

April 22, 2022

Connecticut Siting Council  
Attn: Melanie A. Bachman – Executive Director  
10 Franklin Square  
New Britain, CT 06051

**Notice of Exempt Modification**

**Facility Address: 205 Spring Hill Road a/k/a 230 Clover Mill Road, Storrs Mansfield, CT 06268**  
**Facility Coordinates: 41.775778, -72.222500**

Dear Ms. Bachman,

American Tower (ATC) currently maintains an Existing Cellular Tower Facility (179' Monopole) at 205 Spring Hill Road a/k/a 230 Clover Mill Road, Storrs Mansfield, CT 06268. The property is owned by Town of Mansfield. American Tower (ATC) now intends to install an 80kw Diesel Generator within the leased, fenced ground space area of the facility. The purpose of the generator installation is to allow for a shared back up emergency power option for its current (and future) wireless carrier tenants.

Because this proposed generator is within the existing, approved compound space, and the applicant is NOT requesting expansion of ground space beyond the approved conditions, please accept this letter, as notification pursuant to Regulations of Connecticut State Agencies @16-50j-73, for construction that constitutes an exempt modification pursuant to R.C.S.A. @16-50j-72(b)(2). In accordance with R.C.S.A.@16-50j-73, a copy of this letter is being sent to Ryan Aylesworth the Town Manager for the Town of Mansfield, Michael Nintean the Building & Housing Director for the Town of Mansfield, as well as the property owner and tower owner.

ATTACHMENT A

The planned modifications to the facility fall squarely within those activities explicitly provided for in R.C.S.A @ 16-50j-72(b)(2).

1. The proposed modifications will not result in an increase in the height of the existing structure.
2. The proposed modifications will not require the extension of the site boundary
3. The proposed modifications will not increase noise levels at the facility by six decibels or more, or to levels that exceed state and local criteria.
4. The operation of the generator back up power facility will not increase radio frequency emissions at the facility to the level at or above the Federal Communications Commission safety standard.
5. The proposed modifications will not cause a change or alteration in the physical or environmental characteristics of the site.
6. The existing structure and its foundation can support the proposed loading if the tower will be re-enforced to support them. <<< NOTE – This condition is N/A. The proposed Generator is based on the ground, and not associated or loaded onto the tower or foundation.

For the foregoing reasons, American Tower Corporation (ATC) respectfully submits that the proposed modifications to the above referenced telecommunications facility constitute an exempt modification under R.C.S.A. @16-50j-72(b)(2).

If you have any questions, I can be reached at [cbruttomesso@airosmithdevelopment.com](mailto:cbruttomesso@airosmithdevelopment.com) or 860-306-8355.

Best Regards,

  
Chuck Bruttomesso

Attachments

cc: Ryan Aylesworth, Town Manager for Town of Mansfield  
Michael Ninteau, Director of Building & Housing  
Town of Mansfield - Property Owner  
American Tower (ATC) – Tower Owner



**AMERICAN TOWER\***  
CORPORATION  
**LETTER OF AUTHORIZATION**

SITE NO/PROJECT NO: 376046 / ATC832825

SITE NAME: MANSFIELD CENTER 1 CT

ADDRESS 230 CLOVER MILL ROAD  
STORRS MANSFIELD, CT 06268-2826

APN: MANS-000023-000060-000007

I, Margaret Robinson, Senior Counsel, US Tower Division on behalf of American Tower\*, owner of the tower facility located at the address identified above (the "Tower Facility"), do hereby authorize **Airowsmith Development** its successors and assigns, to act as American Tower's non-exclusive agent for the purpose of filing and securing any zoning, land-use, building permit and/or electrical permit application(s) and approvals of the applicable jurisdiction for and to conduct the construction of the installation of antennas and related telecommunications equipment on the Tower Facility located at the above address. This installation shall not affect adjoining lands and will occur only within the area leased by American Tower.

American Tower understands that the application may be denied, modified or approved with conditions. The above authorization is limited to the acceptance by American Tower of conditions related to American Tower's installation. Any such conditions of approval or modifications will not be effective unless approved in writing by American Tower.

The above authorization does not permit **Airowsmith Development** to modify or alter any existing permit(s) and/or zoning or land-use conditions or impose any additional conditions unrelated to American Tower's installation of telecommunications equipment without the prior written approval of American Tower.

Signature: \_\_\_\_\_

Margaret Robinson, Senior Counsel  
US Tower Division

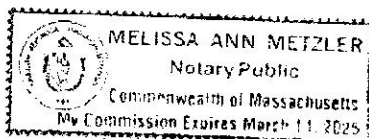
**NOTARY BLOCK**

COMMONWEALTH OF MASSACHUSETTS  
County of Middlesex

This instrument was acknowledged before me by Margaret Robinson, Senior Counsel of American Tower (Tower Facility owner and/or operator), personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same.

WITNESS my hand and official seal, this 12th day of April 2022.

NOTARY SEAL



Notary Public \_\_\_\_\_

My Commission Expires: March 14, 2025

\* American Tower as used herein is defined as American Tower Corporation and any of its affiliates or subsidiaries.

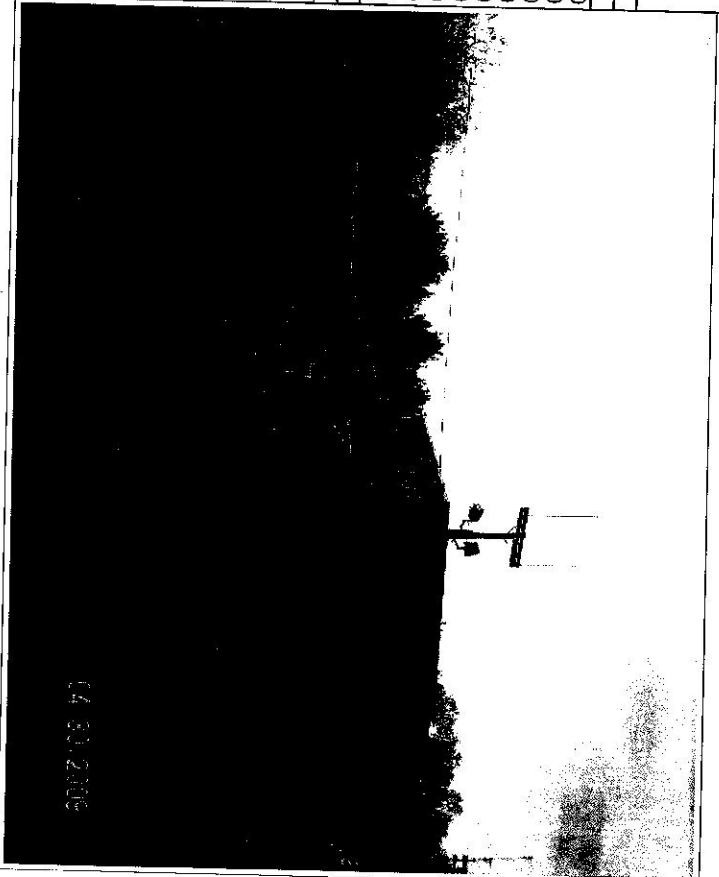
[illegible]



CONSTRUCTION DETAIL				CONSTRUCTION DETAIL (CONTINUED)			
Element	Cd	Description	Element	Cd	Description		
Style:	49	Public School					
Model:	94	Comm/Ind					
Grade:	07	C					
Stories:	2						
Occupancy	1.00						
Exterior Wall 1	20	Brick					
Exterior Wall 2	01	Flat					
Roof Structure	04	Tar + Gravel					
Roof Cover	05	Drywall					
Interior Wall 1	06	Vnl Linclum					
Interior Wall 2	06	Vnl Linclum					
Interior Floor 1	09	Typical					
Interior Floor 2	05	Hot Water					
Heating Fuel	01	None/partial					
AC Type	901	Town MDL-Com					
Bldg Use	00	HEAT ONLY					
Heat/AC	03	MASONRY					
Frame Type	02	AVERAGE					
Baths/Plumbing	06	CEIL & WALLS					
Ceiling/Wall	02	AVERAGE					
Rooms/Ptnts	02						
Well Height	14.00						
1st Floor Use:							

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)									
Code	Description	U/B	Units	Unit Price	Yr Bld	Cond.	Cd	% Good	Grade Adj
PAV1	Paving	L	112.40	1.80	1969	A	70	0	141,600
BTM1	Cabana	L	462	20.00	1980	A	70	1.00	6,500
TEN	Tennis Court	L	1	7200.00	1969	A	70	1.00	5,000
SHD1	Shed	L	800	12.00	1969	A	70	1.00	6,700
FNC	Fence	L	280	8.00	1969	A	70	1.00	1,600
SHD1	Shed	L	100	12.00	1969	A	70	1.00	800
LT5	Light 5	L	15	2700.00	1969	A	70	1.00	28,400
FGR4	Gar w/Loft	L	6.333	25.00	1969	A	70	1.00	110,800
FGR1	Garage	L	6.435	24.00	1969	A	70	1.00	108,100
WMDK	Wood Deck	L	416	8.00	2017	A	70	1.00	2,300

BUILDING SUB-AREA SUMMARY SECTION									
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value			
BAS	First Floor	66,700	66,700		137.40	9,164,580			
GRN	Greenhouse	0	360		34.35	12,366			
UBM	Basement	0	66,700		27.48	1,832,916			
Tot Gross Liv / Lease Area		66,700	133,760			11,009,862			



04-30-2009





Property Location	205 SPRING HILL RD
Vision ID	2799
Account	Account

Map ID 23/60/7/1

**Bldg Name**  
**Sec # 1 of 1**

Card # 3 of 6

State Use 901  
Print Date 04-18-2022 11:56:54

901  
04-18-2022 11:56:54

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT			
		1 Level	1 Well 2 Septic	1 Paved		Description	Code	Appraised	Assessed
MANSFIELD TOWN OF & BOARD OF						Ex C Land	21	1,700,800	1,190,600
MANSFIELD MIDDLE SCHOOL						Ex C Bldg	22	8,723,600	6,106,600
4 SOUTH EAGLEVILLE RD						Ex Corn OB	25	446,100	312,400
						Ind Land	3-1	153,000	107,100
STORRS									
CT	06268								
		Alt Prol ID Census Devel. Lot	8811						
		GIS ID	23,60.7	Assoc Pld#					
RECORD OF OWNERSHIP							Total	11,023,500	7,716,700

# VISION

6078

MANSFIELD, CT

SECOND OF OWNERSHIP	BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)									
							Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed	Year
MANFIELD TOWN OF & BOARD OF EDUCATION REFERENCE	663	347	01-20-2009	U	V	0	25	2021	21	1,190,600	2020	21	1,190,600	2019	21	1,190,600
	113	428	04-16-1971	U	I	0			22	6,106,600		22	6,106,600		22	6,106,600
	106	136	12-13-1967	U	I	0			25	312,400		25	312,400		25	312,400
	83	413	05-10-1957	U	I	0			3-1	107,100		3-1	107,100		3-1	107,100
MANFIELD TOWN OF							Total									
							Total		7,716,700		Total		7,716,700		Total	7,716,700
EXEMPTIONS																
OTHER ASSESSMENTS																

							<b>UTTER ASSESSMENT'S</b>					
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int.				
		<b>Total</b>	0.00									
<b>ASSESSING NEIGHBORHOOD</b>												
Nbhnd		Nbhnd Name	B		Tracing		Batch					
0001												
<b>NOTES</b>												
Appraised Bldg. Value (Cart)												
Appraised Xr (B) Value (Bldg)												
Appraised Ob (B) Value (Bldg)												
Appraised L and Value (Pldg)												
								<b>APPRAISED VALUE SUMMARY</b>				
								8,723,600				
								0				
								446,100				

	NOTES
6BAY TOWN GARAGE-MAIN OFFICE COMM W/BLDG OB=SALT SHED OPEN IN FRONT	
Appraised Land Value (only)	1,853,800
Special Land Value	0
Total Appraised Parcel Value	11,023,500
Valuation Method	C
Total Appraised Parcel Value	11,023,500

Permit Id	Issue Date	Type	Description	BORROWING PERMIT RECORD			VISIT / CHANGE HISTORY									
				Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result		
LAND LINE VALUATION SECTION																

Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nbhd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
901	Town MDL-Corn	Z1		SF	0	1.00000		1.00		1.000		0	0	0
				Total Card Land Units	0.00	AC:	Parcel Total Land Area:	93.53						
													Total Land Value	1,853,800

CONSTRUCTION DETAIL										CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description																								
Style:	56	Office/Garage																											
Model	94	Comm/Ind																											
Grade	07	C																											
Stories:	1																												
Occupancy	1.00																												
Exterior Wall 1	15	Concr/Cinder																											
Exterior Wall 2	03	Gable																											
Roof Structure	03	Asphalt Shingl																											
Roof Cover	01	Minimum																											
Interior Wall 1	01																												
Interior Wall 2	04	Concr Abv Grad																											
Interior Floor 1	04																												
Interior Floor 2	09	Typical																											
Heating Fuel	04	Forced Air																											
Heating Type	01	None/partial																											
AC Type	901	Town MDL-Com																											
Bldg Use	00	HEAT ONLY																											
Heat/AC	03	MASONRY																											
Frame Type	02	AVERAGE																											
Baths/Plumbing	02	CEILING ONLY																											
Ceiling/Wall	02																												
Rooms/Ptns	02																												
Wall Height	14.00																												
1st Floor Use:																													
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																													
Code	Description	LB	Units	Unit Price	Yr Blt	Cond	Cd	% Good	Grade	Grade Adj	Appr Value																		
SHD1	Shed	L	3,600	12.00	2011	A		70	C	1.00	30,200																		
SHD1	Shed	L	120	12.00	2002	G		80	A	1.50	1,700																		
BUILDING SUB-AREA SUMMARY SECTION																													
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value																							
BAS	First Floor	6,000	6,000		64.70	388,200																							
TB Gross Liv / Lease Area		6,000	6,000			388,200																							

CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description														
Style:	56	Office/Garage																	
Model	94	Comm/Ind																	
Grade	07	C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	
Exterior Wall 2	03	Gable																	
Roof Structure	03	Asphalt Shingl																	
Roof Cover	01	Minimum																	
Interior Wall 1	01																		
Interior Wall 2	04	Concr Abv Grad																	
Interior Floor 1	04																		
Interior Floor 2	09	Typical																	
Heating Fuel	04	Forced Air																	
Heating Type	01	None/partial																	
AC Type	901	Town MDL-Com																	
Bldg Use	00	HEAT ONLY																	
Heat/AC	03	MASONRY																	
Frame Type	02	AVERAGE																	
Baths/Plumbing	02	CEILING ONLY																	
Ceiling/Wall	02																		
Rooms/Ptns	02																		
Wall Height	14.00																		
1st Floor Use:																			
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																			
Code	Description	LB	Units	Unit Price	Yr Blt	Cond	Cd	% Good	Grade	Grade Adj	Appr Value								
SHD1	Shed	L	3,600	12.00	2011	A		70	C	1.00	30,200								
SHD1	Shed	L	120	12.00	2002	G		80	A	1.50	1,700								
BUILDING SUB-AREA SUMMARY SECTION																			
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value													
BAS	First Floor	6,000	6,000		64.70	388,200													
TB Gross Liv / Lease Area		6,000	6,000			388,200													

CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description														
Style:	56	Office/Garage																	
Model	94	Comm/Ind																	
Grade	07	C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	
Exterior Wall 2	03	Gable																	
Roof Structure	03	Asphalt Shingl																	
Roof Cover	01	Minimum																	
Interior Wall 1	01																		
Interior Wall 2	04	Concr Abv Grad																	
Interior Floor 1	04																		
Interior Floor 2	09	Typical																	
Heating Fuel	04	Forced Air																	
Heating Type	01	None/partial																	
AC Type	901	Town MDL-Com																	
Bldg Use	00	HEAT ONLY																	
Heat/AC	03	MASONRY																	
Frame Type	02	AVERAGE																	
Baths/Plumbing	02	CEILING ONLY																	
Ceiling/Wall	02																		
Rooms/Ptns	02																		
Wall Height	14.00																		
1st Floor Use:																			
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																			
Code	Description	LB	Units	Unit Price	Yr Blt	Cond	Cd	% Good	Grade	Grade Adj	Appr Value								
SHD1	Shed	L	3,600	12.00	2011	A		70	C	1.00	30,200								
SHD1	Shed	L	120	12.00	2002	G		80	A	1.50	1,700								
BUILDING SUB-AREA SUMMARY SECTION																			
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value													
BAS	First Floor	6,000	6,000		64.70	388,200													
TB Gross Liv / Lease Area		6,000	6,000			388,200													

CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description														
Style:	56	Office/Garage																	
Model	94	Comm/Ind																	
Grade	07	C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	
Exterior Wall 2	03	Gable																	
Roof Structure	03	Asphalt Shingl																	
Roof Cover	01	Minimum																	
Interior Wall 1	01																		
Interior Wall 2	04	Concr Abv Grad																	
Interior Floor 1	04																		
Interior Floor 2	09	Typical																	
Heating Fuel	04	Forced Air																	
Heating Type	01	None/partial																	
AC Type	901	Town MDL-Com																	
Bldg Use	00	HEAT ONLY																	
Heat/AC	03	MASONRY																	
Frame Type	02	AVERAGE																	
Baths/Plumbing	02	CEILING ONLY																	
Ceiling/Wall	02																		
Rooms/Ptns	02																		
Wall Height	14.00																		
1st Floor Use:																			
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																			
Code	Description	LB	Units	Unit Price	Yr Blt	Cond	Cd	% Good	Grade	Grade Adj	Appr Value								
SHD1	Shed	L	3,600	12.00	2011	A		70	C	1.00	30,200								
SHD1	Shed	L	120	12.00	2002	G		80	A	1.50	1,700								
BUILDING SUB-AREA SUMMARY SECTION																			
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value													
BAS	First Floor	6,000	6,000		64.70	388,200													
TB Gross Liv / Lease Area		6,000	6,000			388,200													

CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description														
Style:	56	Office/Garage																	
Model	94	Comm/Ind																	
Grade	07	C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	
Exterior Wall 2	03	Gable																	
Roof Structure	03	Asphalt Shingl																	
Roof Cover	01	Minimum																	
Interior Wall 1	01																		
Interior Wall 2	04	Concr Abv Grad																	
Interior Floor 1	04																		
Interior Floor 2	09	Typical																	
Heating Fuel	04	Forced Air																	
Heating Type	01	None/partial																	
AC Type	901	Town MDL-Com																	
Bldg Use	00	HEAT ONLY																	
Heat/AC	03	MASONRY																	
Frame Type	02	AVERAGE																	
Baths/Plumbing	02	CEILING ONLY																	
Ceiling/Wall	02																		
Rooms/Ptns	02																		
Wall Height	14.00																		
1st Floor Use:																			
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																			
Code	Description	LB	Units	Unit Price	Yr Blt	Cond	Cd	% Good	Grade	Grade Adj	Appr Value								
SHD1	Shed	L	3,600	12.00	2011	A		70	C	1.00	30,200								
SHD1	Shed	L	120	12.00	2002	G		80	A	1.50	1,700								
BUILDING SUB-AREA SUMMARY SECTION																			
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value													
BAS	First Floor	6,000	6,000		64.70	388,200													
TB Gross Liv / Lease Area		6,000	6,000			388,200													

CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description														
Style:	56	Office/Garage																	
Model	94	Comm/Ind																	
Grade	07	C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	
Exterior Wall 2	03	Gable																	
Roof Structure	03	Asphalt Shingl																	
Roof Cover	01	Minimum																	
Interior Wall 1	01																		
Interior Wall 2	04	Concr Abv Grad																	
Interior Floor 1	04																		
Interior Floor 2	09	Typical																	
Heating Fuel	04	Forced Air																	
Heating Type	01	None/partial																	
AC Type	901	Town MDL-Com																	
Bldg Use	00	HEAT ONLY																	
Heat/AC	03	MASONRY																	
Frame Type	02	AVERAGE																	
Baths/Plumbing	02	CEILING ONLY																	
Ceiling/Wall	02																		
Rooms/Ptns	02																		
Wall Height	14.00																		
1st Floor Use:																			
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																			
Code	Description	LB	Units	Unit Price	Yr Blt	Cond	Cd	% Good	Grade	Grade Adj	Appr Value								
SHD1	Shed	L	3,600	12.00	2011	A		70	C	1.00	30,200								
SHD1	Shed	L	120	12.00	2002	G		80	A	1.50	1,700								
BUILDING SUB-AREA SUMMARY SECTION																			
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value													
BAS	First Floor	6,000	6,000		64.70	388,200													
TB Gross Liv / Lease Area		6,000	6,000			388,200													

CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description														
Style:	56	Office/Garage																	
Model	94	Comm/Ind																	
Grade	07	C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	
Exterior Wall 2	03	Gable																	
Roof Structure	03	Asphalt Shingl																	
Roof Cover	01	Minimum																	
Interior Wall 1	01																		
Interior Wall 2	04	Concr Abv Grad																	
Interior Floor 1	04																		
Interior Floor 2	09	Typical																	
Heating Fuel	04	Forced Air																	
Heating Type	01	None/partial																	
AC Type	901	Town MDL-Com																	
Bldg Use	00	HEAT ONLY																	
Heat/AC	03	MASONRY																	
Frame Type	02	AVERAGE																	
Baths/Plumbing	02	CEILING ONLY																	
Ceiling/Wall	02																		
Rooms/Ptns	02																		
Wall Height	14.00																		
1st Floor Use:																			
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																			
Code	Description	LB	Units	Unit Price	Yr Blt	Cond	Cd	% Good	Grade	Grade Adj	Appr Value								
SHD1	Shed	L	3,600	12.00	2011	A		70	C	1.00	30,200								
SHD1	Shed	L	120	12.00	2002	G		80	A	1.50	1,700								
BUILDING SUB-AREA SUMMARY SECTION																			
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value													
BAS	First Floor	6,000	6,000		64.70	388,200													
TB Gross Liv / Lease Area		6,000	6,000			388,200													

CONSTRUCTION DETAIL (CONTINUED)										Bldg # 3									
Element	Cd	Description	Element	Cd	Description														
Style:	56	Office/Garage																	
Model	94	Comm/Ind																	
Grade	07	C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	

<b>CURRENT OWNER</b>		<b>TOPO</b>		<b>UTILITIES</b>		<b>STRT / ROAD</b>		<b>LOCATION</b>		<b>CURRENT ASSESSMENT</b>		<b>6078</b>	
MANSFIELD TOWN OF & BOARD OF		1 Level		1 Well		1 Paved				Description		Ex C Land	
MANSFIELD MIDDLE SCHOOL				2 Septic						Code		21	
4 SOUTH EAGLEVILLE RD										Appraised		1,700,800	
										Assessed		1,190,600	
										Ex C Bldg		8,723,600	
										Ex Cam OB		446,100	
										Ind Land		153,000	
STORRS CT 06268		Alt Prcd ID 8811								3-1		107,100	
		Census Devel. Lot										MANSFIELD, CT	

VISION

RECORD OF OWNERSHIP										Total	
										11,023,500	
										7,716,700	
MANSFIELD TOWN OF & BOARD OF EDUCATION										7,716,700	
REFERENCE										7,716,700	
MANSFIELD TOWN OF										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
										7,716,700	
</											

**CONSTRUCTION DETAIL**

**CONSTRUCTION DETAIL (CONTINUED)**

Element	Cd	Description	Element	Cd	Description
Style: 61		Commercial Garage			
Model: 94		Comm/Ind			
Grade: 07		C			
Stories: 1					
Occupancy: 1.00					
Exterior Wall 1: 27		Pre-finish Metl			
Exterior Wall 2: 03		Gable			
Roof Structure: 01		Metal/Tin			
Roof Cover: 01		Mininum			
Interior Wall 1: 01					
Interior Wall 2: 04		Conor Abv Grad			
Interior Floor 1: 04					
Interior Floor 2: 09		Typical			
Heating Fuel: 04		Forced Air			
Heating Type: 01		None/partial			
AC Type: 901		Town MDL-Com			
Bldg Use: 00		HEAT ONLY			
Heat/AC: 05		STEEL			
Frame Type: 02		AVERAGE			
Batrs/Pumbing: 02		CEILING ONLY			
Ceiling/Wall: 02		AVERAGE			
Rooms/Prtns: 02					
Wall Height: 14.00					
1st Floor Use:					

**MIXED USE**

Code	Description	Percentage
901	Town MDL-Com	100
		0
		0

**COST / MARKET VALUATION**

RCN	Year Built	1980
	Effective Year Built	
	Depreciation Code	A
	Remodel Rating	
	Year Remodeled	
	Depreciation %	29
	Economic Obsol	
	Trend Factor	1
	Condition	
	Condition %	
	Percent Good	71
	RCNLD	296,400
	Dep % Ovr	
	Dep Ovr Comment	
	Misc Imp Ovr	
	Misc Imp Ovr Comment	
	Cost to Cure Ovr	
	Cost to Cure Ovr Comment	

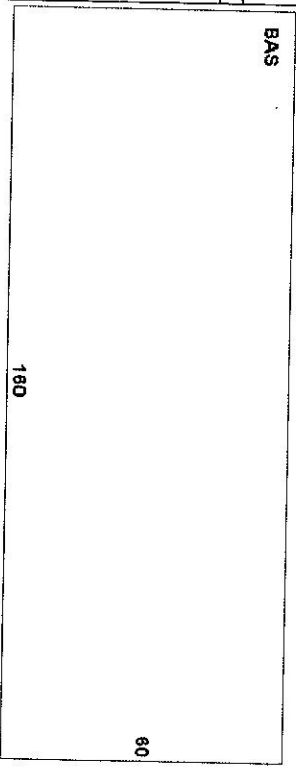
**OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)**

Code	Description	L/B	Units	Unit Price	Yr Bilt	Cond	Cd	% Good	Grade	Grade Adj	Appr. Value
KEN2	Kennel-Good	L	150	12.00	1980	A		70	C	1.00	1,300

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprc Value
BAS	First Floor	9,600	9,600		43.48	417,408

Totl Gross Liv / Lease Area		9,600	9,600			417,408
-----------------------------	--	-------	-------	--	--	---------





State Use 901  
Print Date 04-18-2022 11:56:55

CURRENT OWNER	TOPO	UTILITIES	STRT / ROAD	LOCATION	Description	Code	Appraised	Assessed
MANSFIELD TOWN OF & BOARD OF MANSFIELD MIDDLE SCHOOL 4 SOUTH EAGLEVILLE RD	1 Level	1 Well	1 Paved		Ex C Land	21	1,700,800	1,190,600
		2 Septic			Ex C Bldg	22	8,723,600	6,106,600
					Ex Com OB	25	446,100	312,400
					Ind Land	3-1	153,000	107,100
Alt Prcl ID	8811							
Census								
Devel. Lot								
GIS ID	23,60.7							
Assoc Plat#								

Sec # 1 of 1 Card # 5 of 6 Print Date 04-18-2022 11:56:55

# VISION

CONSTRUCTION DETAIL										CONSTRUCTION DETAIL (CONTINUED)									
Element	Cd	Description	Element	Cd	Description														
Style:	52	Other Municipal																	
Model Grade	94	Comm/lnd C																	
Stories:	1																		
Occupancy	1.00																		
Exterior Wall 1	15	Concr/Cinder																	
Exterior Wall 2	03	Gable																	
Roof Structure	01	Metal/Tin																	
Interior Wall 1	01	Minimum																	
Interior Wall 2	04	Concr Abv Grad																	
Interior Floor 1	09	Typical																	
Heating Fuel	05	Hot Water																	
Heating Type	01	None/partial																	
Bldg Use	901	Town MDL-Com																	
Heat/A/C	00	HEAT ONLY																	
Frame Type	02	WOOD FRAME																	
Baths/Plumbing	02	AVERAGE																	
Ceiling/Wall	02	CEILING ONLY																	
Rooms/Prtis	02	AVERAGE																	
Wall Height	8.00																		
1st Floor Use:																			
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)																			
Code	Description	LB	Units	Unit Price	Yr. Bilt	Cond.	Cd	% Good	Grade	Grade Adj	Appr. Value								
FNC	Fence	L	200	8.00	1975	A		70	C	1.00	1,100								
</																			

CURRENT OWNER				CURRENT ASSESSMENT				6078
TOPO	UTILITIES	STRT / ROAD	LOCATION	Description	Code	Appraised	Assessed	
MANSFIELD TOWN OF & BOARD OF	1 Level	1 Well		Ex C Land	21	1,700,800	1,190,600	MANSFIELD, CT
MANSFIELD MIDDLE SCHOOL		2 Septic		Ex C Bldg	22	8,723,600	6,106,600	
4 SOUTH EAGLEVILLE RD				Ex Corn OB	25	446,100	312,400	
				Ind Land	3-1	153,000	107,100	
SUPPLEMENTAL DATA								
Alt Pctd ID								
Census	8811							
Devel. Lot								
STORRS	CT	06268						
GIS ID	23.60.7		Assoc Pld#					
RECORD OF QUANTITIES				Total				
				11,023,500				7,216,700

VISION

6078

MANSFIELD, CT

MANSFIELD TOWN OF & BOARD OF EDUCATION REFERENCE	BR-VOL	PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)											
								2019				2020				2021			
								Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
MANSFIELD TOWN OF	663	347	01-20-2009	U	V	0	25	2021	21	1,190,600	2020	21	1,180,600	2019	21	1,190,600			
	113	428	04-16-1971	U	I	0		22	6,106,600		22	6,106,600		22	6,106,600				
	106	136	12-13-1967	U	I	0		25	312,400		25	312,400		25	312,400				
	83	413	05-10-1957	U	I	0		3-1	107,100		3-1	107,100		3-1	107,100				
								Total		7,716,700		Total		7,716,700		Total			
EYEBOARDS																			

OTHER ASSESSMENTS				TOTAL	
Year	Code	Description	Amount	Code	Amount

Notes	Appraised Land Value (Bldg)
0	1,853,900
446,100	

1997-MODULAR CLASSRM BUILDING ADDED TO REAR OF MANSFIELD MIDDLE SCHOOL	1,023,500
Special Land Value	0
Total Appraised Parcel Value	11,023,500
Valuation Method	C
Total Appraised Parcel Value	

BUILDING PERMIT RECORD										Total Appraised Parcel Value		11,023,500		
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result
LAND LINE VALUATION SECTION														

Use Code	Description	Zone	Land Type	Land Units	Unit Price	L. Factor	Site Index	Cond.	Nbhd.	Nbhd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
901	Town MDL-Com	21		SF	0	1.00000		1.00		1.000		0	0	0
Total Card Land Units				0.00	AC	Parcel Total Land Area: 93.53				Total Land Value				1,853,800

CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style: 49		Public School			
Model 94		Comm/Ind			
Grade 09		B-			
Stories: 1					
Occupancy 1.00					
Exterior Wall 1 08		Wood			
Exterior Wall 2					
Roof Structure 01		Fiat			
Roof Cover 03		Asphalt Shingl			
Interior Wall 1 05		Drywall			
Interior Wall 2					
Interior Floor 1 14		Carpet			
Interior Floor 2					
Heating Fuel 09		Typical			
Heating Type 04		Forced Air			
AC Type 01		None/partial			
Bldg Use 901		Town MDL-Com			
Heat/AC 00		HEAT ONLY			
Frame Type 02		WOOD FRAME			
Baths/Plumbing 02		AVERAGE			
Ceiling/Wall 06		CEIL & WALLS			
Rooms/Prtns		AVERAGE			
Wall Height 02					
1st Floor Use: 10.00					

MIXED USE		
Code	Description	Percentage
901	Town MDL-Com	100
		0
		0

COST / MARKET VALUATION

RCN	Year Built	1997
	Effective Year Built	
	Depreciation Code	A
	Remodel Rating	
	Year Remodeled	
	Depreciation %	16
	Functional Obsol	
	Economic Obsol	
	Trend Factor	1
	Condition	
	Condition %	84
	Percent Good	
	RCNLD	764,900
	Dep % Ovr	
	Dep Ovr Comment	
	Misc Imp Ovr	
	Misc Imp Ovr Comment	
	Cost to Cure Ovr	
	Cost to Cure Ovr Comment	

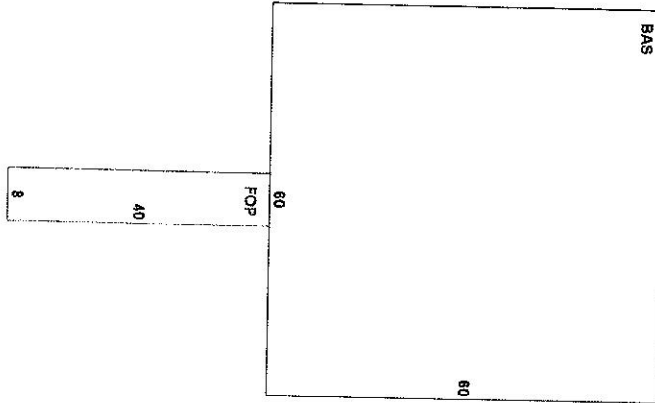
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

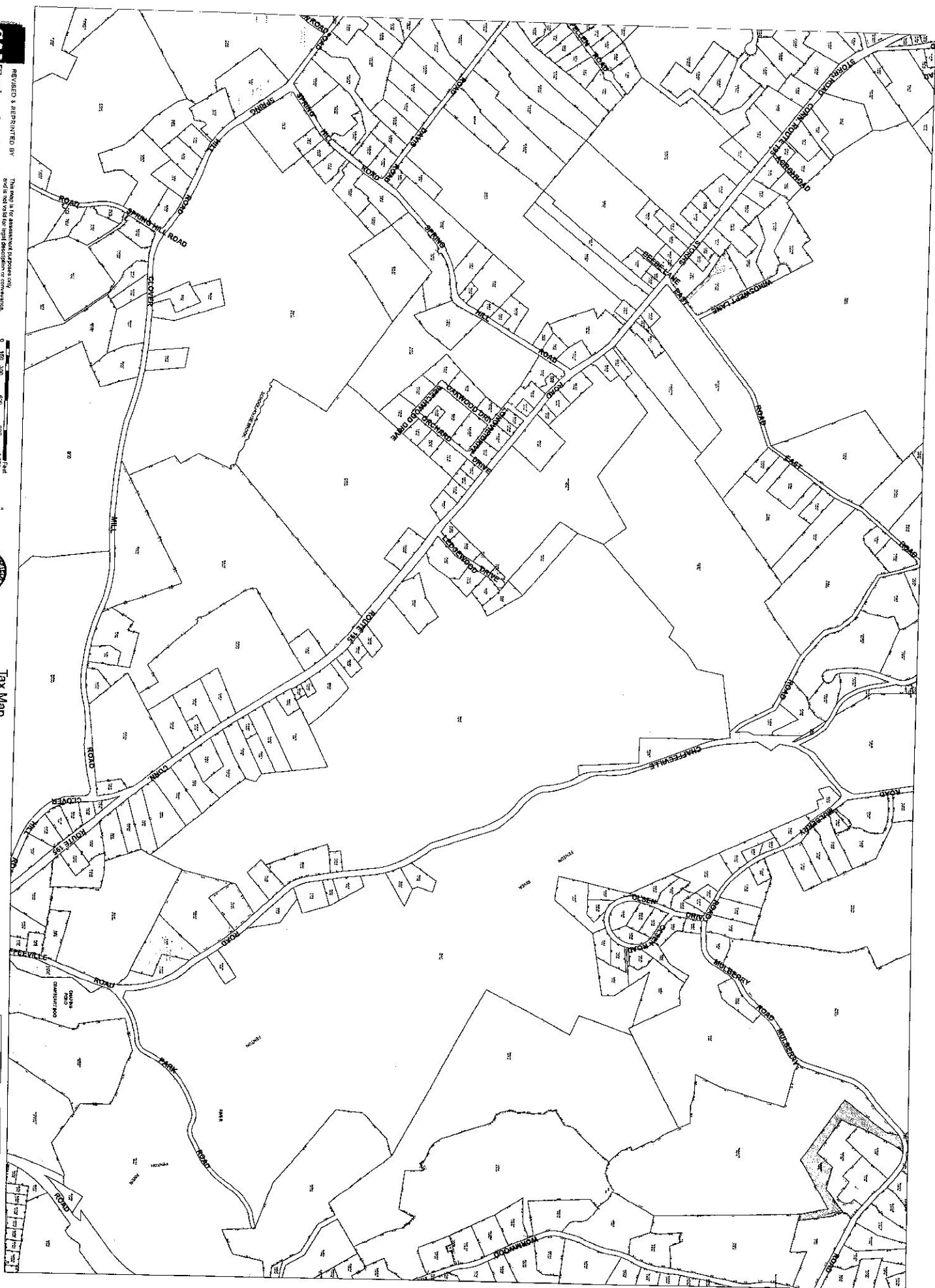
Code	Description	U/B	Units	Unit Price	Yr Bilt	Cond	Cd	% Good	Grade	Grade Adj	Appr. Value
------	-------------	-----	-------	------------	---------	------	----	--------	-------	-----------	-------------

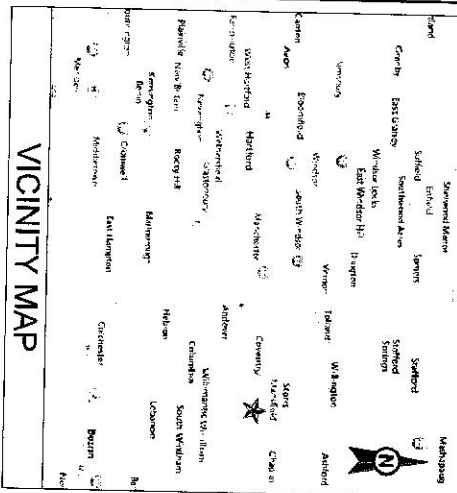
BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	3,600	3,600		247.46	890,846
FOP	Framed Open Porch	0	320		61.86	19,797

Totl Gross Liv / Lease Area		3,600	3,920			910,643
-----------------------------	--	-------	-------	--	--	---------

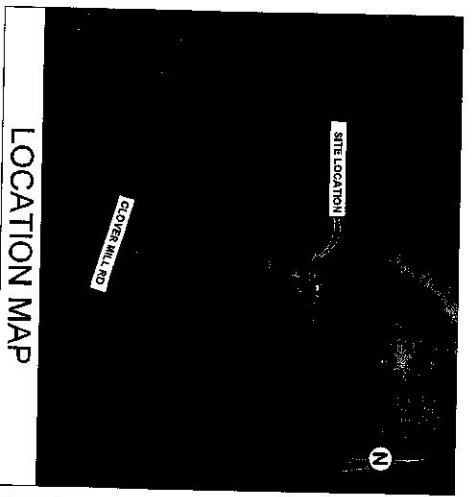






**AMERICAN TOWER®**

ATC SITE NAME: MANSFIELD CENTER 1 CT  
 SITE NUMBER: 376046  
 SITE ADDRESS: 230 CLOVER MILL ROAD  
 STORRS MANSFIELD, CT 06268



**AMERICAN TOWER®**  
 A.T. ENGINEERING SERVICE, PLLC  
 3900 RICHMOND PARKWAY  
 SUITE 100  
 GARY, IN 46412  
 PHONE: (819) 484-4172  
 FAX: (819) 484-4173

THESE DRAWINGS ARE PREPARED BY THE ENGINEER AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

# SHARED GENERATOR PROGRAM ANCHOR TENANT

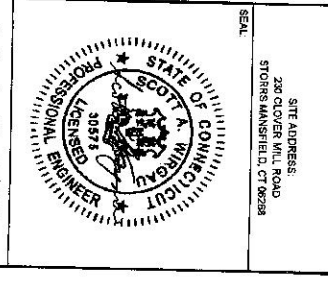
COMPLIANCE CODE		PROJECT SUMMARY		PROJECT DESCRIPTION		SHEET INDEX				
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CITY OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES		SITE ADDRESS: 230 CLOVER MILL ROAD STORRS MANSFIELD, CT 06268 COUNTY: TOLLAND		THE PROPOSED PROJECT INSTALLS AN OPTIONAL STRANDBY GENERATOR SYSTEM, AUTOMATIC POWER DISTRIBUTION AND REMOTE MONITORING COMMUNICATIONS CIRCUITRY FOR A COMMUNICATION TOWER TENANT.		SHEET NO.	DESCRIPTION	REV.	DATE	BY
GEOGRAPHIC COORDINATES: LATITUDE: 41.757777 LONGITUDE: -72.2225 GROUND ELEVATION: 515' AMSL ZONING INFORMATION: JURISDICTION: TOLLAND PARCEL NUMBER: 000023-000000-000007		PROJECT TEAM: ATC REGIONAL DEVELOPMENT PROJECT MANAGER: MICHAEL JOYCE (877) 518-8397 (860) 376-6922 TOWER OWNER: AMERICAN TOWER 100 RICHMOND PARKWAY SUITE 100 GARY, IN 46412 PROJECT OWNER: TOWN OF MANSFIELD 230 CLOVER MILL ROAD STORRS MANSFIELD, CT 06268 ENGINEERED BY: ATC TOWER SERVICES 3900 RICHMOND PARKWAY SUITE 100 GARY, IN 46412		PROJECT LOCATION DIRECTIONS: FROM DOWNTOWN HARTFORD CT START OUT GOING NORTH ON MAIN ST. TURN RIGHT ONTO CENTRAL AVE. GO SOUTH ON CENTRAL AVE. BECOMES STATE ST. STAY STRAIGHT TO GO ONTO RAMP. MERGE ONTO CT-2 E. MERGE ONTO I-84 BUS-4 E. VIA EXIT 2 TOWARD E. TOWARD DOWNTOWN. KEEP RIGHT TO TAKE I-84 E. VIA EXIT 19 TOWARD DOWNTOWN. TURN RIGHT ONTO STAFFORD ROAD. TURN LEFT ONTO 5 ENGLEWILE ROAD. TURN RIGHT ONTO MALE RD. MALE RD BECOMES SPRING HILL RD. STAY STRAIGHT TO GO ONTO 230 CLOVER MILL RD. 230 CLOVER MILL RD IS ON THE LEFT.		G-001	TITLE SHEET	0	02/09/22	MF
PROJECT NOTES: 1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT LAND USE OR VISUAL IMPACT. 4. NO SANITARY SEWER OR STORM WATER DRAINAGE. 5. DISPOSAL IS REQUIRED. 6. HANDICAP ACCESS IS NOT REQUIRED. 7. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS A MINOR PROJECT AND DOES NOT REQUIRE A PERMIT. 8. EXPEDITED REVIEW PROCESS. 9. MODIFICATION OF AN EXISTING MIRELESS TOWER THAT INVOLVES THE COLLOCATION, REMOVAL, AND/OR REPLACEMENT OF TRANSMISSION EQUIPMENT THAT IS NOT A SUBSTANTIAL CHANGE UNDER GRS § 1.87000 (b)(7).		G-002	GENERAL NOTES	0	02/09/22	MF				
		C-101	SITE PLAN	0	02/09/22	MF				
		C-501	CONCRETE PAD DETAILS	0	02/09/22	MF				
		E-501	ELECTRICAL ONE-LINE AND WIRING DETAILS	0	02/09/22	MF				
		R-501	SUPPLEMENTAL	0	02/09/22	MF				

Authorized by "EOR"  
 170 Feb 2022 01:40:41  
 170 Mobile Design

DATE DESIGNED: 02/09/22  
 DATE JOB NO: 13700216.M4

TITLE SHEET

SHEET NUMBER: G-001  
 REVISION: 0





1. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE AND LOCAL CODES INCLUDING ASHRAE 90.2-22, AND COMPLY WITH A/C CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL CONSTRUCT LOCAL 8" I/P FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS, ALL DIMENSIONS TO, OF AND ON EXISTING BUILDINGS, EXISTING UTILITIES AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
4. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
5. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
6. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR PROTECTIVE ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
8. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUND DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
9. INCORRECTLY IDENTIFIED, DAMAGED OR OTHERWISE AFFECTING EXISTING UTILITIES OR CONDITIONS SHALL BE REPORTED TO THE A/C ON PRIOR TO THE A/C ON PRIOR TO PROCEEDING.
10. CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
11. CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
12. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
13. CONTRACTOR SHALL FURNISH A/C WITH A PDF MAILED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
14. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH A/C TO DETERMINE WHAT IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
15. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH A/C CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY A/C. ALL REQUIRED PERMITS NOT OBTAINED BY A/C MUST BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
16. CONTRACTOR SHALL INSTALL ALL SITE BRACING IN ACCORDANCE WITH A/C SPECIFICATIONS AND REQUIREMENTS.
17. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO A/C FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
18. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO A/C SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
19. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE CONSTRUCTION METHODS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
20. CONTRACTOR SHALL NOTIFY A/C ON A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING. ALL FOUNDATIONS OR SETTLING ANY WALL, FLOOR OR FLOOR PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL SAFETY DEVICES INCLUDING EYE PROTECTORS AND OTHER DEVICES SUCH AS WELDING MASKS AND FIRE PREVENTION. TEMPORARY SHORING, SCAFFOLDING, TENSION BOARDING, ETC. BARRIERS, ETC.
22. THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY AT THE END OF THIS CONTRACTOR OR HIS EMPLOYEES ON THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS EMPLOYEES.

1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE ACI BUILDING CODES INCLUDING, BUT NOT LIMITED TO, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 318), SPECIFICATIONS FOR REINFORCED CONCRETE FOR STRUCTURAL CONSTRUCTION AND MATERIALS (ACI 308), AND ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
2. MIX DESIGN SHALL BE APPROVED BY ATC PRIOR TO PLACING CONCRETE.
3. CONCRETE SHALL BE NORMAL WEIGHT (4-158) WITH A SLUMP RANGE OF 3.57 AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.
4. THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT: REINFORCEMENT BARS: NORMAL WEIGHT AGGREGATE: ADMITTERS: WATER-REDUCING AGENT: AIR-ENTRAPPING AGENT: -SILPHASTICIZER: AIR-FOAMING: MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE NO LESS THAN 3".	<table border="0"><tr><td>ASTM C150 TYPE 2</td><td>ASTM C494M TYPE A</td></tr><tr><td>ASTM A618 PLAIN STEEL WELDED WIRE FABRIC</td><td>ASTM C2000</td></tr><tr><td>ASTM A618, GRADE 60, DEFORMED</td><td>ASTM C494M TYPE B</td></tr><tr><td>ASTM C33</td><td>ASTM C494M TYPE C</td></tr><tr><td>ASTM C94M</td><td></td></tr></table>	ASTM C150 TYPE 2	ASTM C494M TYPE A	ASTM A618 PLAIN STEEL WELDED WIRE FABRIC	ASTM C2000	ASTM A618, GRADE 60, DEFORMED	ASTM C494M TYPE B	ASTM C33	ASTM C494M TYPE C	ASTM C94M	
ASTM C150 TYPE 2	ASTM C494M TYPE A										
ASTM A618 PLAIN STEEL WELDED WIRE FABRIC	ASTM C2000										
ASTM A618, GRADE 60, DEFORMED	ASTM C494M TYPE B										
ASTM C33	ASTM C494M TYPE C										
ASTM C94M											
5. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 308 SECTION 4.2.2 UNLESS NOTED OTHERWISE.
6. INSTALLATION OF CONCRETE EXPLANATIONS/NOTES ANYWHERE SHALL BE PERMANENT/TURNERS' WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT SHALL BE EMBEDDED TO A MINIMUM OF 12" INTO THE CONCRETE. THE ANCHOR BOLT SHALL BE EMBEDDED TO A MINIMUM OF 12" INTO THE CONCRETE. NO REBAR SHALL BE CUT WITHOUT PRIOR ATC OR APPROVAL WHEN DRILLING HOLES IN CONCRETE.
7. ADMITTERS SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN METHODS 1 OF ACI 301.
8. DO NOT WELD OR TACK WELD REINFORCING STEEL.
9. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE, SEVERES, START OF CONCRETE PLACEMENT.
10. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
11. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
12. DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBGRADE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD. FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
13. FOR COLD WEATHER, REINFORCEMENT AND ADJUTANT REBAR (30M) CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI 308 AND RECOMMENDED PRACTICES. REINFORCEMENT SHALL BE COVERED WITH CHLORIDE CALCIUM SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 24 HOURS MINIMUM.
14. ALL CONCRETE SHALL HAVE A "SMOOTH FORM FINISH."
15. UNLESS OTHERWISE NOTED:
  - A. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A618/A
  - B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A186.
  - C. 615M/90% GRADE 60.
16. SPACING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCEMENT SHALL BE SPACED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
17. REINFORCING BAR DEVELOPMENT LENGTHS AS COMPARED IN ACCORDANCE WITH ACI 318.

STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL" AND THE AISC "MANUAL OF STEEL CONSTRUCTION".

STRUCTURAL STEEL, ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:

- A. ASTM A572, GRADE 50 - ALL W SHAPES, UNLESS NOTED OR A992 OTHERWISE.
- B. ASTM A-36, ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE.
- C. ASTM A-500, GRADE B - HSS SECTION (SQUARE, RECTANGULAR AND ROUND).
- D. ASTM A-305, TYPE 50 OR 60 - ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS.
- E. ASTM F-1554-07 - ALL ANCHOR BOLTS, UNLESS NOTED OTHERWISE.

ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123. EXPOSED STEEL HARDWARE AND ANCHOR BOLTS SHALL BE GALVANIZED PER ASTM A153 OR A666.

ALL FIELD CUT SHELFACES, FIELD DRILLED HOLES AND GROUTING SURFACES WHERE EXISTING JOINTS OR GALVANIZATION REMOVAL WAS REQUIRED SHALL BE REPAIRED TO THE FINISH OF THE UNPAINTED SURFACES OF THE GALVANIZED STEEL BY HOT-DIPPING OR BRUSHED WITH ZINC GALVANIZING COMPOUND PER ASTM A790 AND MANUFACTURER'S RECOMMENDATIONS.

DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAIL ON STRUCTURAL DRAWINGS.

CONNECTIONS:

- A. ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D1.1.
- B. ALL WELDS SHALL BE INSPECTED VISUALLY 75% OF WELDS SHALL BE INSPECTED WITH DYE PENETRANT AND 25% OF WELDS SHALL BE INSPECTED TO MEET THE ACCEPTANCE CRITERIA OF AWS D1.1. REPAIR ALL WELDS AS NECESSARY.
- C. INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.
- D. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE BURNING/WELDING PERMITS AS REQUIRED BY THE LOCAL JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURANCE COVERING ALL AUTHORITY AND IF REQUIRED SHALL HAVE FIRE DEPARTMENT ON SITE DURING ALL WELDING ACTIVITY.
- E. ALL ELECTRODES TO BE LOW HYDROGEN MATCHING FILLER METAL, PER AWS D1.1, UNLESS NOTED OTHERWISE.
- F. MINIMUM WELD SIZE TO BE 1/8 INCH INLET WELDS, UNLESS NOTED OTHERWISE.

PRIOR TO FIELD WELDING GALVANIZED MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZED SURFACES TO BE WELDED TO EXPOSED STEEL SURFACES. AFTER WELDING, GALVANIZED SURFACES SHALL BE REPAIRED TO THE FINISH OF THE UNPAINTED SURFACES OF THE GALVANIZED STEEL BY HOT-DIPPING OR BRUSHED WITH ZINC GALVANIZING COMPOUND PER ASTM A790 AND MANUFACTURER'S RECOMMENDATIONS.

[illegible]

REV.	DESCRIPTION	BY	DATE
0	FOR CONSTRUCTION	MF	020627

ATC SITE NAME:  
MANSFIELD CENTER CT

**SITE ADDRESS:**  
230 CLOVER MILL ROAD  
STORRS MANSFIELD, CT 06266



Authorized by "EOR"  
10 Feb 2022 04:40:11

RAWN BY:	SL
DATE DRAWN:	02/09/22
TG JOB NO:	13770218_M4

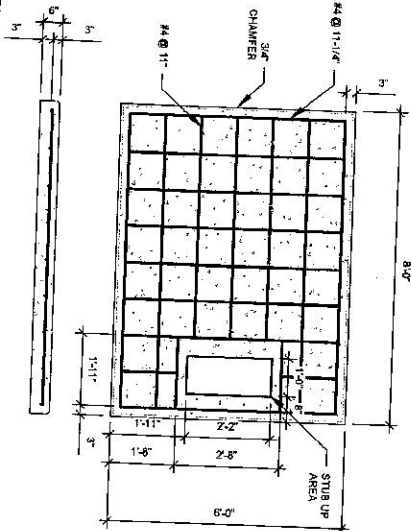
## GENERAL NOTES

SHEET NUMBER: G-002

REVISIO 0



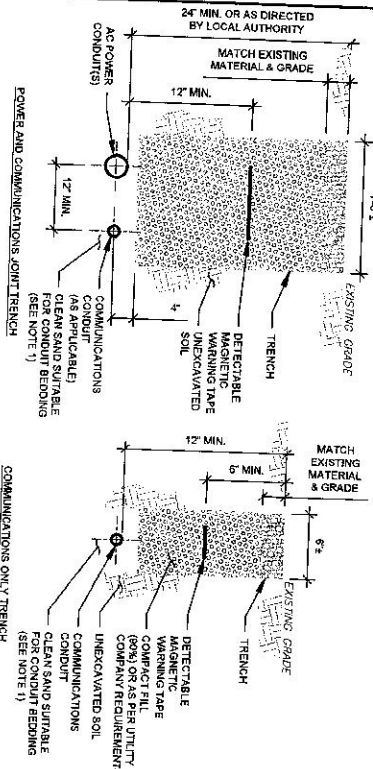




- PAD NOTES:**
1. PADS SHALL BE PRECAST MATCHING THIS DESIGN WHERE ALLOWED BY LOCAL JURISDICTION.
  2. PRIOR TO CONCRETE, 28 DAY COMPRESSIVE STRENGTH AS SPECIFIED ON C-402, CONCRETE AND REINFORCING STEEL NOTES #3.
  3. REFER TO CONCRETE & REINFORCING STEEL NOTES ON SHEET C-402 & A/C CONSTRUCTION SPECIFICATION 02350 FOR CAST-IN-PLACE PADS.
  4. STUB UP AREA SHALL BE FILLED WITH GUNKERTE, OR APPROVED EQUAL, PRIOR TO FINAL SET OF GENERATOR ON PAD.
  5. OPERATIONAL SET OF GENERATOR ON PAD, GROUT ALL EXTERIOR OPENINGS AT PAD INTERFACE SO THAT FINISHED MAXIMUM.
  6. GROUT SHALL BE PER A/C CONSTRUCTION SPECIFICATION DIVISION 03.0 CONCRETE.

### 1 REINFORCED PAD LAYOUT

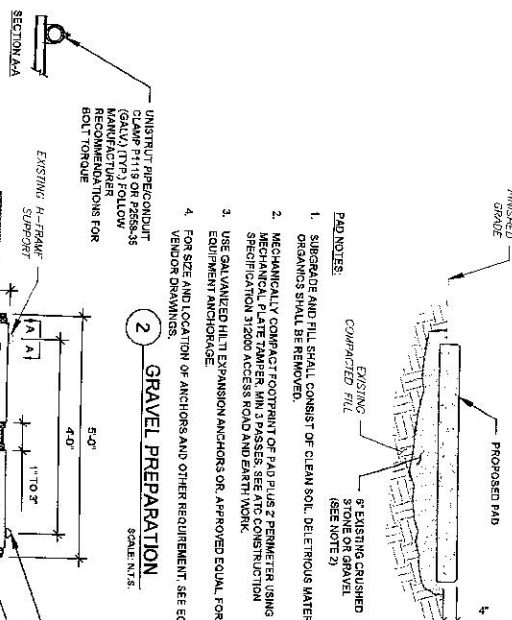
SCALE N.T.S.



- TRENCH NOTES:**
1. IF FREE OF ORGANIC OR OTHER DETRIMENTAL MATERIAL, EXCAVATED MATERIAL MAY BE USED FOR BACKFILL. IF NOT, PROVIDE CLEAN, COMPACTIBLE BACKFILL MATERIAL, MIN. 3 PASSES, REMOVE ANY LARGE ROCKS PRIOR TO BACKFILLING. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO DIGGING. SEE A/C.
  2. IF CURRENT AS-BUILT UTILITIES ARE NOT AVAILABLE, CONTRACTOR SHALL HAND DIG UTIL TRENCHING.
  3. CONFIRM SPACING AND DEPTH WITH NOTES ON LOCAL CODE REQUIREMENTS.

### 3 CONDUIT TRENCH DETAILS

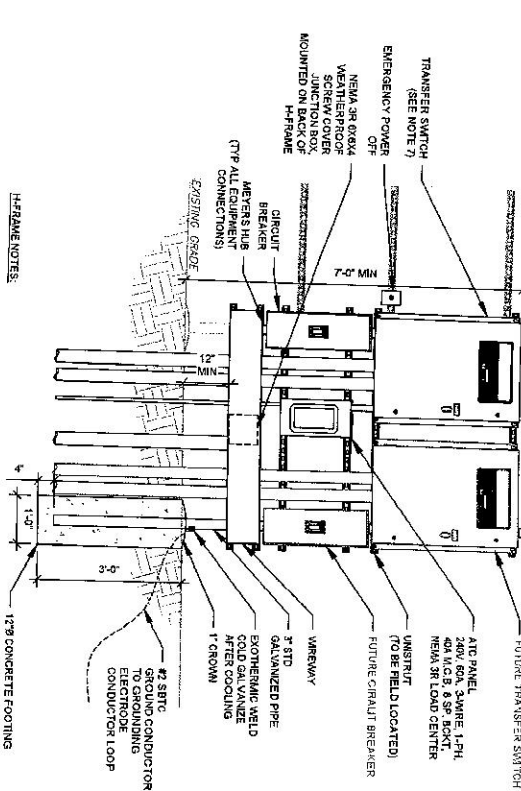
SCALE N.T.S.



- PAD NOTES:**
1. SUBGRADE AND FILL SHALL CONSIST OF CLEAN SOL. DETRIMENTAL MATERIAL AND ORGANICS SHALL BE REMOVED.
  2. MECHANICALLY COMPACT FOOTPRINT OF PAD PLUS 2' PERIMETER USING A MECHANICAL TAMPING, MIN. 3 PASSES, SEE A/C CONSTRUCTION SPECIFICATION 02350 ACCESS ROAD AND DIRT YARD.
  3. USE GALVANIZED HILTI EXPANSION ANCHORS OR APPROVED EQUAL, FOR EQUIPMENT ANCHORAGE.
  4. FOR SIZE AND LOCATION OF ANCHORS AND OTHER REQUIREMENT, SEE EQUIPMENT VENDOR DRAWINGS.

### 2 GRAVEL PREPARATION

SCALE N.T.S.



- H-FRAME NOTES:**
1. IF IT IS NECESSARY TO EXTEND THE H-FRAME, AN ADDITIONAL POST SHALL BE REQUIRED.
  2. PROPOSED H-FRAME SHALL BE FIELD CUT AND SHALL NOT EXTEND MORE THAN 6 INCHES BEYOND THE LAST POST.
  3. SPRAY ENDS OF UNSTRUCTURED H-FRAME WITH GUNAPPLY SPRAY PAINT, ALLOW TO DRY, THEN COVER WITH RUBBER INSULATIVE CAPS FOR SAFETY.
  4. UNSTRUCTURED H-FRAME SHALL BE CUT FLUSH WITH NO SHARP OR JAGGED EDGES.
  5. ALL ITEMS SHALL BE USED HANDMADE TO BEG ONE-WAY AND CIRCULATED PER MANUFACTURER'S SPECS.
  6. DEVIATIONS MUST BE APPROVED BY A/C CM, IN WRITING, NO EXCEPTIONS.
  7. FLOWINGS SHALL BE ONE OF THE FOLLOWING: USS POLYESTER STABILIZER SYSTEM, PRECAST CONCRETE WHERE COMPACT THE PERIMETER 12 MIN OF FOOTING WITH MECHANICAL PLATE TAMPER.
  8. FLOWINGS SHALL BE ONE OF THE FOLLOWING: USS POLYESTER STABILIZER SYSTEM, PRECAST CONCRETE WHERE COMPACT THE PERIMETER 12 MIN OF FOOTING WITH MECHANICAL PLATE TAMPER.

### 4 H-FRAME

SCALE N.T.S.

**AMERICAN TOWER**  
A.T. ENGINEERING SERVICE, PLLC  
360 REGENCY PARKWAY  
SUITE 100  
CAMDEN, NJ 08104  
PHONE: (856) 488-6112  
COX: PEO.0001853

REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	ME	02/03/22

ATC SITE NUMBER:  
375046  
ATC SITE NAME:  
MANSFIELD CENTER 1 CT

SITE ADDRESS:  
230 CLOVER MILL ROAD  
STORRS MANFIELD, CT 06268



Authorized by "EOR"  
710 Feb 2022 0 14:40:12  
cosign

CONCRETE PAD  
DETAILS

SHEET NUMBER:  
C-501  
REVISION:  
0



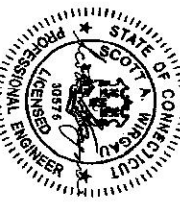
**AMERICAN TOWER**  
A.T. ENGINEERING SERVICE, PLLC  
300 BUREAU PARKWAY  
SUITE 100  
CHRY, NC 27618  
PHONE: (919) 484-0112  
FAX: (919) 484-0113

THESE DRAWINGS AND/OR SPECIFICATIONS ARE INTENDED TO BE USED BY THE CONTRACTOR AND THE CLIENT ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE INFORMATION PROVIDED HEREON.

REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	MF	02/22/22

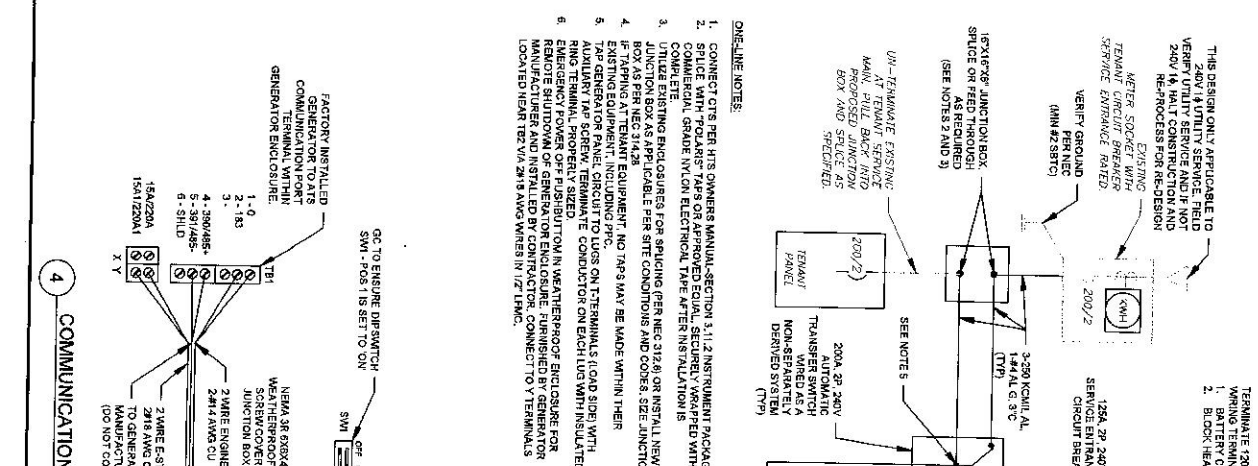
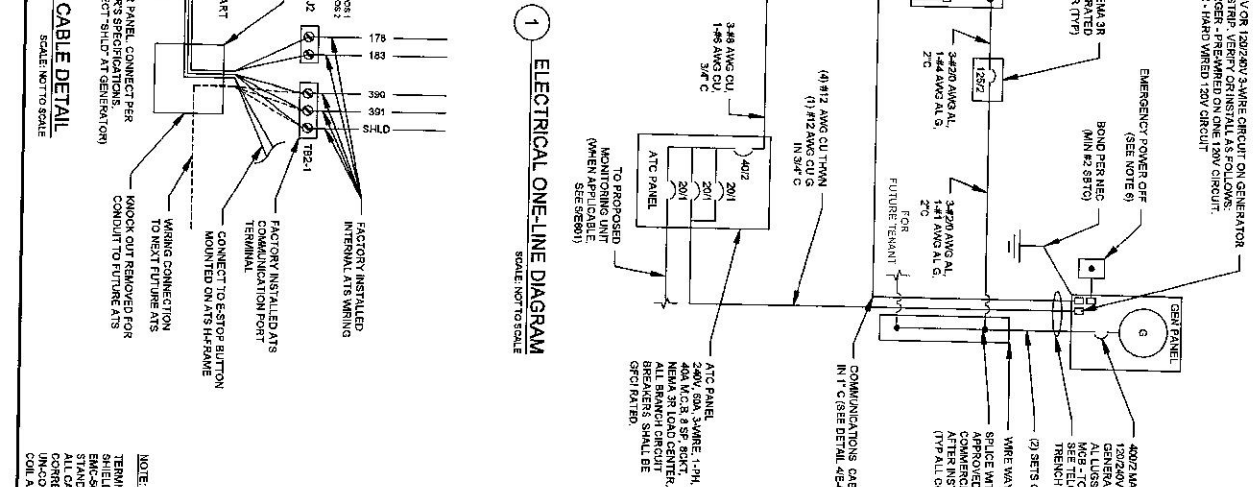
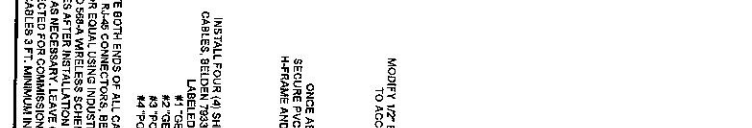
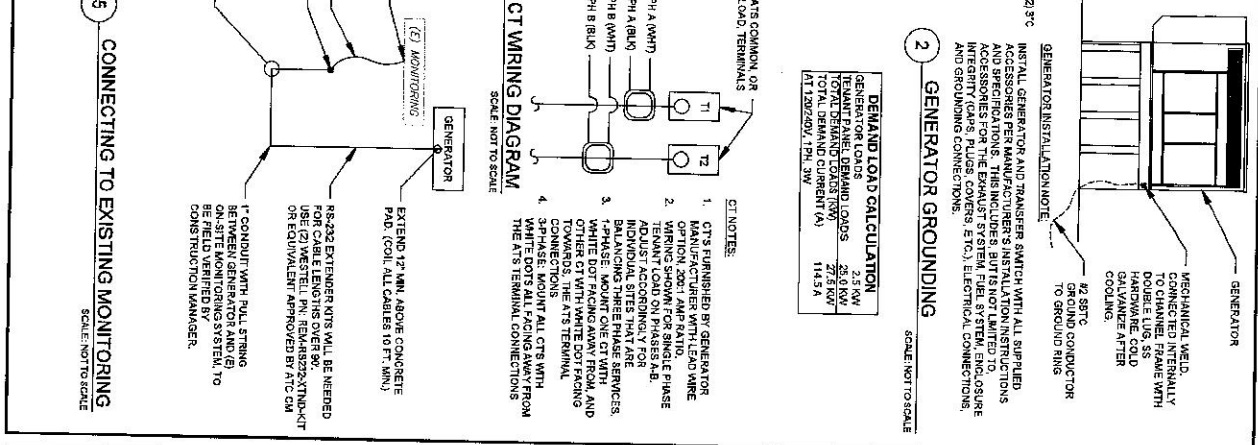
ATC SITE NAME  
MANSFIELD CENTER 1 CT

SITE ADDRESS  
230 CLOVER HILL ROAD  
STONERS MANSFIELD, CT 06236



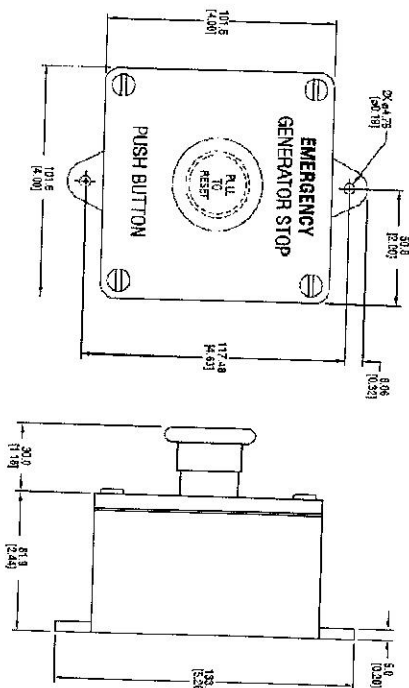
Authorized by "EOR"  
1710 Feb 2022 01:40:12  
E-601

DRAWN BY:	SL
DATE DRAWN:	02/02/22
ATC JOB NO:	1370219.M4
SHEET NUMBER:	0
REVISION:	



# REMOTE EMERGENCY STOP SWITCH SURFACE MOUNT, H-PANEL

GENERAC INDUSTRIAL



DIMENSIONS (INCHES)

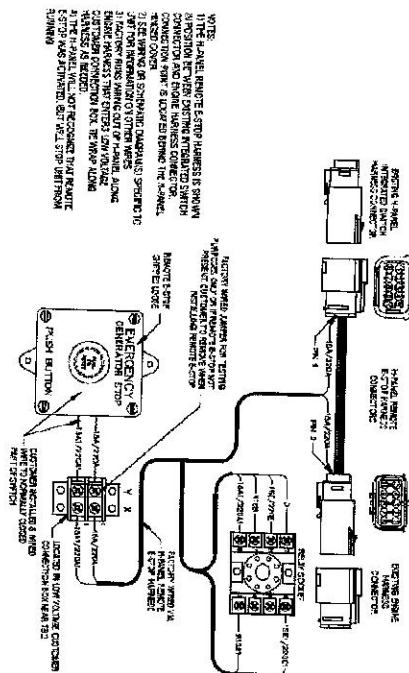
- MANUFACTURER: PULSA ELECTRICAL PRODUCTS, INC.
- MODEL: S6120
- GENERAC PART NUMBER: 081728E
- SURFACE MOUNT, NEMA 4X
- NONMETALLIC BACKBOX

## 1 E-STOP SWITCH

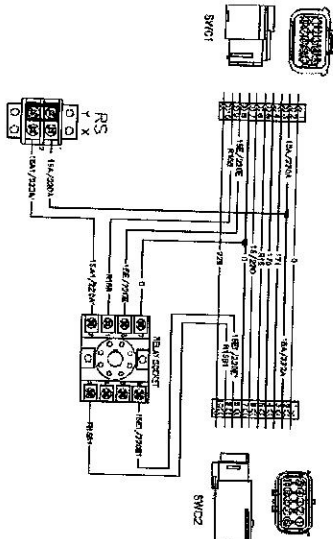
GENSET CONTROLS

# REMOTE EMERGENCY STOP SWITCH SURFACE MOUNT, H-PANEL

GENERAC INDUSTRIAL



NOTES:  
1. THE LABEL MOUNT E-STOP SWITCH IS SHOWN WITH THE FOLLOWING CONNECTIONS:  
2. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
3. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
4. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
5. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
6. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
7. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
8. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
9. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:  
10. THE FOLLOWING CONNECTIONS ARE SHOWN FOR THE MOUNT E-STOP SWITCH:



Generac Power Systems, Inc. | P.O. Box 8 | Wauwatosa, WI 53191  
© 2010 Generac Power Systems, Inc. All rights reserved. All specifications are subject to change without notice.

Rev 1.10/15/13

GENSET CONTROLS

SUPPLEMENTAL	
SHEET NUMBER:	REASON:
R-601	0

FedEx® Tracking

2723 2080 4414

ADD NICKNAME



Delivered  
Wednesday, 4/27/2022 at 1:33 pm



## DELIVERED

Signed for by: K.KELLY

GET STATUS UPDATES

OBTAIN PROOF OF DELIVERY

FROM  
FARMINGTON, CT US

TO  
STORRS MANSFIELD, CT US

MANAGE DELIVERY

*PACKAGE TO  
TOWN MANAGER - RYAN AYERSWORTH  
OF MANSFIELD  
ALSO TOWN IS PROPERTY  
OWNER*

## Travel History

TIME ZONE  
Local Scan Time

Wednesday, April 27,  
2022

1:33 PM	STORRS MANSFIELD, CT	Delivered
9:07 AM	NORWICH, CT	On FedEx vehicle for delivery
8:25 AM	NORWICH, CT	At local FedEx facility
Tuesday, April 26, 2022		
6:34 PM	NORWICH, CT	At local FedEx facility
9:14 AM	NORWICH, CT	Shipment arriving On-Time
9:03 AM	NORWICH, CT	At local FedEx facility Package not due for delivery

Monday, April 25, 2022


9:29 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
8:10 AM	NORWICH, CT	Shipment arriving early
7:55 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
7:51 AM	NORWICH, CT	Shipment arriving early
7:34 AM	NORWICH, CT	At local FedEx facility

Saturday, April 23, 2022

3:10 PM	NORWICH, CT	At local FedEx facility
8:19 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
6:30 AM	EAST GRANBY, CT	At destination sort facility
3:26 AM	MEMPHIS, TN	Departed FedEx hub

Friday, April 22, 2022

11:24 PM	MEMPHIS, TN	Shipment arriving early
11:11 PM	MEMPHIS, TN	Arrived at FedEx hub
8:23 PM	MENANDS, NY	Left FedEx origin facility
5:57 PM	MENANDS, NY	Picked up
3:37 PM		Shipment information sent to FedEx

Expand History 

## Shipment Facts

## TRACKING NUMBER

2723 2080 4414

## SERVICE

FedEx Express Saver

## WEIGHT

0.5 lbs / 0.23 kgs

## DELIVERED TO

Receptionist/Front Desk

## TOTAL PIECES

1

## TOTAL SHIPMENT WEIGHT

0.5 lbs / 0.23 kgs

## TERMS

Shipper

## PACKAGING

FedEx Envelope

## SPECIAL HANDLING SECTION

Deliver Weekday

## SHIP DATE

4/22/22 ?

## STANDARD TRANSIT

4/27/22 before 4:30 pm ?

## ACTUAL DELIVERY

4/27/22 at 1:33 pm

About FedEx(<https://www.fedex.com/en-us/about.html>)

Our Portfolio(<https://www.fedex.com/en-us/about/company-structure.html>)

Investor Relations(<https://investors.fedex.com/investor-home/default.aspx>)

Careers(<https://careers.fedex.com/fedex/>)

FedEx Blog(<https://www.fedex.com/en-us/blog.html>)

Corporate Responsibility(<https://www.fedex.com/en-us/about/corporate-social-responsibility.html>)

Newsroom(<https://newsroom.fedex.com/>)

Contact Us(<https://www.fedex.com/en-us/customer-support/contact-us.html>)

#### MORE FROM FEDEX

FedEx Compatible(<https://www.fedex.com/en-us/compatible.html>)

FedEx Developer Portal(<https://developer.fedex.com/>)

FedEx Logistics(<https://www.fedex.com/en-us/logistics.html>)

FedEx Cross Border(<https://www.fedex.com/en-us/cross-border.html>)

ShopRunner(<https://www.fedex.com/en-us/shoprunner.html>)

#### LANGUAGE

 [Change Country/Territory\(https://www.fedex.com/?location=home\)](https://www.fedex.com/?location=home)

#### FOLLOW FEDEX



(<https://www.fedex.com/en-us/email.html>)



(<https://www.facebook.com/FedEx/>)



(<https://twitter.com/fedex>)



(<http://www.instagram.com/fedex>)



(<http://www.linkedin.com/company/fedex>)



(<http://www.youtube.com/fedex>)



(<https://www.pinterest.com/fedex>)

© FedEx 1995-2022

Site Map (<https://www.fedex.com/en-us/sitemap.html>)

| Terms of Use (<https://www.fedex.com/en-us/terms-of-use.html>)

| Privacy & Security (<https://www.fedex.com/en-us/trust-center.html>)



FedEx® Tracking

2723 2125 3099

ADD NICKNAME



Delivered  
Wednesday, 4/27/2022 at 1:33 pm



DELIVERED

Signed for by: K.KELLY

GET STATUS UPDATES

OBTAIN PROOF OF DELIVERY

FROM  
FARMINGTON, CT US

TO  
STORRS MANSFIELD, CT US

MANAGE DELIVERY

*TO MICHAEL NINTEAU  
DIRECTOR OF BUILDING & HOUSING  
FOR TOWN OF MANSFIELD*

## Travel History

## TIME ZONE

Local Scan Time



Wednesday, April 27,  
2022

1:33 PM	STORRS MANSFIELD, CT	Delivered
9:08 AM	NORWICH, CT	On FedEx vehicle for delivery
8:25 AM	NORWICH, CT	At local FedEx facility

Tuesday, April 26, 2022

6:34 PM	NORWICH, CT	At local FedEx facility
9:14 AM	NORWICH, CT	Shipment arriving On-Time
9:03 AM	NORWICH, CT	At local FedEx facility Package not due for delivery

Monday, April 25, 2022

9:29 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
8:07 AM	NORWICH, CT	Shipment arriving early
7:55 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
7:51 AM	NORWICH, CT	Shipment arriving early
7:34 AM	NORWICH, CT	At local FedEx facility

Saturday, April 23, 2022

3:10 PM	NORWICH, CT	At local FedEx facility
8:19 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
6:30 AM	EAST GRANBY, CT	At destination sort facility
3:26 AM	MEMPHIS, TN	Departed FedEx hub

Friday, April 22, 2022

11:24 PM	MEMPHIS, TN	Shipment arriving early
11:11 PM	MEMPHIS, TN	Arrived at FedEx hub
8:23 PM	MENANDS, NY	Left FedEx origin facility
5:57 PM	MENANDS, NY	Picked up
3:45 PM		Shipment information sent to FedEx

Expand History 

## Shipment Facts

**TRACKING NUMBER**

2723 2125 3099

**SERVICE**

FedEx Express Saver

**WEIGHT**

0.5 lbs / 0.23 kgs

**DELIVERED TO**

Receptionist/Front Desk

**TOTAL PIECES**

1

**TOTAL SHIPMENT WEIGHT**

0.5 lbs / 0.23 kgs

**TERMS**


Shipper

**PACKAGING**

FedEx Envelope

**SPECIAL HANDLING SECTION**

Deliver Weekday

**SHIP DATE**4/22/22 **STANDARD TRANSIT**4/27/22 before 4:30 pm **ACTUAL DELIVERY**

4/27/22 at 1:33 pm

About FedEx(<https://www.fedex.com/en-us/about.html>)

Our Portfolio(<https://www.fedex.com/en-us/about/company-structure.html>)

Investor Relations(<https://investors.fedex.com/investor-home/default.aspx>)

Careers(<https://careers.fedex.com/fedex/>)

FedEx Blog(<https://www.fedex.com/en-us/blog.html>)

Corporate Responsibility(<https://www.fedex.com/en-us/about/corporate-social-responsibility.html>)

Newsroom(<https://newsroom.fedex.com/>)

Contact Us(<https://www.fedex.com/en-us/customer-support/contact-us.html>)

#### MORE FROM FEDEX

FedEx Compatible(<https://www.fedex.com/en-us/compatible.html>)

FedEx Developer Portal(<https://developer.fedex.com/>)



FedEx Logistics(<https://www.fedex.com/en-us/logistics.html>)

FedEx Cross Border(<https://www.fedex.com/en-us/cross-border.html>)

ShopRunner(<https://www.fedex.com/en-us/shoprunner.html>)

#### LANGUAGE

 [Change Country/Territory\(https://www.fedex.com/?location=home\)](https://www.fedex.com/?location=home)

**FOLLOW FEDEX**  (<https://www.fedex.com/en-us/email.html>)  (<https://www.facebook.com/FedEx/>)

 (<https://twitter.com/fedex>)  (<http://www.instagram.com/fedex>)  (<http://www.linkedin.com/company/fedex>)

 (<http://www.youtube.com/fedex>)  (<https://www.pinterest.com/fedex>)

© FedEx 1995-2022

[Site Map \(https://www.fedex.com/en-us/sitemap.html\)](https://www.fedex.com/en-us/sitemap.html)

[Terms of Use \(https://www.fedex.com/en-us/terms-of-use.html\)](https://www.fedex.com/en-us/terms-of-use.html)

[Privacy & Security \(https://www.fedex.com/en-us/trust-center.html\)](https://www.fedex.com/en-us/trust-center.html)