federal Middle Class Tax Relief and Job Creation Act (“Section 6409”) was adopted in 2012. Under Section 6409, your city retains discretionary zoning review over the construction of new towers, but simple collocations and/or equipment upgrades at existing telecommunications facilities must be approved. The new law provides that:

“**a State or local government** may not deny, and **shall approve**, any eligible facilities request for a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.” (Emphasis added.)

The federal law defines an “eligible facilities request” as “(A) **collocation of new transmission equipment**; (B) **removal of transmission equipment**; or (C) **replacement of transmission equipment**.” (Emphasis added.)

Also, the Federal Communications Commission issued a Wireless Infrastructure Report and Order on October 17, 2014 (“FCC Order”) which established regulations that clarify and streamline the municipal approval process for eligible facilities requests under Section 6409. A copy of the FCC Order is enclosed herewith.

The FCC Order clarifies that municipal review of an eligible facilities request is limited to determining whether the request falls within Section 6409:

“**a State or local government** may require the applicant to provide documentation or information **only to the extent reasonably related to determining whether the request meets the requirements of this section** [Section 6409]. A State or local government **may not require an applicant to submit any other documentation**, including but not limited to documentation intended to illustrate the need for such wireless facilities or to justify the business decision to modify such wireless facilities.”<sup>47</sup> C.F.R. 1.40001(c)(1) (Emphasis added).



## **AT&T's Application is an Eligible Facilities Request under Section 6409**

AT&T's application qualifies as an eligible facilities request under Section 6409 because the proposed installation involves "a modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station."

As shown on the plans prepared by Ramaker dated 9/7/2023, AT&T's proposed installation consist principally of the following elements: The existing tower on the adjacent site (50 Newtown Road) was removed in lieu of the construction of the tower and equipment storage facility to be located at 48 Newtown Road. The compound expansion of roughly an irregular 6' x 13' space (approximately 78 sf) for the installation of the proposed 50kW Generator and concrete pad.

Accordingly, AT&T's installation involves "**addition of transmission equipment**" that will not increase the height of the tower nor the dimensions of the equipment compound. As a result, the installation "does not substantially change the physical dimensions of such tower or base station." Therefore, these proposed equipment upgrades constitute an "eligible facilities request" under Section 6409 and must be approved.

### **Timeline for Review and Approval.**

We would like to highlight an important timing requirement for processing this application. The FCC Order determined that **a municipality must act on an eligible facilities request within sixty (60) days of receiving the application.** 47 C.F.R. 1.40001(c)(2) (Emphasis added). (Note, the sixty (60)-day period is also known as the "Shot Clock"). Thus, the city must approve this application within sixty (60) days of its receipt. The FCC Order provides that upon a municipality's failure to act prior to expiration of the Shot Clock, the "**request shall be deemed granted**" and AT&T will be legally entitled to proceed with construction. 47 C.F.R. 1.40001(c)(4) (Emphasis added).

Note that the FCC Order does allow the Shot Clock to be tolled if an application is incomplete. However, in order to do so, a municipality must provide written notice that the application is incomplete within thirty (30) days of the submittal. 47 C.F.R. 1.40001(c)(3)(i). The notice must "clearly and specifically" describe the missing documents or information, 47 C.F.R. 1.40001(c)(3)(i), and, as previously mentioned, such documentation must be necessary to the determination of whether the application qualifies as an eligible facilities request. If the municipality requests additional information after the first thirty (30) days have passed, we will still provide any "reasonably related" information allowed under the FCC Order, but the Shot Clock will not be tolled.

In light of the foregoing, AT&T respectfully requests that its proposed wireless site modification be approved pursuant to Section 6409.



If the Connecticut Siting Council believes that AT&T's application does not qualify as an eligible facilities request under Section 6409, please let me know immediately. Otherwise, if you have any questions, please feel free to call or email me. Thank you for your cooperation.

Sincerely,

Catherine Conklin  
Site Acquisition Specialist

M 301-266-0258  
[Catherine.Conklin@gdit.com](mailto:Catherine.Conklin@gdit.com)  
4603 Kemper Street  
Rockville, MD 20853  
[www.gdit.com](http://www.gdit.com)

CC:

Roberto Alves, Mayor, City of Danbury  
Taylor O'Brien, City of Danbury Chief of Staff  
Jennifer Emminger, Deputy Planning Director, City of Danbury  
Thomas Bickelhaupt, Assistant Zoning Enforcement Officer  
48 Newtown Road Corporation c/o BRT General Corporation, Property & Tower Owner  
David Landry, AT&T Mobility  
Rachelle M. Lewis, AT&T Mobility

# GDIT

Via FedEx

March 7, 2024

Connecticut Siting Council  
ATTN: Melanie Bachman  
10 Franklin Square  
New Britain, Connecticut 06051

RE: AT&T's Petition for a Declaratory Ruling – Expansion of Existing Telecommunications Facility's Compound located at 48 Newtown Road, Danbury, CT 06810  
EM-ATT-034-230721

Dear Ms. Bachman:

Submitted herein on behalf of AT&T is a petition for a declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required for the expansion the existing telecommunications facility's compound located at 48 Newtown Road, Danbury, CT (41.40330000, -073.42440000).

Notice has been provided to the underlying property owner and the abutting property owners. Included is a list of the abutting properties and the proof of delivery of said notice.

If you have any questions, please reach out to me by email at [catherine.conklin@gdit.com](mailto:catherine.conklin@gdit.com) or by phone (301) 266-0258. Thank you for your consideration.

Sincerely,

Catherine Conklin  
Site Acquisition Specialist  
M 301-266-0258  
[Catherine.Conklin@gdit.com](mailto:Catherine.Conklin@gdit.com)  
4603 Kemper Street  
Rockville, MD 20853  
[www.gdit.com](http://www.gdit.com)

**STATE OF CONNECTICUT  
CONNECTICUT SITING COUNCIL**

**PETITION OF 48 NEWTOWN ROAD ) PETITION NO. \_\_\_\_\_**  
**CORPORATION FOR A DECLARATORY )**  
**RULING THAT NO NEW OR AMENDED )**  
**CERTIFICATE OF ENVIRONMENTAL )**  
**COMPATIBILITY AND PUBLIC NEED )**  
**IS REQUIRED FOR THE EXPANSION )**  
**OF THE EXISTING )**  
**TELECOMMUNICATIONS FACILITY )**  
**IN THE TOWN OF DANBURY CONNECTICUT ) March 4, 2024**

**PETITION FOR A DECLARATORY RULING  
EXPANSION OF THE EXITING TELECOMMUNICATIONS  
FACILTY COMPOUND  
48 NEWTOWN ROAD, DANBURY**

**I. Introduction**

48 Newtown Road Corporation c/o BRT Realty on behalf of AT&T hereby petitions the Connecticut Siting Council pursuant to Sections 16-50j-38 and 16-50j-39 of the Regulations of Connecticut State Agencies, for a declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required under the provisions set forth by the Connecticut General Statutes Section 16-50k to expand the existing compound inside 48 Newtown Road Corporation c/o BRT Realty’s parcel for the purpose of installing a new 50kw diesel backup generator.

**II. Background**

On December 29, 1998, New Cingular Wireless’ application for a Waiver to Site Plan Requirements for the construction of a Telephone Tower and Equipment Storage on the referenced site was approved. The existing tower on the adjacent site (50 Newtown Road) was removed in lieu of the construction of the tower and equipment storage facility to be located at 48 Newtown Road. The compound expansion of roughly an irregular 6’ x 13’ space (approximately 78 sf) for the installation of the proposed Generator.

### **III. Proposed Modifications**

48 Newtown Road Corporation c/o BRT Realty, is seeking to extend the existing compound as proposed in Attachment B for the sole purpose of installing a 50kw self-contained diesel generator (“Generator”) going inside the fenced compound as demonstrated on the plans in Attachment B.

The proposed fence will match the existing chain link fence and there will be no adverse effect to the environment around or in the proposed expansion.

The Tower itself will not increase in height, nor will it be modified in any way. The proposed expansion is for 48 Newtown Road Corporation c/o BRT Realty’s Tenants to have access to a backup emergency Generator and associated equipment that will not fit into the existing compound.

### **IV. The Proposed Modification Should Be Approved**

Pursuant to Section 16-50k of the Connecticut General Statutes, the proposed Generator is exempt from needing a Certificate Environment Compatibility and Public Need because the proposed Generator is a fuel cell **“built within the state with a generating capacity of two hundred forty kilowatts (240kw) or less.”** (Emphasis added).

AT&T has leased a total of 240sf from the property owner for their wireless facility. The location of the proposed Generator has been specifically requested by the property owner and will be situated on triangular landscaped section of the parking lot toward the rear-side of the building, near the existing cellular tower as shown in Attachment B. There will be a removal of a small maple tree, the two small white pine trees will remain. AT&T uses a Level 2 Acoustic enclosure on every generator which is the highest rated sound dampening option. The Decibel levels at 12’ from the Generator are 72 Decibels or less. This is close to but quieter than the average vacuum cleaner. The environmental effects of the proposed increase are minimal with no notable effects. Alongside of this, the ground in the proposed expansion would have been disturbed during the original construction of the building and the Tower, meaning there would be no new ground disturbance on the property.

Any smell associated with the Generator will be minimal and would only be while running, and there is an exhaust extension that will direct the diesel exhaust 10’ up into the



air above the Generator and well above the average person height to disperse. The Generator is tested for approximately 15-20 minutes every 2 weeks which can be scheduled during business hours; otherwise, it will only run during power outages. There are sensors in the Generator that connect to AT&T's NOC system that allow them to monitor the Generator remotely.

As mentioned previously, the proposed expansion of less than 78 sq. ft. would allow for a new emergency backup generator for AT&T, an existing tenant, to ensure that in the event of a power outage, AT&T's service to the surrounding community will not be disrupted.

The following documentation has been included in support of this Petition for Declaratory ruling that no new or amended Certificate of Environmental Compatibility and Public Need is required.

**Attachment A** – Owner's Authorization via Application/Special Exception Approval

**Attachment B** – Signed and Stamped Construction Drawings

**Attachment C** – Site Photo

**Attachment D** – Original Decision, Recent Decision, Property Information

**Attachment E** – Original Redacted Lease Agreement

**Attachment F** – As-Built Drawings

**Attachment G** – Updated Site Plan

**Attachment H** – Wetland Map

**Attachment I** – Proof of Delivery to Abutting Property Owners and Other Interested Parties - CSC Only

## **V. Conclusion**

48 Newtown Road Corporation c/o BRT Realty's proposal for the expansion of the existing compound will allow for a backup Generator that will be used as backup power by AT&T, an existing tenant of 48 Newtown Road Corporation. The proposed actions will have a minimal environmental effect and will provide necessary backup power to AT&T in the event of a power outage. Accordingly, 48 Newtown Road Corporation respectfully requests that the Connecticut Siting Council issue a declaratory ruling that the proposed expansion and

installation of said Generator is authorized without a new or amended Certificate of Environmental Compatibility and Public Need.

Sincerely,

*Catherine Conklin*

Catherine Conklin  
Site Acquisition Specialist  
M 301-266-0258  
[Catherine.Conklin@gdit.com](mailto:Catherine.Conklin@gdit.com)  
4603 Kemper Street  
Rockville, MD 20853  
[www.gdit.com](http://www.gdit.com)

cc:

Dean Esposito, City of Danbury Mayor  
155 Deer Hill Avenue  
Danbury, CT 06810  
(203) 797-4511

Horan Maryellen  
49 Newtown Road  
Danbury, CT 06810  
(203) 730-1040

Ms. Sharon B. Calitro, Director of Planning/Zoning  
155 Deer Hill Avenue, 1st Floor  
Danbury, CT 06810  
(203) 797-4525

Gallagher Lane Condominium Inc.  
8 Gallagher Lane  
Danbury, CT 06810  
(203) 297-6055

48 Newtown Road Corporation, Property/Tower Owner  
Jessica Granger  
50 Newtown Road  
Danbury, CT 06810  
(203) 797-4525

Gallagher Lane Condominium Inc.  
10 Gallagher Lane  
Danbury, CT 06810  
(203) 297-6055

Robert H. Basar Properties, LLC  
39 Newtown Road  
Danbury, CT 06810  
(203) 297-6055

Gallagher Lane Condominium Inc.  
East Broad Street  
Danbury, CT 06810  
(203) 297-6055

Jenny Aveiga  
51 Newtown Road  
Danbury, CT 06810  
(203) 249-2341

Gallagher Lane Condominium Inc.  
12 Gallagher Lane  
Danbury, CT 06810  
(203) 297-6055

Susan St Hilaire  
1 Whitney Avenue  
Danbury, CT 06810  
(203) 778-1474

Fifty Newtown Road Corporation  
50 Newtown Road  
Danbury, CT 06810  
(203) 297-6055

Ashan Ahmed  
47 Newtown Road  
Newtown, CT 06810  
(203) 364-1930

# ATTACHMENT A

Owner's Authorization via  
Special Exception Application



**CITY OF DANBURY**  
155 DEER HILL AVENUE  
DANBURY, CONNECTICUT 06810

**PLANNING COMMISSION**  
(203) 797-4525  
(203) 797-4586 (FAX)

FOR OFFICE USE ONLY
DATE REC.: _____
FILE NO.: _____

## APPLICATION FOR SPECIAL EXCEPTION APPROVAL

An "Application for Special Exception Approval" shall be submitted to the Planning Commission through the Department of Planning & Zoning for approval of all Special Exception uses in accordance with applicable requirements of the City of Danbury Zoning Regulations. This "Application" form shall be completed and signed by the property owner and the applicant/agent and shall be accompanied by all documents, plans, fees and other materials specified below under "Submission Requirements." All "Applications for Special Exception Approval" shall be accompanied by an "Application for Site Plan Approval" pursuant to the Zoning Regulations.

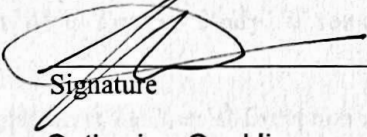
The application review period, as specified in §8-26 of the C.G.S., as amended, will not commence until all the "Submission Requirements" specified below are submitted to the Department of Planning & Zoning. Failure to comply with all "Submission Requirements" shall result in a denial of the Application.

1. Name of proposed development: Danbury East - AT&T Generator Project
2. Street address of the proposed development: 48 Newtown Road
3. Date submitted: \_\_\_\_\_ Assessor's Lot # K12265
4. Property owner's name: 48 Newtown Road Corporation Phone: 203-748-5100  
Address: 50 NEWTOWN RD, DANBURY CT 06810 Fax: \_\_\_\_\_  
(street, city, state, zip code)
5. Applicant/Agent's name: Catherine Conklin / Agent for AT&T Phone: 301-266-0258  
Address: 4603 Kemper Street, Rockville, MD 20853 Fax: catherine.conklin@gdit.com  
(street, city, state, zip code)
6. Zoning District: CG20
7. Special Exception Use: \_\_\_\_\_

8. Zoning Regulations section(s) authorizing this special exception: Section 10C
9. Does the property contain wetlands or watercourses  Yes  No  
 If Yes, and a regulated activity is proposed within the wetland or watercourse, or its regulated buffer, on what date was the application submitted to the Environmental Impact Commission?  
 \_\_\_\_\_
10. Is the property or any portion thereof located within a floodplain zone?  Yes  No  
 If Yes, and work is proposed in the floodplain zone, a Floodplain Permit will be required from the Planning Commission in accordance with Section 7.A of the Zoning Regulations.
11. Is the property or any portion thereof located with a designated Public Water Supply Watershed zone?  
 Yes  No  
 If Yes, the Applicant/Agent shall be required to comply with Section 7.C of the Zoning Regulations.
12. List all municipalities within five hundred (500) feet of the subject property (if any)  
N/A  
 \_\_\_\_\_  
 \_\_\_\_\_

**I hereby acknowledge that to the best of my knowledge, the above information is true, complete and correct.**

Property Owner: Jessica Granger, VP : Treasurer  
 Print Name

 \_\_\_\_\_  
 Signature

\_\_\_\_\_ 11/29/23 \_\_\_\_\_  
 Date

Applicant or Agent: Catherine Conklin  
 Print Name

\_\_\_\_\_ \_\_\_\_\_  
 Signature Date

---

# ATTACHMENT B

Signed and Stamped  
Construction Drawings





# at&t Mobility

**SITE NAME: DANBURY EAST  
FA LOCATION CODE: 10035077**

**GENERATOR PROJECT  
50KW GENERAC DIESEL GENERATOR  
200A GENERAC ATS**

**48 NEWTOWN ROAD  
DANBURY, CT 06810**



**RAMAKER**  
employee-owned  
(608) 643-4100 www.ramaker.com

PREPARED FOR:



CONSULTANT:  
**GENERAL DYNAMICS**  
Information Technology, Inc.  
**GENERAL DYNAMICS**  
101 STATION DR  
WESTWOOD, MA 02090

Certification & Seal:  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



*[Signature]* 9/06/2023  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

MARK	DATE	DESCRIPTION
1	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

**DANBURY EAST  
FA ID # 10035077**

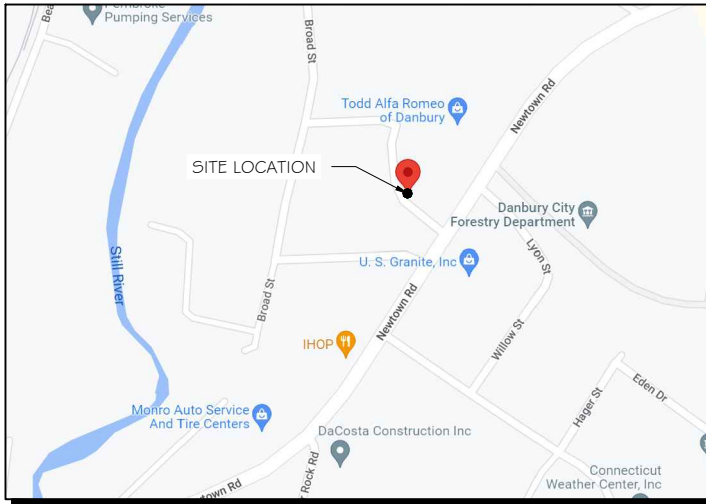
PROJECT INFORMATION:  
48 NEWTOWN ROAD  
DANBURY, CT 06810

SHEET TITLE:  
**TITLE SHEET**

SCALE: NONE

PROJECT NUMBER: 57537  
SHEET NUMBER: T-1

### VICINITY MAP



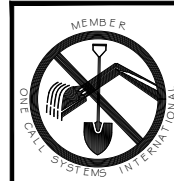
### SCOPE OF WORK

ADD STANDBY GENERATOR, ASSOCIATED CONCRETE PAD, AND UTILITY EQUIPMENT. THERE WILL BE NO CHANGE IN THE SIZE OR HEIGHT OF THE TOWER OR ANTENNAS.

### APPLICABLE BUILDING CODE & STANDARDS

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE FOLLOWING CODES AS ADOPTED BY THE GOVERNING LOCAL AUTHORITIES. NOTHING IN THESE PLANS ARE TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- INTERNATIONAL BUILDING CODE 2021
- NATIONAL ELECTRIC CODE 2020
- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL TOWER AND ANTENNA SUPPORTING STRUCTURES
- TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS

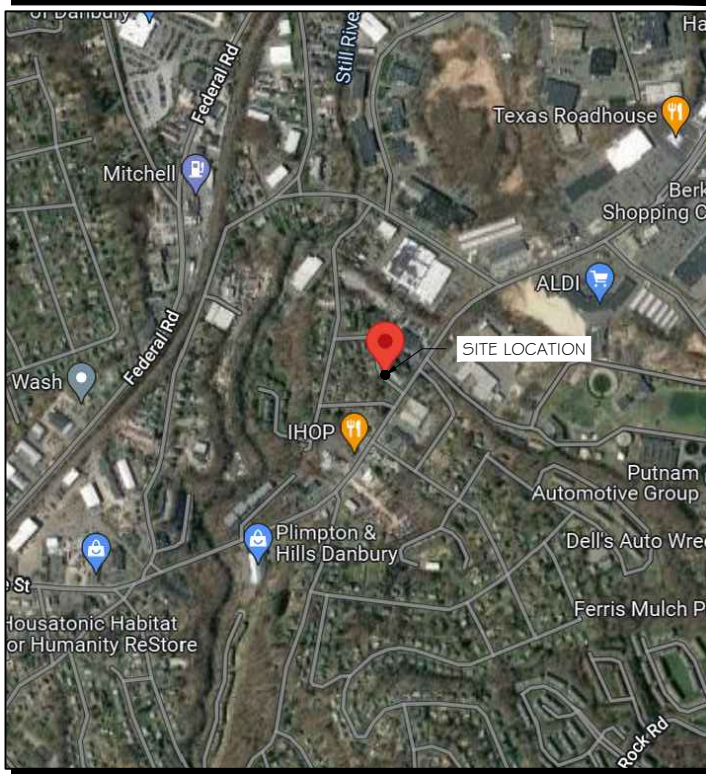


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN CONNECTICUT

**CALL BEFORE YOU DIG  
811 OR 1-800-922-4455**

CONNECTICUT PUBLIC ACT 87-71 REQUIRES MIN. 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE.

### AERIAL VIEW OF SITE



### PROJECT INFORMATION

**PROJECT MANAGER:**  
MATTHEW HIGGINS  
GENERAL DYNAMICS WIRELESS SERVICES  
101 STATION DRIVE  
WESTWOOD, MA 02090  
EMAIL: Matthew.Higgins@GDIT.com

**ENGINEER:**  
RAMAKER & ASSOCIATES, INC.  
855 COMMUNITY DRIVE  
SAUK CITY, WI 53583  
PH.: (608) 643-4100  
FAX: (608) 643-7999  
CONTACT: TYLER BEATTY  
EMAIL: tbeatty@ramaker.com

**APPLICANT INFORMATION:**  
AT&T MOBILITY  
7150 STANDARD DR  
HANOVER, MD 21076

**SITE DATA:**  
SITE NAME: DANBURY EAST  
FA NUMBER: 10035077

**PROPERTY OWNER:**  
COYOTE MAVERICK COUNTRY SPORTS BAR & GRILL  
48 NEWTOWN RD  
DANBURY, CT 06810

**ADDRESS:**  
48 NEWTOWN ROAD  
DANBURY, CT 06810

**COUNTY:** FAIRFIELD COUNTY

**LAT.:** 41.403412°  
**LONG.:** -73.424435°

**GROUND ELEVATION:** 380 FT AMSL

**DO NOT SCALE DRAWINGS:**  
CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

### SHEET INDEX

**GENERAL:**  
T-1 TITLE SHEET

**NOTES:**  
N-1 GENERAL NOTES

**SITE:**  
A-1 SITE PLAN & EQUIPMENT LAYOUT  
S-1 FOUNDATION DETAILS  
S-2 FENCE DETAILS

**ELECTRICAL & GROUNDING:**  
E-1 WIRING DETAILS  
E-2 PANEL AND PENETRATION DETAILS  
E-3 ATS, CONDUIT & GROUND ROD DETAILS  
E-4 GENERAC GENERATOR SPECIFICATIONS  
E-4.1 GENERAC GENERATOR SPECIFICATIONS  
E-4.2 GENERAC GENERATOR SPECIFICATIONS  
E-5 GENERAC ATS SPECIFICATIONS  
E-5.1 GENERAC ATS SPECIFICATIONS

### SIGNATURE BLOCK

AT&T MGR. \_\_\_\_\_ DATE \_\_\_\_\_

GENERAL DYNAMICS CONSTRUCTION MGR. \_\_\_\_\_ DATE \_\_\_\_\_

SITE ACQUISITION \_\_\_\_\_ DATE \_\_\_\_\_

**NOTES TO SUBCONTRACTOR:**

1. THE GENERAL SUBCONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. THE SUBCONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION SUBCONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION SUBCONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION SUBCONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH AT&T WIRELESS SERVICES TECHNICAL SPECIFICATIONS FOR FACILITY GROUNDING FOR CELL SITE STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T TOWERS GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF TOWER.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO THE ADJACENT PROPERTIES WILL BE CORRECTED AT THE SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE LANDOWNER AND THE ENGINEER.
9. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS. SUBCONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
10. SUBCONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
11. THE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE SUBCONTRACTOR'S EXPENSE.
12. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO THE PROPERTY OUTSIDE THE LEASED PROPERTY SHALL BE REPAIRED BY THE SUBCONTRACTOR.
13. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
14. SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAIN AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
15. PERMITS: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
16. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
17. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR EXISTING UTILITIES BELIEVED TO BE IN THE WORKING AREA. IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO VERIFY ALL UTILITIES, PIPELINES AND OTHER STRUCTURES SHOWN OR NOT SHOWN ON THESE PLANS. THE SUBCONTRACTOR SHALL CONTACT THE LOCAL JURISDICTION'S DIGGER'S HOTLINE BEFORE DIGGING OR DRILLING. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AND ENGINEER AT THE SUBCONTRACTOR'S EXPENSE.

**GENERAL NOTES:**

1. THIS PROPOSAL IS FOR THE ADDITION OF A NEW GENERATOR ON A CONCRETE PAD TO AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF AN EQUIPMENT SHELTER AND TOWER.
2. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE.
3. THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITAT. (NO HANDICAP

**ACCESS IS REQUIRED)**

4. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH BY AT&T TECHNICIANS.
5. OUTDOOR STORAGE AND SOLID WASTE CONTAINERS ARE NOT PROPOSED.
6. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THE CONSTRUCTION OPERATION.
8. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
9. SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.

**ELECTRICAL NOTES:**

**A. GENERAL**

1. COORDINATE LOCATION AND POWER REQUIREMENTS OF ALL EQUIPMENT WITH AT&T AND EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
2. COORDINATE LOCATION AND REQUIREMENTS FOR ELECTRICAL AND TELEPHONE SERVICES WITH THE PROPERTY REPRESENTATIVE, AT&T AND UTILITY COMPANIES. ROUTING OF CONDUITS MAY BE MODIFIED TO MEET SITE REQUIREMENTS. EXACT CONDUIT ROUTING TO BE DETERMINED IN THE FIELD.
3. ALL WIRING AND EQUIPMENT SHOWN ON ELECTRICAL SHEETS SHALL BE FURNISHED AND INSTALLED UNDER ELECTRICAL PORTION OF CONTRACT UNLESS OTHERWISE NOTED
4. UNINTERRUPTED ELECTRICAL SERVICE FOR EXISTING EQUIPMENT SHALL BE MAINTAINED DURING THE INSTALLATION OF THE WORK DESCRIBED UNDER THESE DOCUMENTS. TEMPORARY EQUIPMENT, CABLES AND WHATEVER ELSE IS NECESSARY SHALL BE PROVIDED AS REQUIRED TO MAINTAIN ELECTRICAL SERVICE. TEMPORARY SERVICE FACILITIES, IF REQUIRED AT ANY TIME, SHALL NOT BE DISCONNECTED OR REMOVED UNTIL NEW SERVICE EQUIPMENT IS IN PROPER OPERATION. IF ANY SERVICE OR SYSTEM MUST BE INTERRUPTED, THE CONTRACTOR SHALL REQUEST PERMISSION IN WRITING STATING THE DATE, TIME, ETC. THE SERVICE WILL BE INTERRUPTED AND THE AREAS AFFECTED. THIS REQUEST SHALL BE MADE IN SUFFICIENT TIME FOR PROPER ARRANGEMENTS TO BE MADE. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE OWNER BEFORE INTERRUPTING ELECTRICAL SERVICE.
5. COORDINATE NEW WORK WITH OTHER TRADES AND VERIFY EXISTING CONDITIONS TO AVOID INTERFERENCE. IN CASE OF INTERFERENCE, AT&T'S REPRESENTATIVE WILL DECIDE WHICH WORK IS TO BE RELOCATED, REGARDLESS OF WHICH WAS FIRST INSTALLED.
6. THE INSTALLATION MUST COMPLY WITH NEC AND ALL FEDERAL, STATE AND LOCAL RULES AND REGULATIONS.
7. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND EQUIPMENT UNLESS OTHERWISE DEFINED BY DIMENSIONS OR DETAILS. EXACT EQUIPMENT LOCATIONS AND RACEWAY ROUTING SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND/OR DIRECTIONS FROM AT&T'S REPRESENTATIVE.
8. CONTRACTOR SHALL PAY ALL PERMITS AND FEES REQUIRED.
9. ALL MATERIALS SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARDS REFERENCED BELOW:
  - a. ANSI (AMERICAN NATIONAL STANDARDS INSTITUTE)
  - b. ASTM (AMERICAN SOCIETY FOR TESTING MATERIALS)
  - c. ETL (ELECTRICAL TESTING LABORATORY)
  - d. ICEA (INSULATED CABLE ENGINEERS ASSOCIATION)
  - e. IEEE (INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS)
  - f. MBFU (NATIONAL BOARD OF FIRE UNDERWRITERS)
  - g. NESC (NATIONAL ELECTRICAL SAFETY CODE)
  - h. NEMA (NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION)
  - i. NFPA (NATIONAL FIRE PROTECTION ASSOCIATION)
  - j. UL (UNDERWRITER'S LABORATORY)
10. CONTRACTOR SHALL REVIEW PLANS, DETAILS AND SPECIFICATIONS IN DETAIL AND ADJUST WORK TO CONFORM WITH ACTUAL SITE CONDITIONS SO THAT ELECTRICAL DEVICES AND EQUIPMENT WILL BE LOCATED AND READILY ACCESSIBLE. QUANTITIES LISTED IN MATERIAL LISTS ON THE DRAWINGS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL PROVIDE HIS OWN TAKEOFF FOR MATERIAL QUANTITY AND TYPES BASED ON ACTUAL SITE CONDITIONS. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS TO INSTALL EQUIPMENT FURNISHED BY AT&T OR ITS SUPPLIERS. ALL ITEMS NOT SPECIFICALLY MENTIONED HEREIN OR SHOWN ON THE DRAWINGS, BUT WHICH ARE OBVIOUSLY NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED.

11. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) AT&T'S REPRESENTATIVE OF ANY CONFLICTS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK, IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.

12. ALL FLOORS WHERE PENETRATIONS ARE REQUIRED IN BUILDING ARE TO BE CORE DRILLED AND THEN FIREPROOFED.

**B. WIRING/CONDUIT**

1. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR AS REQUIRED BY CODE SUCH THAT NO MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (380 DEGREES TOTAL) EXIST IN A CONDUIT RUN.
2. ALL POWER AND CONTROL/INDICATION WIRING SHALL BE TYPE THHN/THWN 800V RATED 75 DEGREES CELSIUS, UNLESS NOTED OTHERWISE.

3. SCHEDULE 80 PVC CONDUIT SHALL BE USED ABOVE GROUND, WHERE ABOVE GRADE IS DEFINED AS THE GROUND OF THE TURN-UP
4. BELL END OR TERMINAL ADAPTER MUST BE INSTALLED ON END OF PVC CONDUIT PER NEC 352.4G. 300.4 F. (3)
5. CONDUIT BENDS SHALL BE MADE IN ACCORDANCE WITH NEC TABLE 346-10. NO RIGHT ANGLE DEVICE OTHER THAN STANDARD CONDUIT ELBOWS WITH 1/2" MINIMUM INSIDE SWEEPS FOR ALL CONDUITS 2" OR LARGER.
6. POWER WIRING SIZE SHALL NOT BE SMALLER THAN #12 AWG.
7. ALL WIRING SHALL BE COPPER. ALUMINUM WILL NOT BE ACCEPTABLE ALL POWER CIRCUITS SHALL CONTAIN A GROUND WIRE.
8. PHASE MARKINGS TO BE USED AT POWER CONDUCTOR TERMINATIONS.
9. CONTRACTOR SHALL ENSURE INTEGRITY IS MAINTAINED WHEN INSTALLING CONDUIT AND WIRING.
10. INSTALL PULL STRING IN ALL CONDUIT.

11. FOR ROOFTOP INSTALLS AND BUILD-OUTS, CONDUITS INSIDE BUILDING AND ON ROOF SHALL BE RGS, UNLESS OTHERWISE NOTED. FOR RAW LAND SITES AND CO-LOCATES, PVC SCHEDULE 80 SHALL BE UTILIZED UNLESS NOTED OTHERWISE.
12. MAINTAIN MINIMUM 1'-0" VERTICAL AND 1'-0" HORIZONTAL SEPARATIONS FROM ANY MECHANICAL GAS PIPING.
13. ALL WIRING ROUTED IN PLENUM TO BE RATED OR IN METALLIC FLEX (LIQUIDITE) CONDUIT.

**C. EQUIPMENT**

1. EQUIPMENT/PARTS CONNECTED TO EXISTING PANELS, DUCTS, ETC. SHALL MATCH THE CHARACTERISTICS (A/C, V, A) OF THAT EQUIPMENT.
2. ALL ELECTRICAL EQUIPMENT OUTSIDE SHALL BE NEMA OR 3R RATED.

**D. GROUNDING**

1. ALL GROUND CONNECTIONS TO BUILDING SHALL BE MADE USING TWO-HOLE CONNECTORS. PROVIDE STAINLESS STEEL BOLTS AND LOCK WASHERS ON ALL MECHANICAL GROUND CONNECTIONS.
2. ALL EQUIPMENT SURFACES TO BE BONDED TO GROUNDING SYSTEM SHALL BE STRIPPED OF ALL PAINT AND DIRT. CONNECTIONS TO VARIOUS METALS SHALL BE OF A TYPE AS TO CAUSE A GALVANIC OR CORROSIVE REACTION. AREA SHALL BE REPAINTED FOLLOWING BONDING.
3. ANY METALLIC ITEM WITHIN 6' OF GROUND CONDUCTORS MUST BE CONNECTED TO THE GROUNDING SYSTEM.
4. EXTERIOR, ABOVE GRADE GROUND CONNECTIONS SHALL BE FURNISHED WITH A LIBERAL PROTECTIVE COATING OF ANTI-OXIDE COMPOUND.
5. ALL MATERIALS AND LABOR REQUIRED FOR THE GROUNDING SYSTEM AS INDICATED ON THE PLANS AND DETAILS, AND AS DESCRIBED HEREIN SHALL BE FURNISHED BY THIS CONTRACTOR UNLESS OTHERWISE NOTED.
6. EXACT LOCATION OF GROUND CONNECTION POINTS SHALL BE DETERMINED IN FIELD. ADJUST LOCATIONS INDICATED ON PLANS ACCORDING TO ACTUAL EQUIPMENT LOCATIONS TO KEEP THE GROUND CONNECTION CABLES AS SHORT AS PRACTICAL.
7. PROVIDE ALL ELECTRICAL SYSTEM AND EQUIPMENT GROUNDS AS REQUIRED BY THE CURRENT EDITION OF THE NATIONAL ELECTRIC CODE AND THE CURRENT EDITION OF THE NATIONAL ELECTRICAL SAFETY CODE. BONDING JUMPERS WITH APPROVED GROUND FITTINGS SHALL BE INSTALLED AT ALL RACEWAYS, EQUIPMENT ENCLOSURES, PULL BOXES, ETC. TO MAINTAIN GROUND CONTINUITY WHERE REQUIRED BY CODE.
8. ALL EQUIPMENT GROUND CONDUCTORS SHALL BE TIN COATED, #2 AWG COPPER UNLESS NOTED OTHERWISE ON THE DRAWINGS.
9. PROVIDE PRE AND POST GROUND TEST RESULTS, USING CLAMP-ON TESTER. TEST RESULTS SHALL BE PHOTOS WITH DIGITAL TIME AND GPS STAMPED/EMBEDDED.

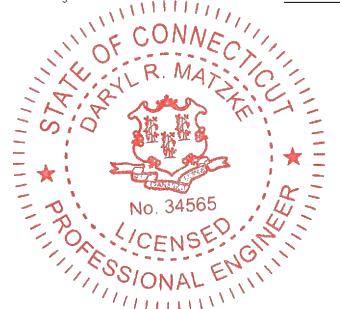
**E. INSPECTION/DOCUMENTATION**

1. THE CONTRACTOR, UPON COMPLETION OF HIS WORK, SHALL PROVIDE AS-BUILT DRAWINGS. INFORMATION SHOULD BE GIVEN TO THE GENERAL CONTRACTOR FOR INCLUSION IN FINAL AS-BUILT SURVEY DOCUMENTS TO BE GIVEN TO THE OWNER.
2. CONTRACTOR SHALL SUPPLY DOCUMENTATION ATTESTING TO THE COMPLETE GROUND SYSTEM'S RECEPTIVITY (MAX. 5 OHMS).
3. AN ELECTRICAL INSPECTION SHALL BE MADE BY AND INSPECTING AGENCY APPROVED BY AT&T'S REPRESENTATIVE. CONTRACTOR SHALL COORDINATE ALL INSPECTIONS AND OBTAIN POWER COMPANY APPROVAL.
4. CONTRACTOR SHALL HAVE ATS AND GENERATOR RELAY INSTALLATION AND CONNECTIONS INSPECTED BY OTHERS TO ENSURE THAT UL LISTING FOR THAT EQUIPMENT IS NOT VOIDED.

**PREPARED FOR:**

**CONSULTANT:**  
**GENERAL DYNAMICS**  
 Information Technology, Inc.  
 GENERAL DYNAMICS  
 101 STATION DR  
 WESTWOOD, MA 02090

**Certification & Seal:**  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



*[Signature]* 9/06/2023  
 Signature: Date:

MARK	DATE	DESCRIPTION
J	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

**PROJECT TITLE:**  
 DANBURY EAST  
 FA ID # 10035077

**PROJECT INFORMATION:**  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810

**SHEET TITLE:**  
 GENERAL NOTES

**SCALE:** NONE

<b>PROJECT NUMBER</b>	57537
<b>SHEET NUMBER</b>	N-1



**SCOPE OF WORK DETAILS**

- GENERAL:**
- NEW GENERAC DIESEL GENERATOR PROVIDED BY GENERAL DYNAMICS & INSTALLED BY GENERAL CONTRACTOR, SEE E-4.
  - NEW 4'-0" X 10'-0" CONCRETE PAD PROVIDED & INSTALLED BY GENERAL CONTRACTOR (AS REQUIRED) SEE S-1
  - NEW GENERAC AUTOMATIC TRANSFER SWITCH PROVIDED BY GENERAL DYNAMICS & INSTALLED BY CONTRACTOR (AS REQUIRED) SEE E-3 & E-5.
  - CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION
  - CONTRACTOR SHALL RESTORE & REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION

- CONDUITS:**
- INSTALL PULL STRING IN EACH CONDUIT
  - (1) NEW 2" AND (1) NEW 1" ELECTRICAL CONDUITS WITH CONDUCTORS TO RUN FROM NEW GENERATOR TO NEW ATS. CONDUIT PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.
  - (1) NEW 1" ELECTRICAL CONDUIT WITH CONDUCTORS TO RUN FROM NEW GENERATOR TO AC PANEL. CONDUIT PROVIDED & INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.
  - (1) NEW 1" ALARM CONDUIT & CABLING PROVIDED & INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.

- GROUNDING:**
- NEW EXOTHERMIC CONNECTION FROM EXISTING GROUND RING TO NEW MECHANICAL CONNECTION AT GENERATOR CHASSIS. GENERAL CONTRACTOR TO VERIFY LOCATION IN FIELD. LOCATE GROUND RODS NO MORE THAN 8'-0" APART.

**NOTE:**  
CELL FLOOR IS IN VERY POOR CONDITION. MAINLY RIGHT AT ENTRANCE.

**NOTE:**  
STEEL STAIRS FROM GROUND TO ROOM. STAIRS ARE NOT SECURED WELL AT ALL. PARTS MISSING AND POSTS NOT EVEN CONNECTED. USE CAUTION ON STAIRS AND JUST INSIDE ROOM.

**NOTE:**  
CONDUIT RUN FROM GROUND FLOOR, UP SIDE OF BUILDING PENETRATE BY OTHER CONDUITS.

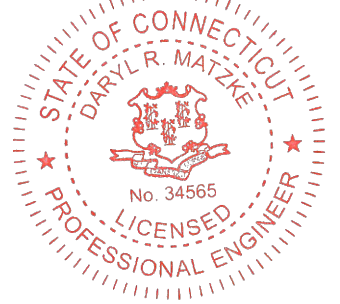
**NOTE:**  
CONDUIT RUN, TARMAC AND CONCRETE WILL HAVE TO BE CUT MOST IF NO ALL THE WAY TO ATS.



PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
Information Technology, Inc.  
GENERAL DYNAMICS  
101 STATION DR  
WESTWOOD, MA 02090

Certification & Seal:  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: *[Signature]* Date: 9/06/2023

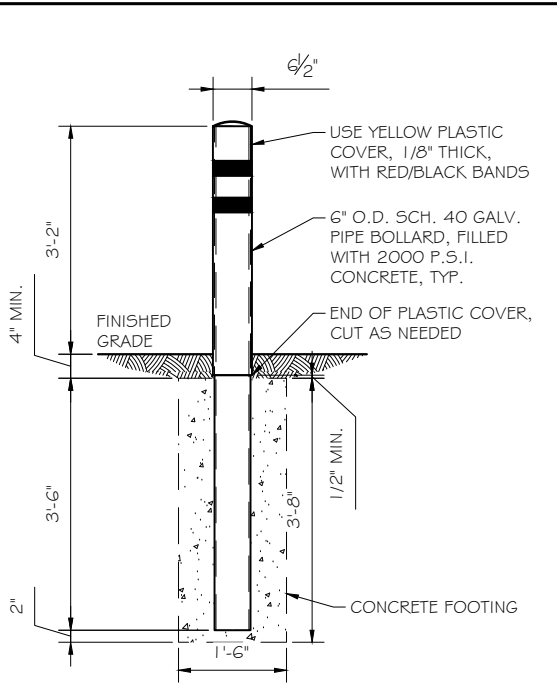
MARK	DATE	DESCRIPTION
I	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

PROJECT TITLE:  
**DANBURY EAST  
FA ID # 10035077**

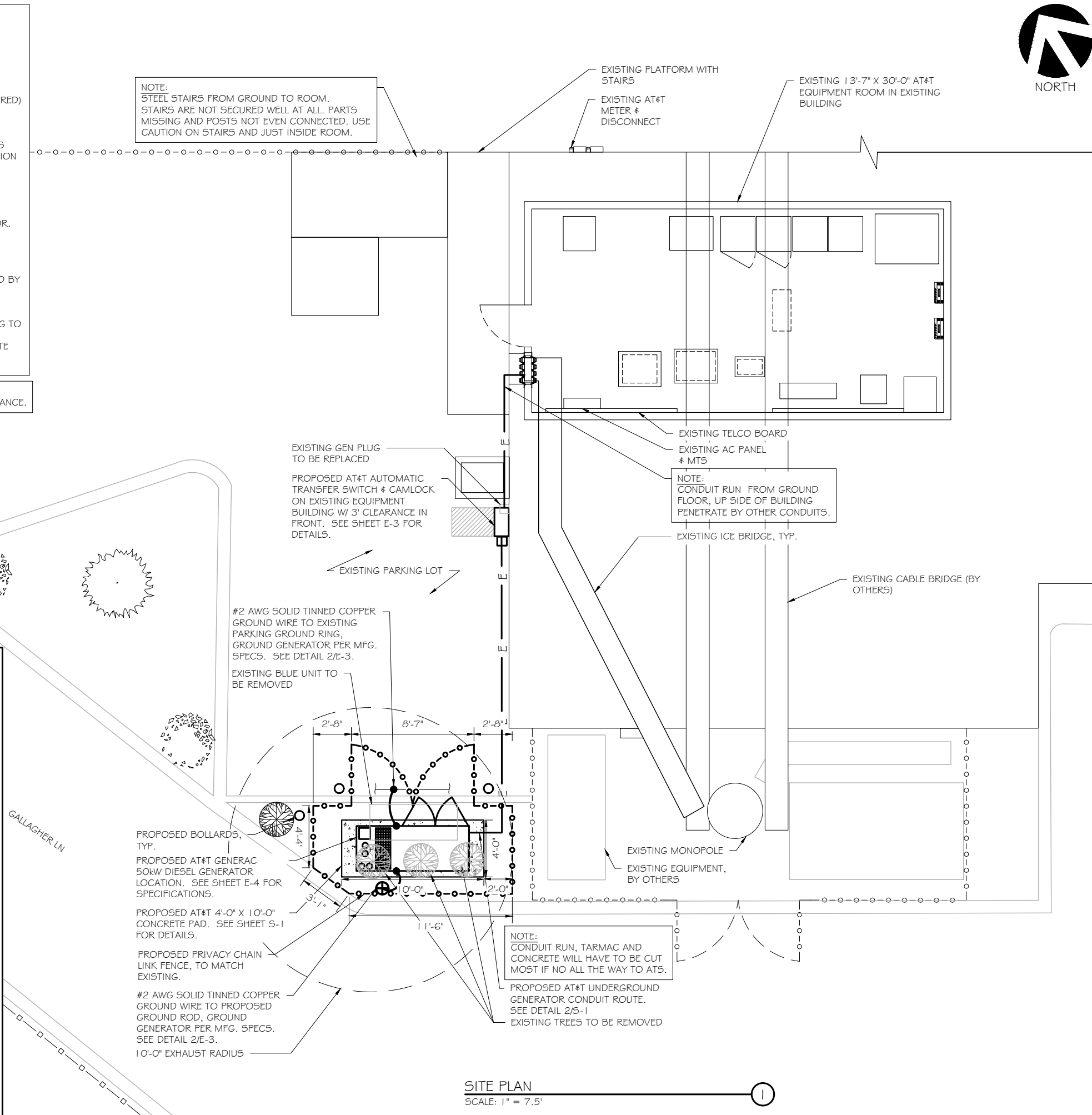
PROJECT INFORMATION:  
48 NEWTOWN ROAD  
DANBURY, CT 06810

SHEET TITLE:  
**SITE PLAN & EQUIPMENT LAYOUT**

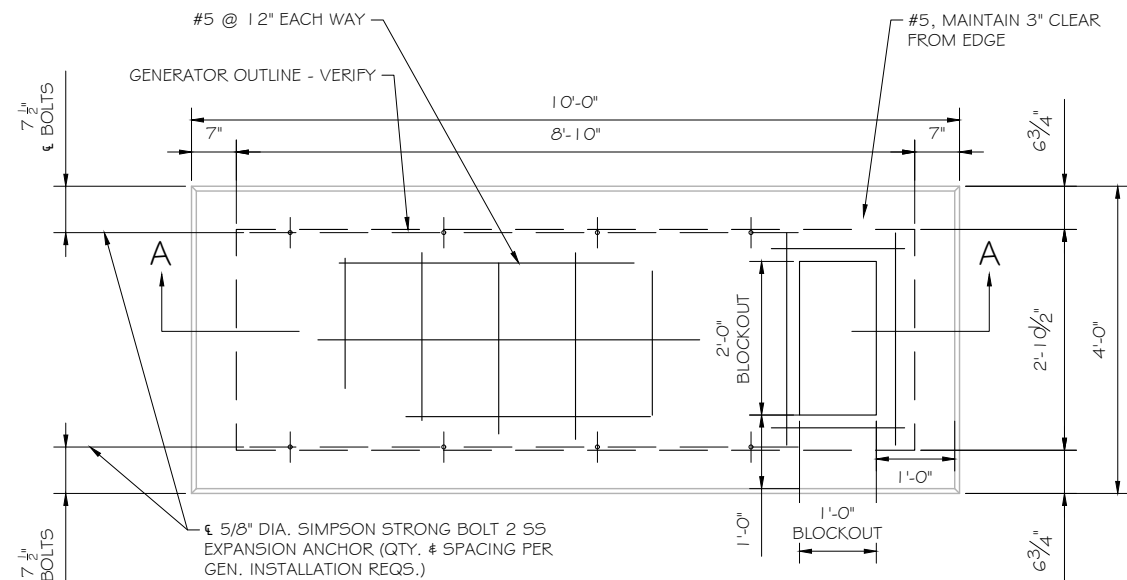
PROJECT NUMBER: 57537  
SHEET NUMBER: A-1



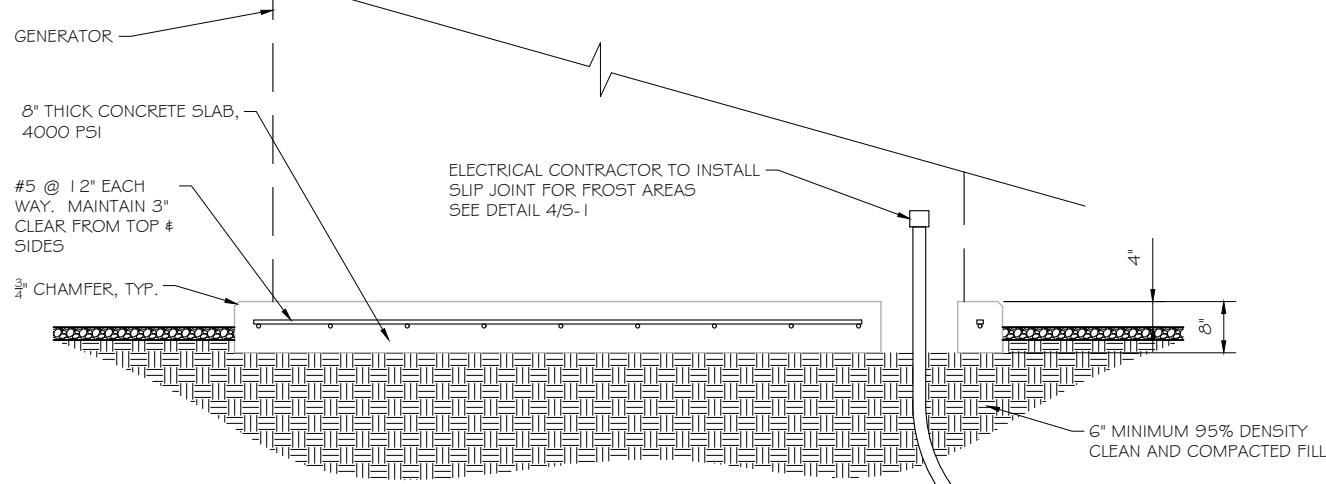
**PIPE BOLLARD DETAIL**  
SCALE: 3/8" = 1'-0" (2)



**SITE PLAN**  
SCALE: 1" = 7.5' (1)



**FOUNDATION PLAN**  
 SCALE: NTS



**SECTION A-A**  
 SCALE: NTS

**DOUBLE WALL FUEL TANK BASE SPECIFICATION**

REF: ATT GENERATOR PACKAGE  
 UL REGISTRATION NUMBER: MH18459  
 U.L. 142 DOUBLE WALL FUEL TANK BASE SPECIFICATION  
 FUEL TANK BASE CONSTRUCTION:

- BE CONSTRUCTED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES STANDARD UL-142. BE CONSTRUCTED IN ACCORDANCE WITH FLAMMABLE & COMBUSTIBLE LIQUIDS CODE, NFPA 30; THE STANDARD FOR INSTALLATION & USE OF STATIONARY COMBUSTIBLE ENGINE & GAS TURBINES, NFPA 37; AND THE STANDARD FOR EMERGENCY & STANDBY POWER SYSTEMS, NFPA 110.
- ANCHORS MINIMUM (4) @ 5/8" FOR GEN-SET MOUNTING

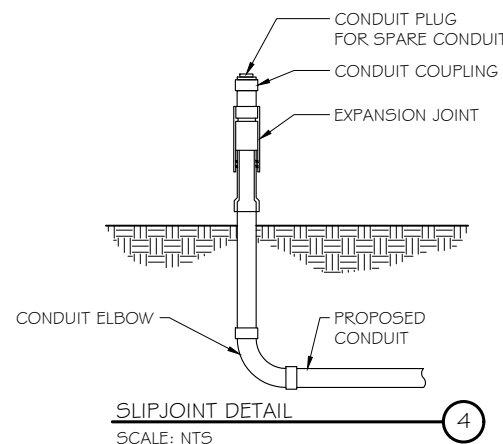
SUB BASE TANK TESTING: PRIMARY TANK & SECONDARY CONTAINMENT BASIN SECTIONS SHALL BE PRESSURIZED AT 3-5 PSI AND LEAK-CHECKED TO ENSURE INTEGRITY OF SUB BASE WELD SEAMS PER UL-142 STANDARDS

FUEL FILL: 5 GALLON SPILL CONTAINMENT WITH ALARM

- 40% REMAINING FOR ALARM
- 20% REMAINING FOR SHUT-DOWN

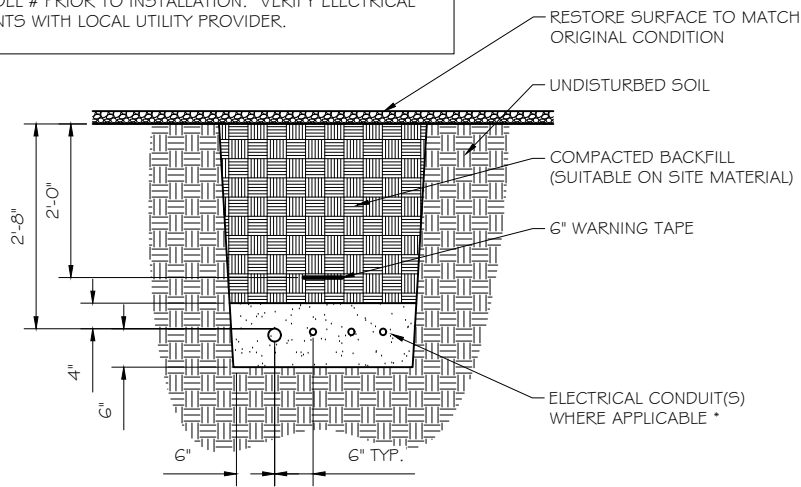
FACTORY PRE-SET AT 95% FULL FOR ALARM

FUEL CONTAINMENT BASIN: SUB BASE TANK SHALL INCLUDE A WELDED STEEL CONTAINMENT BASIN, SIZED AT A MINIMUM OF 110% OF THE TANK CAPACITY TO PREVENT ESCAPE OF FUEL INTO THE ENVIRONMENT IN THE EVENT OF A TANK RUPTURE. A FUEL CONTAINMENT BASIN LEAK DETECTOR SWITCH SHALL BE PROVIDED.



**SLIPJOINT DETAIL**  
 SCALE: NTS

NOTE:  
 VERIFY WIRE AND CONDUIT QUANTITY & SIZES WITH GENERATOR MAKE & MODEL # PRIOR TO INSTALLATION. VERIFY ELECTRICAL REQUIREMENTS WITH LOCAL UTILITY PROVIDER.



\* SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

- NOTES:
- PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
  - PROVIDE RG5 CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLE, BTS EQUIPMENT, ETC.)
  - INSTALL UTILITY PULLBOXES PER NEC.

**UTILITY CONDUIT TRENCH**  
 SCALE: NTS

**STRUCTURAL GENERAL NOTES**

- GENERAL CONDITIONS
  - DESIGN & CONSTRUCTION OF ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES, ACI 318-11. IN CASE OF CONFLICT BETWEEN THE CODES, STANDARDS, REGULATIONS, SPECIFICATIONS, GENERAL NOTES AND/OR MANUFACTURER'S REQUIREMENTS, USE THE MOST STRINGENT PROVISIONS.
  - IT IS THE EXPRESS INTENT OF PARTIES INVOLVED IN THIS PROJECT THAT THE CONTRACTOR OR SUBCONTRACTOR OR INDEPENDENT CONTRACTOR OR THE RESPECTIVE EMPLOYEES SHALL EXCULPATE THE ARCHITECT, THE ENGINEER, TECH. CONSTRUCTION MANAGER, THE OWNER, & THEIR AGENTS FROM ANY LIABILITY WHATSOEVER & HOLD THEM HARMLESS AGAINST LOSS, DAMAGES, LIABILITY OR ANY EXPENSE ARISING IN ANY MATTER FROM THE WRONGFUL OR NEGLIGENT ACT, OR FAILURE TO CARRY METHODS, TECHNIQUES OR PROCEDURES OR FAILURE TO CONFORM TO THE STATE SCAFFOLDING ACT IN CONNECTIONS WITH THE WORK.
  - DO NOT SCALE DRAWINGS
  - VERIFY ALL EQUIPMENT MOUNTING DIMENSIONS PER MANUFACTURER DRAWINGS
  - DESIGN LOADS ARE (GENERAC):
 

LIVE LOAD	: 100 PSF
EQUIPMENT SIZE	: 889.1" H, 106" W, 38" D
WEIGHT WITH WOODEN SHIPPING SKID	
ENCLOSED GENERATOR	: 3974 LBS
- FOR DESIGN & ANALYSIS OF THE FOUNDATION, THE MINIMUM NET SOIL BEARING CAPACITY SHALL BE ASSUMED TO BE 2000 PSF.
- CONCRETE
  - MEET OR EXCEED THE FOLLOWING CODES & STANDARDS:
 

DESIGN	: ACI 318-11
CONSTRUCTION	: ACI 301
DETAILING	: CRSI MANUAL OF STANDARD PRACTICE
REINF. STEEL	: ASTM A 615 GRADE 60, DEFORMED
MIXING	: ASTM C 94. READY MIX CONCRETE
AIR ENTRAINMENT	: ACI 318 AND ASTM C-260
AGGREGATE	: ASTM C 33 AND C 330 (FOR LIGHT WEIGHT)
  - CONCRETE STRENGTH AT 28 DAYS SHALL BE 4000 PSI MINIMUM
  - DO NOT FIELD BEND OR WELD TO GRADE 60 REINFORCED STEEL
  - PROVIDE AIR ENTRAINED CONCRETE WITH AIR CONTENT OF 5 TO 7% FOR ALL CONCRETE EXPOSED TO EARTH OR WEATHER.
  - MAXIMUM AGGREGATE SIZE: 3/4"
  - DO NOT USE IN ADMIXTURE, WATER OR OTHER CONSTITUENTS OF CONCRETE WHICH HAS CALCIUM CHLORIDE.
  - MINIMUM COVER FOR REINFORCING STEEL SHALL BE AS SHOWN ON PLAN.
  - FOUNDATION & EXCAVATION NOTES
    - SLAB SHALL BE CONSTRUCTED UPON UNDISTURBED, NATURAL SUBGRADE OR COMPACTED GRANULAR FILL WITH AN ASSUMED MINIMUM NET ALLOWABLE BEARING CAPACITY OF 1800 PSF.
    - ALL ORGANIC AND/OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM FOUNDATION & SLAB SUBGRADE & BACKFILL AREAS, & THEN BACKFILLED WITH ACCEPTABLE GRANULAR FILL COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT (ASTM D 1557).
    - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY WATER, FROST, OR ICE FROM PENETRATING ANY FOOTING OR STRUCTURAL SUBGRADE BEFORE & AFTER PLACING OF CONCRETE, AND UNTIL SUCH CONCRETE HAS FULLY CURED.

PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
 Information Technology, Inc.  
 GENERAL DYNAMICS  
 101 STATION DR  
 WESTWOOD, MA 02090

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: \_\_\_\_\_ Date: 9/06/2023

MARK	DATE	DESCRIPTION
1	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

**DANBURY EAST**  
 FA ID # 10035077

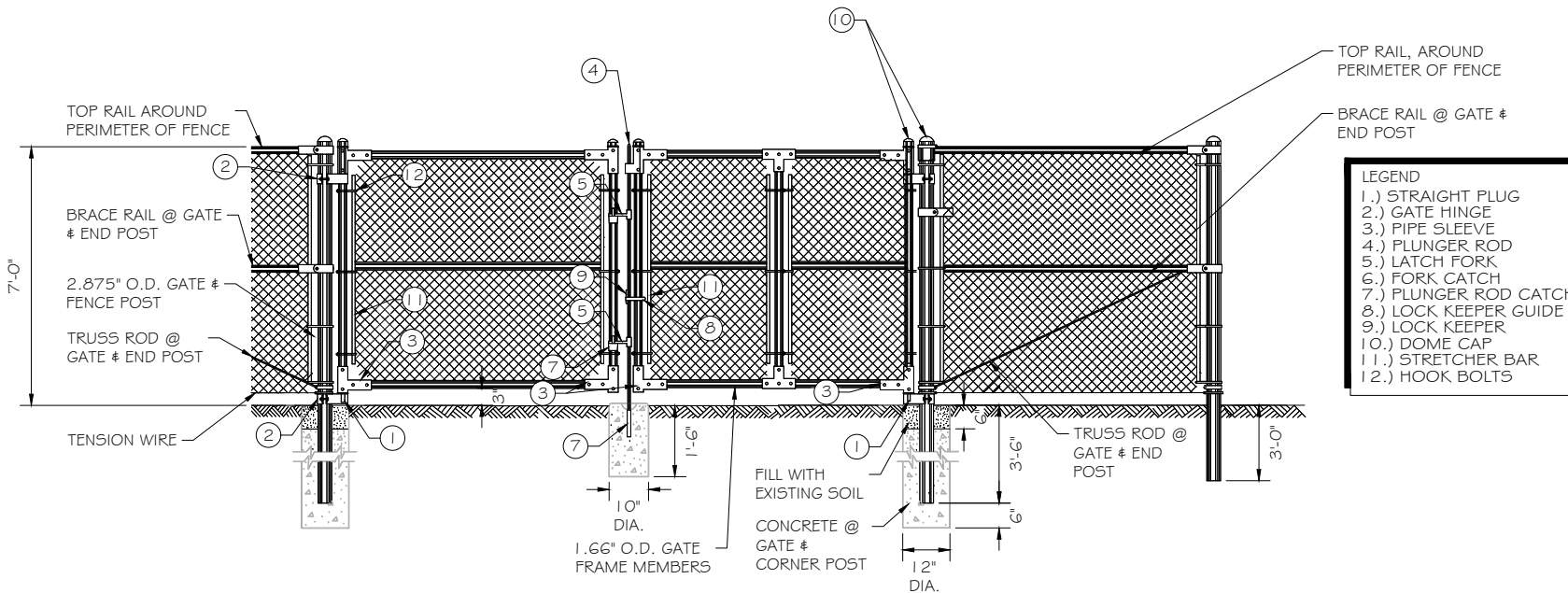
PROJECT INFORMATION:  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810

SHEET TITLE:  
**FOUNDATION DETAILS**

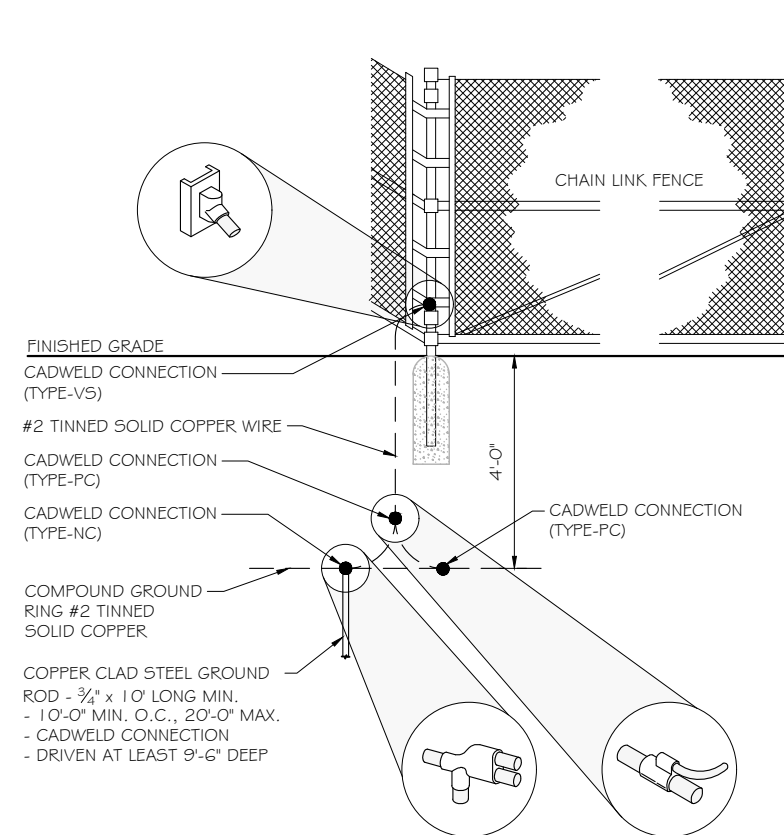
SCALE: NONE

PROJECT NUMBER: 57537  
 SHEET NUMBER: S-1





**FENCE CONSTRUCTION DETAIL** ①  
 SCALE: NTS



**FENCE GROUNDING DETAILS** ②  
 SCALE: NTS

1. SCOPE:
  - 1.1 THIS SECTION COVERS THE REQUIREMENTS FOR THE MATERIALS AND THE CONSTRUCTION OF SITE FENCING, GUY AREA FENCING, ACCESS ROAD GATES AND CATTLE GUARDS. SEE SITE PLAN AND DRAWINGS FOR DETAILS.
2. SPECIAL REQUIREMENTS
  - 2.1 ALL WIRE, FABRIC, FITTINGS, HARDWARE AND STEEL MEMBERS USED FOR SITE AREA FENCING, GUY ANCHOR FENCING AND ACCESS ROAD GATES SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED NON-CORROSIVE MATERIAL.
  - 2.2 ALL NON-CORROSIVE MATERIAL SHALL BE APPROVED BY THE USCC PROJECT MANAGER.
  - 2.3 ANY DAMAGE TO GALVANIZING OR NON-CORROSIVE COATING DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS. USCC INSTALLATION PRACTICE.
3. FENCE POSTS
  - 3.1 LOCATION OF CORNER POSTS SHALL BE DETERMINED FROM STAKES AND PROPERTY PINS INSTALLED BY THE REGISTERED LAND SURVEYOR UNDER CONTRACT TO USCC. IF THE STAKES ARE NOT PRESENT OR DO NOT CONFORM TO THE SITE PLAN, CONSULT WITH THE USCC PROJECT MANAGER.
  - 3.2 CORNERS AND GATE POST FOR SITE SHALL BE 2.875" O.D. GALVANIZED PIPE. UNLESS SPECIFIED OTHERWISE
  - 3.3 CORNER POSTS SHALL BE SET WITHIN ONE INCH (1") OF DIMENSIONS INDICATED ON THE SITE PLAN.
  - 3.4 FENCE POSTS SHALL BE VERTICALLY PLUMB IN ALL PLANES WITHIN 1/2 INCH (1/2").
  - 3.5 CORNER & GATE POST FOUNDATIONS SHALL BE A MINIMUM FOUR FEET (4') DEEP OR SIX INCHES (6") BELOW THE FROST LINE, WHICHEVER IS GREATER, WITH MINIMUM SIX INCH (6") CLEARANCE BETWEEN BOTTOM OF POST AND BOTTOM OF THE HOLE.
  - 3.6 CORNER POSTS AND GATE POSTS SPACING SHALL BE EQUAL WITH A TEN FOOT (10') MAXIMUM SPACING. GATE POST SPACING AND SPECIFIC LOCATIONS SHALL BE IN ACCORDANCE WITH SITE PLAN AND SHALL BE VERIFIED WITH USCC PROJECT MANAGER.
  - 3.7 ALL POSTS EXCEPT GATE POSTS SHALL BE CAPPED WITH A COMBINATION CAP AND BARB WIRE SUPPORTING ARM. GATE POSTS SHALL BE TWELVE INCHES (12") HIGHER THAN CORNER OR LINE POSTS TO PROVIDE FOR TERMINATION OF BARBED WIRE. GATE POSTS SHALL BE CAPPED WITH STANDARD CAP.
  - 3.8 ALL CORNER, GATE AND END PANELS SHALL HAVE MINIMUM 3/8" DIAMETER DIAGONAL TRUSS RODS WITH TUMBUCKLES. HORIZONTAL BRACE RODS, 1-1/2" INSIDE DIMENSION PIPE, SHALL BE INSTALLED BETWEEN POSTS.
  - 3.9 A TOP RAIL (1-3/8" I.D.) GALVANIZED PIPE SHALL BE INSTALLED BETWEEN POSTS.
  - 3.10 ALL FOUR CORNERS POSTS AND BOTH GATE POSTS SHALL BE CONNECTED TO THE SITE GROUNDING SYSTEM (REFER TO GROUNDING SYSTEM STANDARD).
4. FABRIC
  - 4.1 FENCE FABRIC SHALL BE SEVEN FOOT (7') HIGH, UNLESS OTHERWISE SPECIFIED, #9 GAUGE, GALVANIZED CHAIN LINK FABRIC WITH TWISTED TOP SELVAGE AND KNUCKLED BOTTOM SELVAGE.
  - 4.2 FABRIC SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE. A MAXIMUM THREE INCH (3") GAP SHALL BE PERMITTED BETWEEN FABRIC AND FINAL GRADE.
  - 4.3 FABRIC SHALL BE SECURED AT CORNER AND GATE POSTS USING STRETCHER BARS AND TENSION BAND CLIPS.
  - 4.4 FABRIC SHALL BE SECURED TO THE TOP RAIL AND BRACE RODS USING TIE CLIPS.
  - 4.5 THREE (3) RUNS OF 4-POINT GALVANIZED BARBED WIRE SHALL BE INSTALLED ALONG TOP OF FENCE. BARBED WIRE SHALL BE TENSIONED PER MANUFACTURER'S RECOMMENDATIONS TO PRESENT A NEAT APPEARANCE.
5. GATE
  - 5.1 LOCATION OF GATE SHALL CONFORM TO THE SITE PLAN. GATE SIZE SHALL BE 12'-0" WIDE. UNLESS SPECIFIED OTHERWISE
  - 5.2 ALL JOINTS BETWEEN TUBULAR GATE MEMBERS SHALL BE WELDED OR HEAVY FITTINGS PROVIDING RIGID AND WATERTIGHT CONNECTIONS.
  - 5.3 GATE HINGES SHALL PROVIDE FOR 180 DEGREE RADIUS GATE SWING. ALL HINGE NUTS SHALL BE ON THE INSIDE AND DOUBLE-NUT TO DETER UNAUTHORIZED ENTRY.
  - 5.4 GATE STOPS SHALL BE INSTALLED AND SHALL HOLD GATE IN "OPEN" POSITION.
  - 5.5 BARBED WIRE GUARD SHALL BE INSTALLED ON TOP OF GATES. ADEQUATE CLEARANCE SHALL BE MAINTAINED TO ALLOW GATE OPERATION.
  - 5.6 GATE SHALL BE INSTALLED PLUMB AND SHALL OPEN AND CLOSE FREELY.
  - 5.7 GATE POSTS SHALL NOT BE SHARED AS A CORNER POST.
  - 5.8 THE FOLLOWING GATE TYPE SHALL BE PROVIDED AND INSTALLED AS INDICATED ON THE SITE PLAN AND VERIFIED WITH THE PROJECT MANAGER.

PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
 Information Technology, Inc.  
 GENERAL DYNAMICS  
 101 STATION DR  
 WESTWOOD, MA 02090

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: \_\_\_\_\_ Date: 9/06/2023

MARK	DATE	DESCRIPTION
J	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

PROJECT TITLE:  
**DANBURY EAST**  
**FA ID # 10035077**

PROJECT INFORMATION:  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810

SHEET TITLE:  
**FENCE DETAILS**

SCALE: NONE

PROJECT NUMBER	57537
SHEET NUMBER	5-2

DIAGRAM CIRCUIT SCHEDULE

NO.	FROM	TO	WIRES	GROUND	CONDUIT SIZE	FUNCTION
1	NORMAL POWER SOURCE	AUTOMATIC TRANSFER SWITCH	(3) 3/0	(1) #4	2"	NORMAL POWER FEEDER TO ATS (CUT BACK EXISTING)
2	AUTOMATIC TRANSFER SWITCH	LOAD CENTER	(3) 3/0	(1) #4	2"	POWER FEEDER FROM ATS TO PANEL
3	GENERATOR	AUTOMATIC TRANSFER SWITCH	(3) 3/0	(1) #4	2"	EMERGENCY POWER FEEDER TO ATS
4	AUTOMATIC TRANSFER SWITCH	GENERATOR	(2) #10	(1) #10	1"	START CIRCUIT
5	LOAD CENTER (DISTRIBUTION CENTER)	GENERATOR, ATS	(2) #12 (2) #12 (2) #12	(1) #12 (1) #12 (1) #12	1" 1" 1"	CIRCUIT FOR GENERATOR BLOCK HEATER & BATTERY HEATER CIRCUIT FOR BATTERY CHARGER CIRCUIT FOR ATS
6	GENERATOR	AUTOMATIC TRANSFER SWITCH	1 2-PAIR 24 AWG OR 2EA 6-PAIR CAT5	N/A	1"	ALARM CABLES (1) 12 PAIR 24 AWG. PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES
7	AUTOMATIC TRANSFER SWITCH	ALARM BLOCK	1 2-PAIR 24 AWG OR 2EA 6-PAIR CAT5	N/A	1"	ALARM CABLES (1) 12 PAIR 24 AWG (RUN TO PURCELL CABINET & INTO ALARM BOX). PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES

CIRCUIT DETAIL

SCALE: NTS

1

ALARM WIRE IDENTIFICATION CHART

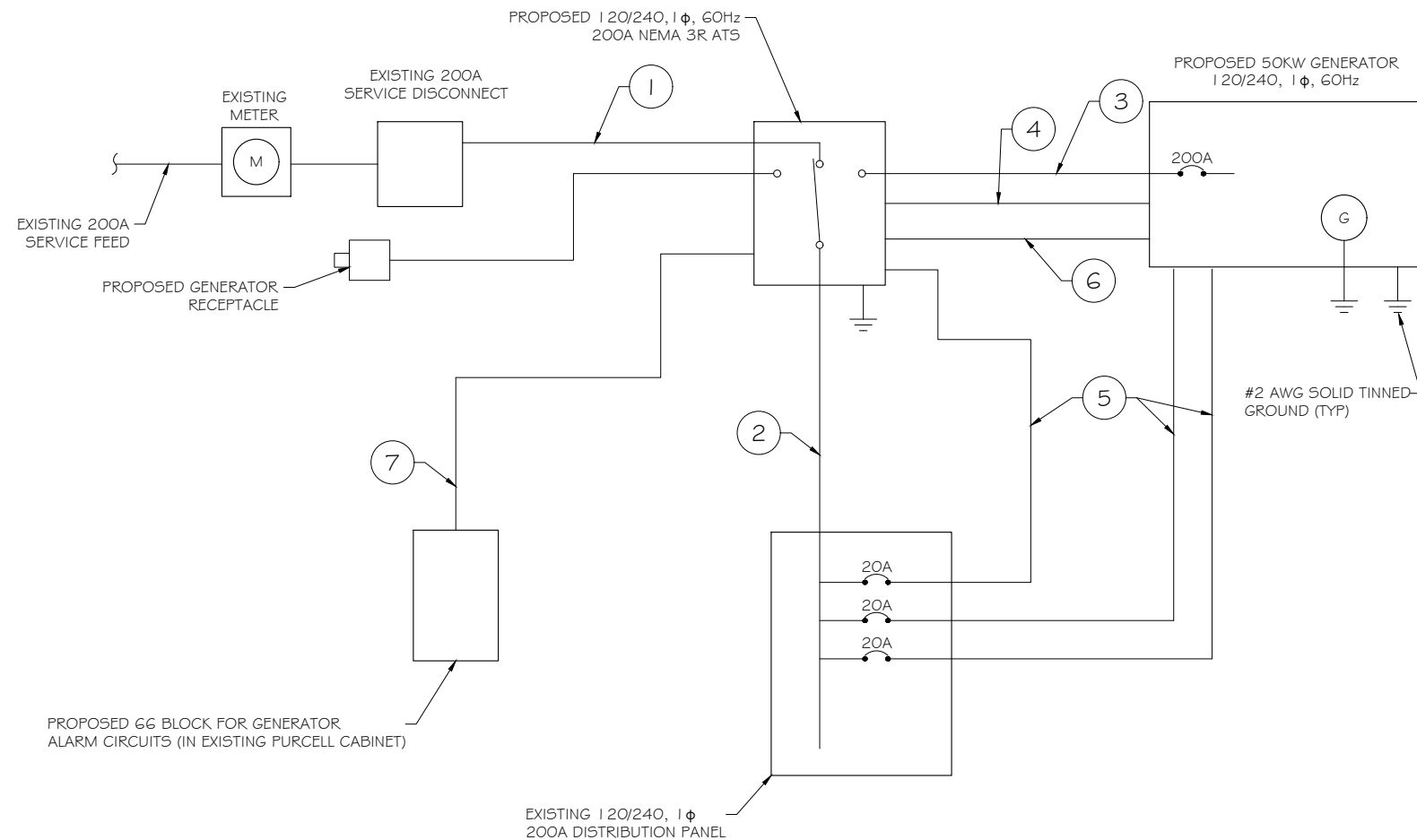
WIRE	ALARM
BROWN BROWN / WHITE	GENERATOR RUNNING
GREEN GREEN / WHITE	CRITICAL FAULT
BLUE BLUE / WHITE	MINOR FAULT
ORANGE	LOW FUEL
ORANGE / WHITE	FUEL LEAK
BROWN *	
BROWN / WHITE *	

\*CAT5 CABLE ONLY, FROM 2ND CAT5 CABLE

ALARM WIRING IDENTIFICATION CHART

SCALE: NTS

2



PROPOSED WIRING DIAGRAM

SCALE: NTS

3

PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
Information Technology, Inc.

GENERAL DYNAMICS  
101 STATION DR  
WESTWOOD, MA 02090

Certification & Seal:  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: *[Signature]* Date: 9/06/2023

MARK	DATE	DESCRIPTION
1	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

PROJECT TITLE:  
**DANBURY EAST**  
FA ID # 10035077

PROJECT INFORMATION:  
48 NEWTOWN ROAD  
DANBURY, CT 06810

SHEET TITLE:  
**WIRING DETAILS**

SCALE: NONE

PROJECT NUMBER: 57537  
SHEET NUMBER: E-1

AC Distribution Panel - Layout Diagram									
Breaker Position	Breaker Type	On/Off	Size	Circuit Label	Breaker Position	Breaker Type	On/Off	Size	Circuit Label
1	1P	ON	20	BATTERY CHARGER	2	1P	ON	20	RECEPTACLE
3	1P	ON	20	BLOCK HEATER	4	1P	ON	20	SMOKE DETECTOR
5	1P	ON	20	ATS	6	2P	ON	60	UNIT 2
7	1P	ON	20	INTERIOR LIGHT	8				
9	1P	ON	20	RECEPTACLE	10	2P	ON	60	UNIT 1
11	1P	ON	20	SPARE	12				
13	2P	ON	30	RECTIFIER #1	14	2P	ON	30	RECTIFIER #2
15					16	2P	ON	30	RECTIFIER #3
17	2P	ON	30	RECTIFIER #3	18	2P	ON	30	RECTIFIER #4
19					20				
21	2P	ON	30	RECTIFIER #5	22	2P	ON	30	RECTIFIER
23					24				
25	2P	ON	30	AH-1	26	1P	ON	20	SPARE
27					28	1P	ON	20	SPARE
29	2P	ON	30	AH-2	30	1P	ON	20	SPARE
31					32	2P	ON	30	DC PLANT CIRCUIT #3
33	2P	ON	30	DC PLANT CIRCUIT #1	34				
35					36	2P	ON	30	DC PLANT CIRCUIT #4
37	2P	ON	30	DC PLANT CIRCUIT #2	38				
39					40	1P	ON	20	RECEPTACLE
41	1P	ON		SPARE	42	1P	ON	20	RECEPTACLE

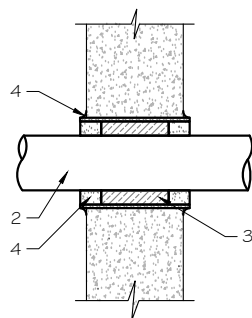
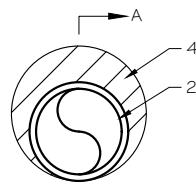
PROPOSED 20A BREAKERS FOR ATS, BLOCK HEATER AND BATTERY CHARGER ON NEW AT&T GENERATOR.

**EXISTING PANEL SCHEDULE**

SCALE: NTS



NOTE:  
 1. IF EXISTING CONSTRUCTION VARIES FROM THIS DETAIL, AN EQUAL 3-HR U.L. PENETRATION APPROPRIATE FOR THE EXISTING WALL TYPE SHALL BE CONSTRUCTED  
 2. GC SHALL USE NON-SHRINKING CAULK TO WEATHERSEAL ALL PENETRATIONS INTO OR THRU SHELTER WALL.



U.L. SYSTEM NO. C-AJ-1150  
 CONDUIT THROUGH BEARING WALL SIMILAR TO U.L. DESIGN NO. U902  
 F RATING = 3 HR  
 T RATING = 0 HR

- FLOOR OR WALL ASSEMBLY : MINIMUM 4-1/2" THICK REINFORCED LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS\*. MAX DIAMETER OF OPENING IS 4". SEE CONCRETE BLOCKS (CATZ) CATEGORY IN THE FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.
- THROUGH PENETRATIONS : ONE METALLIC PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL ASSEMBLY. THE ANNULAR SPACE SHALL BE MINIMUM 0". (POINT CONTACT) TO MAXIMUM 1-3/8". THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES OR CONDUITS MAY BE USED:
  - STEEL PIPE-NOMINAL 6" DIAMETER (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE.
  - IRON PIPE-NOMINAL 6" DIAMETER (OR SMALLER) CAST OR DUCTILE IRON PIPE.
  - CONDUIT - NOMINAL 4" DIAMETER (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING OR NOMINAL 3-1/2" DIAMETER (OR SMALLER) STEEL CONDUIT.
- PACKING MATERIAL: MINIMUM 6" THICKNESS OF MIN 4.0 PCF MINERAL WOOL BATTING INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.
- FILL, VOID, OR CAVITY MATERIAL\*: SEALANT: MINIMUM 1/4" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH WITH TOP SURFACE OF FLOOR AND WITH BOTH SURFACES OF WALL. AT THE POINT CONTACT LOCATION BETWEEN PIPE AND CONCRETE, A MINIMUM 1/2" DIAMETER BEAD OF FILL MATERIAL SHALL BE APPLIED AT THE CONCRETE/PIPE INTERFACE ON THE TOP SURFACE OF FLOOR AND ON BOTH SURFACES OF WALL. W RATING APPLIES ONLY WHEN CP6015 OR CP604 SEALANT IS USED.

HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC. : CP6015, CP604, CP606, OR F5-ONE SEALANT.

\* BEARING THE UL CLASSIFICATION MARK.

**OUTER WALL PENETRATION DETAIL (IF APPLICABLE)**

SCALE: NTS



 <b>Type GR</b> CABLE TAP TO TOP OF GROUND ROD	 <b>Type GT</b> THROUGH CABLE TO TOP OF GROUND ROD.	 <b>Type GY</b> THROUGH CABLE TO SIDE OF GROUND ROD	 <b>Type HS</b> HORIZONTAL CABLE TAP TO HORIZONTAL STEEL SURFACE OR PIPE. CABLE OFF SURFACE.	 <b>Type TA</b> TEE OF HORIZONTAL RUN AND TAP CABLES.
 <b>Type VN</b> HORIZONTAL CABLE TAP TO VERTICAL STEEL SURFACE OR THE SIDE OF HORIZONTAL PIPE	 <b>Type VS</b> CABLE TAP DOWN AT 45° TO VERTICAL STEEL SURFACE OR SIDE OF HORIZONTAL OR VERTICAL PIPE.	 <b>Type VV</b> THROUGH VERTICAL CABLE TO VERTICAL STEEL SURFACE OR TO THE SIDE OF EITHER HORIZONTAL OR VERTICAL PIPE	 <b>Type GR</b> CABLE TAP TO TOP OF GROUND ROD	

NOTE:  
 CONTRACTOR TO LABEL WIRES WITH P-TOUCH OR SIMILAR LABELS ONLY. ABSOLUTELY NO HANDWRITTEN LABELS.

\*CONTRACTOR TO UTILIZE NEXT AVAILABLE IN SEQUENCE SINGLE BREAKER POSITION FOR GENERATOR, BATTERY CHARGER, BATTERY HEATER AND BLOCK HEATER

**CADWELD DETAILS**

SCALE: NTS



employee-owned  
 (608) 643-4100 www.ramaker.com

PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
 Information Technology, Inc.  
 GENERAL DYNAMICS  
 101 STATION DR  
 WESTWOOD, MA 02090

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: \_\_\_\_\_ Date: 9/06/2023

MARK	DATE	DESCRIPTION
1	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

PROJECT TITLE:  
**DANBURY EAST**  
**FA ID # 10035077**

PROJECT INFORMATION:  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810

SHEET TITLE:  
**PANEL AND PENETRATION DETAILS**

SCALE: NONE

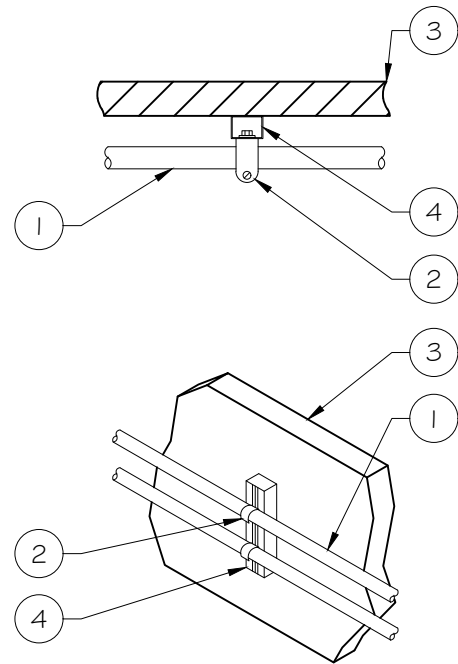
PROJECT NUMBER: 57537  
 SHEET NUMBER: E-2



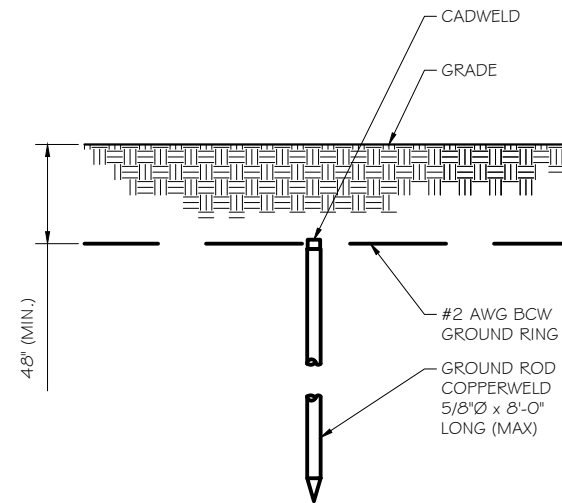
- 1 CONDUIT (TYP)
- 2 BUTTERFLY CLAMP AS REQUIRED
- 3 EXISTING WALL/CEILING
- 4 VERTICAL "UNISTRUT" P1000 T SERIES LENGTH BASED ON NUMBER OF CONDUIT TO BE MOUNTED

WALL CONSTRUCTION TYPE	USE
HOLLOW	3/8" DIA. TOGGLE BOLT
HOLLOW, AT STUD	3/8" DIA. LAG SCREW
CONCRETE BLOCK (HOLLOW)	3/8" DIA. HILTI HY-20 WITH SCREEN, MINIMUM EMBEDMENT 2-1/2"
CONCRETE (SOLID)	3/8" DIA. HILTI HY-150 WITH SCREEN, MINIMUM EMBEDMENT 2-1/2"

NOTE: USE GALVANIZED OR STAINLESS STEEL HARDWARE FOR WALL MOUNT & CONNECTIONS OF CHANNELS SPACE UNITS @ 5'-0" O.C. LENGTH OF RUN



**CONDUIT WALL MOUNT**  
 SCALE: NTS 1

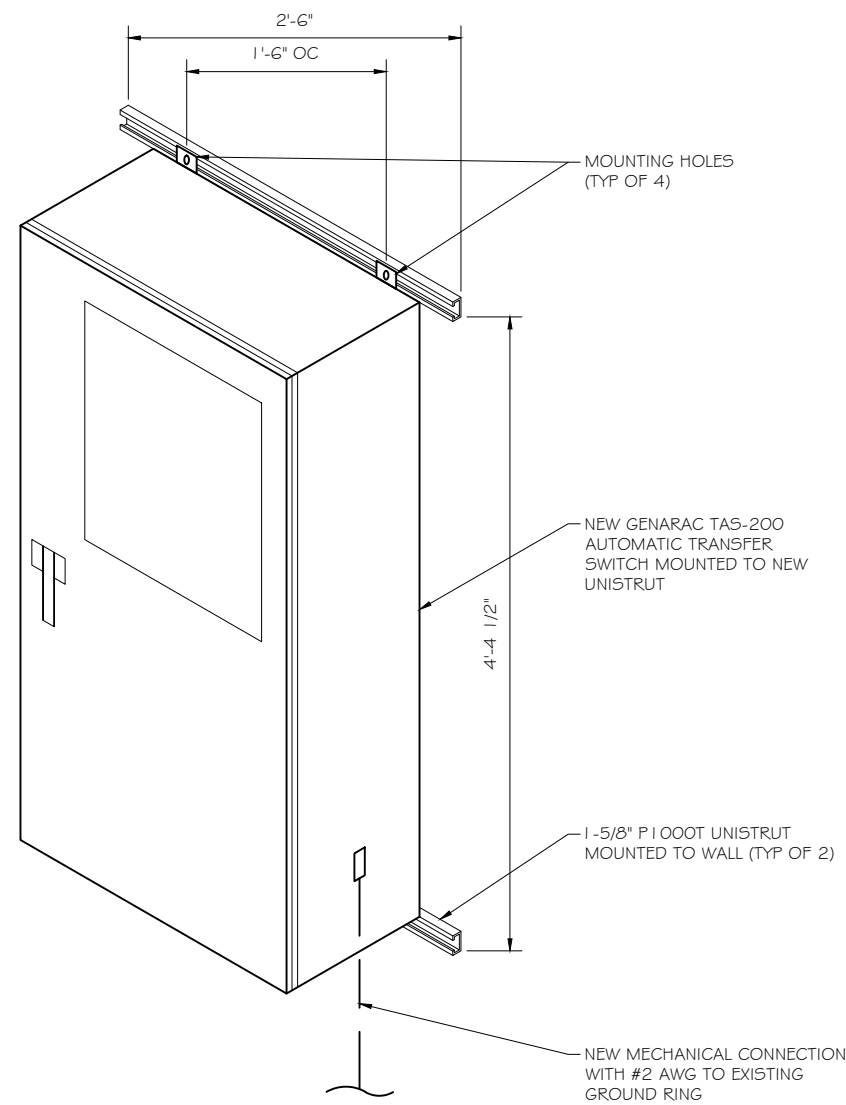


- NOTE:
- GROUND RODS MAY BE:
    - COPPER CLAD STEEL
    - SOLID COPPER
  - GROUND RODS SHALL HAVE A MAXIMUM SPACING TWICE THE LENGTH OF ROD
  - SEE RESISTIVITY REPORT FOR VERIFICATION AS AVAILABLE
  - A LARGER CONDUCTOR SHALL BE REQUIRED IN AREAS HIGHLY PRONE TO LIGHTNING AND/OR AREAS WITH HIGHLY ACIDIC SOIL
  - GROUND RODS INSTALLED WITHIN CLOSE PROXIMITY TO TOWER OR WHEN SOIL IS AT OR BELOW 2,000 OHM-CM, SHALL BE GALVANIZED TO PREVENT GALVANIC CORROSION OF TOWER, (SEE ANSI/TIA-EIA-222-G)
  - PROVIDE (1) GROUND LEAD TO EACH SIDE OF THE GENERATOR

**GROUND ROD DETAIL**  
 SCALE: NTS 2

WALL CONSTRUCTION TYPE	USE
HOLLOW	3/8" DIA. TOGGLE BOLT
HOLLOW, AT STUD	3/8" DIA. LAG SCREW
CONCRETE BLOCK (HOLLOW)	7/16" DIA. HILTI HY-20 WITH SCREEN MINIMUM EMBEDMENT 2-1/2"
CONCRETE (SOLID)	7/16" DIA. HILTI HY-150 WITH SCREEN MINIMUM EMBEDMENT 2-1/2"

- NOTE:
- USE GALVANIZED OR STAINLESS STEEL HARDWARE FOR WALL MOUNT AND CONNECTION OF CHANNELS
  - GC SHALL USE NON-SHRINKING CAULK TO WEATHER SEAL ALL PENETRATIONS INTO OR THROUGH SHELTER WALL



**GENERAC ATS MOUNTING DETAIL**  
 SCALE: NTS 3

RAMAKER  
 employee-owned  
 (608) 643-4100 www.ramaker.com

PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
 Information Technology, Inc.  
 GENERAL DYNAMICS  
 101 STATION DR  
 WESTWOOD, MA 02090

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: *[Signature]* Date: 9/06/2023

MARK	DATE	DESCRIPTION
J	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

PROJECT TITLE:  
**DANBURY EAST**  
**FA ID # 10035077**

PROJECT INFORMATION:  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810

SHEET TITLE:  
**ATS, CONDUIT & GROUND ROD**  
**DETAILS**

SCALE: NONE

PROJECT NUMBER: 57537  
 SHEET NUMBER: E-3

**SD050 | 4.5L | 50 kW**  
**INDUSTRIAL DIESEL GENERATOR SET**  
 EPA Certified Stationary Emergency



**Standby Power Rating**  
 50 kW, 63 kVA, 60 Hz

**Prime Power Rating\***  
 45 kW, 56 kVA, 60 Hz

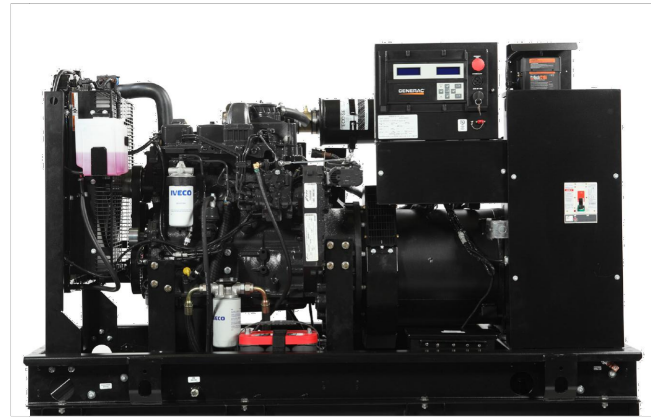


Image used for illustration purposes only



\*EPA Certified Prime ratings are not available in the US or its Territories

**Codes and Standards**

Not all codes and standards apply to all configurations. Contact factory for details.

- UL2200, UL6200, UL1236, UL489, UL142
- CSA C22.2, ULC S601
- BS5514 and DIN 6271
- SAE J1349
- NFPA 37, 70, 99, 110
- NEC700, 701, 702, 708
- ISO 3046, 7637, 8528, 9001
- NEMA ICS10, MG1, 250, ICS6, AB1
- ANSI C62.41
- IBC 2009, CBC 2010, IBC 2012, ASCE 7-05, ASCE 7-10, ICC-ES AC-156 (2012)

**Powering Ahead**

For over 60 years, Generac has provided innovative design and superior manufacturing.

Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software.

Generac gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application.

Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial applications under adverse conditions.

Generac is committed to ensuring our customers' service support continues after their generator purchase.

**SD050 | 4.5L | 50 kW**  
**INDUSTRIAL DIESEL GENERATOR SET**  
 EPA Certified Stationary Emergency



**STANDARD FEATURES**

**ENGINE SYSTEM**

- Engine Block Heater
- Oil Drain Extension
- Air Cleaner
- Level 1 Fan and Belt Guards (Open Set Only)
- Stainless Steel Flexible Exhaust Connection
- Radiator Duct Adapter (Open Set Only)

**Fuel System**

- Fuel Lockoff Solenoid
- Secondary Fuel Filter

**Cooling System**

- Closed Coolant Recovery System
- UV/Ozone Resistant Hoses
- Factory-Installed Radiator
- Radiator Drain Extension

**Electrical System**

- Battery Charging Alternator
- Battery Cables
- Battery Tray
- Rubber-Booted Engine Electrical Connections
- Solenoid Activated Starter Motor

**ALTERNATOR SYSTEM**

- UL2200 GENprotect™
- Class H Insulation Material
- 2/3 Pitch
- Skewed Stator
- Brushless Excitation
- Sealed Bearing
- Full Load Capacity Alternator
- Protective Thermal Switch

**GENERATOR SET**

- Genset Vibration Isolation
- Separation of Circuits - High/Low Voltage
- Separation of Circuits - Dual Breakers
- Standard Factory Testing
- 2 Year Limited Warranty (Standby Rated Units)
- 1 Year Limited Warranty (Prime Rated Units)

**ENCLOSURE (If Selected)**

- Rust-Proof Fasteners with Nylon Washers to Protect Finish
- High Performance Sound-Absorbing Material (Sound Attenuated Enclosures)
- Gasketed Doors
- Upward Facing Discharge Hoods (Radiator and Exhaust)
- Stainless Steel Lift Off Door Hinges
- Stainless Steel Lockable Handles
- RhinoCoat™ - Textured Polyester Powder Coat Paint

**FUEL TANKS (If Selected)**

- UL 142, ULC S601
- Double Wall
- Vents
- Sloped Top
- Sloped Bottom
- Factory Pressure Tested - 2 psi
- Rupture Basin Alarm
- Fuel Level
- Check Valve In Supply and Return Lines
- RhinoCoat™ - Textured Polyester Powder Coat Paint
- Stainless Steel Hardware

**CONTROL SYSTEM**



**Digital H Control Panel- Dual 4x20 Display**

**Program Functions**

- Programmable Crank Limiter
- 7-Day Programmable Exerciser
- Special Applications Programmable Logic Controller
- RS-232/485 Communications
- All Phase Sensing Digital Voltage Regulator
- 2-Wire Start Capability
- Date/Time Fault History (Event Log)
- Isochronous Governor Control

- Waterproof/Sealed Connectors
- Audible Alarms and Shutoffs
- Not in Auto (Flashing Light)
- Auto/Off/Manual Switch
- E-Stop (Red Mushroom-Type)
- NFPA110 Level I and II (Programmable)
- Customizable Alarms, Warnings, and Events
- Modbus® Protocol
- Predictive Maintenance Algorithm
- Sealed Boards
- Password Parameter Adjustment Protection
- Single Point Ground
- 16 Channel Remote Trending
- 0.2 msec High Speed Remote Trending
- Alarm Information Automatically Annunciated on the Display

**Full System Status Display**

- Power Output (kW)
- Power Factor
- kW Hours, Total, and Last Run
- Real/Reactive/Apparent Power
- All Phase AC Voltage
- All Phase Currents

- Oil Pressure
- Coolant Temperature
- Coolant Level
- Engine Speed
- Battery Voltage
- Frequency

**Alarms and Warnings**

- Oil Pressure
- Coolant Temperature
- Coolant Level
- Engine Overspeed
- Battery Voltage
- Alarms and Warnings Time and Date Stamped
- Snap Shots of Key Operation Parameters During Alarms and Warnings
- Alarms and Warnings Spelled Out (No Alarm Codes)

employee-owned  
 (608) 643-4100 www.ramaker.com

PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
 Information Technology, Inc.

GENERAL DYNAMICS  
 101 STATION DR  
 WESTWOOD, MA 02090

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: \_\_\_\_\_ Date: 9/06/2023

MARK	DATE	DESCRIPTION
I	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

PROJECT TITLE:  
**DANBURY EAST**  
**FA ID # 10035077**

PROJECT INFORMATION:  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810

SHEET TITLE:  
**GENERAC 50KW GENERATOR SPECIFICATIONS**

SCALE: NONE

PROJECT NUMBER: 57537  
 SHEET NUMBER: E-4

SPEC SHEET

1 of 6

SPEC SHEET

2 of 6





**SD050 | 4.5L | 50 kW**  
**INDUSTRIAL DIESEL GENERATOR SET**  
 EPA Certified Stationary Emergency



**OPERATING DATA**

**POWER RATINGS**

	Standby	
Single-Phase 120/240 VAC @1.0pf	50 kW	Amps: 208
Three-Phase 120/208 VAC @0.8pf	50 kW	Amps: 173
Three-Phase 120/240 VAC @0.8pf	50 kW	Amps: 150
Three-Phase 277/480 VAC @0.8pf	50 kW	Amps: 75
Three-Phase 346/600 VAC @0.8pf	50 kW	Amps: 60

**MOTOR STARTING CAPABILITIES (skVA)**

skVA vs. Voltage Dip			
277/480 VAC	30%	208/240 VAC	30%
K0050124Y21	98	K0050124Y21	75
K0060124Y21	124	K0060124Y21	95

**FUEL CONSUMPTION RATES\***

Fuel Pump Lift- ft (m)	Diesel - gph (Lph)	
	Percent Load	Standby
3 (1)	25%	1.2 (4.4)
	50%	2.3 (8.5)
	75%	3.2 (12.2)
Total Fuel Pump Flow (Combustion + Return) - gph (Lph)	100%	4.2 (15.8)
		13.6 (51.5)

\* Fuel supply installation must accommodate fuel consumption rates at 100% load.

**COOLING**

	Standby	
Coolant Flow	gpm (Lpm)	32.7 (123.8)
Coolant System Capacity	gal (L)	4.5 (17.4)
Heat Rejection to Coolant	BTU/hr (kW)	121,000 (35.5)
Inlet Air	scfm (m <sup>3</sup> /min)	6,360 (180)
Maximum Operating Radiator Air Temperature	°F (°C)	122 (50)
Maximum Ambient Temperature (Before Derate)		See Bulletin No. 0199270SSD
Maximum Additional Radiator Backpressure	in H <sub>2</sub> O (kPa)	0.5 (0.12)

**COMBUSTION AIR REQUIREMENTS**

	Standby
Flow at Rated Power - scfm (m <sup>3</sup> /min)	205 (5.8)

**ENGINE**

	Standby
Rated Engine Speed	RPM 1,800
Horsepower at Rated kW**	hp 80
Piston Speed	ft/min (m/min) 1,559 (475)
BMEP	psi (kPa) 128.5 (886)

**EXHAUST**

	Standby
Exhaust Flow (Rated Output)	scfm (m <sup>3</sup> /min) 497 (14.1)
Maximum Allowable Backpressure (Post Silencer)	inHg (kPa) 1.5 (5.1)
Exhaust Temperature (Rated Output - Post Turbo)	°F (°C) 850 (454)

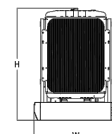
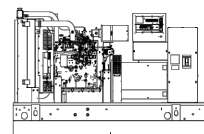
\*\* Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

Deration - Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions. Please contact a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO3046, BS5514, ISO8528, and DIN6271 standards. Standby - See Bulletin 10000018933 Prime - See Bulletin 10000018926

**SD050 | 4.5L | 50 kW**  
**INDUSTRIAL DIESEL GENERATOR SET**  
 EPA Certified Stationary Emergency

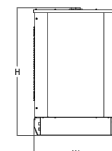
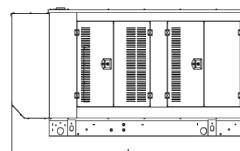


**DIMENSIONS AND WEIGHTS\***



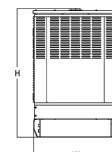
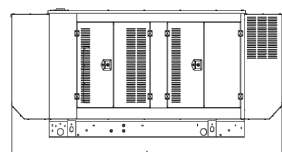
**OPEN SET**

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)
No Tank	-	76.5 (1,942) x 37.4 (950) x 52.6 (1,335)	2,141 - 2,488 (941 - 1,128)
12	54 (204)	76.5 (1,942) x 37.4 (950) x 65.6 (1,665)	2,621 - 2,968 (1,159 - 1,346)
31	132 (500)	76.5 (1,942) x 37.4 (950) x 77.6 (1,970)	2,851 - 3,198 (1,263 - 1,450)
50	211 (799)	76.5 (1,942) x 37.4 (950) x 89.6 (2,275)	3,060 - 3,407 (1,358 - 1,545)
71	300 (1,136)	92.9 (2,360) x 37.4 (950) x 93.1 (2,364)	3,123 - 3,470 (1,386 - 1,573)
121	510 (1,931)	116.5 (2,960) x 46.5 (1,180) x 95.0 (2,411)	3,506 - 3,853 (1,562 - 1,749)



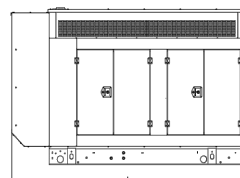
**WEATHER PROTECTED ENCLOSURE**

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)
No Tank	-	94.8 (2,409) x 38.0 (965) x 49.5 (1,258)	Steel: 2,588 - 3,017 (1,174 - 1,368) Aluminum: 2,366 - 2,748 (1,073 - 1,246)
12	54 (204)	94.8 (2,409) x 38.0 (965) x 62.5 (1,588)	Steel: 3,068 - 3,497 (1,392 - 1,568) Aluminum: 2,846 - 3,228 (1,291 - 1,464)
31	132 (500)	94.8 (2,409) x 38.0 (965) x 74.5 (1,893)	Steel: 3,298 - 3,727 (1,496 - 1,690) Aluminum: 3,076 - 3,458 (1,395 - 1,568)
50	211 (799)	94.8 (2,409) x 38.0 (965) x 86.5 (2,198)	Steel: 3,507 - 3,936 (1,591 - 1,785) Aluminum: 3,285 - 3,667 (1,490 - 1,663)
71	300 (1,136)	94.8 (2,409) x 38.0 (965) x 90.0 (2,287)	Steel: 3,570 - 3,999 (1,619 - 1,813) Aluminum: 3,348 - 3,730 (1,518 - 1,691)
121	510 (1,931)	116.5 (2,960) x 46.5 (1,180) x 91.9 (2,334)	Steel: 3,953 - 4,382 (1,795 - 1,989) Aluminum: 3,731 - 4,113 (1,694 - 1,867)



**LEVEL 1 SOUND ATTENUATED ENCLOSURE**

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)
No Tank	-	112.5 (2,857) x 38.0 (965) x 49.5 (1,258)	Steel: 2,668 - 3,178 (1,210 - 1,441) Aluminum: 2,366 - 2,748 (1,073 - 1,246)
12	54 (204)	112.5 (2,857) x 38.0 (965) x 62.5 (1,588)	Steel: 3,148 - 3,658 (1,428 - 1,659) Aluminum: 2,846 - 3,228 (1,291 - 1,464)
31	132 (500)	112.5 (2,857) x 38.0 (965) x 74.5 (1,893)	Steel: 3,378 - 3,888 (1,532 - 1,763) Aluminum: 3,076 - 3,458 (1,395 - 1,568)
50	211 (799)	112.5 (2,857) x 38.0 (965) x 86.5 (2,198)	Steel: 3,587 - 4,097 (1,627 - 1,858) Aluminum: 3,285 - 3,667 (1,490 - 1,663)
71	300 (1,136)	112.5 (2,857) x 38.0 (965) x 90.0 (2,287)	Steel: 3,650 - 4,160 (1,655 - 1,886) Aluminum: 3,348 - 3,730 (1,518 - 1,691)
121	510 (1,931)	116.5 (2,960) x 46.5 (1,180) x 91.9 (2,334)	Steel: 4,033 - 4,543 (1,831 - 2,062) Aluminum: 3,731 - 4,113 (1,694 - 1,867)



**LEVEL 2 SOUND ATTENUATED ENCLOSURE**

Run Time - Hours	Usable Capacity - Gal (L)	L x W x H - in (mm)	Weight - lbs (kg)
No Tank	-	94.8 (2,409) x 38.0 (965) x 62.0 (1,573)	Steel: 2,620 - 3,306 (1,297 - 1,499) Aluminum: 2,466 - 2,872 (1,118 - 1,303)
12	54 (204)	94.8 (2,409) x 38.0 (965) x 75.0 (1,903)	Steel: 3,300 - 3,786 (1,497 - 1,717) Aluminum: 2,946 - 3,352 (1,336 - 1,521)
31	132 (500)	94.8 (2,409) x 38.0 (965) x 87.0 (2,208)	Steel: 3,530 - 4,016 (1,601 - 1,821) Aluminum: 3,176 - 3,582 (1,440 - 1,625)
50	211 (799)	94.8 (2,409) x 38.0 (965) x 99.0 (2,513)	Steel: 3,739 - 4,225 (1,696 - 1,916) Aluminum: 3,385 - 3,791 (1,535 - 1,720)
71	300 (1,136)	94.8 (2,409) x 38.0 (965) x 102.5 (2,602)	Steel: 3,802 - 4,288 (1,724 - 1,944) Aluminum: 3,448 - 3,854 (1,563 - 1,748)
121	510 (1,931)	116.5 (2,960) x 46.5 (1,180) x 104.4 (2,649)	Steel: 4,185 - 4,671 (1,900 - 2,120) Aluminum: 3,831 - 4,237 (1,739 - 1,924)

\* All measurements are approximate and for estimation purposes only. Specification characteristics may change without notice. Please contact a Generac Power Systems Industrial Dealer for detailed installation drawings.

Generac Power Systems, Inc. | P.O.Box 8 | Waukesha, WI 53189  
 P: (262) 544-4811 ©2020 Generac Power Systems, Inc. All rights reserved. All specifications are subject to change without notice.

Part No. 0191740SBY  
 Rev. F 04/14/2020

SPEC SHEET

5 of 6



PREPARED FOR:



CONSULTANT:  
**GENERAL DYNAMICS**  
 Information Technology, Inc.

GENERAL DYNAMICS  
 101 STATION DR  
 WESTWOOD, MA 02090

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: *[Signature]* Date: 9/06/2023

MARK	DATE	DESCRIPTION
I	09/07/23	REVISED CDs

ISSUE PHASE	FINAL	DATE ISSUED	09/07/2023
-------------	-------	-------------	------------

PROJECT TITLE:  
**DANBURY EAST**  
**FA ID # 10035077**

PROJECT INFORMATION:  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810

SHEET TITLE:  
**GENERAC 50KW GENERATOR SPECIFICATIONS**

SCALE: NONE

PROJECT NUMBER: 57537  
 SHEET NUMBER: E-4.2

**TTS Series  
Switches**  
**200 Amps  
600 VAC**

**GENERAC** | **INDUSTRIAL  
POWER**

**TAS200**

**200A Automatic Transfer Switch**

**TAS200  
TAS200**

1 of 3 2 of 3



Image used for illustration purposes only.

**The Generac TAS200 Automatic Transfer Switch**

- Flexibility for multiple application installations
- Multiple generator support with 3 source panel
- Designed with a 6 inch touch screen controller for improved user interface
- Camlock functionality for mobile generator sources

**Features**

- **STEEL CONSTRUCTION**
- **NEMA 3R ENCLOSURE WITH HINGED "PADLOCKING" DOORS**
- **STAINLESS STEEL HARDWARE**
- **CAMLOCK "QUICK CONNECT" CAPABILITY**
- **OPERATIONAL STATUS VIEW VIA 6 INCH TOUCH SCREEN**
- **TEST FUNCTION - FAST TEST & NORMAL TEST**
- **UL1008 LISTED - FOR EMERGENCY SYSTEMS**

**Optional Features**

- **EXTENDED WARRANTY**
- **THREE-PHASE VOLTAGE CONFIGURATIONS**

**Codes and Standards**

Generac products are designed to the following standards:



UL1008,  
UL508,  
UL50,  
CSA C22.2 No. 178



NEC 700, 701 and 702



NEMA 250

**Application and Engineering Data**

Cabinet Specifications	
Dimensions	24"W x 12"D x 48"H
Weight	210 lbs.
Construction	Single Chamber with Main Door
	Steel
	UL Type / NEMA 3R Rated
	Powder Coat Finish for Corrosion Resistance
	C-UL-US Listed - Automatic Transfer Switch
Mounting Options	Stainless Steel Hardware
	3-Point Latching System with Pad-Lockable Handles
Installed	Wall H-frame Pre-wired alarm terminal strip

Electrical Specifications	
Voltage/Phase/Amps	120/240 Single-Phase, 200A 120/208 3-Phase, 200A 120/240 3-Phase, 200A
Breaker	Eaton 200 amp Utility Breaker Eaton 200 amp Generator Breaker
Maximum RMS Symmetrical Fault Current - Amps	25k AIC Rated
Protective Device Continuous Rating (Max) Amp	200
Input to Generator	350MCM - #6 AWG
Output to Site	350MCM - #6 AWG
Generator Annunciator Connector	Deutsch DTM04-12PA-L012
Alarm Terminal Board	Generator Run Alarm
	Generator Fail - Shutdown Alarm
	Generator Fail - Non Shutdown Alarm
	Low Fuel Alarm
	Generator Theft Alarm AC Utility Fail Alarm

Camlock Component	
Camlock Component	Shipped loose for multiple installation options
Dimensions	9" W x 9.4" D x 24.25" H
200A Camlock Generator Connection	Single-Phase: Black L1, Red L2, White-Neutral, Green-Ground
	3-Phase: Black L1, Red L2, Blue L3, White-Neutral, Green-Ground
	Uses 4 CH E1016 Male Connectors Mating Connector - CH E1016 Female



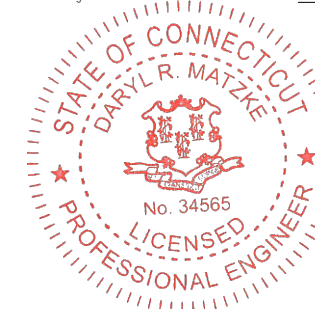
**RAMAKER**  
employee-owned  
(608) 643-4100 www.ramaker.com

PREPARED FOR:



CONSULTANT:  
**GENERAL DYNAMICS**  
Information Technology, Inc.  
GENERAL DYNAMICS  
101 STATION DR  
WESTWOOD, MA 02090

Certification & Seal:  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



Signature: \_\_\_\_\_ Date: 9/06/2023

MARK	DATE	DESCRIPTION
I	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

PROJECT TITLE:  
**DANBURY EAST  
FA ID # 10035077**

PROJECT INFORMATION:  
48 NEWTOWN ROAD  
DANBURY, CT 06810

SHEET TITLE:  
**GENERAC ATS SPECIFICATIONS**

SCALE: NONE

PROJECT NUMBER: 57537  
SHEET NUMBER: E-5



# ATTACHMENT C

Site Photo





# ATTACHMENT D

Original Decision

Recent Decision

Property Information



# CITY OF DANBURY

155 DEER HILL AVENUE  
DANBURY, CONNECTICUT 06810

PLANNING & ZONING DEPARTMENT  
(203) 797-4525  
(203) 797-4586 (FAX)

December 29, 1998

Mr. Paul S. McNamara  
Donnelly, McNamara & Gustafson, P.C.  
150 Danbury Road  
PO Box 2006  
Ridgefield, CT 06877

RE: Waiver No. 98-49  
48 Newtown Road - Telephone Tower and Equipment Storage  
Assessor's Lot Numbers K12265, K12266

Dear Mr. McNamara:

Your application for a Waiver to Site Plan Requirements for the construction of a Telephone Tower and Equipment Storage on the above-referenced site is approved as follows:

1. The existing telephone tower on the adjacent site identified as 50 Newtown Road will be removed in lieu of the construction of the tower and equipment storage facility to be located at 48 Newtown Road.
2. There shall be no exterior changes to the building facade other than the addition of the tower in the location as shown on the Site Plan prepared for 48 Newtown Road Corporation by New England Land Surveying, dated August 21, 1989 as revised to September 9, 1994 as submitted in support of this Waiver Application.
3. This approval does not waive any other departmental approvals, requirements or permits that may be necessary to complete this proposed project.

A Zoning Permit may now be required. Please contact the Zoning Department for further information regarding this process. Upon completion of construction, a Zoning Certificate of Compliance will be issued by this Office prior to the issuance of a Certificate of Occupancy by the Building Department, provided work was completed in accordance with the Waiver to Site Plan Requirements approved December 29, 1998.

Respectfully,

*Sharon B. Calitro*  
Sharon B. Calitro  
Assistant Planning Director

C: Wayne Skelly, Zoning Enforcement Officer  
Mario Riconzi, P.E., Director of Dept. of Permit Coordination

Post or Fax Note	7674
To: Paul McNamara	
City Dept:	
From: Sharon Calitro	
Co: City of Danbury	
Phone: 297-4525	
Fax: 297-4586	
Date: 12/29/98	
Time: 1:00 PM	

010144

Telephone 797-4525

CITY OF DANBURY PLANNING & ZONING DEPARTMENT

ZONING PERMIT

DATE Jan. 6, 1999

50

Property Owner's Name & Address 48 Newtown Road Corporation, 48 Newtown Rd. Danbury

Applicant's Name & Address Same

Property Located At 48 NEWTOWN RD.

Current Use of Property Commercial Proposed Use of Property Same

Zone CG-20 Lot Area or Dimensions 25,998 sq.ft. Assessor's Lot No. K-12265 K-12266

THIS PERMIT IS FOR THE FOLLOWING ACTIVITY:

- New Construction, Addition, Sign, Change of Use, Exterior Alterations, Interior Alterations, Excavation, [Proposed Sign Area], [Maximum Sign Allowed], X Other (Specify)

DESCRIPTION OF WORK PROPOSED: Construction of telephone tower

Dimensions of Proposed Structure: Width 5'± X Length 4'± X Height 90'±

Distance from Front Property Line 125' Adjacent Property Lines 38'-58' Rear Line 50'

NOTE: COMPLY WITH WAIVER AS APPROVED.

Table with 4 columns: FOR OFFICE USE ONLY, Conditions (Yes/No), Effective Date, Permit No. Or Expiration Date. Rows include Required Permits & Approvals like Plot Plan, Site Plan or Waiver, etc.

This Zoning Permit, if issued, is based upon the plot plan submitted. Falsification, by misrepresentation or omission, or failure to comply with conditions of approval of this permit, shall constitute a violation of the Zoning Regulations of the City of Danbury. CALL 797-4525 WHEN JOB IS COMPLETED TO ARRANGE ZONING COMPLIANCE INSPECTION.

ESTIMATED COST \$75,000.00
FEE \$200.00 + \$10.00 = \$210.00
Total includes \$10 State Fee

Signature of Owner or Authorized Agent



POST THIS PERMIT CONSPICUOUSLY

DEPARTMENT OF BUILDINGS, DANBURY, CONNECTICUT

Phone 797-4581

BUILDING PERMIT

No 029204

Issued 10/13/99

Expires 12/13/00

Owner 48 Newtown Rd Corp.

Building 100' manhole tower & equip. room; 47' retaining wall

Located 48 Newtown Rd Zone C6-20

Builder BRT General Corp.

Electrical Contractor Take 1st own

Plumbing & Heating Contractor Take out own

License No. ~~~~~

License No. ~~~~~

In accordance with application, plans and specifications on file, and subject to ordinances and Building Code of the City of Danbury, otherwise this permit is void. Occupancy of this new building or addition prior to issuance of a Certificate of Occupancy will be considered a violation of the Building Code Regulations.

Leo P. Nullman Building Inspector

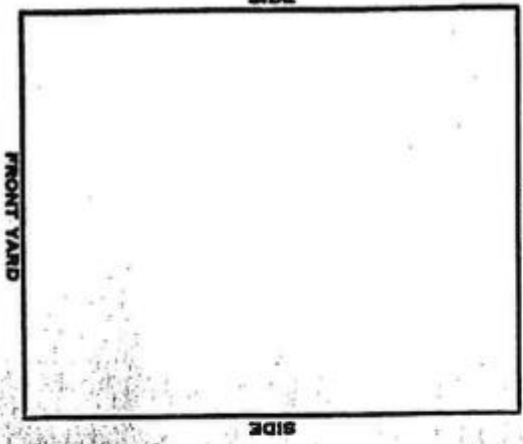
NOTICE:

Changes, regardless of size, from stamped approved plans must be submitted to Building Inspector before they are made.

Proximate notification by the Plumbing, Electrical, and General contractors of completion of their respective portions of the work will avoid delay in issuance of the Certificate of Occupancy.

This Application is null and void if the building is not completed in one year from the date of issue, except by extension of application.

- INSPECTIONS: Normally there are nine or more required inspections of a new building, and as many as apply on alterations and additions:
1. ZONING
  2. SOIL CONDITIONS—before foundation footings
  3. FOOTING—drain inspection
  4. ELECTRICAL—wiring roughing
  5. PLUMBING—roughing
  6. FRAMING—before lamination or lathing
  7. INSULATION—inspection
  8. GAS OR OIL BURNERS—installation and wiring
  9. ELECTRICAL—final when fixtures have been hung
  10. PLUMBING—final when fixtures have been set
  11. FINAL—fire divisions, exits, etc.





# STATE OF CONNECTICUT

## CONNECTICUT SITING COUNCIL

Ten Franklin Square  
New Britain, Connecticut 06051  
Phone: (860) 827-2935  
Fax: (860) 827-2950

December 13, 1999

Sandy M. Carter, Manager – Regulatory  
Bell Atlantic NYNEX Mobile  
20 Alexander Drive  
P.O. Box 5029  
Wallingford, CT 06492

RE: EM-BAM/SCLP-034-991124 - Bell Atlantic Mobile and Springwich Cellular Limited Partnership notice of intent to modify an existing telecommunications tower located at 48 Newtown Road in Danbury, Connecticut.

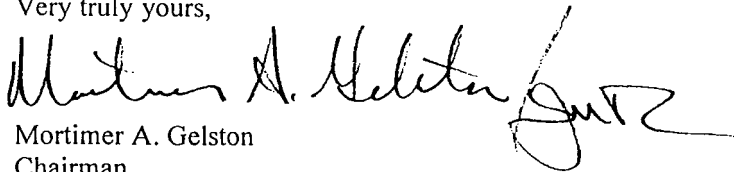
Dear Ms. Carter:

At a public meeting held on December 8, 1999, the Connecticut Siting Council (Council) ruled that the proposed use of this existing tower would not cause a significant change or alteration in the physical and environmental characteristics of the site, and pursuant to Section 16-50j-72 (c) of the Regulations of Connecticut State Agencies would constitute a regulatory exemption.

The proposed modifications are to be implemented as specified here, in your notice dated November 24, 1999, and in additional information dated December 1, 1999. This exemption is conditioned on the requirement that the existing 100-foot guyed lattice tower located at 50 Newtown Road be removed as required by the town zoning permit for the new tower at 48 Newtown Road. The modifications are in compliance with the exception criteria in Section 16-50j-72 (c) of the Regulations of Connecticut State Agencies as changes to an existing non-facility tower that have received all municipal zoning approvals and building permits and that would not increase tower height, extend the boundaries of the tower site, increase noise levels at the tower site boundary by six decibels or more, and increase the total radio frequency electromagnetic radiation power density measured at the tower site boundary to or above the standard adopted by the State Department of Environmental Protection pursuant to General Statutes § 22a-162. This tower has been carefully modeled to ensure that radio frequency emissions are conservatively below State and federal standards applicable to the frequency now used on this tower. Any additional change to this tower will require explicit notice to this agency pursuant to Regulations of Connecticut State Agencies Section 16-50j-73. Such notice shall include all relevant information regarding the proposed change with cumulative worst-case modeling of radio frequency exposure at the closest point of uncontrolled access to the tower base, consistent with Federal Communications Commission, Office of Engineering and Technology, Bulletin No. 65. Any deviation from this format may result in the Council implementing enforcement proceedings pursuant to General Statutes § 16-50u including, without limitation, imposition of expenses resulting from such failure and of civil penalties in an amount not less than one thousand dollars per day for each day of construction or operation in material violation.

Thank you for your attention and cooperation.

Very truly yours,



Mortimer A. Gelston  
Chairman

MAG/SLL/sll

cc: Honorable Gene F. Eriquez, Mayor, City of Danbury  
Peter W. van Wilgen, Director – Real Estate Operations, SNET Wireless, Inc.



STATE OF CONNECTICUT  
*CONNECTICUT SITING COUNCIL*

Ten Franklin Square, New Britain, CT 06051

Phone: (860) 827-2935 Fax: (860) 827-2950

E-Mail: [siting.council@ct.gov](mailto:siting.council@ct.gov)

Web Site: [portal.ct.gov/csc](http://portal.ct.gov/csc)

**VIA ELECTRONIC MAIL**

August 14, 2023

Catherine Conklin  
Site Acquisition Specialist  
General Dynamics Wireless Services  
2586 Industry Lane, Suite 100  
Norristown, PA 19403  
[Catherine.conklin@gdit.com](mailto:Catherine.conklin@gdit.com)

RE: **EM-ATT-034-230721** - AT&T notice of intent to modify an existing telecommunications facility located at 48 Newtown Road, Danbury, Connecticut.

Dear Catherine Conklin:

The Connecticut Siting Council (Council) hereby acknowledges your notice to modify this existing telecommunications facility, pursuant to Section 16-50j-73 of the Regulations of Connecticut State Agencies with the following conditions:

1. Approval of any changes be delegated to Council staff.
2. Any deviation from the proposed modification as specified in this notice and supporting materials submitted to the Council shall render this acknowledgement invalid;
3. The Council shall be notified in writing at least two weeks prior to the commencement of site construction activities;
4. Within 45 days after completion of construction, the Council shall be notified in writing that construction has been completed **along with a representative photograph of the facility modification**;
5. Any nonfunctioning antenna and associated antenna mounting equipment, or other equipment at this facility owned and operated by AT&T shall be removed within 60 days of the date the antenna or equipment ceased to function;
6. The validity of this action shall expire one year from the date of this letter; and
7. AT&T may file a request for an extension of time beyond the one year deadline provided that such request is submitted to the Council not less than 60 days prior to the expiration.

The proposed modifications including the placement of all necessary equipment and shelters within the tower compound are to be implemented as specified here and in your notice dated July 18, 2023.

The modifications are in compliance with the exception criteria in Section 16-50j-72 (b) of the Regulations of Connecticut State Agencies as changes to an existing facility site that would not increase tower height, extend the boundaries of the tower site by any dimension, increase noise levels at the tower site boundary by six decibels or more, and increase the total radio frequencies electromagnetic radiation power density measured at the tower site boundary to or above the standards adopted by the Federal Communications Commission pursuant to Section 704 of the Telecommunications Act of 1996 and by the state Department of Energy and Environmental Protection pursuant to Connecticut General Statutes § 22a-162. This facility has also been carefully modeled to ensure that radio frequency emissions are conservatively below state and federal standards applicable to the frequencies now used on this tower.

This decision is under the exclusive jurisdiction of the Council. Please be advised that the validity of this action shall expire one year from the date of this letter. Any additional change to this facility will require explicit notice to this agency pursuant to Regulations of Connecticut State Agencies Section 16-50j-73. Such notice shall include all relevant information regarding the proposed change with cumulative worst-case modeling of radio frequency exposure at the closest point of uncontrolled access to the tower base, consistent with Federal Communications Commission, Office of Engineering and Technology, Bulletin 65. Thank you for your attention and cooperation.

Sincerely,



Melanie A. Bachman  
Executive Director

MAB/ANM/dll

c: The Honorable Dean E. Esposito, Mayor, City of Danbury (mayor@danbury-ct.gov)

## Conklin, Catherine (NE)

---

**From:** Conklin, Catherine (NE)  
**Sent:** Wednesday, November 8, 2023 12:06 PM  
**To:** Fontaine, Lisa  
**Cc:** CSC-DL Siting Council; mayor@danbury-ct.gov  
**Subject:** RE: EM-ATT-034-230721 - 48 Newtown Road, Danbury - Council Decision  
**Attachments:** Danbury East 10035077 Revision Letter to CSC.pdf; Danbury East LL Approved Site Plan.pdf; Danbury East CSC Approved Site Plan.pdf

Good Afternoon

The landlord has requested a change in the generator location, see attached.

Not sure what else you need.

Thank you

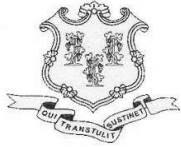
Catherine Conklin  
Site Acquisition Specialist

M 301-266-0258  
[Catherine.Conklin@gdit.com](mailto:Catherine.Conklin@gdit.com)

4603 Kemper Street  
Rockville, MD 20853  
[www.gdit.com](http://www.gdit.com)

**GENERAL DYNAMICS**  
Information Systems Group

"The information transmitted is intended only for the person or entity to which it is addressed and may contain confidential and/or privileged information. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and delete the material from any computer."



STATE OF CONNECTICUT  
*CONNECTICUT SITING COUNCIL*

Ten Franklin Square, New Britain, CT 06051

Phone: (860) 827-2935 Fax: (860) 827-2950

E-Mail: [siting.council@ct.gov](mailto:siting.council@ct.gov)

Web Site: [portal.ct.gov/csc](http://portal.ct.gov/csc)

**VIA ELECTRONIC MAIL**

November 21, 2023

Catherine Conklin  
Site Acquisition Specialist  
General Dynamics Wireless Services  
2586 Industry Lane, Suite 100  
Norrstown, PA 19403  
[Catherine.conklin@gdit.com](mailto:Catherine.conklin@gdit.com)

**RE: EM-ATT-034-230721 - AT&T notice of intent to modify an existing telecommunications facility located at 48 Newtown Road, Danbury, Connecticut. Denial of Request for Project Change.**

Dear Catherine Conklin:

The Connecticut Siting Council (Council) is in receipt of your email of November 8, 2023 regarding the proposed change to the location of the emergency backup generator. The Council hereby denies your request.

According to Regulations of Connecticut State Agencies (RCSA) Section 16-50j-71, "...any modification, as defined in Section 16-50j-2a of the [RCSA], to an existing tower site, except as specified in Sections 16-50j-72 and 16-50j-88 of the [RCSA], may have a substantial adverse environmental effect."

Staff has reviewed this request for a project change and identified a deficiency in compliance with the criteria set forth in RCSA Section 16-50j-72. Page 1 of the July 21, 2023 request states that the generator would be installed "within the existing grade-level fenced equipment compound." Additionally, the Scope of Work section on the first page of the Site Plans states AT&T would "add a standby generator...to existing AT&T equipment area." The November 8, 2023 request depicts the change to the location of the emergency backup generator due to a property owner request; however the location of the generator appears to require an extension of the lease area as evidenced by the removal of vegetation, elimination of parking spaces and addition of fencing.

This project change request to extend the lease area of an existing site is not consistent with the criteria set forth in RCSA §16-50j-72. Such a request is properly submitted to the Council in the form of a petition for a declaratory ruling.

Therefore, this request does not qualify as a project change request and it is hereby rejected on that basis. The Council recommends that AT&T submit a petition for a declaratory ruling.

Sincerely,

Melanie Bachman  
Executive Director

MAB

# 48 NEWTOWN

**Location** 48 NEWTOWN

**Mblu** K12/ / 265/ /

**Acct#**

**Owner** 48 NEWTOWN ROAD CORPORATION

**Assessment** \$909,000

**Appraisal** \$1,298,500

**PID** 7333

**Building Count** 1

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$904,400	\$394,100	\$1,298,500

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$633,100	\$275,900	\$909,000

## Owner of Record

**Owner** 48 NEWTOWN ROAD CORPORATION  
**Co-Owner**  
**Address** 50 NEWTOWN RD  
DANBURY, CT 06810

**Sale Price** \$0  
**Book & Page** 1706/ 908  
**Sale Date** 11/08/2004  
**Instrument** 29

## Ownership History

Ownership History				
Owner	Sale Price	Book & Page	Instrument	Sale Date
48 NEWTOWN ROAD CORPORATION	\$0	1706/ 908	29	11/08/2004
MORRIS JULIA B NOMINEE	\$0	1706/ 906	29	11/08/2004
FORTY EIGHT NEWTOWN ROAD	\$0	1041/0377		03/04/1993

## Building Information

### Building 1 : Section 1

**Year Built:** 1988  
**Living Area:** 5,680  
**Replacement Cost:** \$725,793

**Building Percent Good:** 81

**Replacement Cost**

**Less Depreciation:** \$587,900

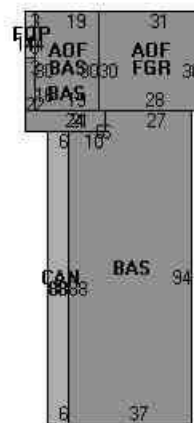
Building Attributes	
Field	Description
STYLE	Restaurant
MODEL	Commercial
Grade	Average
Stories:	2
Occupancy	4
Exterior Wall 1	Concr/Cinder
Exterior Wall 2	Glass/Thermo.
Roof Structure	Gable/Hip
Roof Cover	Metal/Tin
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Floor 1	Ceram Clay Til
Interior Floor 2	Carpet
Heating Fuel	Gas
Heating Type	Forced Air-Duc
AC Type	Central
Bldg Use	Comm/Res MDL-94
Total Rooms	
Total Bedrms	00
Total Baths	0
1st Floor Use:	201
Heat/AC	HEAT/AC SPLIT
Frame Type	MASONRY
Baths/Plumbing	AVERAGE
Ceiling/Wall	SUS-CEIL & WL
Rooms/Prtns	AVERAGE
Wall Height	12
% Comn Wall	0

**Building Photo**



(<https://images.vgsi.com/photos2/DanburyCTPhotos/\00\03\05\58.jpg>)

**Building Layout**



([https://images.vgsi.com/photos2/DanburyCTPhotos//Sketches/7333\\_7333](https://images.vgsi.com/photos2/DanburyCTPhotos//Sketches/7333_7333))

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	4,180	4,180
AOF	Office, (Average)	1,500	1,500
CAN	Canopy	528	0
FGR	Garage	930	0
FOP	Open Porch	42	0
PTO	Patio	925	0
		8,105	5,680

**Building 1 : Section 1**

**Year Built:** 1988  
**Living Area:** 0  
**Replacement Cost:** \$725,793  
**Building Percent Good:** 81  
**Replacement Cost**  
**Less Depreciation:** \$587,900

Building Attributes
---------------------




Field	Description
Style	Outbuildings
Model	
Grade:	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	
Fireplaces	
Whirlpool	
Addn'l Kitchen	
Bsm Gar	
Fin Bsm Area	
Fin Bsm Qual	
Nhbd	
MH Park	

### Building Photo



(<https://images.vgsi.com/photos2/DanburyCTPhotos/\00\02\70\15.jpg>)

### Building Layout

 Building Layout

([https://images.vgsi.com/photos2/DanburyCTPhotos//Sketches/7333\\_1049](https://images.vgsi.com/photos2/DanburyCTPhotos//Sketches/7333_1049))

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

### Extra Features

Extra Features	Legend
No Data for Extra Features	

## Land

### Land Use

**Use Code** 201  
**Description** Comm/Res MDL-94  
**Zone** CG20  
**Neighborhood** 6000  
**Alt Land Appr** No  
**Category**

### Land Line Valuation

**Size (Acres)** 0.6  
**Frontage** 0  
**Depth** 0  
**Assessed Value** \$275,900  
**Appraised Value** \$394,100  
Ibllndfront

## Outbuildings

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
CEL	Cell Tower			1 UNITS	\$300,000	1
PAV1	Paving-Asphalt			10500 S.F.	\$16,500	1

## Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2019	\$904,400	\$394,100	\$1,298,500
2018	\$900,700	\$394,100	\$1,294,800
2017	\$900,700	\$394,100	\$1,294,800

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$633,100	\$275,900	\$909,000
2018	\$630,500	\$275,900	\$906,400
2017	\$630,500	\$275,900	\$906,400



EAST BROAD STREET

WHITNEY AVENUE

GALLAGHER LANE

NEWTOWN ROAD

LYON STREET

K12146  
4 AC  
TC7052  
TC9292

K12144  
.01 AC  
TC440

L12005  
1.94 AC (C)  
TC4440

K12243  
K12242  
K12241  
K12240  
17 AC (C)  
17 AC (C)  
17 AC (C)  
17 AC (C)

K12239  
.76 AC  
TC9291  
TC3210

K12264  
21 AC (C)

K12262  
21 AC (C)

K12263  
2 AC (C)

K12265  
53 AC (C)  
TC11808  
TC4590

K12258  
.32 AC (C)  
K12259  
.16 AC (C)  
K12275  
.16 AC  
TC12762  
K12261  
.17 AC  
TC12762

K12254  
.17 AC (C)  
TC3434  
K12255  
22 AC (C)  
K12256  
.18 AC (C)  
K12267  
.35 AC (C)

L12006  
.16 AC (C)  
L12007  
.15 AC (C)  
L12008  
.16 AC (C)  
L12009  
1.33 AC (C)  
TC6091

# ATTACHMENT E

Original Redacted  
Lease Agreement

## LEASE AGREEMENT

THIS LEASE AGREEMENT ("Agreement"), dated as of the date below, is entered into by **48 Newtown Road Corporation**, a Connecticut corporation, with a Tax ID# of 06-1360074, having its principal office at 50 Newtown Road, Danbury, CT 06810-6259 (hereinafter referred to as "Landlord"), and **AT&T Wireless PCS, LLC d/b/a AT&T Wireless**, a Delaware limited liability company having an office at 12 Omega Drive, Stamford, CT 06907 (hereinafter referred to as "Tenant").

### BACKGROUND

Landlord owns that certain plot, parcel or tract of land, and a telecommunications tower (the "Tower") and two-story building (the "Building") situated thereon, together with all rights and privileges arising in connection therewith, located in the City of Danbury, Fairfield County, State of Connecticut, shown as Lot 256 on the Danbury Assessor's Map K-12, known as 48 Newtown Road in said City of Danbury, and more particularly described in Schedule A hereto (the land, tower and building, collectively, the "Property"). Tenant desires to use a portion of the Property in connection with its federally licensed communications business.

In consideration of the representations and covenants set forth herein and for other good and valuable consideration the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. **LEASE OF PREMISES.** Landlord leases to Tenant portions of the Property consisting of (a) a room/cabinet space of approximately 240 square feet of space on the second floor of the Building, as depicted on Exhibit 1 hereto, and (b) space on the Tower as depicted on Exhibit 2 hereto, together with the appurtenant rights, access and utility easements set forth on Schedule 2 hereto and as are necessary for the antennas and initial installation as described on Exhibits 1 and 2 (collectively, "Premises").
2. **PERMITTED USE.**
  - (a) In accordance with the terms and conditions of this Agreement, Tenant may use the Premises for the transmission and reception of communications signals, without warranty or representation by Landlord that the Premises are suitable for such purposes, and the installation, maintenance, operation, repair and replacement of its communication fixtures and related equipment, cables, accessories and improvements (collectively the "Communication Facility") and any other items necessary to the successful and secure operation of the Communication Facility, as substantially described in Exhibits 1 and 2; such use includes the right to test, survey and check title on the Property. Landlord's execution of this Agreement will signify Landlord's approval of Exhibits 1 and 2 with the understanding that it contemplates that
    - (i) Tenant's antennas will be located on the "Proposed 10' Power Mount Extension" which is to be installed by Tenant on the Tower, as depicted in Exhibit 2, and
    - (ii) the 6 coax cables depicted in Exhibit 2 to be routed along the outside of the Tower are to be grouped and positioned and have a colored outside covering so as to blend in with the aesthetics of the Tower and to minimize their appearance.
  - (b) Tenant agrees to comply with all applicable governmental laws, rules, statutes and regulations, relating to its use of the Communication Facility on the Property, and will not allow the Premises to be used or occupied for any unlawful purpose or suffer any act to be done or any condition to exist which may constitute a public or private nuisance.
  - (c) Tenant has the right to modify, supplement, replace, upgrade, expand the equipment, or increase the number of antennas during the term of this Agreement.
  - (d) All of Tenant's construction, testing, installation and maintenance work shall be performed at Tenant's cost and expense and in a good and workmanlike manner.

- (e) Tenant acknowledges that its use of the access and utility easements is not exclusive and is shared with other users of the Tower, and Tenant agrees that its use of those easements will be commensurate with its use of the Tower and will not overburden or interfere with other's use of those easements. Landlord and Tenant each covenant to the other that any installation, repairs and maintenance undertaken pursuant to this Agreement or otherwise with respect to the easements and the easement areas will be performed as expeditiously as reasonably possible and that any area disturbed in the exercise of the easement and the rights under this Agreement shall be returned to its original condition as soon as reasonably possible at such party's cost and expense unless the repairs were necessitated by acts or omissions of the other party, its agents, employees, contractors, guests or invitees.

**3. TERM.**

- (a) The initial lease term will commence upon the earlier of (i) the date of Tenant's receipt of all Governmental Approvals or (ii) October 1, 2001, whichever one being the "Commencement Date" and shall expire on the last day of the 60<sup>th</sup> calendar month thereafter if the Commencement Date is the 1<sup>st</sup> day of the month and otherwise on the last day of the 61<sup>st</sup> calendar month thereafter (the "Initial Term").
- (b) Unless otherwise terminated as provided herein, this Agreement will automatically renew for five (5) additional five (5) year Term(s) (each extended term, an "Extension Term"), upon the same terms and conditions, except as provided in Section 4 with respect to Rent, unless the Tenant notifies the Landlord in writing of Tenant's intention not to renew this Agreement at least ninety (90) days prior to the expiration of the existing Term.
- (c) If Tenant remains in possession of the Premises after the termination or expiration of this Agreement then Tenant will be deemed to be occupying the Premises on a month-to-month basis (the "Holdover Term"), subject to the terms and conditions of this Agreement.
- (d) Tenant shall promptly notify Landlord when Tenant receives all Governmental Approvals.
- (e) Any reference to the "Term" of this Agreement shall, unless precluded by the context thereof, refer to the term of this Agreement as it may be extended, *i.e.*, the Initial Term plus any Extension Term and the Holdover Term.

**4. RENT.**

- (a) Tenant shall pay Landlord as rent ("Rent"), without setoff or deduction of any kind, the sum of [REDACTED] for the Initial Term (at the rate of [REDACTED]/month), the sum of [REDACTED] for the first Renewal Term (at the rate of [REDACTED]/month), the sum of [REDACTED] for the second Renewal Term (at the rate of [REDACTED]/month), the sum of [REDACTED] for the third Renewal Term (at the rate of [REDACTED]/month), the sum of [REDACTED] for the fourth Renewal Term (at the rate of [REDACTED]/month), and the sum of [REDACTED] for the fifth Renewal Term (at the rate of [REDACTED]/month). Rent, plus any applicable tax, shall be payable in advance in equal consecutive monthly installments commencing on the earlier of (i) the Commencement Date, or (ii) July 1, 2001, and continuing on the 1<sup>st</sup> day of each month thereafter. In the event the Commencement Date is after July 1, 2001, Rent from July 1, 2001 through the Commencement Date shall be at the rate of [REDACTED] per month. Rent will be prorated for any partial month. During any Holdover Term, rent shall be at a monthly rate equal to 1.5 times the amount of the payment of rent which was due for the last month of the Initial Term or Renewal Term then ended and shall be payable in advance on the 1<sup>st</sup> day of each month.
- (b) Rent shall be payable to Landlord at 48 Newtown Road Corporation, c/o BRT Realty, 50 Newtown Rd., Danbury, CT 06810, or at such other place as Landlord shall designate by written notice to Tenant.
- (c) Tenant will pay Landlord a late charge in the amount of [REDACTED] for any monthly payment which is not received by Landlord by the 15<sup>th</sup> day of the month in which the monthly payment is due and payable.

**5. APPROVALS.**

- (a) Landlord agrees that Tenant's ability to use the Premises is contingent upon its suitability for Tenant's intended use and Tenant's ability to obtain all governmental licenses, permits, approvals or other relief required of or deemed necessary by Tenant for its use of the Premises, including without limitation applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively referred to as "Governmental Approvals"). Landlord authorizes Tenant, at Tenant's sole cost and expense, to prepare, execute and file all required applications to obtain Governmental Approvals for Tenant's use under this Agreement and agrees to reasonably assist Tenant with such applications.
- (b) Tenant has the right to obtain a title report or commitment for a leasehold title policy from a title insurance company of its choice and to have the Property surveyed by a surveyor of its choice.
- (c) Tenant may also obtain, at Tenant's sole cost and expense, soil boring, percolation, engineering procedures, environmental investigation or other tests or reports ("Tests") on, over, and under the Property, necessary to determine if the Tenant's use of the Premises will be compatible with Tenant's engineering specifications, system, design, operations or Governmental Approvals. Any area disturbed by such Tests shall be returned to its original condition as soon as reasonably possible at Tenant's sole cost and expense.

**6. TERMINATION.** This Agreement may be terminated by Tenant, without penalty or further liability of either party to the other except for matters intended to survive such termination, as follows:

- (a) upon written notice by October 1, 2001, if Tenant is unable to obtain, or maintain, any required approval(s) or the issuance of a license or permit by any agency, board, court or other governmental authority necessary for the construction or operation of the Communication Facility as now and hereafter intended by Tenant, provided Tenant is reasonably diligent in applying therefore, or if Tenant determines in its sole discretion reasonably exercised that the cost of obtaining or retaining the same is commercially unreasonable; or
- (b) upon thirty (30) days prior written notice if Landlord breaches Sections 7(b) or 7(c) and fails to eliminate such interference within the time specified in such Section; or
- (c) upon sixty (60) days prior written notice if due to prospective action(s) of the Federal Communications Commission or other regulatory body, including a take back of channels or change in frequencies, it is no longer technologically and commercially feasible, including signal interference, to continue to occupy the Premises and utilize the Communications Facility for their intended purposes; or
- (d) upon ninety (90) days prior written notice for any other reason so long as with such notice Tenant pays Landlord a termination fee equal to the lesser of (i) one year's rent of the then current Term or (ii) the remainder of Rent due to the end of the existing Term or Renewal Term.

**7. INTERFERENCE.**

- (a) Where there are existing radio frequency user(s) on the Landlord's Property, the Landlord will provide Tenant with a list of all existing radio frequency user(s) and their frequencies on the Property to allow Tenant to evaluate the potential for interference. Tenant warrants that its use of the Premises will be in compliance with all applicable laws and regulations and will not interfere with existing radio frequency user(s) on the Property as long as the existing radio frequency user(s) operate and continue to operate within their frequencies and in accordance with all applicable laws and regulations.
- (b) Landlord will not grant, after the date of this Agreement, a lease, license or any other right to any third party for use of the Property, if such use may in any way adversely affect or cause interference with Tenant's use and operation of the Communication Facility. In the event such interference occurs, Landlord agrees to take all action necessary to eliminate such interference, in a reasonable period of time. Nothing contained herein will restrict Tenant nor its successors



and assigns from installing and modifying its communications equipment in accordance with the terms and conditions of this Agreement.

- (c) Landlord will not use, nor will Landlord permit its employees, tenants, licensees, invitees or agents to use, any portion of the Property in any way which interferes with the operations of Tenant or the rights of Tenant under this Agreement; provided, however, that this subsection does not apply to existing frequency users and tenants operating within their frequencies and in accordance with all applicable laws and regulations, and not in violation of any lease with Landlord. Landlord will cause such interference to cease in a reasonable period of time, but in any event within ten (10) days, after receipt of notice thereof from Tenant.

**8. INDEMNIFICATION.**

- (a) Tenant agrees to indemnify, defend and hold Landlord harmless from and against any injury, loss, damage or liability (or any claims in respect of the foregoing), costs or expenses (including reasonable attorneys' fees and court costs) arising directly from the installation, use, maintenance, repair or removal of the Communication Facility or the breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Landlord, its employees, agents or independent contractors.
- (b) Landlord agrees to indemnify, defend and hold Tenant harmless from and against any and all injury, loss, damage or liability (or any claims in respect of the foregoing), costs or expenses (including reasonable attorneys' fees and court costs) arising directly from the actions or failure to act of Landlord or its employees or agents, or the breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Tenant, its employees, agents or independent contractors.
- (c) Notwithstanding anything to the contrary in this Agreement, each of Tenant and Landlord hereby waives any claims that they may have against the other with respect to consequential, incidental or special damages.

**9. INSURANCE; WAIVER OF SUBROGATION.**

- (a) Tenant, at Tenant's sole cost and expense, shall procure and maintain on the Premises and on the Communication Facility, bodily injury and property damage insurance with a combined single limit of at least [REDACTED] per occurrence. Such insurance shall insure, on an occurrence basis, against liability of Tenant, its employees and agents arising out of or in connection with Tenant's use of the Premises, all as provided for herein. Landlord, at Landlord's sole cost and expense, shall procure and maintain on the Property, bodily injury and property damage insurance with a combined single limit of at least [REDACTED] per occurrence. Such insurance shall insure, on an occurrence basis, against liability of Landlord, its employees and agents arising out of or in connection with Landlord's use, occupancy and maintenance of the Property. Each party shall be named as an additional insured on the other's policy. Each party shall provide to the other a certificate of insurance evidencing the coverage required by this paragraph within thirty (30) days of the Commencement Date.
- (b) Landlord and Tenant release each other and their respective principals, employees, representatives and agents, from any claims for damage to any person or to the Premises or to the Communication Facility thereon caused by, or that result from, risks insured against under any insurance policies carried by the parties and in force at the time of any such damage. Landlord and Tenant shall cause each insurance policy obtained by them to provide that the insurance company waives all right of recovery by way of subrogation against the other in connection with any damage covered by any policy. Neither Landlord nor Tenant shall be liable to the other for any damage caused by fire or any of the risks insured against under any insurance policy required by this Section 9.

**10. WARRANTIES.**

- (a) Tenant and Landlord each acknowledge and represent that it is duly organized, validly existing and in good standing and has the right, power and authority to enter into this Agreement and bind itself hereto through the party set forth as signatory for the party below.
- (b) Landlord represents and warrants that:
  - (i) Landlord solely owns the Property as a legal lot in fee simple, or controls the Property by lease or license, unencumbered by any liens, restrictions, mortgages, covenants, conditions, easements, leases, agreements of record or not of record, which would adversely affect Tenant's use and enjoyment of the Premises under this Agreement;
  - (ii) as long as Tenant is not in default then Landlord grants to Tenant sole, actual, quiet and peaceful use, enjoyment and possession of the Premises;
  - (iii) its execution and performance of this Agreement will not violate any Laws, ordinances, covenants or the provisions of any mortgage, lease or other agreement binding on the Landlord; and
  - (iv) if the Property is or becomes encumbered by a deed to secure a debt, mortgage or other security interest, Landlord will use best efforts to provide promptly to Tenant a mutually agreeable Subordination, Non-Disturbance and Attornment Agreement.

**11. ENVIRONMENTAL.**

- (a) Landlord and Tenant agree that each will be responsible for compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene condition or matters as may now or at any time hereafter be in effect, that are now or were related to that party's activity conducted in, or on the Property.
- (b) Landlord and Tenant agree to hold harmless and indemnify the other from and to assume all duties, responsibilities, and liabilities at its sole cost and expense, for all duties, responsibilities and liability (for payment of penalties, sanctions, forfeitures, losses, costs, or damages) and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding which is related to (i) failure to comply with any environmental or industrial hygiene law, including without limitation any regulations, guidelines, standards or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or matters as may now or hereafter be in effect, and (ii) any environmental or industrial hygiene conditions that arise out of or are in any way related to the condition of the Property or activities conducted by the party thereon, unless the environmental conditions are caused by the other party.
- (c) The indemnifications of this Paragraph specifically include reasonable costs, expenses, and fees incurred in connection with any investigation of Property conditions or any clean-up, remediation, removal or restoration work required by any governmental authority. The provisions of this Paragraph will survive the expiration or termination of this Agreement.

- 12. ACCESS.** At all times throughout the Term of this Agreement, and at no additional charge to Tenant, Tenant and its employees, agents, and subcontractors, will have twenty-four hour, seven day access to and over the Property, from an open and improved public road to the Premises, for the installation, maintenance and operation of the Communication Facility and any utilities serving the Premises. In the event any public utility is unable to use the access provided to Tenant the Landlord hereby agrees to grant an additional access either to Tenant or to the public utility, for the benefit of Tenant, at no cost to Tenant.

**13. REMOVAL.** All portions of the Communication Facility brought onto the Property by Tenant will be and remain Tenant's personal property and, at Tenant's option, may be removed by Tenant at any time during the Term. Landlord covenants and agrees that no part of the Communication Facility constructed, erected or placed on the Premises by Tenant will become, or be considered as being affixed to or a part of, the Property, it being the specific intention of the Landlord that all improvements of every kind and nature constructed, erected or placed by Tenant on the Premises will be and remain the property of the Tenant and may be removed by Tenant at any time during the Term. Within sixty (60) days of the termination of this Agreement, Tenant will remove the Communication Facility and all such improvements (footings, foundations, and concrete will be removed to a depth of one foot below grade) and, if Tenant fails to do so, then Landlord may remove and store the Communication Facility, at Tenant's sole cost and expense, and any of the Communication Facility not claimed within one hundred twenty (120) days of such termination, with all costs and expenses of removal and storage having been paid, shall be deemed abandoned by Tenant and may be disposed of by Landlord in its sole discretion. Tenant will repair any damage to the Premises caused by its removal of the Communication Facility and its improvements, and will conduct such removal so as not to render or leave the Premises in violation of any applicable health or building code.

**14. MAINTENANCE; UTILITIES.**

- (a) Tenant will keep and maintain the Premises and the Communication Facility in good condition, reasonable wear and tear and damage from the elements excepted. Landlord will maintain and repair the Property and access thereto, in good and tenantable condition, subject to reasonable wear and tear and damage from the elements.
- (b) Tenant will be solely responsible for and promptly pay all utilities charges for electricity, telephone service or any other utility used or consumed by Tenant on the Premises. Landlord will fully cooperate with any utility company requesting an easement over, under and across the Property in order for the utility company to provide service to the Tenant. In the event Tenant cannot secure its own metered electrical supply, Tenant will have the right, at its own cost and expense, to submeter from the Landlord. Tenant will pay on a monthly basis the current local utility company rate for submetered electric, after the meter is read by the Landlord and billed to Tenant. Landlord will not be responsible for interference with, interruption of or failure, beyond the reasonable control of Landlord, of such services to be furnished or supplied by Landlord.

**15. DEFAULT AND RIGHT TO CURE.**

- (a) Each of the following will be deemed a default by Tenant and a breach of this Agreement:
  - (i) Failure to make any monthly payment of Rent within fifteen (15) days of when due and payable (e.g., by the 15th of the month for payments due on the 1st day of the month), provided that such failure shall not be a default hereunder unless Landlord has first notified Tenant in writing of such failure and such amounts, together with any applicable late charges, have not been fully paid within fifteen (15) days after such written notice.
  - (ii) Failure to pay any other charge or amount payable by Tenant to Landlord under this Agreement within thirty (30) days of when due and payable, provided that such failure shall not be a default hereunder unless Landlord has first notified Tenant in writing of such failure and such amounts have not been fully paid within fifteen (15) days after such written notice.
  - (iii) Except as otherwise provided in this Section 15(a), Tenant's failure to perform any other term or condition under this Agreement within forty-five (45) days after receipt of written notice from Landlord specifying the failure. No such failure, however, will be deemed to exist if Tenant has commenced to cure such default within such period and provided that such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Tenant.

If Tenant remains in default beyond any applicable cure period, Landlord will have the right to terminate this Agreement by written notice to Tenant and/or to exercise any and all rights and remedies available to it under law and equity.

- (b) The following will be deemed a default by Landlord and a breach of this Agreement. Except with respect to Sections 7(b) and 7(c) for which Tenant's sole remedy is termination as provided in Section 6, Landlord's failure to perform any term or condition under this Agreement within forty-five (45) days after receipt of written notice from Tenant specifying the failure. No such failure, however, will be deemed to exist if Landlord has commenced to cure the default within such period and provided such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Landlord. If Landlord remains in default beyond any applicable cure period, Tenant will have the right to terminate this Agreement by written notice to Landlord and/or to exercise any and all rights available to it under law and equity including without limitation injunctive relief to enjoin any breach of this Agreement which causes material interference with Tenant's use of the Communication Facility; provided, however, that Landlord's liability for any damages in connection with any such default shall in no event exceed an amount equal to the lessor of (i) one year's rent of the then current Term or (ii) the remainder of Rent due to the end of the existing Term or Renewal Term.

16. **ASSIGNMENT/SUBLEASE.** Tenant may not assign, or otherwise transfer all or any part of its interest in this Agreement or in the Premises without the prior written consent of Landlord; provided, however, that Tenant may assign its interest to its parent company, any subsidiary or affiliate of it or its parent company or to any successor-in-interest or entity acquiring fifty-one percent (51%) or more of its stock or assets. Landlord may assign this Agreement upon written notice to Tenant, subject to the assignee assuming all of Landlord's obligations herein. Notwithstanding anything to the contrary contained in this Agreement, Tenant may collaterally assign, mortgage, pledge, hypothecate or otherwise transfer without consent its interest in this Agreement to any financing entity, or agent on behalf of any financing entity to whom Tenant (i) has obligations for borrowed money or in respect of guaranties thereof, (ii) has obligations evidenced by bonds, debentures, notes or similar instruments, or (iii) has obligations under or with respect to letters of credit, bankers acceptances and similar facilities or in respect of guaranties thereof; provided, however, that the right of reassignment by any such financing entity shall be subject to Landlord's consent which shall not be unreasonably withheld or delayed.
17. **NOTICES.** All notices, requests, demands and communications hereunder will be given by first class certified or registered mail, return receipt requested, or by a recognized overnight courier, postage or shipping charges prepaid, to be effective when properly sent to the parties at the following addresses and delivered, regardless of whether such delivery is refused or the item returned:

as to Tenant:

AT&T Wireless Services  
12 Omega Drive  
Stamford, CT 06907  
Attn.: System Development Manager

with a copy to:

AT&T Wireless Services  
15 East Midland Avenue  
Paramus, New Jersey 07652  
Attn.: Legal Department

and as to Landlord:

48 Newtown Road Corporation  
c/o BRT Realty  
50 Newtown Rd.  
Danbury, CT 06810

with a copy to:

O'Connell, Flaherty & Attmore, LLC  
280 Trumbull St., 23rd floor  
Hartford, CT 06103-3598  
Attn.: Atty. Julia B. Morris

Either party hereto may change the place for the giving of notice to it by thirty (30) days written notice to the other as provided herein.

18. **SEVERABILITY.** If any term or condition of this Agreement is found unenforceable, the remaining terms and conditions will remain binding upon the parties as though said unenforceable provision were not contained herein. However, if such would have a material, adverse effect on a party, that party may terminate this Agreement on thirty (30) days written notice to the other party provided that such written notice is given within sixty (60) days of when the term or condition was found unenforceable.
19. **CONDEMNATION.** In the event Landlord receives notification of any condemnation proceedings affecting the Property, Landlord will provide notice of the proceeding to Tenant within forty-eight (48) hours. If a condemning authority takes all of the Property, or a portion sufficient, in Tenant's sole determination, to render the Premises unsuitable for Tenant, this Agreement will terminate as of the date the title vests in the condemning authority. The parties will be entitled to share in the condemnation proceeds in proportion to the values of their respective interests in the Property, which for Tenant will include, where applicable, the value of its Communication Facility, moving expenses, prepaid rent, and business dislocation expenses. Tenant will be entitled to reimbursement for any prepaid Rent.
20. **CASUALTY.** Landlord will provide notice to Tenant of any casualty affecting the Property within forty-eight (48) hours of the casualty. If any part of the Communication Facility or Property is damaged by fire or other casualty so as to render the Premises unsuitable, in Tenant's sole determination reasonably exercised, and Landlord cannot render the Premises suitable within fifteen (15) days of such casualty, then Tenant may terminate this Agreement by providing written notice to the Landlord, which termination will be effective as of the date of such damage or destruction. Upon such termination, Tenant will be entitled to collect all insurance proceeds payable to Tenant on account thereof and to be reimbursed for any prepaid Rent.
21. **WAIVER OF LANDLORD'S LIENS.** Landlord hereby waives any and all lien rights it may have, statutory or otherwise, concerning the Communication Facility or any portion thereof. The Communication Facility shall be deemed personal property for purposes of this Agreement, regardless of whether any portion is deemed real or personal property under applicable law, and Landlord hereby consents to Tenant's right to remove all or any portion of the Communication Facility from time to time in Tenant's sole discretion and without Landlord's consent.
22. **ATTORNEYS' FEES.** If any action at law or in equity is necessary to enforce the terms of this Agreement, the prevailing party will be entitled to reasonable attorney, accountant and other professional fees, costs and expenses in addition to any other relief to which such prevailing party may be entitled.
23. **MISCELLANEOUS.**
  - (a) **Amendment; Waiver.** This Agreement cannot be amended, modified or revised unless done in writing and signed by an authorized agent of the Landlord and an authorized agent of the Tenant. No provision may be waived except in a writing signed by both parties.

- (b) **Short Form Lease.** Either party will, at any time upon fifteen (15) days prior written notice from the other, execute, acknowledge and deliver to the other a recordable Memorandum of Lease, which has been provided to it by the requesting party. Either party may record this memorandum at any time, in its absolute discretion.
- (c) **Bind And Benefit.** The terms and conditions contained in this Agreement will run with the Property and be binding upon and inure to the benefit of the parties' respective successors and assigns.
- (d) **Entire Agreement.** This Agreement and the exhibits attached hereto, all being a part hereof, constitute the entire agreement of the parties hereto and will supersede all prior offers, negotiations and agreements.
- (e) **Governing Law.** This Agreement will be governed by the laws of the state in which the Premises are located, without regard to conflicts of law.
- (f) **Interpretation.** Unless otherwise specified, the following rules of construction and interpretation apply:
  - (i) captions are for convenience and reference only and in no way define or limit the construction of the terms and conditions hereof;
  - (ii) use of the term "including" will be interpreted to mean "including but not limited to";
  - (iii) whenever a party's consent is required under this Agreement, except as otherwise stated in the Agreement or as same may be duplicative, such consent will not be unreasonably withheld, conditioned or delayed;
  - (iv) exhibits are an integral part of the Agreement and are incorporated by reference into this Agreement;
  - (v) use of the terms "termination" or "expiration" are interchangeable, and
  - (vi) reference to a default will take into consideration any applicable notice, grace and cure periods.
- (g) **Estoppel.** Either party will, at any time upon fifteen (15) days prior written notice from the other, execute, acknowledge and deliver to the other a written statement which has been provided by the requesting party (i) certifying that this Agreement is unmodified and in full force and effect (or, if modified, stating the nature of such modification and certifying this Agreement, as so modified, is in full force and effect) and the date to which the rent and other charges are paid in advance, if any, and (ii) acknowledging that there are not, to such party's knowledge, any uncured defaults on the part of the other party hereunder, or specifying such defaults if any are claimed. Any such statement may be conclusively relied upon by any prospective purchaser or encumbrancer of the Premises. Failure to deliver such a statement within such time will be conclusive upon the requesting party that (i) this Agreement is in full force and effect, without modification except as may be properly represented by the requesting party, (ii) there are no uncured defaults in either party's performance, and (iii) no more than one month's rent has been paid in advance.
- (h) **No Option.** The submission of this Agreement for examination or consideration does not constitute a reservation of or option for the Premises. This Agreement will become effective as an Agreement only upon the legal execution, acknowledgment and delivery hereof by Landlord and Tenant.



STATE OF New Jersey,  
COUNTY OF Bergen ) ss:

On this the 30 day of April, 2001, before me, the undersigned officer, personally appeared Sam Simons, who acknowledged himself/herself to be the Manager of AT&T Wireless PCS LLC, a Delaware limited liability company dba AT&T Wireless, and that he/she, as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself/herself as Manager.

IN WITNESS WHEREOF, I hereunto set my hand.

Stephane Pih  
\_\_\_\_\_, Notary Public

My Commission Expires:  
Commissioner of the Superior Court

Stephane Pih  
An Attorney at Law  
in the State of  
New Jersey



## SCHEDULE A

That certain piece of land located in the City of Danbury, County of Fairfield and State of Connecticut, known as 48 Newtown Road in said Town of Danbury; being shown as Lot 256 on the Danbury Assessor's Map K-12; consisting of two parcels as shown on a certain map entitled "Map Prepared For Donald Dowdy Showing Properties Of Caroline A. Booth Route U.S. 6 Danbury, Connecticut June 9, 1970," Scale 1" = 20', certified substantially correct by Sydney A. Rapp, Jr., R.L.S., which map is on file in the Office of the Town Clerk of the City of Danbury at Map No. 4590 and to which reference may be had; and more particularly bounded and described as follows:

**FIRST PARCEL:** All that certain piece or parcel of land, together with the buildings and other improvements thereon, situated on Shelter Rock Road in Beaver Brook District of the City of Danbury, County of Fairfield and State of Connecticut, being more particularly bounded and described as follows:

WESTERLY by land now or formerly of James E. Gallagher, 60 feet, more or less;

NORTHEASTERLY by land now or formerly of Sieburg Industries, Inc., 242.90 feet, more or less;

SOUTHWESTERLY by Route No. U.S. 6, also called Shelter Road Road, 90 feet, more or less; and

NORTHWESTERLY by other land of Caroline A. Booth, 204.32 feet, more or less,

and being the premises described in Volume 197 at Page 46, and Volume 390 at Page 6 of the Danbury Land Records,

**SECOND PARCEL:** All that certain piece or parcel of land, together with the buildings and other improvements thereon, situated on the corner of Shelter Road Road and Whitney Avenue in the City of Danbury, County of Fairfield and State of Connecticut, being more particularly bounded and described as follows:

NORTHEASTERLY by other land of Donald J. Jowdy, 204.32 feet;

SOUTHWESTERLY by Route No. U.S. 6, also called Shelter Rock Road, 114.06 feet;

SOUTHERLY by Whitney Avenue, 3.13 feet; and

WESTERLY by land now or formerly of James E. Gallagher, 258.69 feet,

being triangular in shape and coming to a point in the rear, and being the premises described in Volume 175 at page 292 of the Danbury Land Records,

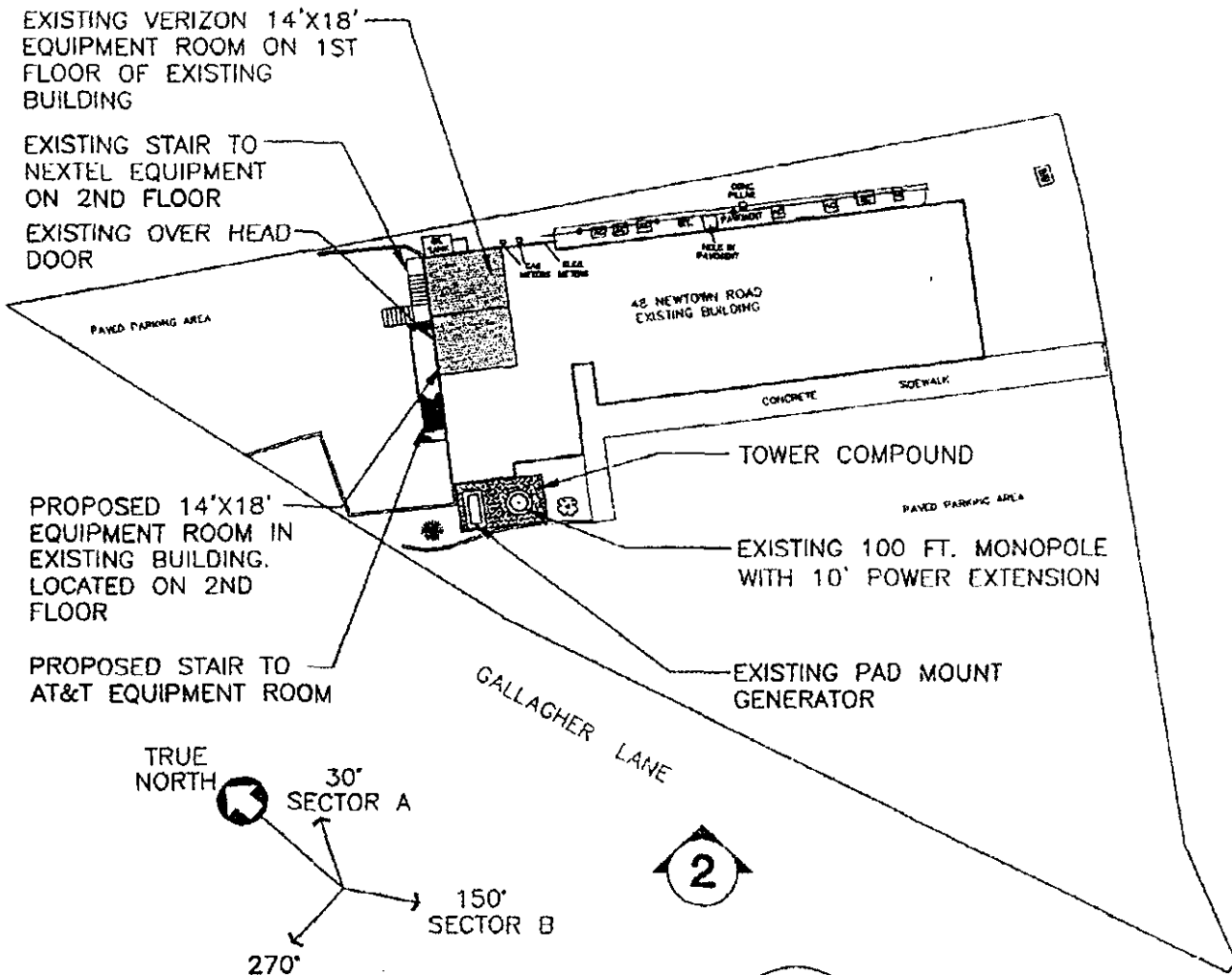
the First Parcel and the Second Parcel being the premises described in a quitclaim deed from Little Rock Properties Corporation to 48 Newtown Road Corporation which was recorded March 4, 1993 in the Danbury Land Records in Volume 1041 at Page 377.

## SCHEDULE B



- A. A right to install, maintain, repair and replace an air conditioning system on the roof of the Building as Lessee reasonably determines is necessary to service equipment located with the Building Space from time to time, the siting of which is to be on such portion of the roof as reasonably designated by Lessor.
- B. A non-exclusive right and easement twenty-four (24) hours a day, seven (7) days a week, over, under and upon the Land and its driveways and sidewalks, for access to and from public ways and the Property as Lessee determines is necessary for the construction, operation, repair, maintenance, removal and use of its communications facility.
- C. A non-exclusive right to use the parking facilities now or hereafter situated on the Land as reasonably necessary for the construction, installation, inspection, operation, repair and maintenance of Lessee's Facilities.

**LEASE EXHIBIT**

THE LEASE PLAN IS DIAGRAMATIC IN NATURE AND IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING THE LOCATION AND SIZE OF THE PROPOSED WIRELESS COMMUNICATION EQUIPMENT AND ANTENNA MOUNTS WITHIN THE EXISTING COMPOUND. ACTUAL LOCATION OF LEASE AREA WILL BE FINALIZED UPON COMPLETION OF DESIGN.

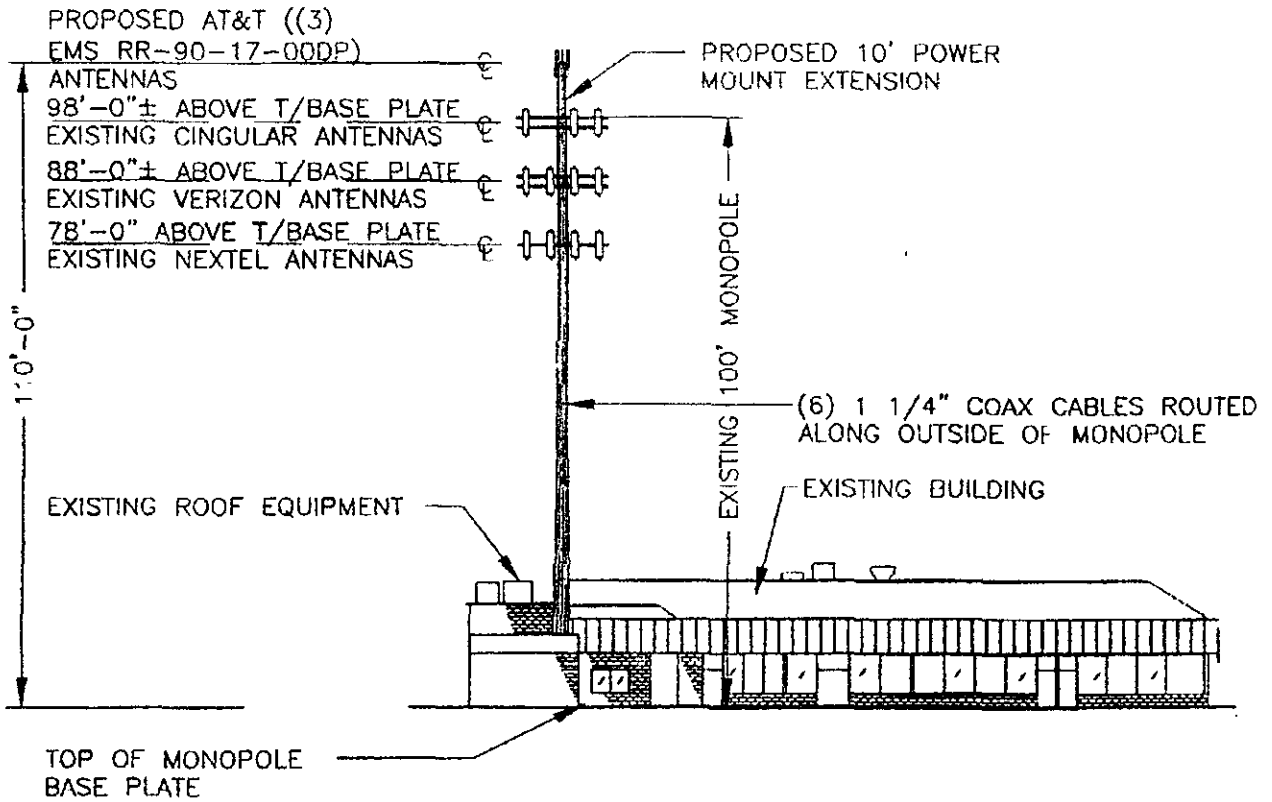


**1** **SITE PLAN**  
NOT TO SCALE  
**"ISSUED FOR LEASE"**

 <p><b>NATCOM</b> NATCOM, L.L.C. 2000 Main Street Danbury, CT 06810 Tel: 860-346-1000 Fax: 860-346-1001 www.natcom.com</p>	 <p><b>AT&amp;T</b> AT&amp;T WIRELESS PCS LLC 12 GARDEN DRIVE SUNNYVALE, CONNECTICUT 06897</p>	<p><b>DRAWING TITLE:</b> LEASE EXHIBIT</p>	<p><b>DRAWING NO.:</b> 3CO-CT179-X01-0</p>								
		<p><b>PROJECT INFORMATION:</b> GERMANTOWN CT-179.2 50 NEWTOWN ROAD DANBURY, CT</p>	<table border="1"> <tr> <td>REVISION NO. 0</td> <td>DRAWN BY: LJA</td> </tr> <tr> <td>DATE ISSUED: 05/27/01</td> <td>CHECKED BY: JJP</td> </tr> <tr> <td>SCALE: NONE</td> <td>APPROVED BY: CTC</td> </tr> <tr> <td colspan="2">SHEET NO. 1 OF 2</td> </tr> </table>	REVISION NO. 0	DRAWN BY: LJA	DATE ISSUED: 05/27/01	CHECKED BY: JJP	SCALE: NONE	APPROVED BY: CTC	SHEET NO. 1 OF 2	
		REVISION NO. 0	DRAWN BY: LJA								
		DATE ISSUED: 05/27/01	CHECKED BY: JJP								
SCALE: NONE	APPROVED BY: CTC										
SHEET NO. 1 OF 2											
<p><b>PROPERTY OWNER:</b> 48 NEWTOWN CORPORATION 50 NEWTOWN ROAD DANBURY, CT</p>	<p>A/E PROJECT NO. 311A</p>										



**LEASE EXHIBIT**

THE LEASE PLAN IS DIAGRAMATIC IN NATURE AND IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING THE LOCATION AND SIZE OF THE PROPOSED WIRELESS COMMUNICATION EQUIPMENT AND ANTENNA MOUNTS WITHIN THE EXISTING COMPOUND. ACTUAL LOCATION OF LEASE AREA WILL BE FINALIZED UPON COMPLETION OF DESIGN.



**2 TOWER ELEVATION**  
NOT TO SCALE

**"ISSUED FOR LEASE"**

 Natcom, L.L.C. <small>2000 Connecticut Ave.                  Suite 200                  Danbury, CT 06810                  860-349-1111</small>	 <b>AT&amp;T</b> AT&T WIRELESS PCS LLC <small>18 GARDEN CITY                  STAMFORD, CONNECTICUT 06907</small>	DRAWING TITLE: LEASE EXHIBIT	DRAWING NO. <b>3CO-CT179-X02-0</b>						
		PROJECT INFORMATION: GERMANTOWN CT-179.2 50 NEWTOWN ROAD DANBURY, CT	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>REVISION NO. 0</td> <td>DRAWN BY: LJA</td> </tr> <tr> <td>DATE ISSUED: 03/27/01</td> <td>CHECKED BY: JAP</td> </tr> <tr> <td>SCALE: NONE</td> <td>APPROVED BY: CFC</td> </tr> <tr> <td colspan="2" style="text-align: right;">SHEET NO. 1 OF 2</td> </tr> </table>	REVISION NO. 0	DRAWN BY: LJA	DATE ISSUED: 03/27/01	CHECKED BY: JAP	SCALE: NONE	APPROVED BY: CFC
REVISION NO. 0	DRAWN BY: LJA								
DATE ISSUED: 03/27/01	CHECKED BY: JAP								
SCALE: NONE	APPROVED BY: CFC								
SHEET NO. 1 OF 2									
		PROPERTY OWNER: 48 NEWTOWN CORPORATION 50 NEWTOWN ROAD DANBURY, CT	A/C PROJECT NO: 311A						

# ATTACHMENT F

As-Built Drawings

**PROJECT INFORMATION**

SCOPE OF WORK: ITEMS TO BE MOUNTED ON MONOPOLE TOWER:  
 • NEW AT&T RRUS: (3) RRUS-32 B66 & (3) 4478-700.  
 • NEW ANTENNA: (1) 800-10965 FOR ALPHA, 800-10964 FOR BETA AND GAMMA SECTOR (TOTAL OF 3).  
 • NEW SURGE ARRESTOR: (1) SURGE ARRESTOR, (2) DC POWER CABLES, & (1) FIBER RUN.  
 • NEW JUMPER CABLES: COAX JUMPER (3) PER SECTOR FROM EACH RRU (TOTAL OF 9).  
 • NEW FIBER JUMPERS: FIBER JUMPERS (3) FROM THE SQUID TO EACH RRU (TOTAL OF 9).

ITEMS TO REMAIN:  
 • (9) ANTENNAS, (9) RRU'S, (2) SURGE ARRESTORS, (2) DC POWER CABLES, (1) FIBER RUN & (12) 1-5/8" COAX CABLES.

SITE ADDRESS: 48 NEWTOWN ROAD  
DANBURY, CT 06810

LATITUDE: 41.403300° N 41° 24' 11.88" N  
 LONGITUDE: 73.424400° W 73° 25' 27.84" W

TYPE OF SITE: MONOPOLE / INDOOR EQUIPMENT

TOWER HEIGHT: 110'-0"±  
 RAD CENTER: 100'-0"±

JURISDICTION: NATIONAL, STATE & LOCAL CODES OR ORDINANCES

CURRENT USE: TELECOMMUNICATIONS FACILITY

PROPOSED USE: TELECOMMUNICATIONS FACILITY

AS-BUILT REDLINE	
THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.	
Subcontractor	Date
Field Coordinator	Date
Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant	
Market Lead Engineer	Date



**SITE NUMBER: CT2157**

**SITE NAME: DANBURY EAST**

**PROJECT: LTE 6C 7C 2018 UPGRADE**

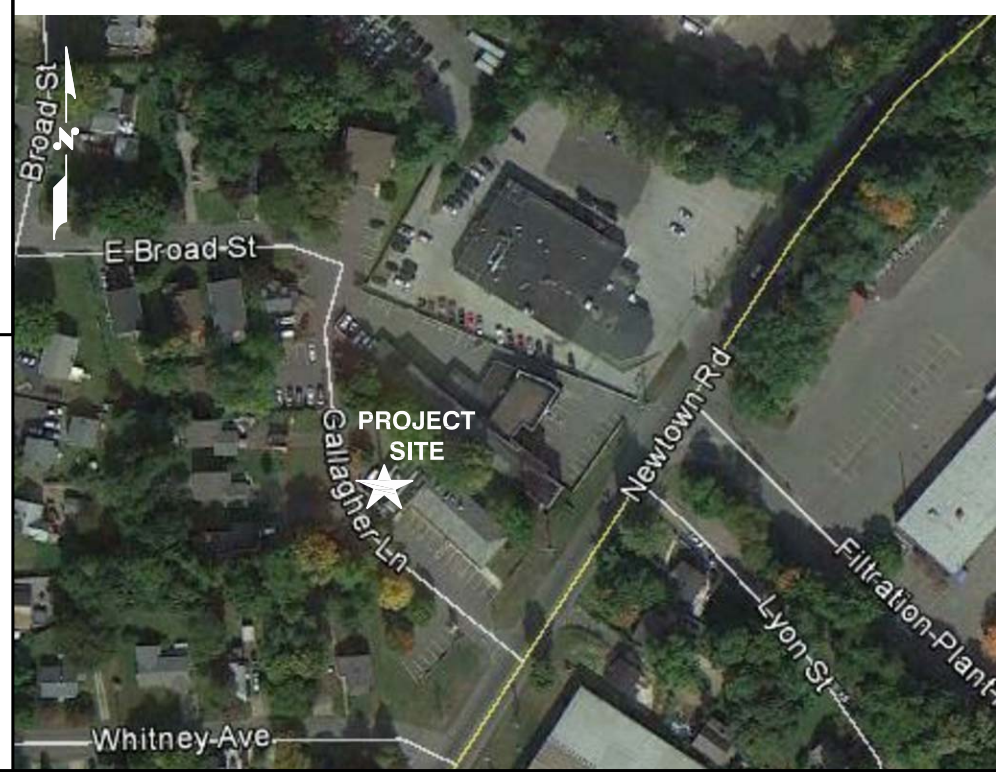
**DRAWING INDEX**

SHEET NO.	DESCRIPTION	REV.
T-1	TITLE SHEET	1
GN-1	GENERAL NOTES	1
A-1	COMPOUND & EQUIPMENT PLAN	1
A-2	ANTENNA LAYOUTS	1
A-3	ELEVATION	1
A-4	DETAILS	1
RF-1	RF-PLUMBING DIAGRAM	1
G-1	GROUNDING DETAILS	1

**CCI SITE #: 852850**  
**CCI SITE NAME: DANBURY EAST**

**VICINITY MAP**

DIRECTIONS TO SITE:  
 TAKE ROUTE 17 NORTH TO RIDGEWOOD AVE. FOLLOW RIDGEWOOD AVENUE TO THE GARDEN STATE PARKWAY GET ON GOING NORTH. STAY ON THE GARDEN STATE PARKWAY NORTH UNTIL YOU GET TO THE NEW YORK STATE THRUWAY (RT. 87 SOUTH) TOWARDS THE TAPPAN ZEE BRIDGE. TAKE EXIT 8 (CROSS WESTCHESTER PARKWAY /RT. 287). TAKE RT. 287 EAST TO 684 NORTH. GET OFF EXIT FOR 84-EAST DANBURY FOLLOW TO EXIT 8. MAKE RIGHT AT RAMP. FOLLOW ON STONY HILL RD. SITE ON RIGHT. DRIVEWAY AROUND BACK OF BUILDING. DEMARC IS IN GRAY BOX ON THE OUTSIDE OF BUILDING LEFT OF STAIRS (NEXTTEL BOX) .



**GENERAL NOTES**

1. THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF AT&T. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.
2. THE FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
3. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE AT&T MOBILITY REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
4. CONSTRUCTION DRAWINGS ARE VALID FOR SIX MONTHS AFTER ENGINEER OF RECORD'S STAMPED AND SIGNED SUBMITTAL DATE LISTED HEREIN.

**72 HOURS**

**CALL BEFORE YOU DIG**  
 CALL TOLL FREE 1-800-922-4455  
 OR CALL 811

**UNDERGROUND SERVICE ALERT**

**HGD HUDSON Design Group LLC**  
 45 BEECHWOOD DRIVE NORTH ANDOVER, MA 01845  
 TEL: (978) 557-5553  
 FAX: (978) 336-5586

**SAI**  
 12 INDUSTRIAL WAY  
 SALEM, NH 03079

**SITE NUMBER: CT2157**  
**SITE NAME: DANBURY EAST**  
**CCI SITE NUMBER: 852850**  
 48 NEWTOWN ROAD  
 DANBURY, CT 06810  
 FAIRFIELD COUNTY

**at&t**  
 550 COCHITUATE ROAD  
 FRAMINGHAM, MA 01701

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	05/11/18	ISSUED FOR CONSTRUCTION	SF	AT	DPH
A	02/13/18	ISSUED FOR REVIEW	TB	AT	DPH

SCALE: AS SHOWN    DESIGNED BY: AT    DRAWN BY: LL

**Professional Engineer Seal**  
 STATE OF CONNECTICUT  
 ERNEK J. CREASER  
 LICENSED PROFESSIONAL ENGINEER  
 No. 2055

AT&T		
TITLE SHEET LTE 6C 7C 2018 UPGRADE		
SITE NUMBER	DRAWING NUMBER	REV
CT2157	T-1	1



**GROUNDING NOTES**

1. THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AHJ), THE SITE-SPECIFIC (UL, LPI, OR NFPA) LIGHTNING PROTECTION CODE, AND GENERAL COMPLIANCE WITH TELCORDIA AND TIA GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE CONTRACTOR FOR RESOLUTION.
2. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
3. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR NEW GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
4. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
5. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS 2 AWG STRANDED COPPER FOR OUTDOOR BTS.
6. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
7. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
8. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO GROUND BAR.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
11. METAL CONDUIT SHALL BE MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWS COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
12. ALL NEW STRUCTURES WITH A FOUNDATION AND/OR FOOTING HAVING 20 FT. OR MORE OF 1/2 IN. OR GREATER ELECTRICALLY CONDUCTIVE REINFORCING STEEL MUST HAVE IT BONDED TO THE GROUND RING USING AN EXOTHERMIC WELD CONNECTION USING #2 AWG SOLID BARE TINNED COPPER GROUND WIRE, PER NEC 250.50

**GENERAL NOTES**

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:  
 CONTRACTOR – SAI  
 SUBCONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION)  
 OWNER – AT&T MOBILITY
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
4. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.
5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
6. "KITTING LIST" SUPPLIED WITH THE BID PACKAGE IDENTIFIES ITEMS THAT WILL BE SUPPLIED BY CONTRACTOR. ITEMS NOT INCLUDED IN THE BILL OF MATERIALS AND KITTING LIST SHALL BE SUPPLIED BY THE SUBCONTRACTOR.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
9. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR.
10. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
12. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
13. ALL CONCRETE REPAIR WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301.

14. ANY NEW CONCRETE NEEDED FOR THE CONSTRUCTION SHALL BE AIR-ENTRAINED AND SHALL HAVE 4000 PSI STRENGTH AT 28 DAYS. ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 CODE REQUIREMENTS.
15. ALL STRUCTURAL STEEL WORK SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH AISC SPECIFICATIONS. ALL STRUCTURAL STEEL SHALL BE ASTM A36 (Fy = 36 ksi) UNLESS OTHERWISE NOTED. PIPES SHALL BE ASTM A53 TYPE E (Fy = 36 ksi). ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED. TOUCHUP ALL SCRATCHES AND OTHER MARKS IN THE FIELD AFTER STEEL IS ERECTED USING A COMPATIBLE ZINC RICH PAINT.
16. CONSTRUCTION SHALL COMPLY WITH LTE SPECIFICATIONS AND "GENERAL CONSTRUCTION SERVICES FOR CONSTRUCTION OF AT&T SITES."
17. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
18. THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.
19. SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
20. APPLICABLE BUILDING CODES:  
 SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.  
 BUILDING CODE: IBC 2012 WITH 2016 CT BUILDING CODE AMENDMENTS  
 ELECTRICAL CODE: REFER TO ELECTRICAL DRAWINGS  
 LIGHTENING CODE: REFER TO ELECTRICAL DRAWINGS

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE;

AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, FOURTEENTH EDITION;

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL

EQUIPMENT AND ANTENNA SUPPORTING STRUCTURES; REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC ELECTRICAL STANDARDS.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

<b>AS-BUILT REDLINE</b>	
<b>THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.</b>	
Subcontractor	Date
Field Coordinator	Date
<b>Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant</b>	
Market Lead Engineer	Date

ABBREVIATIONS					
AGL	ABOVE GRADE LEVEL	EQ	EQUAL	REQ	REQUIRED
AWG	AMERICAN WIRE GAUGE	GC	GENERAL CONTRACTOR	RF	RADIO FREQUENCY
BBU	BATTERY BACKUP UNIT	GRC	GALVANIZED RIGID CONDUIT	TBD	TO BE DETERMINED
BTCW	BARE TINNED SOLID COPPER WIRE	MGB	MASTER GROUND BAR	TBR	TO BE REMOVED
BGR	BURIED GROUND RING	MIN	MINIMUM	TBRR	TO BE REMOVED AND REPLACED
BTS	BASE TRANSCEIVER STATION	P	PROPOSED	TYP	TYPICAL
E	EXISTING	NTS	NOT TO SCALE	UG	UNDER GROUND
EGB	EQUIPMENT GROUND BAR	RAD	RADIATION CENTER LINE (ANTENNA)	VIF	VERIFY IN FIELD
EGR	EQUIPMENT GROUND RING	REF	REFERENCE		

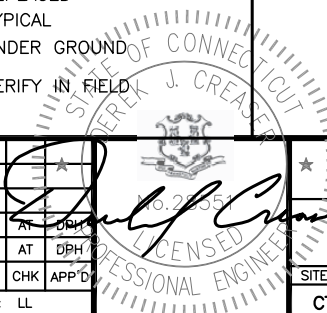
45 BEECHWOOD DRIVE  
NORTH ANDOVER, MA 01845  
TEL: (978) 557-5553  
FAX: (978) 336-5586

12 INDUSTRIAL WAY  
SALEM, NH 03079

SITE NUMBER: CT2157  
SITE NAME: DANBURY EAST  
CCI SITE NUMBER: 852850  
48 NEWTOWN ROAD  
DANBURY, CT 06810  
FAIRFIELD COUNTY

550 COCHITUATE ROAD  
FRAMINGHAM, MA 01701

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	05/11/18	ISSUED FOR CONSTRUCTION	SF	AT	DPH
A	02/13/18	ISSUED FOR REVIEW	TB	AT	DPH
SCALE: AS SHOWN		DESIGNED BY: AT	DRAWN BY: LL		



AT&T

GENERAL NOTES  
LTE 6C 7C 2018 UPGRADE

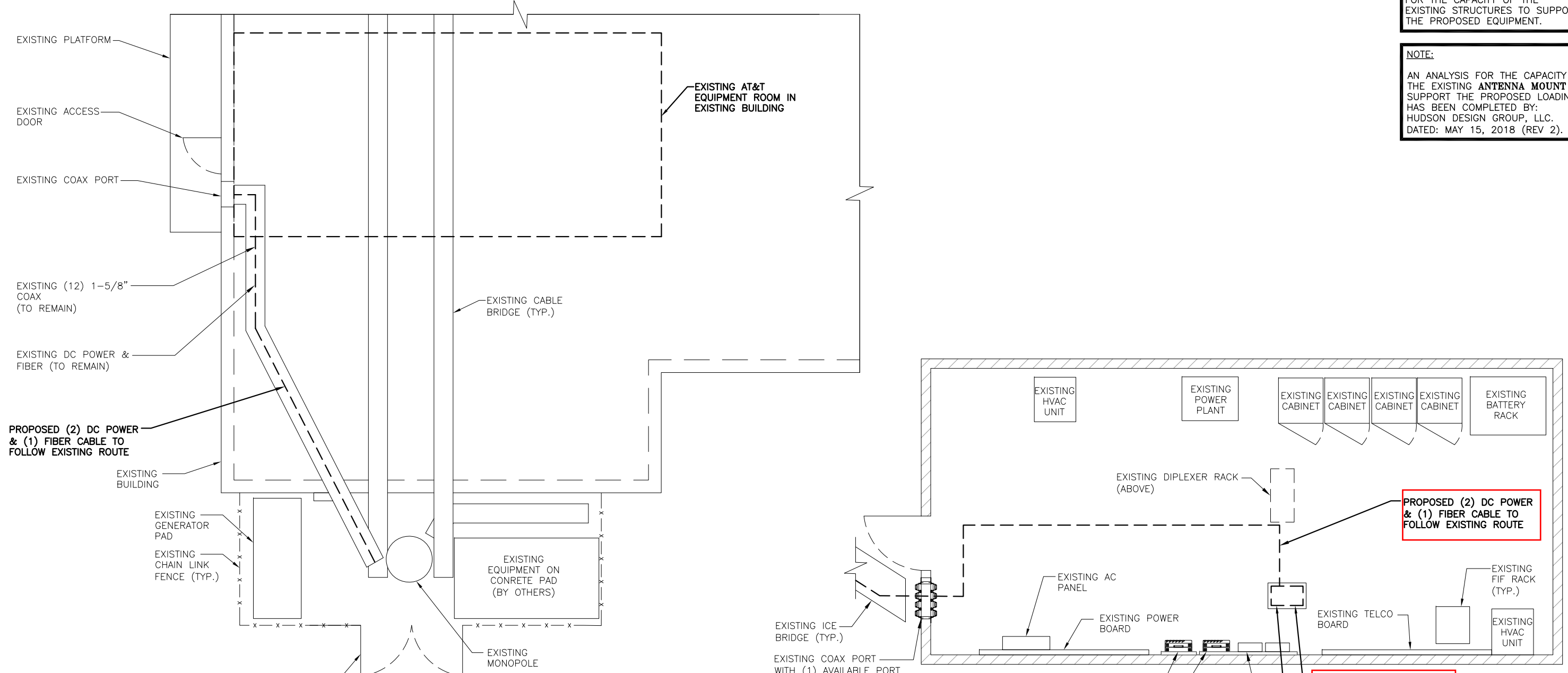
SITE NUMBER	DRAWING NUMBER	REV
CT2157	GN-1	1



**NOTE:**  
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

**NOTE:**  
REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: MAY 17, 2018, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

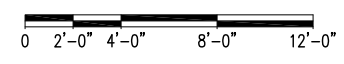
**NOTE:**  
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING ANTENNA MOUNT TO SUPPORT THE PROPOSED LOADING HAS BEEN COMPLETED BY: HUDSON DESIGN GROUP, LLC. DATED: MAY 15, 2018 (REV 2).



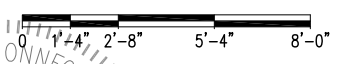
AS-BUILT REDLINE	
THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.	
Subcontractor	Date
Field Coordinator	Date
Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant	
Market Lead Engineer	Date

**done by others**  
SWAP BB WITH (2) 5216 RACKS, SWAP IDL2 WITH (1) IDL2, ADD (1) 2ND XMU IN LTE RACK  
ADD DC12 IN LTE RACK

**COMPOUND PLAN**  
22x34 SCALE: 1/4"=1'-0"  
11x17 SCALE: 1/8"=1'-0"  
1  
A-1



**EQUIPMENT PLAN**  
22x34 SCALE: 3/8"=1'-0"  
11x17 SCALE: 3/16"=1'-0"  
2  
A-1



**HUDSON Design Group LLC**  
45 BEECHWOOD DRIVE  
NORTH ANDOVER, MA 01845  
TEL: (978) 557-5553  
FAX: (978) 336-5586

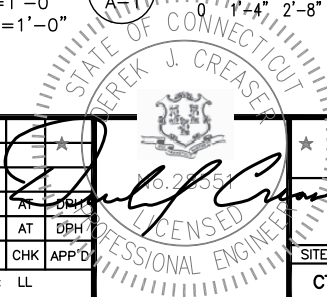
**SAI**  
12 INDUSTRIAL WAY  
SALEM, NH 03079

SITE NUMBER: CT2157  
SITE NAME: DANBURY EAST  
CCI SITE NUMBER: 852850  
48 NEWTOWN ROAD  
DANBURY, CT 06810  
FAIRFIELD COUNTY

**at&t**  
550 COCHITUATE ROAD  
FRAMINGHAM, MA 01701

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	05/11/18	ISSUED FOR CONSTRUCTION	SF	AT	LL
A	02/13/18	ISSUED FOR REVIEW	TB	AT	DPH

SCALE: AS SHOWN    DESIGNED BY: AT    DRAWN BY: LL



**AT&T**  
COMPOUND & EQUIPMENT PLAN  
LTE 6C 7C 2018 UPGRADE  
SITE NUMBER: CT2157    DRAWING NUMBER: A-1    REV: 1

**AS-BUILT REDLINE**

THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.

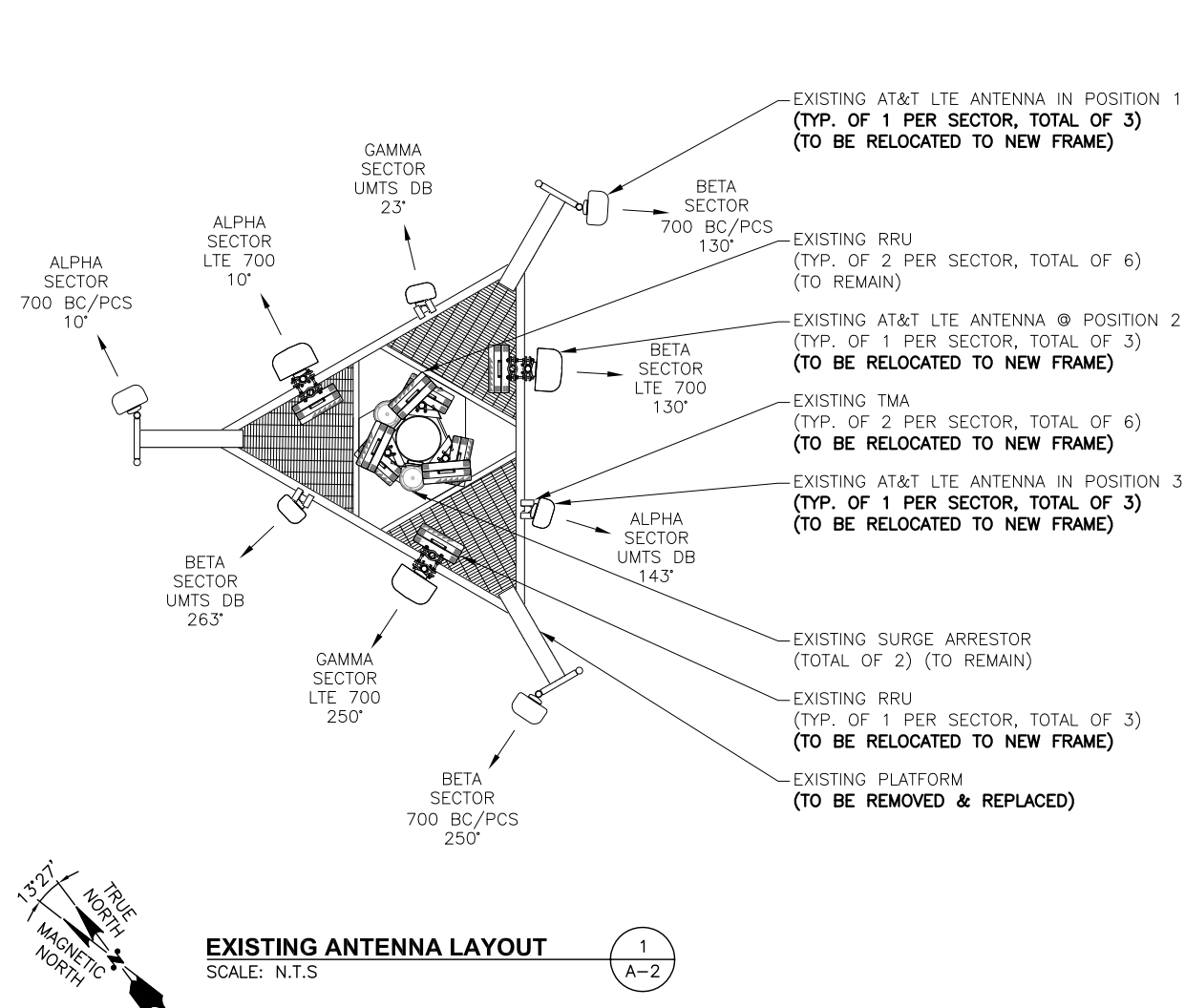
Subcontractor	Date
Field Coordinator	Date
Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant	
Market Lead Engineer	Date

**NOTE: Removed 1C and 2C RRH's off of the collar and reinstalled them on the NEW "V" braces on the NEW sector frames**

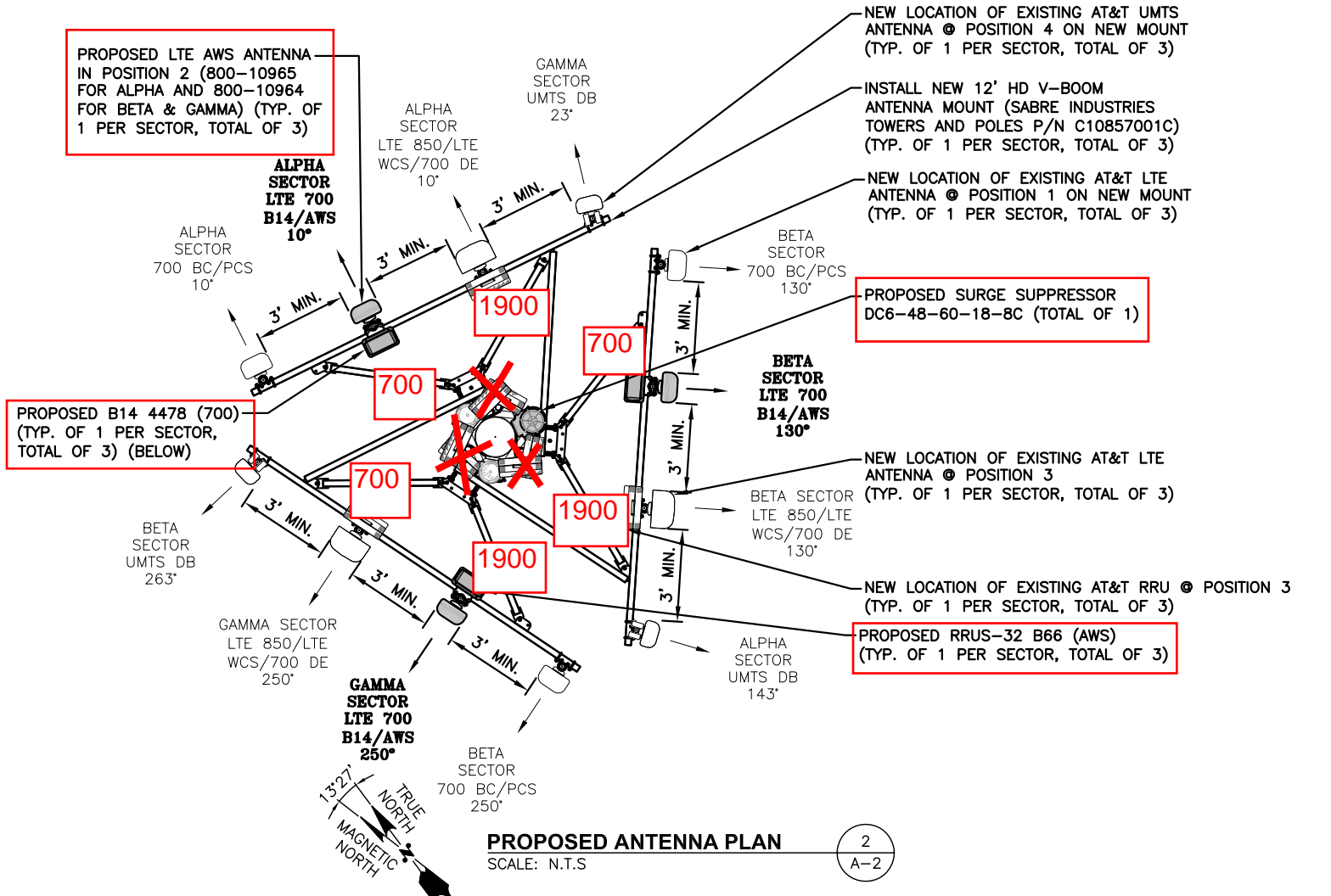
**NOTE:**  
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

**NOTE:**  
REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: MAY 17, 2018, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

**NOTE:**  
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING ANTENNA MOUNT TO SUPPORT THE PROPOSED LOADING HAS BEEN COMPLETED BY: HUDSON DESIGN GROUP, LLC. DATED: MAY 15, 2018 (REV 2).



**EXISTING ANTENNA LAYOUT**  
SCALE: N.T.S. 1 A-2



**PROPOSED ANTENNA PLAN**  
SCALE: N.T.S. 2 A-2

**HGD HUDSON Design Group LLC**  
45 BEECHWOOD DRIVE NORTH ANDOVER, MA 01845  
TEL: (978) 557-5553 FAX: (978) 336-5586

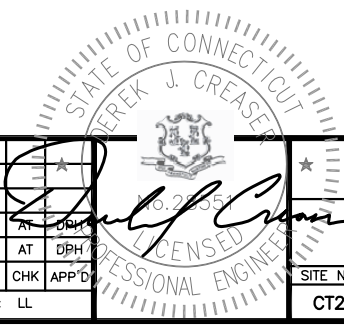
**S&I**  
12 INDUSTRIAL WAY SALEM, NH 03079

SITE NUMBER: CT2157  
SITE NAME: DANBURY EAST  
CCI SITE NUMBER: 852850  
48 NEWTOWN ROAD DANBURY, CT 06810  
FAIRFIELD COUNTY

**at&t**  
550 COCHITUATE ROAD FRAMINGHAM, MA 01701

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	05/11/18	ISSUED FOR CONSTRUCTION	SF	AT	LL
A	02/13/18	ISSUED FOR REVIEW	TB	AT	DPH

SCALE: AS SHOWN DESIGNED BY: AT DRAWN BY: LL



**AT&T**  
ANTENNA LAYOUTS  
LTE 6C 7C 2018 UPGRADE  
SITE NUMBER: CT2157 DRAWING NUMBER: A-2 REV: 1

NEW LOCATION OF EXISTING AT&T RRU @ POSITION 3 (TYP. OF 1 PER SECTOR, TOTAL OF 3)

INSTALL NEW 12' HD V-BOOM ANTENNA MOUNT (SABRE INDUSTRIES TOWERS AND POLES P/N C10857001C) (TYP. OF 1 PER SECTOR, TOTAL OF 3)

TOP OF EXISTING TOWER  
ELEV. = 110'-0"± (AGL)

CL OF EXISTING/PROPOSED AT&T ANTENNAS  
ELEV. = 100'-0"± (AGL)

NEW LOCATION OF EXISTING AT&T UMTS ANTENNA @ POSITION 4 ON NEW MOUNT (TYP. OF 1 PER SECTOR, TOTAL OF 3)

NEW LOCATION OF EXISTING AT&T LTE ANTENNA @ POSITION 3 (TYP. OF 1 PER SECTOR, TOTAL OF 3)

PROPOSED LTE AWS ANTENNA @ POSITION 2 (800-10965 FOR ALPHA AND 800-10964 FOR BETA & GAMMA) (TYP. OF 1 PER SECTOR, TOTAL OF 3)

NEW LOCATION OF EXISTING AT&T LTE ANTENNA @ POSITION 1 ON NEW MOUNT (TYP. OF 1 PER SECTOR, TOTAL OF 3)

PROPOSED RRUS-32 B66 (AWS) (TYP. OF 1 PER SECTOR, TOTAL OF 3)

PROPOSED B14 4478 (700) (TYP. OF 1 PER SECTOR, TOTAL OF 3) (BELOW)

PROPOSED (2) DC POWER CABLES, AND (1) FIBER CABLE TO FOLLOW EXISTING ROUTING

EXISTING (12) 1-5/8" COAX (TO REMAIN)

EXISTING DC POWER & FIBER (TO REMAIN)

EXISTING BUILDING

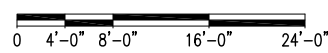
EXISTING ICE BRIDGE

EXISTING CHAIN LINK FENCE (TYP.)

GROUND LEVEL  
ELEV. = 0'-0"± (AGL)

**ELEVATION**

22x34 SCALE: 1/8"=1'-0"  
11x17 SCALE: 1/16"=1'-0"



NOTE:  
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

NOTE:  
REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: MAY 17, 2018, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

NOTE:  
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING ANTENNA MOUNT TO SUPPORT THE PROPOSED LOADING HAS BEEN COMPLETED BY: HUDSON DESIGN GROUP, LLC. DATED: MAY 15, 2018 (REV 2).

<b>AS-BUILT REDLINE</b>	
THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.	
Subcontractor	Date
Field Coordinator	Date
Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant	
Market Lead Engineer	Date

**HUDSON**  
Design Group LLC  
45 BEECHWOOD DRIVE  
NORTH ANDOVER, MA 01845  
TEL: (978) 557-5553  
FAX: (978) 336-5586

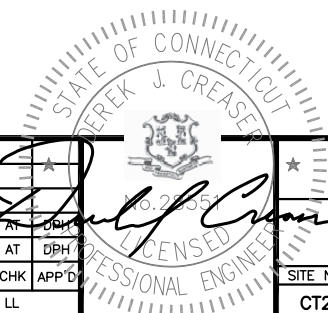
**SAI**  
12 INDUSTRIAL WAY  
SALEM, NH 03079

SITE NUMBER: CT2157  
SITE NAME: DANBURY EAST  
CCI SITE NUMBER: 852850  
48 NEWTOWN ROAD  
DANBURY, CT 06810  
FAIRFIELD COUNTY

**at&t**  
550 COCHITUATE ROAD  
FRAMINGHAM, MA 01701

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	05/11/18	ISSUED FOR CONSTRUCTION	SF	AT	DPH
A	02/13/18	ISSUED FOR REVIEW	TB	AT	DPH

SCALE: AS SHOWN    DESIGNED BY: AT    DRAWN BY: LL



AT&T		
ELEVATION LTE 6C 7C 2018 UPGRADE		
SITE NUMBER	DRAWING NUMBER	REV
CT2157	A-3	1



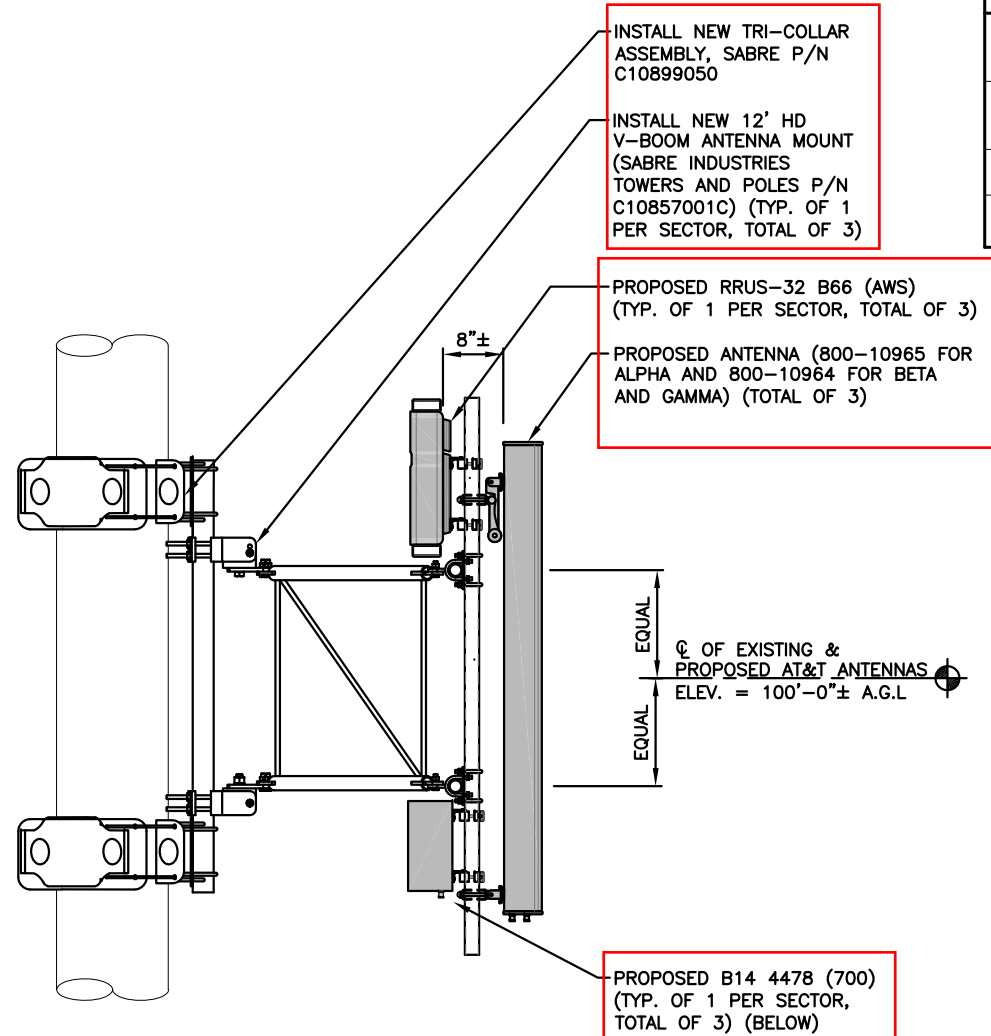
**NOTE:**  
REFER TO STRUCTURAL ANALYSIS BY: HUDSON DESIGN GROUP, LLC, DATED: MAY 17, 2018, FOR THE CAPACITY OF THE EXISTING STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT.

**NOTE:**  
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING ANTENNA MOUNT TO SUPPORT THE PROPOSED LOADING HAS BEEN COMPLETED BY: HUDSON DESIGN GROUP, LLC, DATED: MAY 15, 2018 (REV 2).

**NOTE:**  
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

AS-BUILT REDLINE	
THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.	
Subcontractor	Date
Field Coordinator	Date
Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant	
Market Lead Engineer	Date

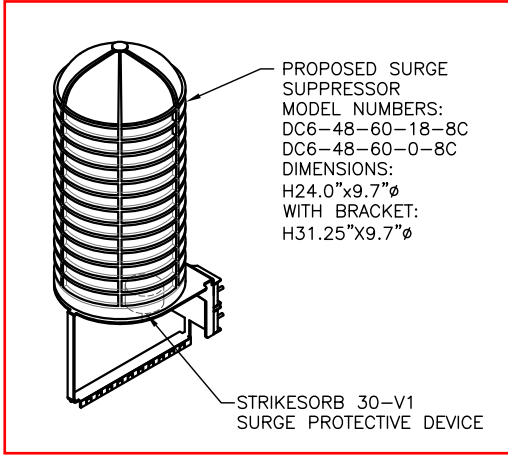
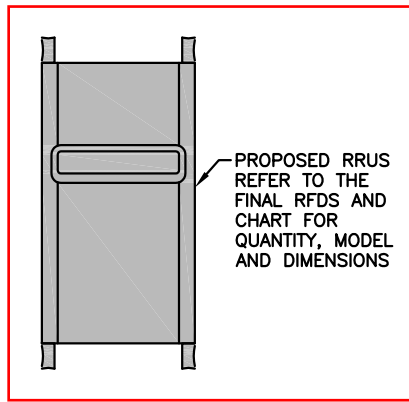
SECTOR	EXISTING/PROPOSED	BAND	ANTENNA	SIZE (INCHES) (L X W X D)	RAD CENTER	AZIMUTH	TMAS	RRUS	SIZE (INCHES) (L X W X D)	FEEDER	RAYCAP
A1	EXISTING	LTE 700 BC / PCS	HPA-65R-BUU-H8	92.4X14.8X7.4	100'±	10°	-	(E) RRUS-11 (PCS) (E) RRUS-32B2 (PCS)	-	-	-
A2	<b>PROPOSED</b>	LTE 700 B14/AWS	800-10965	96X21X6.3	100'±	10°	-	(P) RRUS 32B66 (AWS) (P) B14 4478 (700)	27.2X12.1X7.0 15.0X13.2X7.4	-	(1) RAYCAP DC6-48-60-18-8C
A3	EXISTING	LTE 850/LTE WCS/700DE	OPA-65R-LCUU-H6	72X14.8X7.4	100'±	10°	-	(E) RRUS-32 (WCS)	-	(2) 1-5/8 COAX	(E) (1) RAYCAP DC6-48-60-18-8C
A4	EXISTING	UMTS DB	7770	55X11.9X7.1	100'±	143°	(E) (2) LGP21401	-	-	(2) 1-5/8 COAX	(E) (1) RAYCAP DC6-48-60-18-8C
B1	EXISTING	LTE 700 BC / PCS	HPA-65R-BUU-H8	92.4X14.8X7.4	100'±	130°	-	(E) RRUS-11 (PCS) (E) RRUS-32B2 (PCS)	-	-	-
B2	<b>PROPOSED</b>	LTE 700 B14/AWS	800-10965	96X21X6.3	100'±	130°	-	(P) RRUS 32B66 (AWS) (P) B14 4478 (700)	27.2X12.1X7.0 15.0X13.2X7.4	-	(1) RAYCAP DC6-48-60-18-8C
B3	EXISTING	LTE 850/LTE WCS/700DE	OPA-65R-LCUU-H6	72X14.8X7.4	100'±	130°	-	(E) RRUS-32 (WCS)	-	(2) 1-5/8 COAX	(E) (1) RAYCAP DC6-48-60-18-8C
B4	EXISTING	UMTS DB	7770	55X11.9X7.1	100'±	263°	(E) (2) LGP21401	-	-	(2) 1-5/8 COAX	(E) (1) RAYCAP DC6-48-60-18-8C
C1	EXISTING	LTE 700 BC / PCS	HPA-65R-BUU-H8	92.4X14.8X7.4	100'±	250°	-	(E) RRUS-11 (PCS) (E) RRUS-32B2 (PCS)	-	-	-
C2	<b>PROPOSED</b>	LTE 700 B14/AWS	800-10965	96X21X6.3	100'±	250°	-	(P) RRUS 32B66 (AWS) (P) B14 4478 (700)	27.2X12.1X7.0 15.0X13.2X7.4	-	(1) RAYCAP DC6-48-60-18-8C
C3	EXISTING	LTE 850/LTE WCS/700DE	OPA-65R-LCUU-H6	72X14.8X7.4	100'±	250°	-	(E) RRUS-32 (WCS)	-	(2) 1-5/8 COAX	(E) (1) RAYCAP DC6-48-60-18-8C
C4	EXISTING	UMTS DB	7770	55X11.9X7.1	100'±	23°	(E) (2) LGP21401	-	-	(2) 1-5/8 COAX	(E) (1) RAYCAP DC6-48-60-18-8C



**FINAL ANTENNA CONFIGURATION**  
SCALE: N.T.S.

RRU CHART				
QUANTITY	MODEL	L	W	D
6(E)	RRUS-11	19.7"	17.0"	7.2"
6(E)	RRUS-32	26.2"	11.1"	6.0"
3(P)	RRUS-32	27.2"	12.1"	7.0"
3(P)	B14 4478	15.0"	13.2"	7.4"
3(E)	RRUS-E2	20.4"	18.5"	7.5"
-	LTE-A2	16.4"	15.2"	3.4"

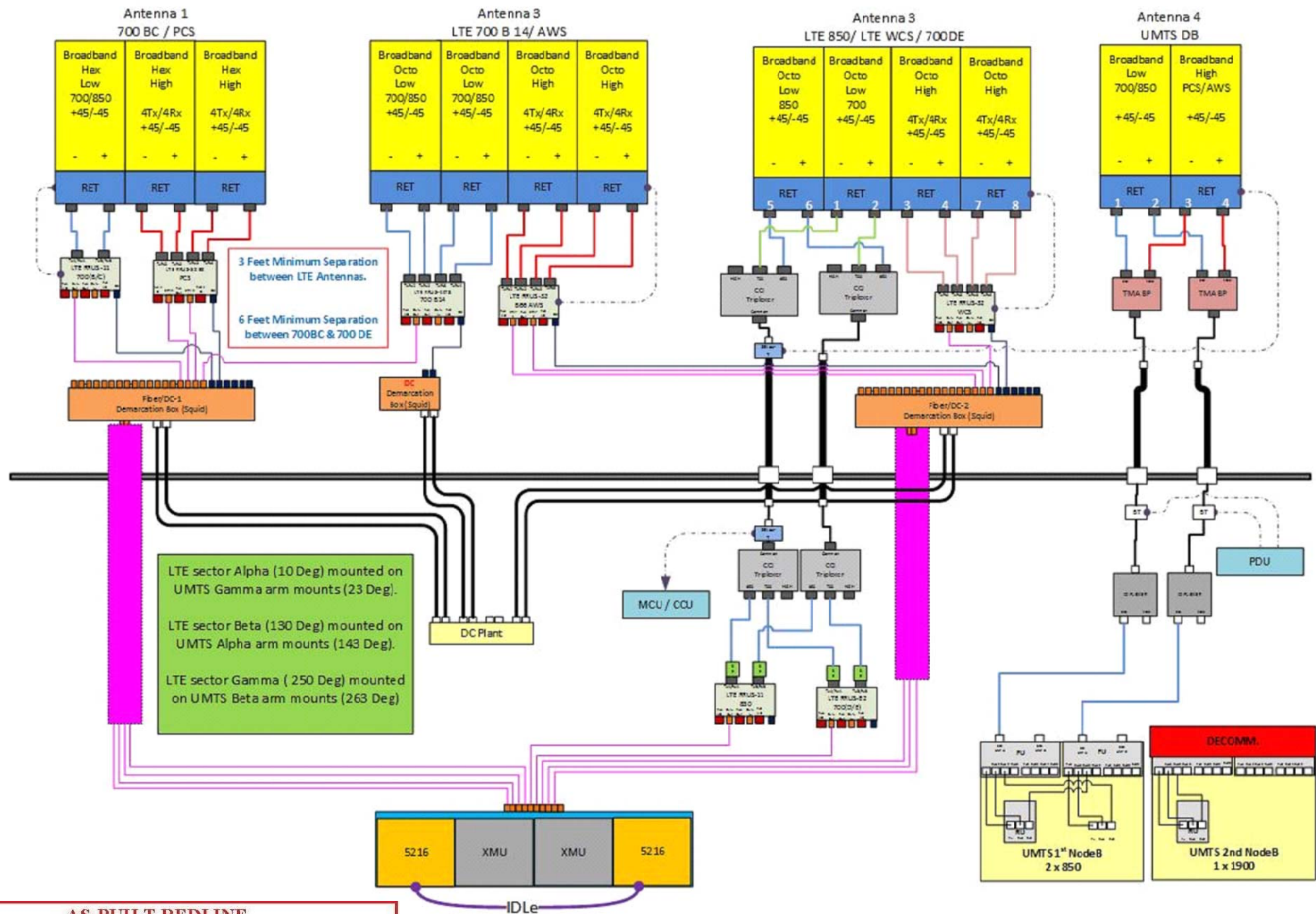
**NOTE:**  
MOUNT PER MANUFACTURER'S SPECIFICATIONS



**PROPOSED ANTENNA & RRU MOUNTING DETAIL**  
22x34 SCALE: 1"=1'-0"  
11x17 SCALE: 1/2"=1'-0"

**RRUS DETAIL**  
SCALE: N.T.S.

**DC SURGE SUPPRESSOR DETAIL**  
SCALE: N.T.S.



AS-BUILT REDLINE	
THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.	
Subcontractor	Date
Field Coordinator	Date
<b>Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant</b>	
Market Lead Engineer	Date

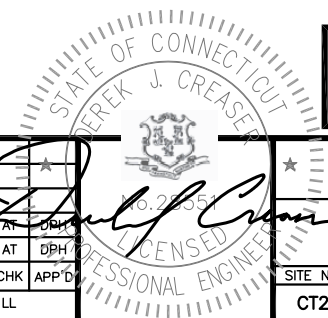
**RF PLUMBING DIAGRAM**  
SCALE: N.T.S

**NOTE:**  
REFER TO THE FINAL RF DATA SHEET FOR FINAL ANTENNA SETTINGS.

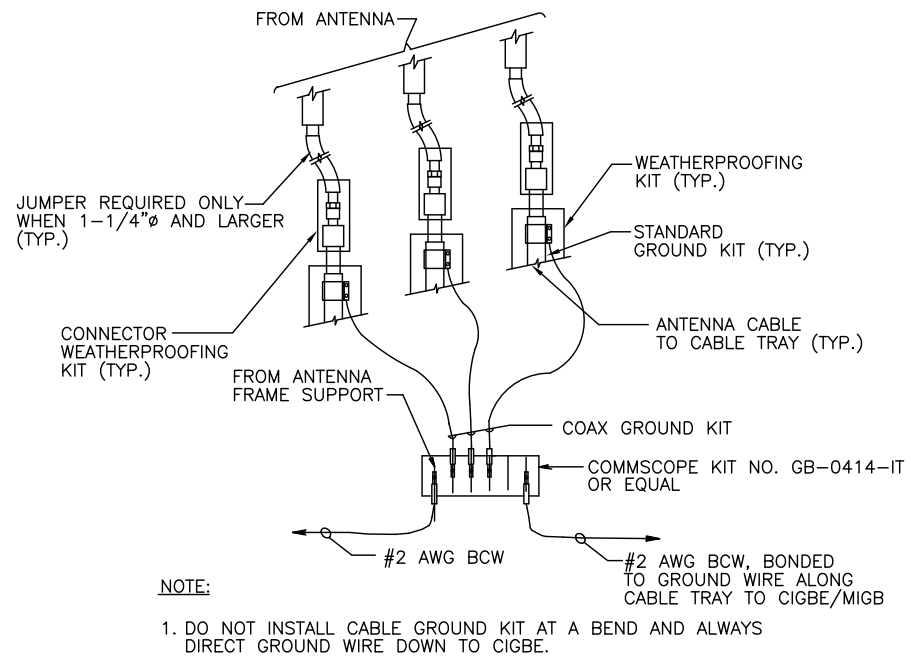
**NOTE:**  
1. CONTRACTOR TO CONFIRM ALL PARTS.  
2. INSTALL ALL EQUIPMENT TO MANUFACTURER'S RECOMMENDATIONS

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	05/11/18	ISSUED FOR CONSTRUCTION	SF	AT	DPH
A	02/13/18	ISSUED FOR REVIEW	TB	AT	DPH

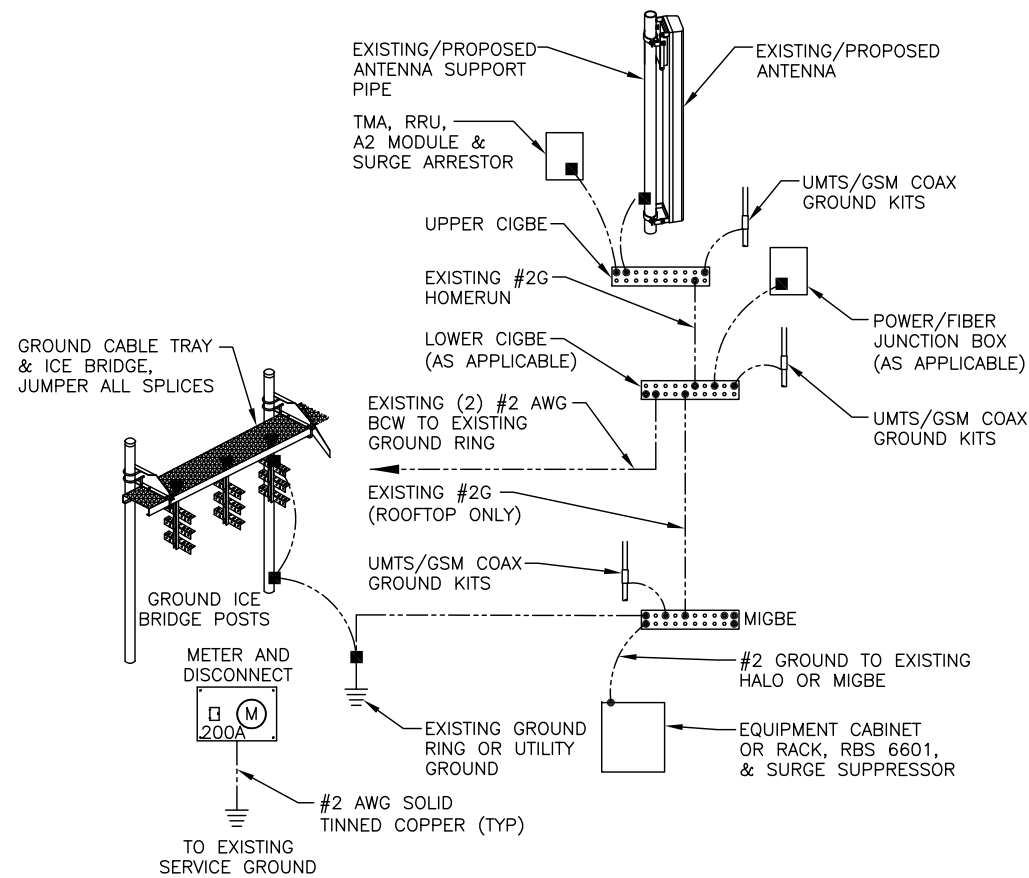
SCALE: AS SHOWN    DESIGNED BY: AT    DRAWN BY: LL



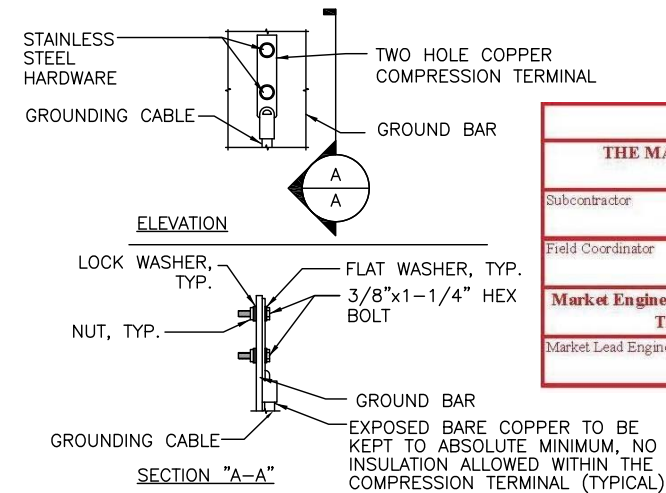




**GROUND WIRE TO GROUND BAR CONNECTION DETAIL** 1  
SCALE: N.T.S. G-1



**GROUNDING RISER DIAGRAM** 2  
SCALE: N.T.S. G-1



NOTE:  
1. "DOUBLING UP" OR "STACKING" OF CONNECTION IS NOT PERMITTED.  
2. OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATION.  
3. CADWELDED DOWNLEADS FROM UPPER EGB, LOWER EGB, AND MGB

**TYPICAL GROUND BAR CONNECTION DETAIL** 3  
SCALE: N.T.S. G-1

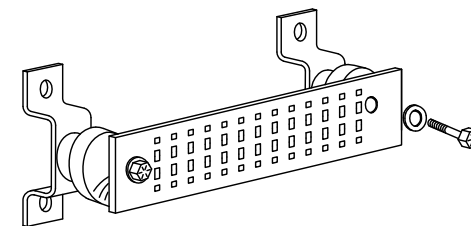
EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.

**SECTION "P" - SURGE PRODUCERS**

- CABLE ENTRY PORTS (HATCH PLATES) (#2)
- GENERATOR FRAMEWORK (IF AVAILABLE) (#2)
- TELCO GROUND BAR
- COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (#2)
- +24V POWER SUPPLY RETURN BAR (#2)
- 48V POWER SUPPLY RETURN BAR (#2)
- RECTIFIER FRAMES.

**SECTION "A" - SURGE ABSORBERS**

- INTERIOR GROUND RING (#2)
- EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2)
- METALLIC COLD WATER PIPE (IF AVAILABLE) (#2)
- BUILDING STEEL (IF AVAILABLE) (#2)

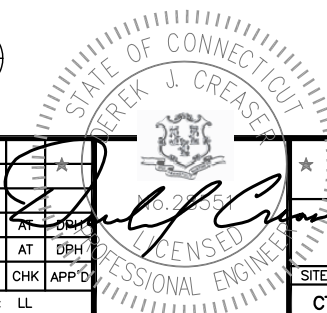


**GROUND BAR - DETAIL** 4  
SCALE: N.T.S. G-1

AS-BUILT REDLINE	
THE MARK-UP ON THIS DRAWING REFLECTS THE AS-BUILT INSTALLATION.	
Subcontractor	Date
Field Coordinator	Date
Market Engineer Shall Review Redline Drawings To Ensure Changes Do Not Alter The Original Design Intent And/Or Are Code Compliant	
Market Lead Engineer	Date

NO.	DATE	REVISIONS	BY	CHK	APP'D
1	05/11/18	ISSUED FOR CONSTRUCTION	SF	AT	DPH
A	02/13/18	ISSUED FOR REVIEW	TB	AT	DPH

SCALE: AS SHOWN    DESIGNED BY: AT    DRAWN BY: LL



# ATTACHMENT G

Updated Site Plan



**SCOPE OF WORK DETAILS**

- GENERAL:**
- NEW GENERAC DIESEL GENERATOR PROVIDED BY GENERAL DYNAMICS & INSTALLED BY GENERAL CONTRACTOR, SEE E-4.
  - NEW 4'-0" X 10'-0" CONCRETE PAD PROVIDED & INSTALLED BY GENERAL CONTRACTOR (AS REQUIRED) SEE S-1
  - NEW GENERAC AUTOMATIC TRANSFER SWITCH PROVIDED BY GENERAL DYNAMICS & INSTALLED BY CONTRACTOR (AS REQUIRED) SEE E-3 & E-5.
  - CONTRACTOR TO VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION
  - CONTRACTOR SHALL RESTORE & REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION

- CONDUITS:**
- INSTALL PULL STRING IN EACH CONDUIT
  - (1) NEW 2" AND (1) NEW 1" ELECTRICAL CONDUITS WITH CONDUCTORS TO RUN FROM NEW GENERATOR TO NEW ATS. CONDUIT PROVIDED AND INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.
  - (1) NEW 1" ELECTRICAL CONDUIT WITH CONDUCTORS TO RUN FROM NEW GENERATOR TO AC PANEL. CONDUIT PROVIDED & INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.
  - (1) NEW 1" ALARM CONDUIT & CABLING PROVIDED & INSTALLED BY GENERAL CONTRACTOR. SEE E-1, E-2 & E-3.

- GROUNDING:**
- NEW EXOTHERMIC CONNECTION FROM EXISTING GROUND RING TO NEW MECHANICAL CONNECTION AT GENERATOR CHASSIS. GENERAL CONTRACTOR TO VERIFY LOCATION IN FIELD. LOCATE GROUND RODS NO MORE THAN 8'-0" APART.

**NOTE:**  
CELL FLOOR IS IN VERY POOR CONDITION. MAINLY RIGHT AT ENTRANCE.

**NOTE:**  
STEEL STAIRS FROM GROUND TO ROOM. STAIRS ARE NOT SECURED WELL AT ALL. PARTS MISSING AND POSTS NOT EVEN CONNECTED. USE CAUTION ON STAIRS AND JUST INSIDE ROOM.

**NOTE:**  
CONDUIT RUN FROM GROUND FLOOR, UP SIDE OF BUILDING PENETRATE BY OTHER CONDUITS.

**NOTE:**  
CONDUIT RUN, TARMAC AND CONCRETE WILL HAVE TO BE CUT MOST IF NO ALL THE WAY TO ATS.



PREPARED FOR:

CONSULTANT:  
**GENERAL DYNAMICS**  
Information Technology, Inc.  
GENERAL DYNAMICS  
101 STATION DR  
WESTWOOD, MA 02090

Certification & Seal:  
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Connecticut.



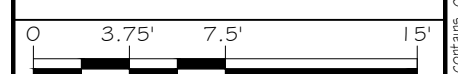
Signature: *[Signature]* Date: 9/06/2023

MARK	DATE	DESCRIPTION
I	09/07/23	REVISED CDs
ISSUE PHASE	FINAL	DATE ISSUED 09/07/2023

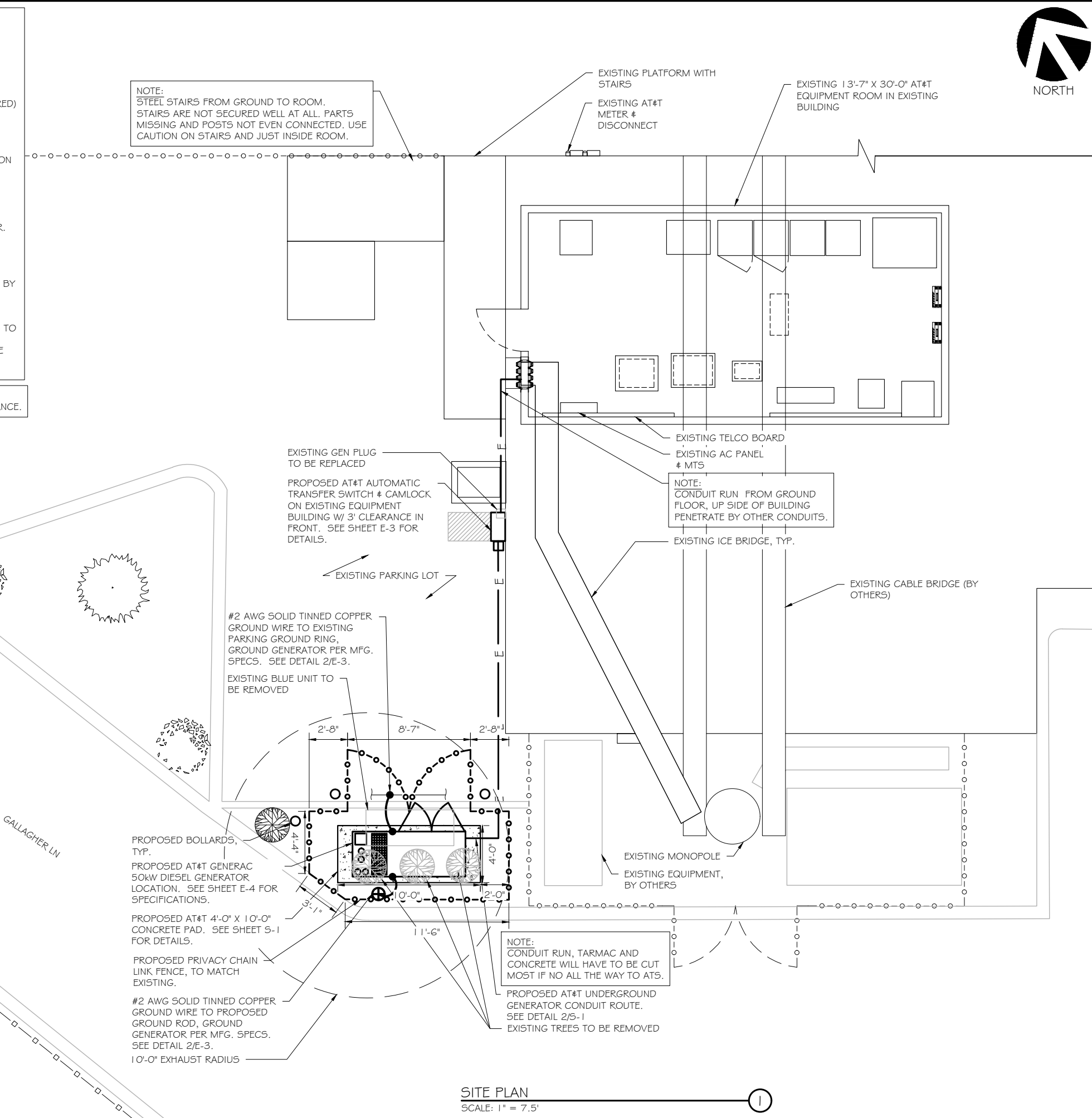
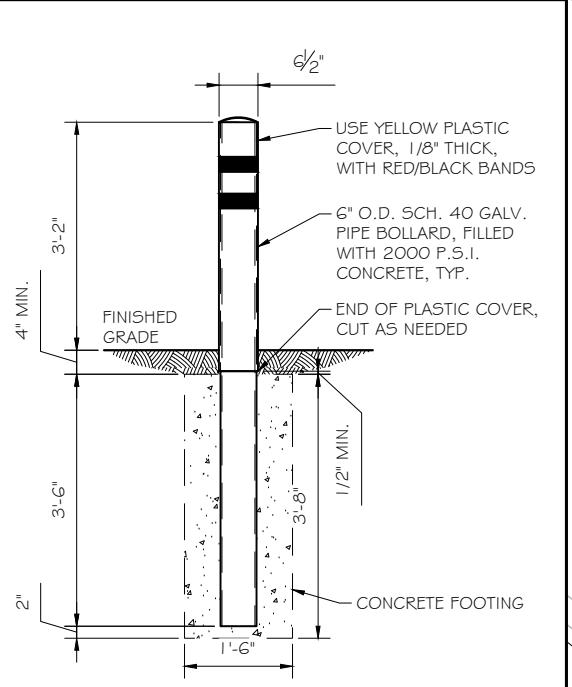
**DANBURY EAST**  
FA ID # 10035077

PROJECT INFORMATION:  
48 NEWTOWN ROAD  
DANBURY, CT 06810

SHEET TITLE:  
**SITE PLAN & EQUIPMENT LAYOUT**

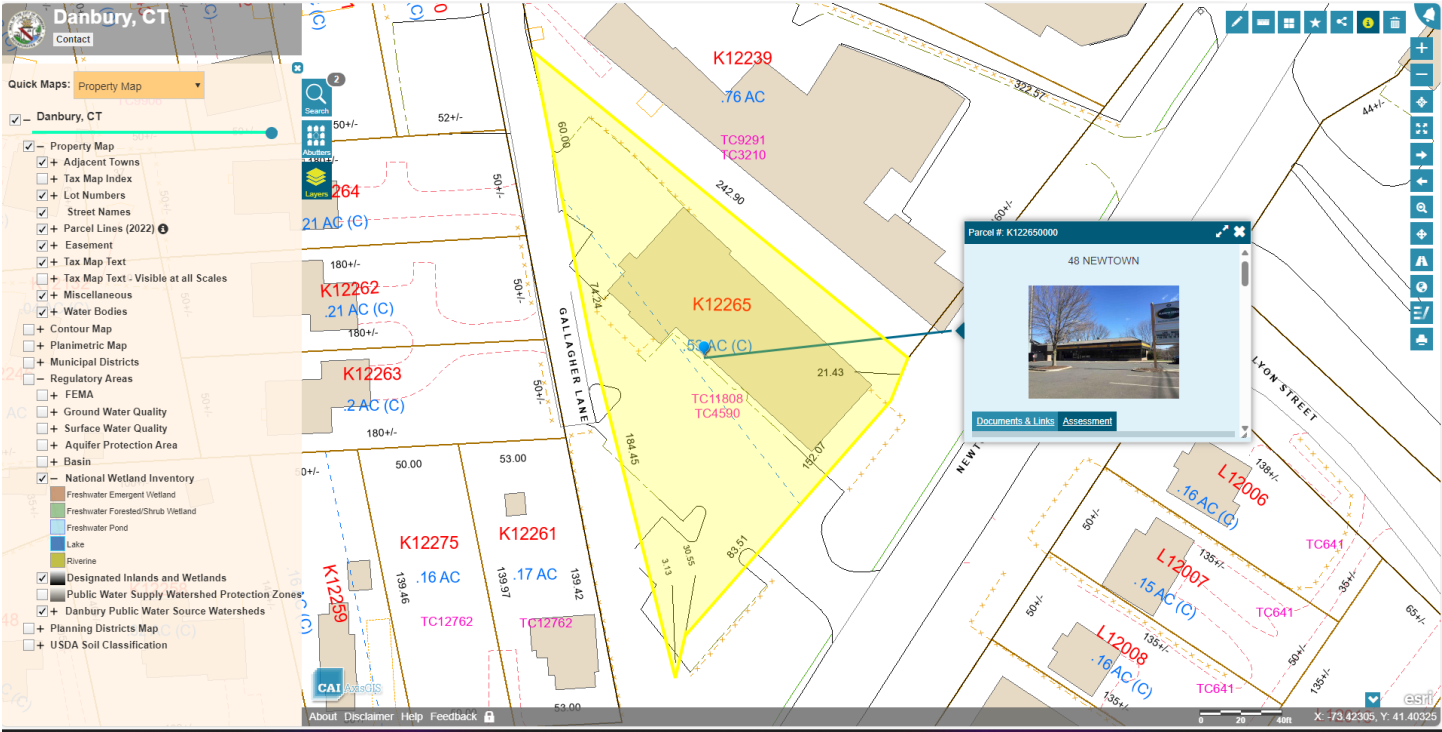


PROJECT NUMBER: 57537  
SHEET NUMBER: A-1



# ATTACHMENT H

Wetland Map



# ATTACHMENT I

Notice to Abutting  
Property Owners  
and Other Interested  
Parties as well as  
Proof of Delivery

ORIGIN ID: GAA (301) 286-0258

CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET

ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06/MAR/24  
ACTWGT: 1.00 LB  
CAD: 1054867531/NET4535

BILL SENDER

TO **HON. DEAN ESPOSITO**  
**CITY OF DANBURY MAYOR**  
**155 DEER HILL AVENUE**

**DANBURY CT 06810**

REF: (203) 797-4511

PO: NV:

DEPT:



J241024011001uv

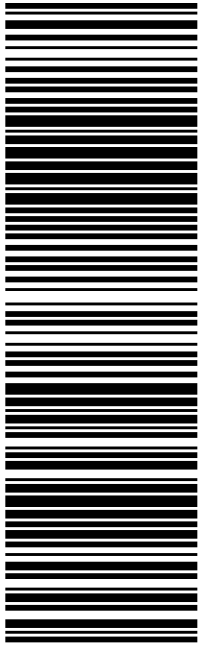
TRK# 0201 7754 4299 2320

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



583J2/8538/9AE3

After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 11, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775442992320

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Receptionist/Front Desk
<b>Signed for by:</b>	A.SORAIA	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday		DANBURY, CT,
		<b>Delivery date:</b>	Mar 11, 2024 09:05

---

**Shipping Information:**

---

<b>Tracking number:</b>	775442992320	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	0.5 LB/0.23 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

FedEx Express proof-of-delivery details appear below; however, no signature is currently available for this shipment. Please check again later for a signature.

Thank you for choosing FedEx

ORIGIN ID: GAI (301) 286-0258  
CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853  
UNITED STATES US

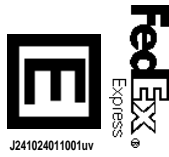
SHIP DATE: 06/MAR/24  
ACTWGT: 1.00 LB  
CAD: 1054867531/NET4535

BILL SENDER

TO **SHARON B. CALITRO**  
**CITY OF DANBURY PLANNING/ZONING**  
**155 DEER HILL AVENUE**  
**1ST FLOOR**  
**DANBURY CT 06810**

REF: (203) 797-4525  
INV: PO: DEPT:

583J2/8538/9AE3



J241024011001uv

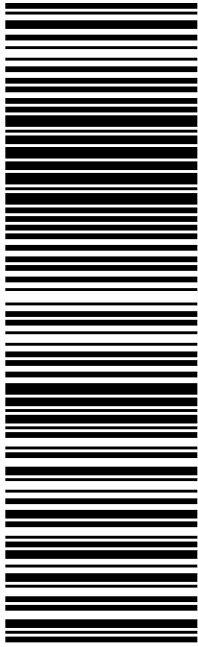
TRK# 0201 7754 4305 5821

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](https://www.fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 11, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443055821

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Receptionist/Front Desk
<b>Signed for by:</b>	M.MOREEN	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday		DANBURY, CT,
		<b>Delivery date:</b>	Mar 11, 2024 09:02

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443055821	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	0.5 LB/0.23 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

FedEx Express proof-of-delivery details appear below; however, no signature is currently available for this shipment. Please check again later for a signature.

Thank you for choosing FedEx



ORIGIN ID: GAIN (301) 286-0258  
CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06MAR24  
ACTWGT: 1.00 LB  
CAD: 105486753/NET4535

BILL SENDER

TO **JESSICA GRANGER**  
**48 NEWTOWN ROAD CORPORATION**  
**50 NEWTOWN ROAD**

583J2/8538/9AE3

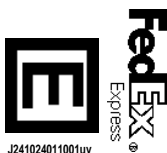
**DANBURY CT 06810**

(203) 797-4525

REF:

PO:

DEPT:



J241024011001uv

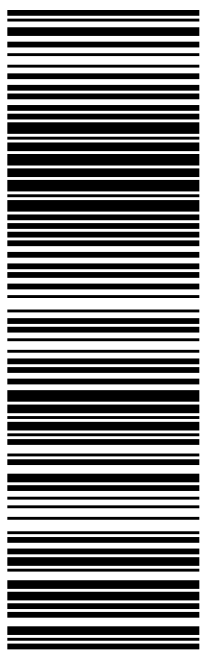
TRK# 0201 7754 4309 6751

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443096751

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Receptionist/Front Desk
<b>Signed for by:</b>	A.ASHLEIGH	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:21

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443096751	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	1.0 LB/0.45 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

FedEx Express proof-of-delivery details appear below; however, no signature is currently available for this shipment. Please check again later for a signature.

Thank you for choosing FedEx

ORIGIN ID: GAIN (301) 286-0258

CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET

ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06MAR24  
ACTWGT: 1.00 LB  
CAD: 1054867531NET4535

BILL SENDER

TO **ROBERT H. BASAR**  
**ROBERT H. BASAR PROPERTIES, LLC**  
**39 NEWTOWN ROAD**

**DANBURY CT 06810**

(203) 297-6055

REF:

PO:

DEPT:



J241024011001uv

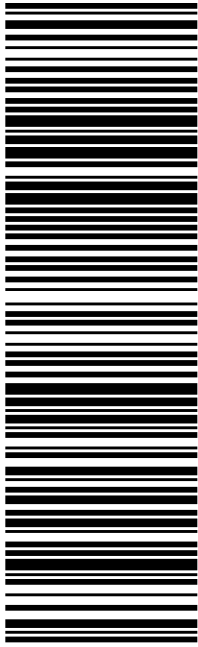
TRK# 0201 7754 4313 5189

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



583J6/194B/9AE3

After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443135189

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Receptionist/Front Desk
<b>Signed for by:</b>	M.MARIE	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:26

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443135189	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	0.5 LB/0.23 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

FedEx Express proof-of-delivery details appear below; however, no signature is currently available for this shipment. Please check again later for a signature.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Outbuildings

Sales

Permits

#### Parcel Information

Location:	39 NEWTOWN	Property Use:	Industrial	Primary Use:	Office Warehouse
Unique ID:	L12009	Map Block Lot:	L12 9	Acres:	1.3800
490 Acres:	0.00	Zone:	CG20	Volume / Page:	2021/0536
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	673,600	471,520
Buildings	1,674,200	1,171,940
Detached Outbuildings	25,100	17,570
Total	2,372,900	1,661,030

#### Owner's Information

Owner's Data
ROBERT H BASAR PROPERTIES LLC 39 NEWTOWN RD DANBURY, CT 06810

ORIGIN ID: GAIN (301) 286-0258  
CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06MAR24  
ACTWGT: 1.00 LB  
CAD: 1054867531NET4535

BILL SENDER

TO **JENNY AVEIGA**  
**JENNY AVEIGS**  
**51 NEWTOWN ROAD**

583J6/194B/9AE3

**DANBURY CT 06810**

(203) 249-2341

REF:

PO:

DEPT:



J241024011001uv

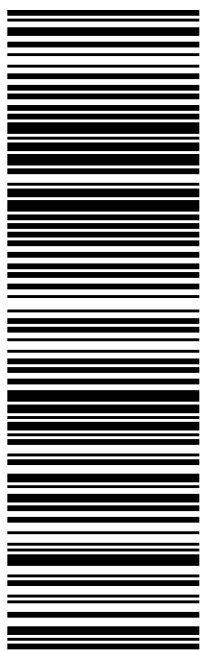
TRK# 0201 7754 4316 4196

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](https://www.fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.





March 11, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443164196

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 11:04

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443164196	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	1.0 LB/0.45 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Outbuildings

Sales

#### Parcel Information

Location:	51 NEWTOWN	Property Use:	Residential	Primary Use:	Residential
Unique ID:	L12006	Map Block Lot:	L12 6	Acres:	0.1500
490 Acres:	0.00	Zone:	CG20	Volume / Page:	1949/0177
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	98,300	68,810
Buildings	120,200	84,140
Detached Outbuildings	800	560
Total	219,300	153,510

#### Owner's Information

Owner's Data
AVEIGA JENNY 51 NEWTOWN RD DANBURY, CT 06810

ORIGIN ID: GAIN (301) 286-0258

CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET

ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06MAR24  
ACTWGT: 1.00 LB  
CAD: 1054867531NET4535

BILL SENDER

TO **SUSAN ST. HILAIRE**  
**SUSAN ST. HILAIRE**  
**1 WHITNEY AVENUE**

**DANBURY CT 06810**

(203) 778-1474

REF:

PO:

DEPT:



J241024011001uv

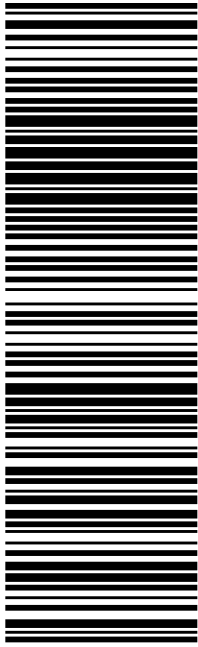
TRK# 0201 7754 4319 5714

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



583J2/8538/9AE3

After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443195714

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:58

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443195714	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	1.0 LB/0.45 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Sales

#### Parcel Information

Location:	1 WHITNEY AV	Property Use:	Residential	Primary Use:	Residential
Unique ID:	K12261	Map Block Lot:	K12 261	Acres:	0.1700
490 Acres:	0.00	Zone:	RA8	Volume / Page:	1812/1011
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	83,200	58,240
Buildings	126,300	88,410
Detached Outbuildings	0	0
Total	209,500	146,650

#### Owner's Information

##### Owner's Data

ST HILAIRE SUSAN  
1 WHITNEY AV  
DANBURY, CT 06810

ORIGIN ID: GAIN (301) 286-0258  
CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06MAR24  
ACTWGT: 1.00 LB  
CAD: 1054867531NET4535

BILL SENDER

TO **ASHAN AHMED**  
**ASHAN AHMED**  
**47 NEWTOWN ROAD**

**DANBURY CT 06810**

(203) 364-1930

REF:

PO:

DEPT:



J241024011001uv

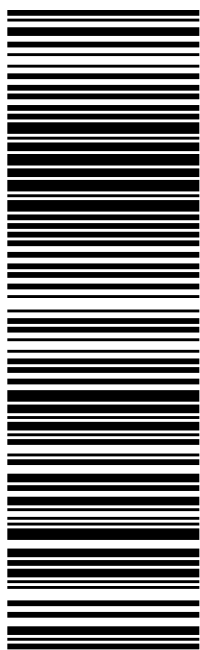
TRK# 0201 7754 4322 9223

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](https://www.fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.





March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443229223

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 11:01

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443229223	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	1.0 LB/0.45 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Sales

#### Parcel Information

Location:	47 NEWTOWN RD	Property Use:	Residential	Primary Use:	Residential
Unique ID:	L12008	Map Block Lot:	L12 8	Acres:	0.1500
490 Acres:	0.00	Zone:	CG20	Volume / Page:	2141/0142
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	93,400	65,380
Buildings	134,400	94,080
Detached Outbuildings	0	0
Total	227,800	159,460

#### Owner's Information

Owner's Data
AHSAN AHMED 3 POCONO RD NEWTOWN, CT 06470

ORIGIN ID: GAIN (301) 286-0258  
CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06/MAR/24  
ACTWGT: 1.00 LB  
CAD: 1054867531/NET4535

BILL SENDER

TO **MARYELLEN HORAN**  
**MARYELLEN HORAN**  
**49 NEWTOWN ROAD**

**DANBURY CT 06810**

(203) 730-1040

REF:

PO:

DEPT:



J241024011001uv

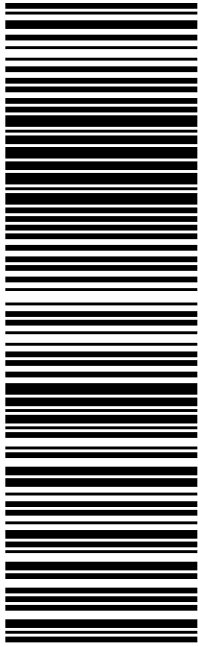
TRK# 0201 7754 4326 2049

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



583J2/8538/9AE3

After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443262049

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 11:02

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443262049	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	1.0 LB/0.45 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Sales

#### Parcel Information

Location:	49 NEWTOWN	Property Use:	Residential	Primary Use:	Residential
Unique ID:	L12007	Map Block Lot:	L12 7	Acres:	0.1500
490 Acres:	0.00	Zone:	CG20	Volume / Page:	1189/0820
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	88,500	61,950
Buildings	130,500	91,350
Detached Outbuildings	0	0
Total	219,000	153,300

#### Owner's Information

##### Owner's Data

HORAN MARYELLEN  
PALLMIOTTO MARY ELLEN  
PO BOX 4352  
DANBURY, CT 06813

ORIGIN ID: GAIN (301) 286-0258

CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET

ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06MAR24  
ACTWGT: 1.00 LB  
CAD: 1054867531NET4535

BILL SENDER

TO **MANAGER**

**GALLAGHER LANE CONDOMINIUM  
8 GALLAGHER LANE**

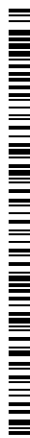
**DANBURY CT 06810**

(203) 297-6055

REF:

PO:

DEPT:



J241024011001uv

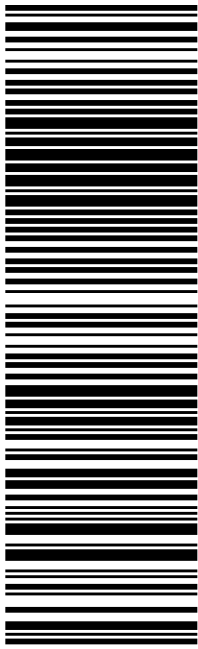
TRK# 0201 7754 4329 9296

**THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT**

**EG DXRA**

06810

CT-US SWF



583J2/8538/9AE3

After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443299296

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:54

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443299296	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	0.5 LB/0.23 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx



The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Sales

Permits

#### Parcel Information

Location:	8 GALLAGHER LA	Property Use:	Residential	Primary Use:	Residential
Unique ID:	K12263	Map Block Lot:	K12 263	Acres:	0.2100
490 Acres:	0.00	Zone:	RA8	Volume / Page:	2325/0139
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	65,300	45,710
Buildings	241,500	169,050
Detached Outbuildings	0	0
Total	306,800	214,760

#### Owner's Information

Owner's Data
GALLAGHER LANE CONDOMINIUM INC 50 NEWTOWN RD DANBURY, CT 06810

ORIGIN ID: GAIN  
CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853  
UNITED STATES US

(301) 286-0258

SHIP DATE: 06MAR24  
ACTWGT: 1.00 LB  
CAD: 1054867531NET4535

BILL SENDER

TO **MANAGER**  
**GALLAGHER LANE CONDOMINIUM**  
**10 GALLAGHER LANE**

**DANBURY CT 06810**

(203) 297-6055

REF:

PO:

DEPT:



J241024011001uv

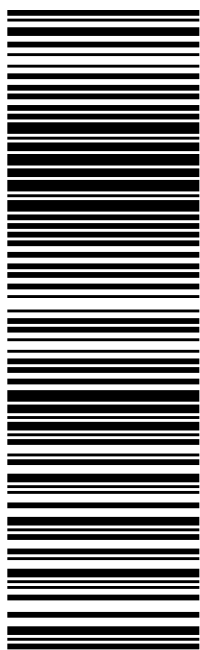
TRK# 0201 7754 4333 5449

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443335449

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:54

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443335449	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	0.5 LB/0.23 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Sales

Permits

#### Parcel Information

Location:	10 GALLAGHER LA	Property Use:	Residential	Primary Use:	Residential
Unique ID:	K12262	Map Block Lot:	K12 262	Acres:	0.2100
490 Acres:	0.00	Zone:	RA8	Volume / Page:	2325/0139
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	65,300	45,710
Buildings	241,500	169,050
Detached Outbuildings	0	0
Total	306,800	214,760

#### Owner's Information

Owner's Data
GALLAGHER LANE CONDOMINIUM INC 50 NEWTOWN RD DANBURY, CT 06810

ORIGIN ID: GAIN (301) 286-0258

CATHERINE CONKLIN  
GENERAL DYNAMICS

4003 KEMPER STREET  
ROCKVILLE, MD 20853

UNITED STATES US

SHIP DATE: 06MAR24

ACTWGT: 1.00 LB  
CAD: 1054867531/NET14535

BILL SENDER

TO **MANAGER**

**GALLAGHER LANE CONDOMINIUM  
9 EAST BROAD STREET**

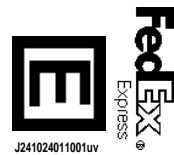
**DANBURY CT 06810**

(203) 297-6055

REF:

PO:

DEPT:



J241024011001uv

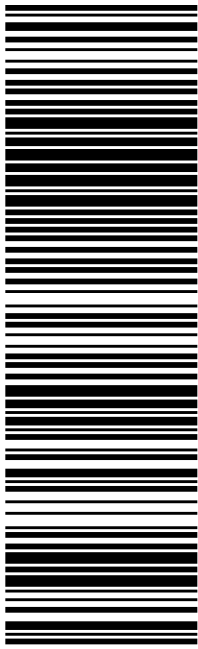
TRK# 0201 7754 4336 6790

**THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT**

**EG DXRA**

06810

CT-US SWF



583J2/8538/9AE3

After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443366790

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:50

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443366790	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	0.5 LB/0.23 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Sales

#### Parcel Information

Location:	9 E BROAD ST	Property Use:	Residential	Primary Use:	Residential
Unique ID:	K12240	Map Block Lot:	K12 240	Acres:	0.1800
490 Acres:	0.00	Zone:	RA8	Volume / Page:	2325/0139
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	78,800	55,160
Buildings	167,200	117,040
Detached Outbuildings	0	0
Total	246,000	172,200

#### Owner's Information

Owner's Data
GALLAGHER LANE CONDOMINIUM INC 50 NEWTOWN RD DANBURY, CT 06810



ORIGIN ID: GAIN (301) 286-0258  
CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853  
UNITED STATES US

SHIP DATE: 06/MAR/24  
ACTWGT: 1.00 LB  
CAD: 1054867531/NET4535

BILL SENDER

TO **MANAGER**  
**GALLAGHER LANE CONDOMINIUM**  
**12 GALLAGHER LANE**

583J2/8538/9AE3

**DANBURY CT 06810**

(203) 297-6055

REF:

PO:

DEPT:



J241024011001uv

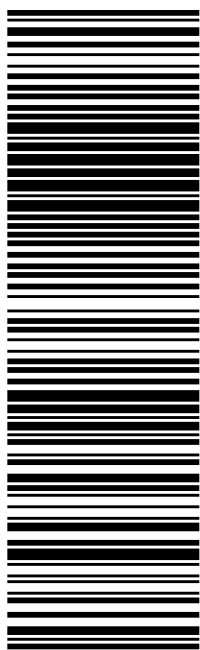
TRK# 0201 7754 4339 4698

THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT

**EG DXRA**

06810

CT-US SWF



After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443394698

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Residence
<b>Signed for by:</b>	Signature not required	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday; Residential Delivery		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:55

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443394698	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	0.5 LB/0.23 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

Proof-of-delivery details appear below; however, no signature is available for this FedEx Express shipment because a signature was not required.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Sales

Permits

#### Parcel Information

Location:	12 GALLAGHER LA	Property Use:	Residential	Primary Use:	Residential
Unique ID:	K12264	Map Block Lot:	K12 264	Acres:	0.2100
490 Acres:	0.00	Zone:	RA8	Volume / Page:	2325/0139
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	65,300	45,710
Buildings	241,500	169,050
Detached Outbuildings	0	0
Total	306,800	214,760

#### Owner's Information

Owner's Data
GALLAGHER LANE CONDOMINIUM INC 50 NEWTOWN RD DANBURY, CT 06810

ORIGIN ID: GAIN (301) 286-0258

CATHERINE CONKLIN  
GENERAL DYNAMICS  
4003 KEMPER STREET  
ROCKVILLE, MD 20853

UNITED STATES US

SHIP DATE: 06MAR24

ACTWGT: 1.00 LB  
CAD: 1054867531NET4535

BILL SENDER

TO **MANAGER**

**FIFTY NEWTOWN ROAD CORPORATION  
50 NEWTOWN ROAD**

**DANBURY CT 06810**

(203) 297-6055

REF:

PO:

DEPT:



J241024011001uv

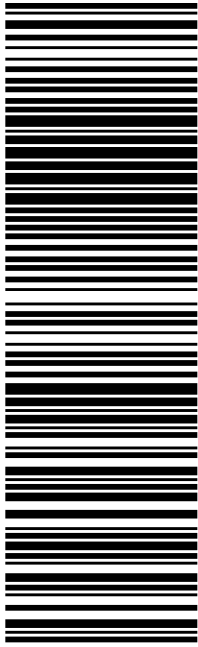
TRK# 0201 7754 4342 5657

**THU - 07 MAR 10:30A  
PRIORITY OVERNIGHT**

**EG DXRA**

06810

CT-US SWF



583J2/8538/9AE3

After printing this label:

**CONSIGNEE COPY - PLEASE PLACE IN FRONT OF POUCH**

1. Fold the printed page along the horizontal line.
2. Place label in shipping pouch and affix it to your shipment.

Use of this system constitutes your agreement to the service conditions in the current FedEx Service Guide, available on [fedex.com](http://fedex.com). FedEx will not be responsible for any claim in excess of \$100 per package, whether the result of loss, damage, delay, non-delivery, misdelivery, or misinformation, unless you declare a higher value, pay an additional charge, document your actual loss and file a timely claim. Limitations found in the current FedEx Service Guide apply. Your right to recover from FedEx for any loss, including intrinsic value of the package, loss of sales, income interest, profit, attorney's fees, costs, and other forms of damage whether direct, incidental, consequential, or special is limited to the greater of \$100 or the authorized declared value. Recovery cannot exceed actual documented loss. Maximum for items of extraordinary value is \$1,000, e.g. jewelry, precious metals, negotiable instruments and other items listed in our Service Guide. Written claims must be filed within strict time limits, see current FedEx Service Guide.



March 08, 2024

Dear Customer,

The following is the proof-of-delivery for tracking number: 775443425657

---

**Delivery Information:**

---

<b>Status:</b>	Delivered	<b>Delivered To:</b>	Receptionist/Front Desk
<b>Signed for by:</b>	A.ASHLEIGH	<b>Delivery Location:</b>	
<b>Service type:</b>	FedEx Priority Overnight		
<b>Special Handling:</b>	Deliver Weekday		DANBURY, CT,
		<b>Delivery date:</b>	Mar 8, 2024 10:21

---

**Shipping Information:**

---

<b>Tracking number:</b>	775443425657	<b>Ship Date:</b>	Mar 7, 2024
		<b>Weight:</b>	1.0 LB/0.45 KG
<b>Recipient:</b>		<b>Shipper:</b>	
DANBURY, CT, US,		ROCKVILLE, MD, US,	

FedEx Express proof-of-delivery details appear below; however, no signature is currently available for this shipment. Please check again later for a signature.

Thank you for choosing FedEx

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2022.

# DANBURY • CT

---

## ASSESSOR'S OFFICE

Information on the Property Records for the Municipality of Danbury was last updated on

### Property Summary Information

Parcel Data And Values

Building ▾

Outbuildings

Sales

Permits

#### Parcel Information

Location:	50 NEWTOWN	Property Use:	Apartments	Primary Use:	Apartment/ Office
Unique ID:	K12239	Map Block Lot:	K12 239	Acres:	0.7600
490 Acres:	0.00	Zone:	CG20	Volume / Page:	1041/0375
Developers Map / Lot:		Census:	2104		

#### Value Information

	Appraised Value	Assessed Value
Land	503,600	352,520
Buildings	1,578,400	1,104,880
Detached Outbuildings	12,000	8,400
Total	2,094,000	1,465,800

#### Owner's Information

Owner's Data
FIFTY NEWTOWN ROAD CORPORATION 50 NEWTOWN RD DANBURY, CT 06810-6259