

April 22, 2022

Connecticut Siting Council  
Attn: Melanie A. Bachman – Executive Director  
10 Franklin Square  
New Britain, CT 06051

**Notice of Exempt Modification**

**Facility Address: 205 Spring Hill Road a/k/a 230 Clover Mill Road, Storrs Mansfield, CT 06268**  
**Facility Coordinates: 41.775778, -72.222500**

Dear Ms. Bachman,

American Tower (ATC) currently maintains an Existing Cellular Tower Facility (179' Monopole) at 205 Spring Hill Road a/k/a 230 Clover Mill Road, Storrs Mansfield, CT 06268. The property is owned by Town of Mansfield. American Tower (ATC) now intends to install an 80kw Diesel Generator within the leased, fenced ground space area of the facility. The purpose of the generator installation is to allow for a shared back up emergency power option for its current (and future) wireless carrier tenants.

Because this proposed generator is within the existing, approved compound space, and the applicant is NOT requesting expansion of ground space beyond the approved conditions, please accept this letter, as notification pursuant to Regulations of Connecticut State Agencies @16-50j-73, for construction that constitutes an exempt modification pursuant to R.C.S.A. @16-50j-72(b)(2). In accordance with R.C.S.A.@16-50j-73, a copy of this letter is being sent to Ryan Aylesworth the Town Manager for the Town of Mansfield, Michael Nintean the Building & Housing Director for the Town of Mansfield, as well as the property owner and tower owner.

ATTACHMENT A

The planned modifications to the facility fall squarely within those activities explicitly provided for in R.C.S.A @ 16-50j-72(b)(2).

1. The proposed modifications will not result in an increase in the height of the existing structure.
2. The proposed modifications will not require the extension of the site boundary
3. The proposed modifications will not increase noise levels at the facility by six decibels or more, or to levels that exceed state and local criteria.
4. The operation of the generator back up power facility will not increase radio frequency emissions at the facility to the level at or above the Federal Communications Commission safety standard.
5. The proposed modifications will not cause a change or alteration in the physical or environmental characteristics of the site.
6. The existing structure and its foundation can support the proposed loading if the tower will be re-enforced to support them. <<< NOTE – This condition is N/A. The proposed Generator is based on the ground, and not associated or loaded onto the tower or foundation.

For the foregoing reasons, American Tower Corporation (ATC) respectfully submits that the proposed modifications to the above referenced telecommunications facility constitute an exempt modification under R.C.S.A. @16-50j-72(b)(2).

If you have any questions, I can be reached at [cbruttomesso@airosmithdevelopment.com](mailto:cbruttomesso@airosmithdevelopment.com) or 860-306-8355.

Best Regards,

  
Chuck Bruttomesso

Attachments

cc: Ryan Aylesworth, Town Manager for Town of Mansfield  
Michael Ninteau, Director of Building & Housing  
Town of Mansfield - Property Owner  
American Tower (ATC) – Tower Owner



**AMERICAN TOWER®**  
CORPORATION  
**LETTER OF AUTHORIZATION**

SITE NO/PROJECT NO: 376046 / ATC832825

SITE NAME: MANSFIELD CENTER 1 CT

ADDRESS 230 CLOVER MILL ROAD  
STORRS MANSFIELD, CT 06268-2826

APN: MANS-000023-000060-000007

I, Margaret Robinson, Senior Counsel, US Tower Division on behalf of American Tower\*, owner of the tower facility located at the address identified above (the "Tower Facility"), do hereby authorize **Airosmith Development** its successors and assigns, to act as American Tower's non-exclusive agent for the purpose of filing and securing any zoning, land-use, building permit and/or electrical permit application(s) and approvals of the applicable jurisdiction for and to conduct the construction of the installation of antennas and related telecommunications equipment on the Tower Facility located at the above address. This installation shall not affect adjoining lands and will occur only within the area leased by American Tower.

American Tower understands that the application may be denied, modified or approved with conditions. The above authorization is limited to the acceptance by American Tower of conditions related to American Tower's installation. Any such conditions of approval or modifications will not be effective unless approved in writing by American Tower.

The above authorization does not permit **Airosmith Development** to modify or alter any existing permit(s) and/or zoning or land-use conditions or impose any additional conditions unrelated to American Tower's installation of telecommunications equipment without the prior written approval of American Tower.

Signature: \_\_\_\_\_

Margaret Robinson, Senior Counsel  
US Tower Division

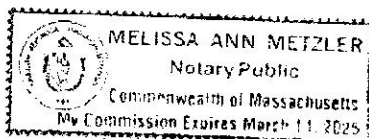
**NOTARY BLOCK**

COMMONWEALTH OF MASSACHUSETTS  
County of Middlesex

This instrument was acknowledged before me by Margaret Robinson, Senior Counsel of American Tower (Tower Facility owner and/or operator), personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same.

WITNESS my hand and official seal, this 12th day of April 2022.

NOTARY SEAL



Notary Public \_\_\_\_\_

My Commission Expires: March 14, 2025

\* American Tower as used herein is defined as American Tower Corporation and any of its affiliates or subsidiaries.



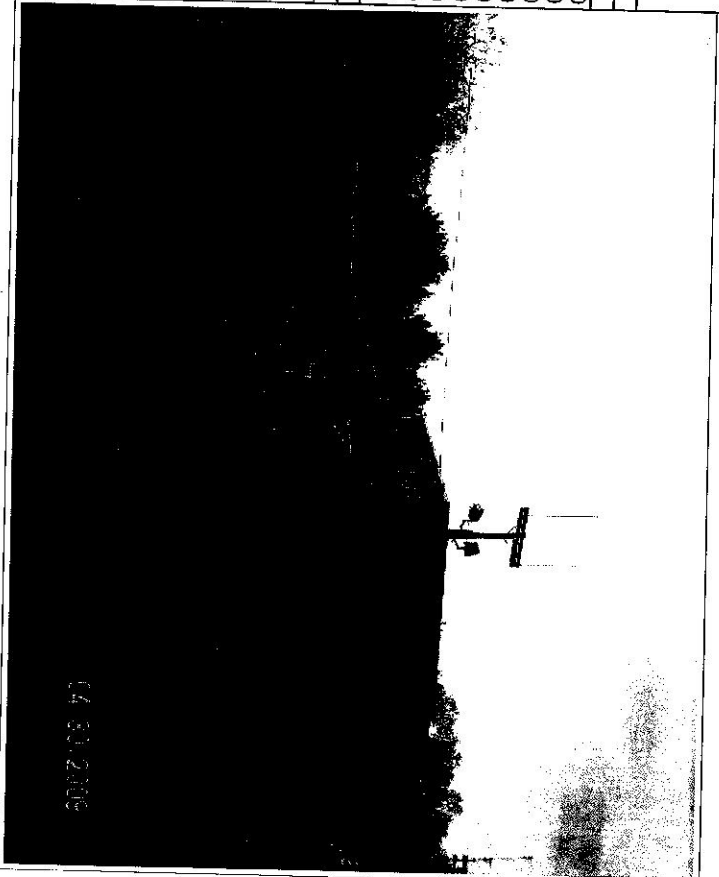


CONSTRUCTION DETAIL				CONSTRUCTION DETAIL (CONTINUED)			
Element	Cd	Description	Element	Cd	Description		
Style: 49		Public School					
Model: 94		Comm/Ind					
Grade: 07		C					
Stories: 2							
Occupancy: 1.00							
Exterior Wall 1: 20		Brick					
Exterior Wall 2: 01		Flat					
Roof Structure: 04		Tar + Gravel					
Roof Cover: 05		Drywall					
Interior Wall 1: 06		Vnl Linclium					
Interior Wall 2: 09		Typical					
Interior Floor 1: 05		Hot Water					
Interior Floor 2: 01		None/partial					
Heating Fuel: 901		Town MDL-Com					
Heating Type: 00		HEAT ONLY					
AC Type: 03		MASONRY					
Bldg Use: 02		AVERAGE					
Heat/AC: 06		CEIL & WALLS					
Frame Type: 02		AVERAGE					
Baths/Plumbing: 02							
Ceiling/Wall: 02							
Rooms/Ptnts: 02							
Wall Height: 14.00							
1st Floor Use:							

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)									
Code	Description	U/B	Units	Unit Price	Yr Bilt	Cond.	Cd	% Good	Grade Adj
PAV1	Paving	L	112.40	1.80	1969	A		70	0
BTM1	Cabana	L	462	20.00	1980	A		70	141,600
TEN1	Tennis Court	L	1	7200.00	1969	A		70	6,500
SHD1	Shed	L	800	12.00	1969	A		70	5,000
FNC1	Fence	L	280	8.00	1969	A		70	6,700
SHD1	Shed	L	100	12.00	1969	A		70	1,600
LT5	Light 5	L	15	2700.00	1969	A		70	800
FGR4	Gar w/Loft	L	6.333	25.00	1969	A		70	28,400
FGR1	Garage	L	6.435	24.00	1969	A		70	110,800
WMDK	Wood Deck	L	416	8.00	2017	A		70	108,100

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor Greenhouse	66,700	66,700		137.40	9,164,580
GRN	Basement	0	360		34.35	12,366
UBM		0	66,700		27.48	1,832,916
Tot Gross Liv / Lease Area		66,700	133,760			11,009,862



04-30-2009





Property Location	205 SPRING HILL RD
Vision ID	2799
Account	Account

Map ID 23/60/7/1

Bldg Name  
Sec # 1 of 1

Card # 3 of 6

State Use 901  
Print Date 04-18-2022 11:56:54

11:56:54

CURRENT OWNER		TOPO	UTILITIES		STRT / ROAD	LOCATION	CURRENT ASSESSMENT				6078		
		1 Level	1 Well	2 Septic	1 Paved		Description	Code	Appraised	Assessed			
MANSFIELD TOWN OF & BOARD OF								Ex C Land	21	1,700,800	1,190,600	MANSFIELD, CT	
MANSFIELD MIDDLE SCHOOL								Ex C Bldg	22	8,723,600	6,106,600		
4 SOUTH EAGLEVILLE RD								Ex Com OB	25	446,100	312,400		
								Ind Land	3-1	153,000	107,100		
STORRS CT 06268													VISION
Alt Prid ID 8811													
Census Devel. Lot													
GIS ID 23,60.7													
Assoc Prid#													
RECORD OF OWNERSHIP													

SECOND OF OWNERSHIP	BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)									
							Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed	Year
MANFIELD TOWN OF & BOARD OF EDUCATION REFERENCE	663	347	01-20-2009	U	V	0	25	2021	21	1,190,600	2020	21	1,190,600	2019	21	1,190,600
	113	428	04-16-1971	U	I	0										
	106	136	12-13-1967	U	I	0										
	83	413	05-10-1957	U	I	0										
								3-1	107,100		3-1	107,100		3-1	107,100	
							Total	7,716,700			Total	7,716,700				
EXEMPTIONS							OTHER ASSESSMENTS									
							Total	7,716,700			Total	7,716,700				

[illegible]

NOTES	Appraised Land Value (Brdg)
6BAY TOWN GARAGE-MAIN OFFICE COMM W/BLDG	1,853,800
OB=SALT SHED OPEN IN FRONT	0
Total Appraised Parcel Value	11,023,500
Valuation Method	C
Total Appraised Parcel Value	11,023,500

Permit Id	Issue Date	Type	Description	BORROWING PERMIT RECORD				VISIT / CHANGE HISTORY										
				Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpose/Result				
LAND LINE VALUATION SECTION																		

Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nbhd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
901	Town MDL-Corn	Z1		SF		0	1.000000	1.00		1.000		0	0	0
				Total Card Land Units	0.00	AC	Parcel Total	Land Area:	93.53					
													Total Land Value	1,853,800

CONSTRUCTION DETAIL				CONSTRUCTION DETAIL (CONTINUED)			
Element	Cd	Description	Element	Cd	Description		
Style:	56	Office/Garage					
Model:	94	Comm/Ind					
Grade:	07	C					
Stories:	1						
Occupancy:	1.00						
Exterior Wall 1	15	Concr/Cinder					
Exterior Wall 2	03	Gable					
Roof Structure	03	Asphalt Shingl					
Roof Cover	01	Minimum					
Interior Wall 1	01						
Interior Wall 2	04	Concr Adv Grad					
Interior Floor 1	04						
Interior Floor 2	09	Typical					
Heating Fuel	04	Forced Air					
Heating Type	01	None/partial					
AC Type	901	Town MDL-Com					
Bldg Use	00	HEAT ONLY					
Heat/AC	03	MASONRY					
Frame Type	02	AVERAGE					
Baths/Plumbing	02	CEILING ONLY					
Ceiling/Wall	02						
Rooms/Ptrns	14.00						
Wall Height							
1st Floor Use:							

OB - OUTBUILDING & YARD ITEMS(I) / XF - BUILDING EXTRA FEATURES(B)							
Code	Description	L/B	Units	Unit Price	Yr Bilt	Cond Cd	% Good
SHD1	Shed	L	3,600	12.00	2011	A	70
SHD1	Shed	L	120	12.00	2002	G	80

BUILDING SUB-AREA SUMMARY SECTION							
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value	Appr. Value
BAS	First Floor	6,000	6,000		64.70	388,200	

MIXED USE	
Code	Description
901	Town MDL-Com

COST / MARKET VALUATION	
RCN	Percentage
Year Built	1980
Effective Year Built	
Depreciation Code	A
Remodel Rating	
Year Remodeled	29
Depreciation %	
Economic Obsol	
Trend Factor	1
Condition	
Percent Good	71
RCNLD	275,600
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	

BAS	
Area	Value
Basement	120

## CLIPBENT OWNER

**MANSFIELD TOWN OF & BOARD OF  
MANSFIELD MIDDLE SCHOOL  
4 SOUTH EAGLEVILLE RD**

STORRS CT 06268

<b>TOPO</b>	<b>UTILITIES</b>	<b>STRT / ROAD</b>	<b>LOCATION</b>
1 Level	1 Well	1 Paved	
	2 Septic		

<b>SUPPLEMENTAL DATA</b>
Alt Prcl ID
Census
Devel. Lot

8811

GIS ID      23.60.7
Assoc Bldg#

CURRENT ASSESSMENT			
Description	Code	Appraised	Assessed
Ex C Land	21	1,700,800	1,190,600
Ex C Bldg	22	8,723,600	6,106,600
Ex Com OB	25	446,100	312,400
Ind Land	3-1	153,000	107,100

## VISION

# RECORD OF OWNERSHIP

**MANSFIELD TOWN OF & BOARD OF EDUCATION  
REFERENCE**

663	SALE DATE	QU	V1	SALE PRICE	V
663	01-20-2009	U	Y	0	2
113	04-16-1971	U	I	0	
106	12-13-1967	U	I	0	
83	05-10-1957	U	I	0	

PREVIOUS ASSESSMENTS (HISTORY)					
Year	Code	Assessed	Year	Code	Assessed
2021	21	1,190,600	2020	21	1,190,600
	22	6,106,600		22	6,106,600
	25	312,400		25	312,400
	3-1	107,100		3-1	107,100

## EXEMPTIONS

OTHER ASSESSMENTS				TOTAL			
Year	Code	Description	Amount	Code	Description	Amount	Common

## ASSESSING NEIGHBORHOOD

Nbhd	Nbhd Name	Tracing	Batch
0001	B		

## NOTES

9 BAY TOWN GARAGE

## APPRAISED VALUE SUMMARY

Appraised Bldg. Value (Card)	8,723,600
Appraised Xf (B) Value (Bldg)	0
Appraised Ob (B) Value (Bldg)	446,100
Appraised Land Value (Bldg)	1,853,800
Special Land Value	0
Total Appraised Parcel Value	11,023,500
Valuation Method	C

# BUILDING PERMIT RECORD

Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments
BUILDING PERMIT RECORD								

**VISIT / CHANGE HISTORY**

Id	Type	Is	Cd	Purpose/Result

**LAND LINE VARIATION SECTION**

[illegible]

Total Card Land Units	0.00	AC	Parcel Total Land Area:	93.53
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[illegible]

CURRENT OWNER				CURRENT ASSESSMENT				6078
TOPO	UTILITIES	STRT / ROAD	LOCATION	Description	Code	Appraised	Assessed	
MANSFIELD TOWN OF & BOARD OF	1 Level	1 Well	1 Paved	Ex C Land	21	1,700,800	1,190,600	MANSFIELD, CT
MANSFIELD MIDDLE SCHOOL		2 Septic		Ex C Bldg	22	8,723,600	6,106,600	
4 SOUTH EAGLEVILLE RD				Ex Corn OB	25	446,100	312,400	
				Ind Land	3-1	153,000	107,100	
SUPPLEMENTAL DATA								
Alt Pctd ID								
Census	8811							
Devel. Lot								
STORRS	CT	06268						
GIS ID	23.60.7							
Assoc Pld#								
RECORD OF QUANTITIES				Total				
				11,023,500				7,216,700

VISION

6078

MANSFIELD, CT

MANSFIELD TOWN OF & BOARD OF EDUCATION REFERENCE	BR-VOL	PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)											
								2020		2019		2018		2017		2016		2015	
								Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
MANSFIELD TOWN OF	663	347	01-20-2009	U	V	0	25	2021	21	1,190,600	2020	21	1,180,600	2019	21	1,190,600	Assessed		
	113	428	04-16-1971	U	I	0													
	106	136	12-13-1967	U	I	0		22	6,106,600		22	6,106,600		22	6,106,600				
								25	312,400		25	312,400		25	312,400				
	83	413	05-10-1957	U	I	0		3-1	107,100		3-1	107,100		3-1	107,100				
Total							7,716,700	Total		7,716,700	Total		7,716,700	Total					

2017-2018				2018-2019				2019-2020				2020-2021				2021-2022				2022-2023				2023-2024				2024-2025				2025-2026				2026-2027				2027-2028				2028-2029				2029-2030				2030-2031				2031-2032				2032-2033				2033-2034				2034-2035				2035-2036				2036-2037				2037-2038				2038-2039				2039-2040				2040-2041				2041-2042				2042-2043				2043-2044				2044-2045				2045-2046				2046-2047				2047-2048				2048-2049				2049-2050				2050-2051				2051-2052				2052-2053				2053-2054				2054-2055				2055-2056				2056-2057				2057-2058				2058-2059				2059-2060				2060-2061				2061-2062				2062-2063				2063-2064				2064-2065				2065-2066				2066-2067				2067-2068				2068-2069				2069-2070				2070-2071				2071-2072				2072-2073				2073-2074				2074-2075				2075-2076				2076-2077				2077-2078				2078-2079				2079-2080				2080-2081				2081-2082				2082-2083				2083-2084				2084-2085				2085-2086				2086-2087				2087-2088				2088-2089				2089-2090				2090-2091				2091-2092				2092-2093				2093-2094				2094-2095				2095-2096				2096-2097				2097-2098				2098-2099				2099-2100				2100-2101				2101-2102				2102-2103				2103-2104				2104-2105				2105-2106				2106-2107				2107-2108				2108-2109				2109-2110				2110-2111				2111-2112				2112-2113				2113-2114				2114-2115				2115-2116				2116-2117				2117-2118				2118-2119				2119-2120				2120-2121				2121-2122				2122-2123				2123-2124				2124-2125				2125-2126				2126-2127				2127-2128				2128-2129				2129-2130				2130-2131				2131-2132				2132-2133				2133-2134				2134-2135				2135-2136				2136-2137				2137-2138				2138-2139				2139-2140				2140-2141				2141-2142				2142-2143				2143-2144				2144-2145				2145-2146				2146-2147				2147-2148				2148-2149				2149-2150				2150-2151				2151-2152				2152-2153				2153-2154				2154-2155				2155-2156				2156-2157				2157-2158				2158-2159				2159-2160				2160-2161				2161-2162				2162-2163				2163-2164				2164-2165				2165-2166				2166-2167				2167-2168				2168-2169				2169-2170				2170-2171				2171-2172				2172-2173				2173-2174				2174-2175				2175-2176				2176-2177				2177-2178				2178-2179				2179-2180				2180-2181				2181-2182				2182-2183				2183-2184				2184-2185				2185-2186				2186-2187				2187-2188				2188-2189				2189-2190				2190-2191				2191-2192				2192-2193				2193-2194				2194-2195				2195-2196				2196-2197				2197-2198				2198-2199				2199-2200				2200-2201				2201-2202				2202-2203				2203-2204				2204-2205				2205-2206				2206-2207				2207-2208				2208-2209				2209-2210				2210-2211				2211-2212				2212-2213				2213-2214				2214-2215				2215-2216				2216-2217				2217-2218				2218-2219				2219-2220				2220-2221				2221-2222				2222-2223				2223-2224				2224-2225				2225-2226				2226-2227				2227-2228				2228-2229				2229-2230				2230-2231				2231-2232				2232-2233				2233-2234				2234-2235				2235-2236				2236-2237				2237-2238				2238-2239				2239-2240				2240-2241				2241-2242				2242-2243				2243-2244				2244-2245				2245-2246				2246-2247				2247-2248				2248-2249				2249-2250				2250-2251				2251-2252				2252-2253				2253-2254				2254-2255				2255-2256				2256-2257				2257-2258				2258-2259				2259-2260				2260-2261				2261-2262				2262-2263				2263-2264				2264-2265				2265-2266				2266-2267				2267-2268				2268-2269				2269-2270				2270-2271				2271-2272				2272-2273				2273-2274				2274-2275				2275-2276				2276-2277				2277-2278				2278-2279				2279-2280				2280-2281				2281-2282				2282-2283				2283-2284				2284-2285				2285-2286				2286-2287				2287-2288				2288-2289				2289-2290				2290-2291				2291-2292				2292-2293				2293-2294				2294-2295				2295-2296				2296-2297				2297-2298				2298-2299				2299-2300				2300-2301				2301-2302				2302-2303				2303-2304				2304-2305				2305-2306				2306-2307				2307-2308				2308-2309				2309-2310				2310-2311				2311-2312				2312-2313				2313-2314				2314-2315				2315-2316				2316-2317				2317-2318				2318-2319				2319-2320				2320-2321				2321-2322				2322-2323				2323-2324				2324-2325				2325-2326				2326-2327				2327-2328				2328-2329				2329-2330				2330-2331				2331-2332				2332-2333				2333-2334				2334-2335				2335-2336				2336-2337				2337-2338				2338-2339				2339-2340				2340-2341				2341-2342				2342-2343				2343-2344				2344-2345				2345-2346				2346-2347				2347-2348				2348-2349				2349-2350				2350-2351				2351-2352				2352-2353				2353-2354				2354-2355				2355-2356				2356-2357				2357-2358				2358-2359				2359-2360				2360-2361				2361-2362				2362-2363				2363-2364				2364-2365				2365-2366				2366-2367				2367-2368				2368-2369				2369-2370				2370-2371				2371-2372				2372-2373				2373-2374				2374-2375				2375-2376				2376-2377				2377-2378				2378-2379				2379-2380				2380-2381				2381-2382				2382-2383				2383-2384				2384-2385				2385-2386				2386-2387				2387-2388				2388-2389				2389-2390				2390-2391				2391-2392				2392-2393				2393-2394				2394-2395				2395-2396				2396-2397				2397-2398				2398-2399				2399-2400				2400-2401				2401-240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Nbrnd	Nbrnd Name	B	Tracing	Batch	Appraised At (B) Value (Bldg)	Appraised Ob (B) Value (Bldg)	Appraised Land Value (Bldg)	Special Land Value	Total Appraised Parcel Value
0001					0	446,100	1,853,800	0	44,000,000
1997-MODULAR CLASSRM BULDING ADDED TO REAR OF MANSFIELD MIDDLE SCHOOL									
NOTES									

Valuation Method	C
Total Appraised Parcel Value	11,023,500

[illegible]

LAND LINE VALUATION SECTION															
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nbhd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
6	901	Town MDL-Com	21		SF	0	1.00000		1.00		1.000		0	0	0

Total Card Land Units	0.00	AC	Parcel Total Land Area: 93.53	Total Land Value	1,853,800
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CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Description	Element	Cd	Description
Style:	49				
Model	94	Public School			
Grade	09	Comm/Ind			
Stories:	1	B-			
Occupancy	1.00				
Exterior Wall 1	08	Wood			
Exterior Wall 2	01	Fiat			
Roof Structure	03	Asphalt Shingl			
Roof Cover	05	Drywall			
Interior Wall 1					
Interior Wall 2					
Interior Floor 1	14	Carpet			
Interior Floor 2					
Heating Fuel	09	Typical			
Heating Type	04	Forced Air			
AC Type	01	None/partial			
Bldg Use	901	Town MDL-Com			
Heat/AC	00	HEAT ONLY			
Frame Type	02	WOOD FRAME			
Baths/Plumbing	02	AVERAGE			
Ceiling/Wall	06	CEIL & WALLS			
Rooms/Ptns	02	AVERAGE			
Wall Height	10.00				
1st Floor Use:					

MIXED USE		
Code	Description	Percentage
901	Town MDL-Com	100
		0
		0

COST / MARKET VALUATION

RCN	Year Built	1997
	Effective Year Built	
	Depreciation Code	A
	Remodel Rating	
	Year Remodeled	
	Depreciation %	16
	Functional Obsol	
	Economic Obsol	
	Trend Factor	1
	Condition	
	Condition %	84
	Percent Good	
	RCNLD	764,900
	Dep % Ovr	
	Dep Ovr Comment	
	Misc Imp Ovr	
	Misc Imp Ovr Comment	
	Cost to Cure Ovr	
	Cost to Cure Ovr Comment	

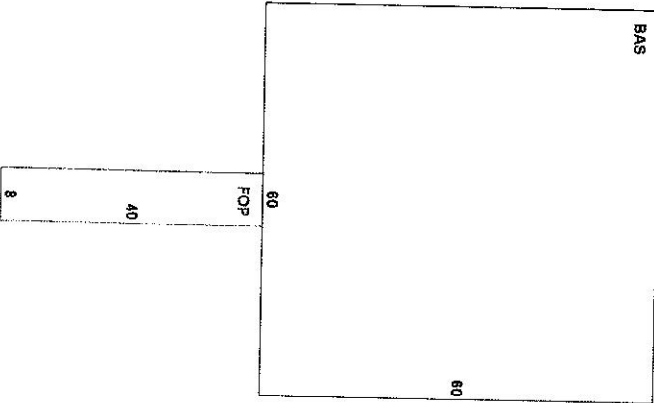
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

Code	Description	U/B	Units	Unit Price	Yr Bilt	Cond	Cd	% Good	Grade	Grade Adj	Appr. Value
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BUILDING SUB-AREA SUMMARY SECTION

Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	3,600	3,600		247.46	890,846
FOP	Framed Open Porch	0	320		61.86	19,797

Totl Gross Liv / Lease Area		3,600	3,920			910,643
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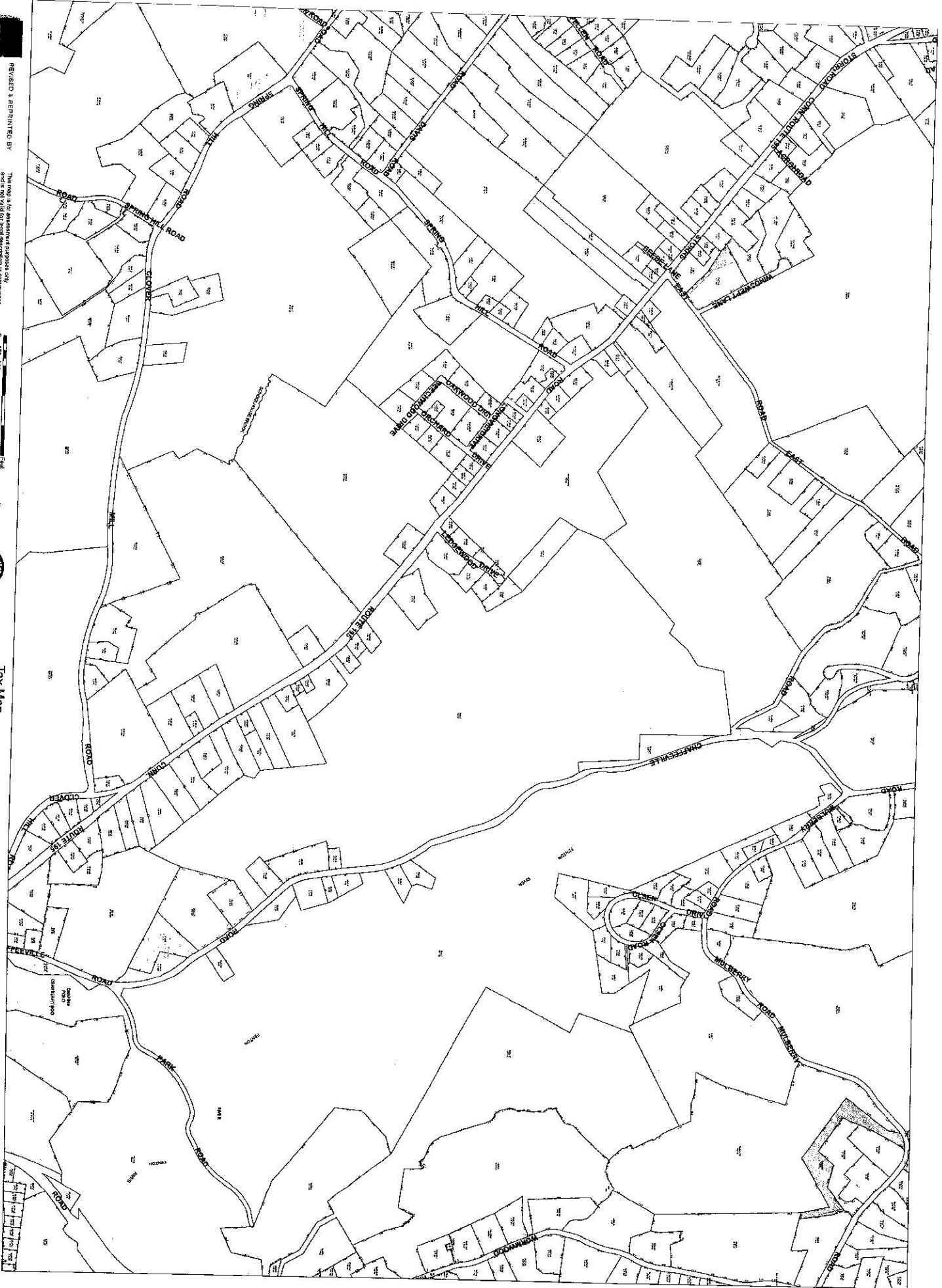
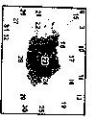
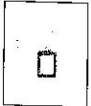


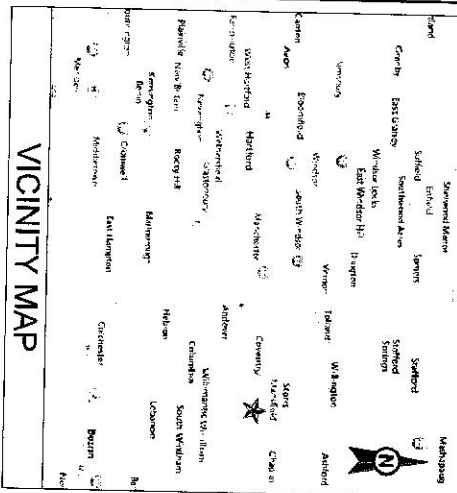
This map is for assessment purposes only  
 and is not valid for legal descriptions or conveyance.  
 Parcel mapping is current through December 31, 2000.  
 Population Date: 01/01/2001  
 Online mapping and property information  
 available at: www.mansfieldpa.com/landinfo



**Town of Mansfield**  
 Connecticut

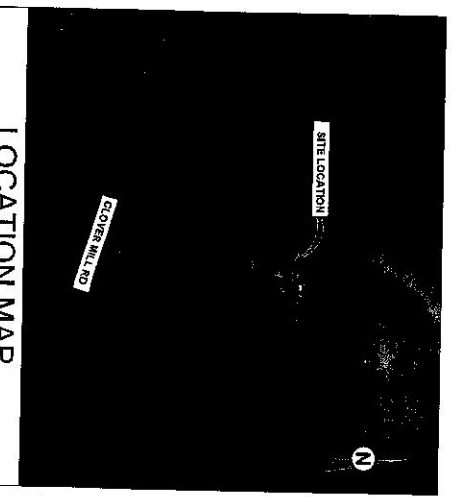
- Parcel Boundary
- Town Boundary
- Easement
- Building
- Water
- Shrub
- Utility Corridor
- Railroad





**AMERICAN TOWER®**

ATC SITE NAME: MANSFIELD CENTER 1 CT  
 SITE NUMBER: 376046  
 SITE ADDRESS: 230 CLOVER MILL ROAD  
 STORRS MANSFIELD, CT 06268



**AMERICAN TOWER®**  
 A.T. ENGINEERING SERVICE, PLLC  
 3900 RIVERVIEW PARKWAY  
 SUITE 100  
 GARY, IN 46412  
 PHONE: (819) 484-4172  
 FAX: (819) 484-4173

# SHARED GENERATOR PROGRAM ANCHOR TENANT

COMPLIANCE CODE		PROJECT SUMMARY		PROJECT DESCRIPTION		SHEET INDEX	
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CITY OF STORRS MANSFIELD FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. 1. INTERNATIONAL BUILDING CODE (IBC) 2. NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES		SITE ADDRESS: 230 CLOVER MILL ROAD STORRS MANSFIELD, CT 06268 COUNTY: TOLLAND		THE PROPOSED PROJECT INSTALLS AN OPTIONAL STRANDBY GENERATOR SYSTEM, AUTOMATIC POWER DISTRIBUTION AND REMOTE MONITORING COMMUNICATIONS CIRCUITRY FOR A COMMUNICATION TOWER TENANT.		SHEET NO. REV. DATE BY:	
GEOGRAPHIC COORDINATES: LATITUDE: 41.757777 LONGITUDE: -72.2225 GROUND ELEVATION: 515' AMSL		ZONING INFORMATION: JURISDICTION: TOLLAND PARCEL NUMBER: 000023-000000-000007		PROJECT NOTES: 1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT LAND USE OR VISUAL IMPACT. 4. NO SANITARY SEWER OR STORM WATER DRAINAGE. 5. DISPOSAL IS REQUIRED. 6. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS A MINOR PROJECT AND DOES NOT REQUIRE A PERMIT. 7. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS A MINOR PROJECT AND DOES NOT REQUIRE A PERMIT. 8. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS A MINOR PROJECT AND DOES NOT REQUIRE A PERMIT.		SHEET NO. REV. DATE BY:	
PROJECT TEAM: A.T. REGIONAL DEVELOPMENT PROJECT MANAGER: MICHAEL JOYCE (877) 518-8397 (860) 376-6922		PROJECT LOCATION DIRECTIONS: FROM DOWNTOWN HARTFORD CT START OUT GOING NORTH ON MAIN ST. TURN RIGHT ONTO CENTRAL AVE. GO SOUTH ON CENTRAL AVE. TURN RIGHT ONTO STATE ST. GO SOUTH ON STATE ST. TURN RIGHT ONTO ONTO CT-2 E. MERGE ONTO I-84 BUS-4 E. VIA EXIT 2 TOWARD E. TOWARD STORRS. KEEP RIGHT TO TAKE I-84 E. VIA EXIT 19 TOWARD STORRS. TURN RIGHT ONTO STAFFORD ROAD. TURN LEFT ONTO S. ENGLEWILE ROAD. TURN RIGHT ONTO MALE RD. MALE RD. BECOMES SPRING HILL RD. STAY STRAIGHT TO GO ONTO MALE RD. 230 CLOVER MILL RD. STORRS MANSFIELD, CT 06268-3434. 230 CLOVER MILL RD IS ON THE LEFT.		SHEET NO. REV. DATE BY:		SHEET NO. REV. DATE BY:	
UTILITY COMPANIES: POWER COMPANY: ETCORP PHONE: (877) 555-5263 TELEPHONE COMPANY: FRONTIER COMMUNICATIONS PHONE: (800) 378-6843		A.T. NETWORK OPERATIONS CENTER: (877) 518-8397 TOWER OWNER: AMERICAN TOWER 1000 CENTRAL AVE SUITE 100 STORRS MANSFIELD, CT 06268 PROJECT OWNER: TOWN OF MANSFIELD 230 CLOVER MILL ROAD STORRS MANSFIELD, CT 06268 ENGINEERED BY: A.T. TOWER SERVICES 3900 RIVERVIEW PARKWAY SUITE 100 GARY, IN 46412		SHEET NO. REV. DATE BY:		SHEET NO. REV. DATE BY:	

Authorized by "EOR"  
 170 Feb 2022 01:40:41  
 170 Feb 2022 01:40:41  
 170 Feb 2022 01:40:41

SITE ADDRESS:  
 230 CLOVER MILL ROAD  
 STORRS MANSFIELD, CT 06268

ATC SITE NAME:  
 MANSFIELD CENTER 1 CT

ATC SITE NUMBER:  
 376046

SHEET NUMBER:  
 G-001



1. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE AND LOCAL CODES INCLUDING ASHRAE 90.4-22, AND COMPLY WITH A/C CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL CONSTRUCT LOCAL 8" I/P FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS, ALL DIMENSIONS TO, OF AND ON EXISTING BUILDINGS, EXISTING STRUCTURES AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
4. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
5. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
6. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR PROTECTIVE ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
8. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUND DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
9. INCORRECTLY IDENTIFIED, DAMAGED OR OTHERWISE AFFECTING EXISTING UNDERGROUND MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE A/C ON PRIOR TO THE REMEDIAL ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE A/C ON PRIOR TO PROCEEDING.
10. EACH CONTRACTOR SHALL COOPERATE WITH THE A/C ON, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
11. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE A/C.
12. ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SLOTTED SEALANT.
13. WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR SHALL NOTIFY THE A/C CONSTRUCTION MANAGER IMMEDIATELY.
14. CURRENT SET OF DRAWINGS AND SPECIFICATIONS ARE PROVIDED WITH A COMPLETE AND CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
15. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
16. CONTRACTOR SHALL FURNISH A/C WITH A PDF MAILED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
17. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH A/C TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
18. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH A/C CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY A/C. ALL REQUIRED PERMITS NOT OBTAINED BY A/C MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
19. CONTRACTOR SHALL INSTALL ALL SITE BRACING IN ACCORDANCE WITH A/C SPECIFICATIONS AND REQUIREMENTS.
20. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO A/C FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
21. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO A/C SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
22. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE CONSTRUCTION PROCESS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
23. CONTRACTOR SHALL NOTIFY A/C ON A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING. ALL FOUNDATIONS AND SELLING ANY WALL, FLOOR OR FLOOR PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, SAFETY DEVICES SUCH AS WELDING MASKS AND FIRE PREVENTION. TEMPORARY SHORING, SCAFFOLDING, TENSION BOLTED JOINTS, BARRIERS, ETC.
25. THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY AT THE END OF THIS CONTRACTOR ON HIS BEHALF, ANY DAMAGE CAUSED BY NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS EMPLOYEES, OR BY THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS

29. IN ORDER TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE, ALL TYPES OF MATERIALS LISTED HEREINAFTER BY MANUFACTURER'S NAMES AND/OR MANUFACTURER'S CATALOG NUMBER SHALL BE PROVIDED BY THESE MANUFACTURERS AS SPECIFIED.

1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE ACI 308, 309, 305, 308.1, 308.2, 308.3, 308.4, 308.5, 308.6, 308.7, 308.8, 308.9, 308.10, 308.11, 308.12, 308.13, 308.14, 308.15, 308.16, 308.17, 308.18, 308.19, 308.20, 308.21, 308.22, 308.23, 308.24, 308.25, 308.26, 308.27, 308.28, 308.29, 308.30, 308.31, 308.32, 308.33, 308.34, 308.35, 308.36, 308.37, 308.38, 308.39, 308.40, 308.41, 308.42, 308.43, 308.44, 308.45, 308.46, 308.47, 308.48, 308.49, 308.50, 308.51, 308.52, 308.53, 308.54, 308.55, 308.56, 308.57, 308.58, 308.59, 308.60, 308.61, 308.62, 308.63, 308.64, 308.65, 308.66, 308.67, 308.68, 308.69, 308.70, 308.71, 308.72, 308.73, 308.74, 308.75, 308.76, 308.77, 308.78, 308.79, 308.80, 308.81, 308.82, 308.83, 308.84, 308.85, 308.86, 308.87, 308.88, 308.89, 308.90, 308.91, 308.92, 308.93, 308.94, 308.95, 308.96, 308.97, 308.98, 308.99, 308.100, 308.101, 308.102, 308.103, 308.104, 308.105, 308.106, 308.107, 308.108, 308.109, 308.110, 308.111, 308.112, 308.113, 308.114, 308.115, 308.116, 308.117, 308.118, 308.119, 308.120, 308.121, 308.122, 308.123, 308.124, 308.125, 308.126, 308.127, 308.128, 308.129, 308.130, 308.131, 308.132, 308.133, 308.134, 308.135, 308.136, 308.137, 308.138, 308.139, 308.140, 308.141, 308.142, 308.143, 308.144, 308.145, 308.146, 308.147, 308.148, 308.149, 308.150, 308.151, 308.152, 308.153, 308.154, 308.155, 308.156, 308.157, 308.158, 308.159, 308.160, 308.161, 308.162, 308.163, 308.164, 308.165, 308.166, 308.167, 308.168, 308.169, 308.170, 308.171, 308.172, 308.173, 308.174, 308.175, 308.176, 308.177, 308.178, 308.179, 308.180, 308.181, 308.182, 308.183, 308.184, 308.185, 308.186, 308.187, 308.188, 308.189, 308.190, 308.191, 308.192, 308.193, 308.194, 308.195, 308.196, 308.197, 308.198, 308.199, 308.200, 308.201, 308.202, 308.203, 308.204, 308.205, 308.206, 308.207, 308.208, 308.209, 308.210, 308.211, 308.212, 308.213, 308.214, 308.215, 308.216, 308.217, 308.218, 308.219, 308.220, 308.221, 308.222, 308.223, 308.224, 308.225, 308.226, 308.227, 308.228, 308.229, 308.230, 308.231, 308.232, 308.233, 308.234, 308.235, 308.236, 308.237, 308.238, 308.239, 308.240, 308.241, 308.242, 308.243, 308.244, 308.245, 308.246, 308.247, 308.248, 308.249, 308.250, 308.251, 308.252, 308.253, 308.254, 308.255, 308.256, 308.257, 308.258, 308.259, 308.260, 308.261, 308.262, 308.263, 308.264, 308.265, 308.266, 308.267, 308.268, 308.269, 308.270, 308.271, 308.272, 308.273, 308.274, 308.275, 308.276, 308.277, 308.278, 308.279, 308.280, 308.281, 308.282, 308.283, 308.284, 308.285, 308.286, 308.287, 308.288, 308.289, 308.290, 308.291, 308.292, 308.293, 308.294, 308.295, 308.296, 308.297, 308.298, 308.299, 308.300, 308.301, 308.302, 308.303, 308.304, 308.305, 308.306, 308.307, 308.308, 308.309, 308.310, 308.311, 308.312, 308.313, 308.314, 308.315, 308.316, 308.317, 308.318, 308.319, 308.320, 308.321, 308.322, 308.323, 308.324, 308.325, 308.326, 308.327, 308.328, 308.329, 308.330, 308.331, 308.332, 308.333, 308.334, 308.335, 308.336, 308.337, 308.338, 308.339, 308.340, 308.341, 308.342, 308.343, 308.344, 308.345, 308.346, 308.347, 308.348, 308.349, 308.350, 308.351, 308.352, 308.353, 308.354, 308.355, 308.356, 308.357, 308.358, 308.359, 308.360, 308.361, 308.362, 308.363, 308.364, 308.365, 308.366, 308.367, 308.368, 308.369, 308.370, 308.371, 308.372, 308.373, 308.374, 308.375, 308.376, 308.377, 308.378, 308.379, 308.380, 308.381, 308.382, 308.383, 308.384, 308.385, 308.386, 308.387, 308.388, 308.389, 308.390, 308.391, 308.392, 308.393, 308.394, 308.395, 308.396, 308.397, 308.398, 308.399, 308.400, 308.401, 308.402, 308.403, 308.404, 308.405, 308.406, 308.407, 308.408, 308.409, 308.410, 308.411, 308.412, 308.413, 308.414, 308.415, 308.416, 308.417, 308.418, 308.419, 308.420, 308.421, 308.422, 308.423, 308.424, 308.425, 308.426, 308.427, 308.428, 308.429, 308.430, 308.431, 308.432, 308.433, 308.434, 308.435, 308.436, 308.437, 308.438, 308.439, 308.440, 308.441, 308.442, 308.443, 308.444, 308.445, 308.446, 308.447, 308.448, 308.449, 308.450, 308.451, 308.452, 308.453, 308.454, 308.455, 308.456, 308.457, 308.458, 308.459, 308.460, 308.461,


- THE FOLLOWING MATERIALS SHALL BE USED:
- |   |  |
|---|--|
| REINFORCEMENT:<br>REINFORCING BARS:<br>NORMAL WEIGHT ASPHALTE:<br>WATER:<br><br>ADDITIONALS:<br>-WATER-REDUCING AGENT:<br>-AIR-ENTERING AGENT:<br>-SUPERPLASTICIZER:<br>ASTM A618 TYPE II<br>ASTM C974 TYPE OR TYPE G<br>ASTM C494C 484U TYPE B | ASTM A360, TYPE 2<br>ASTM A618 PLAIN STEEL WELDED WIRE FABRIC<br>ASTM A618 GRADE 60 DEFORMED<br>ASTM C31<br>ASTM C 94C 94M<br>ASTM C 494C 484U, TYPE A<br>ASTM C 200C 200M<br>ASTM C974 TYPE OR TYPE G<br>ASTM C494C 484U TYPE B |
|---|--|
- A 3/4" CHAIRS SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH SECTION 12.2. UNLESS NOTED OTHERWISE.
- INSTALLATION OF CONCRETE EXPANSION JOINTS AND ANCHORS SHALL BE PERMANUFACTURER'S WRITTEN RECOMMENDATIONS FOR THE JOINTS AND ANCHORS. JOINTS AND ANCHORS SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH, OR NOT SHALL CONFORM DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR AT/C ON APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- ANCHORS SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN METHOD 1" OF ACI 308.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL CORNERS, ANCHORS, BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE & LINES, GROUNDS, AND OTHER ITEMS, INCLUDING FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBGRADE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 7 DAYS AFTER PLACEMENT.
- FOR DC-DWA(ETHERICI 30M) AND HOT-METAL(ETHERICI 30M) CONCRETE PLACEMENT, COMPENSATE TO APPLICABLE AOI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTINUING WEATHER FOR 7 DAYS, MINIMUM.
- ALL CONCRETE SHALL HAVE A "SMOOTH FORM FINISH."
- UNLESS OTHERWISE NOTED:
- |  |   |
|--|---|
| A. ALL REINFORCING STEEL SHALL BE DETORNOVED BARS CONFORMING TO ASTM A618A | B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. |
|--|---|
- SPACING OF REINFORCEMENTS IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS OR AS ACCEPTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCING BAR DEVELOPMENT LENGTHS AS COMPUTED IN ACCORDANCE WITH ACI 318B REINFORCING BAR DEVELOPMENT LENGTHS AS COMPUTED IN ACCORDANCE WITH ACI 318B.

DETAILING OF REINFORCING STEEL SHALL CONFORM TO "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).

- ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
- LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. CONTRACTORS SHALL SUBMIT A CONSTRUCTION JOINT PLAN TO THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS.
- SPICES OF WIRE AT ALL STEEL EDGES SHALL BE SUCH THAT THE OVERLAP MEASURES BETWEEN ADJACENT SPICES SHALL BE AT LEAST 6 INCHES. REINFORCING SHEETS IS NOT LESS THAN THE SPICE OF THE CROSS WIRE PLUS 2 INCHES, NOT LESS THAN 6 INCH.
- BAR SUPPORTS SHALL BE ALL GALVANIZED METAL WITH PLASTIC TIPS.
- ALL REINFORCEMENT SHALL BE ACQUIRED, TIED IN PLACE TO PREVENT DISPLACEMENT BY CONSTRUCTION TRAFFIC OR CONCRETE. THE WIRE SHALL BE OF SUFFICIENT STRENGTH FOR INTERLOCK PURPOSES, BUT NOT LESS THAN NO. 10 GAUGE.
- SLAB ON GROUND
- A. COMPACT SUBGRADE AND ENSURE THERE IS PLACE 6 GRAVEL, BENEATH SLAB.
- B. PROVIDE IMPERMEABLE BENEATH SLAB ON GROUND.



STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS." STRUCTURAL STEEL ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:

- A. ASTM A-242, GRADE 50 - ALL W/SHAPES, UNLESS NOTED OR A992 OTHERWISE
  - B. ASTM A-36, ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE
  - C. ASTM A-325, GRADE 8 - HSS SECTION (SQUARE, RECTANGULAR, AND ROUND)
  - D. ASTM A-325, TYPE SC OR N, ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS
  - E. ASTM F-1554-07 - ALL ANCHOR BOLTS, UNLESS NOTED OTHERWISE
  - F. ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A-123, EXPOSED STEEL HARDWARE AND ANCHOR BOLTS SHALL BE GALVANIZED PER ASTM A-153 OR B96.
  - G. ALL REINFORCING BARS, FIELD DRILLED HOLES AND GROUND SURFACES WHERE EXISTING CONCRETE OR ZINC GALVANIZED COATING IS DAMAGED SHALL BE REPAIRED WITH 0. BRUSHED STEEL OR ZINC GALVANIZED COATING TO MEET THE ACCEPTANCE CRITERIA OF ASTM A-108 AND MANUFACTURER'S RECOMMENDATIONS.
- DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- CONNECTIONS:
- A. ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D-1.
  - B. ALL WELDS SHALL BE INSPECTED VISUALLY 25% OF WELDS SHALL BE INSPECTED WITH DYE PENETRATION TO DETERMINE PARTICULATE TO MEET THE ACCEPTANCE CRITERIA OF D-1. REPAIR ALL WELDS AS NECESSARY.
  - C. INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.
  - D. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE TURNING/WELDING PERMITS AS REQUIRED BY THE LOCAL GOVERNING AUTHORITY AND IF REQUIRED SHALL HAVE FIRE DEPARTMENT ON SCENE FOR ALL WELDING ACTIVITY.
  - E. ALL ELECTRODES TO BE LOW HYDROGEN, MATCHING FILLER METAL, PER AWS D-1, UNLESS NOTED OTHERWISE.
  - F. MINIMUM WELD SIZE TO BE 6-1875 INCH FILLER WELDS, UNLESS NOTED OTHERWISE.
  - G. PRIOR TO FIELD WELDING GALVANIZED MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZING TO EXPOSE STEEL SURFACES, THEN WELD AND REAPPLY GALVANIZING TO COMPLETE REPAIR. ALL GROUND ANCHORS AND REINFORCING BARS SHALL BE GALVANIZED COMPOUND PER ASTM A-108 AND MANUFACTURER'S RECOMMENDATIONS.

		<b>AMERICAN TOWER®</b> <b>A.T. ENGINEERING SERVICE, P.L.C</b> 3805 RESEARCH DRIVE, SUITE 140 CARY, NC 27518 PHONE: (919) 6841112 COA: PEC00183	
		THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS ARE PREPARED BY OR FOR THE ENGINEER AND FOR THE ARCHITECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT. THE ENGINEER AND ARCHITECT ARE NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS OR SPECIFICATIONS. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND FROM THE AGENCIES AND AGENCIES CONCERNED. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND FROM THE AGENCIES AND AGENCIES CONCERNED. THE USER OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND FROM THE AGENCIES AND AGENCIES CONCERNED.	
SITE ADDRESS: 220 CLOVER HILL ROAD STORRS MANSFIELD, CT 06268		ATC SITE NAME: <b>MANSFIELD CENTER 1 CT</b>	
ATC SITE NUMBER: 376046		BY DATE FOR CONSTRUCTION ME 02/06/22	
SEAL STATE OF CONNECTICUT PROFESSIONAL ENGINEER 30876		DRAWN BY: SL DATE DRAWN: 02/06/22 ATO JOB NO: 1370212L M4	
Authorized by "EOR" Feb 2022 04:40:11 COS			
GENERAL NOTES SHEET NUMBER: REVISION: G-002 0			





 <p><b>AMERICAN TOWER®</b>  <b>A.T. ENGINEERING SERVICE, PLLC</b>          3800 DEBBY PARKWAY          SUITE 100          CARY, NC 27513          PHONE: (919) 484-4112          COR. PEC: 0001583</p>		<p>THIS DRAWING AND THE INFORMATION ON SERVICE ARE THE PROPERTY OF AMERICAN TOWER. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THE DRAWING. NO REPRODUCTION OR TRANSMISSION OF THIS DRAWING OR ANY INFORMATION HEREON SHALL BE EFFECTED TO THE GENERAL PUBLIC OR TO ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER. ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT AND THE PENALTIES THEREOF SHALL BE ENFORCED BY THE BOARD OF PROFESSIONAL ENGINEERS. ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT AND THE PENALTIES THEREOF SHALL BE ENFORCED BY THE BOARD OF PROFESSIONAL ENGINEERS.</p>	
REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	MF	02/03/22
A TO SITE NUMBER: 3760-016		A TO SITE NAME: MANSFIELD CENTER 1 CT	
			
SITE ADDRESS: 230 CLOVER HILL ROAD STORRS MANSFIELD, CT 06268			
SEAL			
Authorized by "EOR" 710 Feb 2022 01:40:12 COS			
DRAWN BY: EL		DATE DRAWN: 02/03/22	
ATT. JOB NO: 1370729.04		DATE: 1370729.04	
<b>CONCRETE PAD DETAILS</b>			
SHEET NUMBER: C-501		REVISION: 0	



**AMERICAN TOWER**  
A.T. ENGINEERING SERVICE, PLLC  
300 BROADWAY  
SUITE 100  
CHRY, NC 27618  
PHONE: (919) 484-0112  
FAX: (919) 484-0113

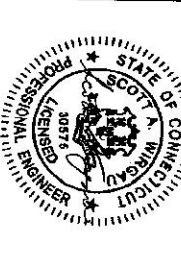
THESE DRAWINGS AND/OR SPECIFICATIONS ARE THE PROPERTY OF AMERICAN TOWER. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER IS STRICTLY PROHIBITED. THE PROJECT ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROJECT ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROJECT ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	MF	02/22/22

ATC SITE NUMBER  
376046

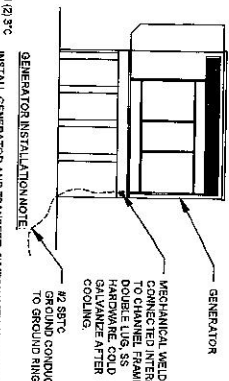
ATC SITE NAME  
MANSFIELD CENTER 1 CT

SITE ADDRESS  
230 CLOVER HILL ROAD  
STONERS MANSFIELD, CT 06268



Authorized by "EOR"  
1710 Feb 2022 01:40:12  
E-601

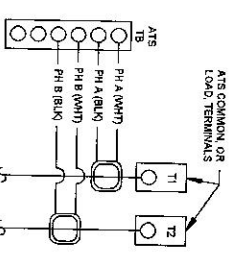
**ELECTRICAL ONE-LINE  
AND WIRING DETAILS**  
SHEET NUMBER: 0  
REVISION: 0



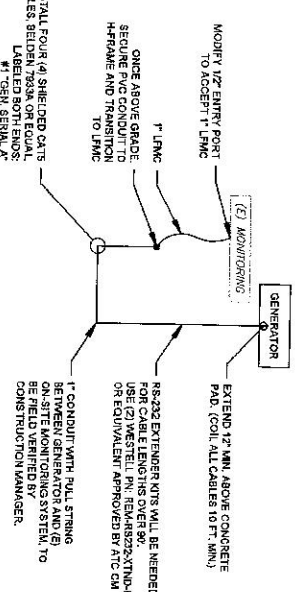
**2 GENERATOR GROUNDING**  
SCALE: NOT TO SCALE

INSTALL GENERATOR AND TRANSFER SWITCH WITH ALL SUPPLIED ACCESSORIES PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING: THE EXHAUST SYSTEM, FUEL SYSTEM, ENCLOSURE, AND GROUNDING CONNECTIONS.

DEMAND LOAD CALCULATION	
GENERATOR LOADS	25.8 KW
TELEPHONE LOADS (KW)	27.6 KW
TOTAL DEMAND LOADS (KW)	53.4 KW
TOTAL DEMAND CURRENT (A)	114.5 A



**3 CT WIRING DIAGRAM**  
SCALE: NOT TO SCALE

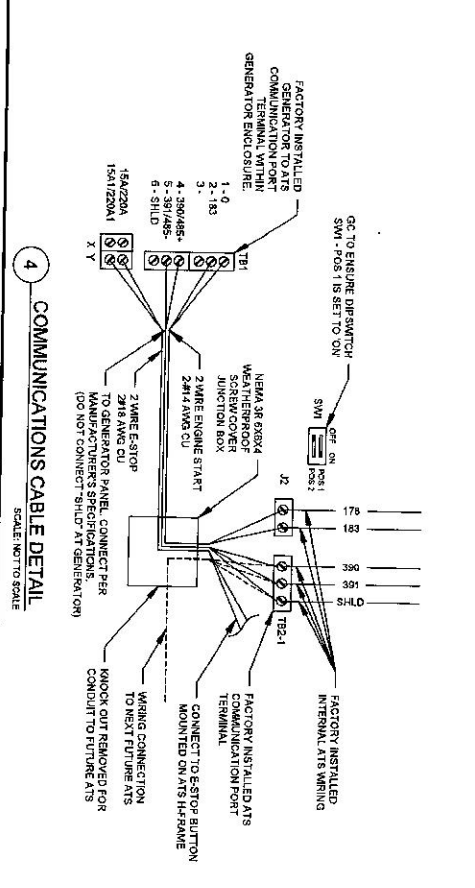


**5 CONNECTING TO EXISTING MONITORING**  
SCALE: NOT TO SCALE

NOTE:  
INSTALL BOTH ENDS OF ALL CABLES WITH 60 INCHES OF EQUAL USING INDUSTRIAL 9886 STANDARD 9884-WIRELESS SCHEMATIC TEST ALL CABLES AFTER INSTALLATION AND ALL CABLES MUST BE PROPERLY LEAVE CABLES UN-INSULATED AND UN-PROTECTED FROM THE TEAM. COIL ALL CABLES 3 FT. MINIMUM IN 800.

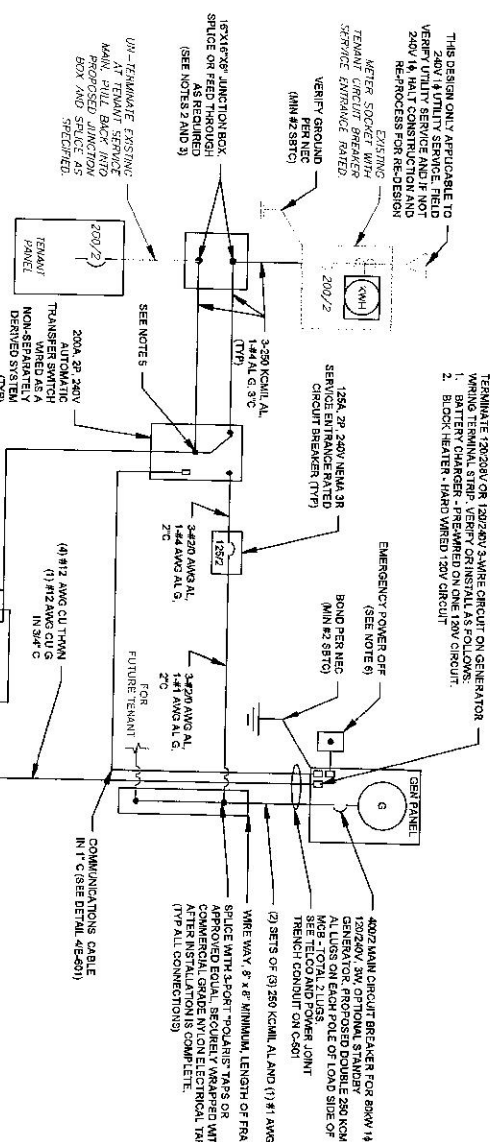
**1 ELECTRICAL ONE-LINE DIAGRAM**  
SCALE: NOT TO SCALE

**4 COMMUNICATIONS CABLE DETAIL**  
SCALE: NOT TO SCALE

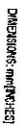


**ONE-LINE NOTES:**

- CONNECT CTs PER LITE OWNERS MANUAL-SECTION 3.11.2 INSTRUMENT PACKAGE COMPLETE.
- SPICE WITH TOLERANT TIES TO ELECTRICAL TIE AFTER INSTALLATION IS COMPLETE.
- UNLESS OTHERWISE SPECIFIED FOR SPACING PER NEC 312.4 OR INSTALL NEW BOX AS PER NEC 312.4. CABLE PER SITE CONDITIONS AND CODES. SEE JUNCTION IF TAPPING AT TAPPOINT. INCLUDING PFC.
- EXISTING EQUIPMENT, INCLUDING PFC.
- CONDUCTOR FOR PANEL CIRCUIT TO LUGS ON TERMINALS (LOAD SIDE) WITH RING TERMINAL, PROPERLY SIZED.
- REMOVE BATTERY FROM PFC DISTRIBUTION IN WEATHERPROOF ENCLOSURE FOR REMOTE BATTERY AND TRANSFER BY CONTRACTOR. CONNECT TO TERMINALS LOCATED NEAR TIE. 2418 AND WIRE IN 1/2" LUGS.

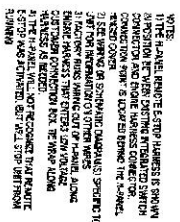


**GENERAC** INDUSTRIAL



- 1 OF 2 GENSET CONTROLS

**GENERAC** | **INDUSTRIAL**



## GENSET CONTROLS

SHEET NUMBER:

REVISION:

FedEx® Tracking

2723 2080 4414

ADD NICKNAME



Delivered  
Wednesday, 4/27/2022 at 1:33 pm



## DELIVERED

Signed for by: K.KELLY

GET STATUS UPDATES

OBTAIN PROOF OF DELIVERY

FROM  
FARMINGTON, CT US

TO  
STORRS MANSFIELD, CT US

MANAGE DELIVERY

*PACKAGE TO  
TOWN MANAGER - RYAN AYERSWORTH  
OF MANSFIELD  
ALSO TOWN IS PROPERTY  
OWNER*



## Travel History

TIME ZONE  
Local Scan Time

Wednesday, April 27,  
2022

1:33 PM	STORRS MANSFIELD, CT	Delivered
9:07 AM	NORWICH, CT	On FedEx vehicle for delivery
8:25 AM	NORWICH, CT	At local FedEx facility
Tuesday, April 26, 2022		
6:34 PM	NORWICH, CT	At local FedEx facility
9:14 AM	NORWICH, CT	Shipment arriving On-Time
9:03 AM	NORWICH, CT	At local FedEx facility Package not due for delivery

Monday, April 25, 2022


9:29 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
8:10 AM	NORWICH, CT	Shipment arriving early
7:55 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
7:51 AM	NORWICH, CT	Shipment arriving early
7:34 AM	NORWICH, CT	At local FedEx facility

Saturday, April 23, 2022

3:10 PM	NORWICH, CT	At local FedEx facility
8:19 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
6:30 AM	EAST GRANBY, CT	At destination sort facility
3:26 AM	MEMPHIS, TN	Departed FedEx hub

Friday, April 22, 2022

11:24 PM	MEMPHIS, TN	Shipment arriving early
11:11 PM	MEMPHIS, TN	Arrived at FedEx hub
8:23 PM	MENANDS, NY	Left FedEx origin facility
5:57 PM	MENANDS, NY	Picked up
3:37 PM		Shipment information sent to FedEx

Expand History 

## Shipment Facts

## TRACKING NUMBER

2723 2080 4414

## SERVICE

FedEx Express Saver

## WEIGHT

0.5 lbs / 0.23 kgs

## DELIVERED TO

Receptionist/Front Desk

## TOTAL PIECES

1

## TOTAL SHIPMENT WEIGHT

0.5 lbs / 0.23 kgs

## TERMS

Shipper

## PACKAGING

FedEx Envelope

## SPECIAL HANDLING SECTION

Deliver Weekday

## SHIP DATE


4/22/22 ?

## STANDARD TRANSIT

4/27/22 before 4:30 pm ?

## ACTUAL DELIVERY

4/27/22 at 1:33 pm



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
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FedEx® Tracking

2723 2125 3099

ADD NICKNAME



Delivered  
Wednesday, 4/27/2022 at 1:33 pm



DELIVERED

Signed for by: K.KELLY

GET STATUS UPDATES

OBTAIN PROOF OF DELIVERY

FROM  
FARMINGTON, CT US

TO  
STORRS MANSFIELD, CT US

MANAGE DELIVERY

*TO MICHAEL NINTEAU  
DIRECTOR OF BUILDING & HOUSING  
FOR TOWN OF MANSFIELD*

## Travel History

## TIME ZONE

Local Scan Time



Wednesday, April 27,  
2022

1:33 PM	STORRS MANSFIELD, CT	Delivered
9:08 AM	NORWICH, CT	On FedEx vehicle for delivery
8:25 AM	NORWICH, CT	At local FedEx facility

Tuesday, April 26, 2022

6:34 PM	NORWICH, CT	At local FedEx facility
9:14 AM	NORWICH, CT	Shipment arriving On-Time
9:03 AM	NORWICH, CT	At local FedEx facility Package not due for delivery

Monday, April 25, 2022

9:29 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
8:07 AM	NORWICH, CT	Shipment arriving early
7:55 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
7:51 AM	NORWICH, CT	Shipment arriving early
7:34 AM	NORWICH, CT	At local FedEx facility

Saturday, April 23, 2022

3:10 PM	NORWICH, CT	At local FedEx facility
8:19 AM	NORWICH, CT	At local FedEx facility Package not due for delivery
6:30 AM	EAST GRANBY, CT	At destination sort facility
3:26 AM	MEMPHIS, TN	Departed FedEx hub

Friday, April 22, 2022

11:24 PM	MEMPHIS, TN	Shipment arriving early
11:11 PM	MEMPHIS, TN	Arrived at FedEx hub
8:23 PM	MENANDS, NY	Left FedEx origin facility
5:57 PM	MENANDS, NY	Picked up
3:45 PM		Shipment information sent to FedEx

Expand History 

## Shipment Facts

## TRACKING NUMBER

2723 2125 3099

## SERVICE

FedEx Express Saver

## WEIGHT

0.5 lbs / 0.23 kgs

## DELIVERED TO

Receptionist/Front Desk

## TOTAL PIECES

1

## TOTAL SHIPMENT WEIGHT

0.5 lbs / 0.23 kgs

## TERMS

Shipper

## PACKAGING

FedEx Envelope

## SPECIAL HANDLING SECTION

Deliver Weekday

## SHIP DATE

4/22/22 ⓘ

## STANDARD TRANSIT

4/27/22 before 4:30 pm ⓘ

## ACTUAL DELIVERY

4/27/22 at 1:33 pm

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