



STATE OF CONNECTICUT

CONNECTICUT SITING COUNCIL

Ten Franklin Square, New Britain, CT 06051

Phone: (860) 827-2935 Fax: (860) 827-2950

E-Mail: siting.council@ct.gov

Web Site: portal.ct.gov/csc

VIA ELECTRONIC MAIL

March 30, 2021

Glenn Scott Shepherd
Site Development Specialist II
SBA Communications
134 Flanders Road, Suite 125
Westborough, MA 01581

RE: **EM-T-MOBILE-034-210115** – T-Mobile notice of intent to modify an existing telecommunications facility located at 52 Stadley Rough Road, Danbury, Connecticut.

Dear Mr. Shepherd:

The Connecticut Siting Council (Council) hereby denies your request to modify the above-referenced existing telecommunications facility, pursuant to Section 16-50j-73 of the Regulations of Connecticut State Agencies.

This exempt modification request was submitted to the Council on January 15, 2021. Council staff reviewed this request for completeness and had identified a deficiency that was more fully described in a notice of incompleteness letter/e-mail to the requesting entity dated February 24, 2021 (attached) and recommended that SBA provide a revised request that is in compliance with the Connecticut Superior Court's Stipulation for Judgment dated January 6, 2010, on or before March 26, 2021. To date the Council has not received a response.

Thus, the proposed modification is not in compliance with the exemption criteria in Section 16-50j-72 (b) of the Regulations of Connecticut State Agencies and is hereby denied.

Sincerely,

s/Melanie Bachman

Melanie Bachman
Executive Director

MAB/IN/emr

Enclosure: Council Incomplete Letter Dated February 24, 2021

c: The Honorable Joseph M. Cavo, Mayor, City of Danbury (j.cavo@danbury-ct.gov)



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VIA ELECTRONIC MAIL

February 24, 2021

Glenn Scott Shepherd
Senior Property Specialist
SBA Communications
134 Flanders Road, Suite 125
Westborough, MA 01581

RE: EM-T-MOBILE-034-210115 – T-Mobile notice of intent to modify an existing telecommunications facility located at 52 Stadley Rough Road, Danbury, Connecticut.

Dear Mr. Shepherd:

The Connecticut Siting Council (Council) received a notice of intent to modify the above-referenced facility on January 15, 2021.

According to Section 16-50j-71 of the Regulations of Connecticut State Agencies, "...any modification, as defined in Section 16-50j-2a of the Regulations of Connecticut State Agencies, to an existing tower site, except as specified in Sections 16-50j-72 and 16-50j-88 of the Regulations of Connecticut State Agencies, may have a substantial adverse environmental effect."

Staff has reviewed this exempt modification request for completeness and has identified that the request is not in compliance with the Connecticut Superior Court's Stipulation for Judgment (Stipulation) dated January 6, 2010 specific to this facility (see attached). The Stipulation requires all modifications to this facility to comply with the following conditions:

- 1) All proposed antennas are to be flush mounted to the tower;
- 2) The tower antennas and mounts are to be painted brown; and
- 3) Notice of any modifications is required to be provided to The City of Danbury and Jose and Christina Carvalheiro.

The inconsistencies identified in the exempt modification request consist of, but are not limited to the following:

- Sheet No. A-2 of the Construction Drawings (CD), prepared by Chappelle Engineering Associates, LLC and last revised December 30, 2020, and the Structural and Mount Analyses both prepared by Tower Engineering Solutions and dated November 13, 2020 and November 11, 2020 respectively all show a proposed platform antenna mount which is inconsistent with condition No. 1 above;
- There is no indication of the antennas being painted brown in compliance with condition No. 2 above; and
- There is no indication that notice was provided to Jose and Christina Carvalheiro in compliance with condition No. 3 above.

Therefore, the exempt modification request is incomplete at this time. The Council recommends that SBA Communications provide a revised request that is in compliance with the Stipulation referenced above, on or before March 26, 2021. If additional time is needed to gather the requested information, please submit a

written request for an extension of time prior to March 26, 2021. **Please provide an electronic version of the requested information for the incomplete exempt modification to be rendered complete and processed. Please include the Council's exempt modification identification number referenced above with the submittal.**

This notice of incompleteness shall have the effect of tolling the Federal Communications Commission (FCC) 60-day timeframe in accordance with Paragraph 217 of the FCC Wireless Infrastructure Report and Order issued on October 21, 2014 (FCC 14-153).

Thank you for your attention to this matter. Should you have any questions, please feel free to contact me at 860-827-2951.

Sincerely,

s/ Melanie A. Bachman

Melanie A. Bachman
Executive Director

MAB/IN/emr

Enclosures: Court Stipulation dated January 6, 2010

DOCKET NO.: CV-09-4021287-S : SUPERIOR COURT

CITY OF DANBURY,
JOSE CARVALHEIRO, and : JUDICIAL DISTRICT
CHRISTINA CARVALHEIRO

Plaintiffs,

v. : OF NEW BRITAIN

STATE OF CONNECTICUT SITING COUNCIL, : AT NEW BRITAIN
OPTASITE TOWERS, LLC (currently
known as SBA Towers II, LLC), and
OMNIPOINT COMMUNICATIONS INC (currently
known as T-Mobile Northeast, LLC)

Defendants. : JANUARY 6, 2010

STIPULATION FOR JUDGMENT

IT IS STIPULATED, by and between the undersigned Parties that:

The Parties consent and stipulate that a Judgment in the form set forth below shall be entered by the Court at any time following the date of filing of this Stipulation, without further notice to any party or other proceeding. Said Judgment shall be determinative of the rights of the undersigned parties against or to each other in the above-entitled action regarding the subject matter of the decision of the State of Connecticut Siting Council (Council) in Council Docket No. 366 and the application for a Certificate of Environmental Compatibility and Public Need for the construction, maintenance and operation of a telecommunications facility at 52 Stadley Rough Road in Danbury, Connecticut. By executing this Stipulation, the Parties expressly declare that they fully understand the terms of the Judgment to be entered as set forth below, and agree and desire to be bound thereby.

2009-11-06
2009-11-06
COURT

JUDGMENT ON STIPULATION

Plaintiffs CITY OF DANBURY and JOSE and CHRISTINA CARVALHEIRO ("Carvalheiros"), the Defendants STATE OF CONNECTICUT SITING COUNCIL ("Council"), OPTASITE TOWERS, LLC. (now known as SBA TOWERS II, LLC)("SBA"), and OMNIPOINT COMMUNICATIONS, INC. (now known as T-MOBILE NORTHEAST, LLC)("T-Mobile") (collectively called "the Parties"), through their respective attorneys, have consented to the making and entry of this judgment in settlement of the above-captioned administrative appeal of the final decision in Council Docket No. 366;

1. With the consent of the Parties, the Court hereby AFFIRMS the Council's Findings of Fact in its final decision in Council Docket No. 366.

2. With the consent of the Parties, the Court hereby AFFIRMS the Council's opinion and its final decision in Council Docket No. 366.

3. With the consent of the Parties, the Court hereby APPROVES Exhibit A to this Stipulation, consisting of a revised and amended Development & Management Plan ("D&M Plan"), which includes construction drawings prepared by CHA Companies and included in Exhibit A and as dated/last revised as noted in the chart also included in Exhibit A. Future modifications to the D&M Plan as may be necessitated by the City of Danbury Building Department, construction, or other subsequent modifications sought by SBA, T-Mobile or third parties shall be reviewed by the Council subject to the Council's regulatory processes and any jurisdictional limits and subject to the conditions herein. Any field changes, D&M Plan amendments or exempt modifications will be subject to the requirement that Defendant SBA, or its authorized agents, provide notice to the Plaintiff City of Danbury with an opportunity to be heard prior to any Council action thereon, and

also shall be subject to any other required City permit(s) for such field changes, construction or facility site modifications. The Siting Council shall not acknowledge any future exempt modification notices or approve any tower sharing requests unless it determines that the proposed antennas are flush mounted to the tower and any new equipment is installed within the fenced compound in a manner consistent with the D&M Plan and this Stipulated Judgment which confirms the Council's April 2009 Decision & Order. Any other proposed modifications, applications and new and/or amended certificates must be designed to the greatest extent feasible to be consistent with the D&M Plan and this Stipulated Judgment, and the burden of proof for any proposed deviation shall be on the applicant(s) before the Council to demonstrate that such compliance is not feasible. The requirements set forth in the previous sentence may be waived by the City in its discretion. Any such future modifications to the D&M Plan shall not require review by this Court as part of this Stipulated Judgment. Notwithstanding any other provision herein to the contrary, the height of the tower (140 feet as agreed to in this Stipulated Judgment), shall not be increased for any reason, unless consented to by the City.

4. With the consent of the Parties, the Court hereby APPROVES a name change and/or transfer of the Certificate issued in Docket No. 366 to SBA Towers II, LLC.

5. The City of Danbury hereby affirms that, other than issuance of a building permit and certificate of occupancy by the City of Danbury Building Official pursuant to Sections 29-263 and 29-265 of the State Building Code and the review and approval of a "B100a" plan pursuant to Section 19-13-B100a of the State Public Health Code and a determination of the City Health Department that a code complying reserve area exists for the existing church at 52 Stadley Rough Road, no other City permits, approvals or consents are or will be required for the cellular tower

facility as approved by the Council in Docket 366 and as shown in the revised and amended D&M Plan. Attached hereto and incorporated herein are the City Building Permit (foundation only/tower component pending) and B100a approvals for the cellular tower facility.

6. In the event, SBA, T-Mobile or a future co-locating tenant of SBA seeks to modify the facility by adding additional backup power, such parties shall use a fuel cell to the extent such technology is readily available for use and meets the backup power requirements for the site. If a fuel cell is not used, SBA, T-Mobile or a future co-locating tenant shall provide written notice to the City and to the Carvalheiros explaining the reasons why such technology is not then readily available for such intended use. Any permanent diesel, propane or natural gas power backup generators will be considered a secondary option and if used must be baffled, and the cycling times shall be scheduled between the hours of 9am and 5pm weekdays.

7. Plaintiff JOSE AND CHRISTINA CARVALHEIRO shall be named as additional insureds under all insurance policies required to be maintained by SBA concerning the facility site, insuring the Carvalheiros against any damages for bodily injury and injury to property, with minimum coverage limits of \$1,000,000 per occurrence, solely to the extent such damages or injuries are determined to be caused in whole or in part by the negligent or wrongful acts or omissions of SBA, and excluding damages or injuries arising solely out of the Carvalheiros' negligence or own actions or omissions. Such policies shall provide for at least thirty (30) days' written notice to the Carvalheiros of expiration; in case of expiration, new policies containing the same terms and conditions as referenced above shall be issued no later than the expiration date of the expiring policy. The Carvalheiros shall receive at least annual written notice of such coverages by certified mail, return receipt requested.

8. Each of the undersigned signatories has been duly authorized to execute and enter into this Stipulation on behalf of the Parties by their respective clients, companies, and/or members and this Stipulation shall be fully binding on each Parties' successors, assigns, members and officials.

9. Each of the Parties, in consideration of the terms and provisions hereof, and other good, valuable and sufficient consideration, the receipt of which is hereby acknowledged by each of the Parties, hereby covenants not to sue and hereby fully and forever does release and discharge the other Parties, as well as their affiliates, parent companies, subsidiaries, employees, officers, directors, members, administrators, agents, attorneys, predecessors, successors and/or assigns, from all actions, causes of action, suits, debts, dues, sums of money, accounts, reckonings, bonds, bills, specialties, covenants, contracts, controversies, agreements, promises, variances, trespasses, damages, judgments, extents, executions, claims and demands whatsoever, whether known or unknown, in law, admiralty or equity, which any of the Parties now has or hereafter can, shall, or may have against the other Parties by reason of anything or cause from the beginning of the world to the date hereof with respect to any matter concerning or arising out of the subject matter of the above-captioned action. However, the terms of this release shall not release, or in any way affect, the obligations of each of the Parties under this Stipulated Judgment. Moreover, the terms of this release shall not release, or in any way affect, the obligations of SBA and T-Mobile under any separate agreement concerning or relating to the lease and/or operation of the cellular tower facility at issue in this action.

10. This Court shall retain continuing jurisdiction to enforce the terms and conditions of this Stipulation for Judgment. In the event any party hereto is found by the Court to be in violation of any term of this Stipulation for Judgment (including but not limited to a failure to adhere to the

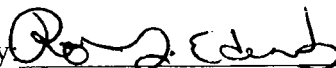
plans attached at Exhibit A), the prevailing party shall be entitled to reasonable attorney's fees and costs.

11. This Judgment shall be effective immediately upon entry.

12. This Judgment shall be binding on the parties, their heirs, successors and assigns, and the City shall record the Judgment on the Danbury Land Records for the parcel at 14 Indian Spring Road within ten (10) days of entry of the Judgment by the Court.


13. Nothing in this Stipulated Judgment shall be construed as an approval by the City or the Carvalheiros of the tower facility which is the subject of this proceeding.

PLAINTIFF
CITY OF DANBURY

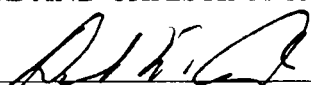
By: 
Robin L. Edwards, Esq.
Assistant Corporation Counsel
City of Danbury
155 Deer Hill Avenue
Danbury, CT 06810
Phone: (203)797-4518

Date

Duly approved by the City of Danbury:

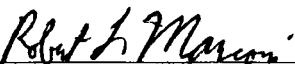
By: 
Mark D. Boughton, Mayor
Date: _____, 2010

PLAINTIFFS
JOSE AND CHRISTINA CARVALHEIRO

By: 
Daniel Casagrande, Esq.
Cramer & Anderson, LLP
30 Main Street, Suite 303
Danbury, CT 06801
(203) 744-1234

Date

DEFENDANT
STATE OF CONNECTICUT
SITING COUNCIL

By: 
Robert L. Marconi, Esq. (404518)
Assistant Attorney General
10 Franklin Square
New Britain, CT 06051
Tel (860) 827-2682

18 March 2010
Date

DEFENDANTS
OPTASITE COMMUNICATIONS, LLC
(SBA TOWERS II, LLC)
OMNIPOINT COMMUNICATIONS, INC.
(T-MOBILE NORTHEAST, LLC)

Date

By: 

Christopher B. Fisher, Esq. (409919)
Cuddy & Feder, LLP
445 Hamilton Avenue
White Plains, NY 10601
Tel (914) 761-1300

EXHIBIT A



PROJECT SUMMARY

SITE NAME: DANBURY-1
 SITE ADDRESS: 52 STADLEY ROUGH ROAD DANBURY, CT 06811
 JURISDICTION: CT SITING COUNCIL
 COUNTY: FAIRFIELD COUNTY
 PROPERTY OWNER: CHRIST THE SHEPARD CHURCH PCA
 APPLICANT: SBA TOWERS II LLC 5900 BROKEN SOUND BOCA RATON, FL 33487-2797 OFFICE: (561) 226-5523 FAX: (561) 226-5572
 HOLUS REDDING (203) 464-3623
 SITE COORDINATES: 2C
 LATITUDE: N 41° 25' 59.17" (NAD 83)
 LONGITUDE: W 73° 25' 54.90" (NAD 83)
 ELEVATION: 54.7 (NAVD 88)
 OCCUPANCY: UNMANNED
 CONSTRUCTION TYPE: RAW LAND

HANDICAPPED REQUIREMENTS
 FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
 HANDICAP ACCESS NOT REQUIRED
PLUMBING REQUIREMENTS
 FACILITY HAS NO PLUMBING

CONSULTING TEAM

ARCHITECTURAL - ENGINEERING FIRM:
 CHA SKAS DEANE HIGHWAY, SUITE 212, ROCKY HILL, CT 06067
 CONTACT: PAUL LUSTIANI
 PHONE: (860) 257-4557 FAX: (860) 257-7514

SURVEYING FIRM:
 2139 SILAS DEANE HIGHWAY, SUITE 212, ROCKY HILL, CT 06067
 CONTACT: PAUL LUSTIANI
 PHONE: (860) 257-4557 FAX: (860) 257-7514

TELEPHONE COMPANY:
 AT&T
 1441 NORTH COLONY ROAD, MERIDEN, CT
 CONTACT: UNKNOWN
 PHONE: UNKNOWN

POWER COMPANY:
 C&P
 CONTACT: UNKNOWN
 PHONE: UNKNOWN

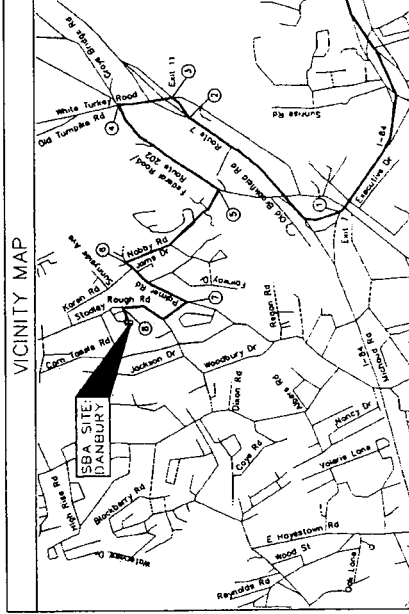
ELECTRICAL ENGINEER:
 2139 SILAS DEANE HIGHWAY, SUITE 212, ROCKY HILL, CT 06067
 CONTACT: PAUL LUSTIANI
 PHONE: (860) 257-4557 FAX: (860) 257-7514

SITE NAME
 DANBURY-1

SITE I.D.
 CT13549

5911 ADDRESS
 52 STADLEY ROUGH ROAD
 DANBURY, CT 06811

PROJECT TYPE
 140' MONOPOLE
 TOWER HEIGHT NOT TO EXCEED 140'



DRIVING DIRECTIONS

FROM I-84 WEST:

- TAKE EXIT 7 TOWARDS ROUTE 7 NORTH
- TAKE EXIT 11 OFF OF ROUTE 7
- TURN LEFT ON WHITE TURKEY ROAD
- TURN LEFT ON FEDERAL ROAD / ROUTE 202
- TURN LEFT ON PALMER ROAD
- TURN LEFT ON STADLEY ROUGH ROAD
- TURN RIGHT ON STADLEY ROUGH ROAD
- SITE WILL BE ON THE LEFT BEHIND THE CHURCH

SHEET SCALE FACTOR:
 PLOT SIZE: 11" x 17", 1/2" TO SCALE
 24" x 36", 1/2" TO SCALE AS NOTED

SHEET INDEX

NO.	DESCRIPTION	REV.	REV. DATE
T-1	TITLE SHEET	E	01/04/10
T-2	ABBREVIATIONS & SYMBOLS LEGEND	D	11/30/09
DN-1	GENERAL NOTES	D	11/30/09
C-1	SITE PLAN	D	11/30/09
C-1A	CONSTRUCTION PHASING PLAN AND NOTES	E	12/16/09
C-2	PHOTO PLAN	D	11/30/09
C-3	SITE GRADING PLAN	E	12/16/09
C-4	ENLARGED SITE PLAN	D	11/30/09
C-4A	FOUNDATION EXCAVATION PLAN	D	11/30/09
C-5	SITE ELEVATIONS	D	11/30/09
C-6	SITE DETAILS	D	11/30/09
C-7	FENCE DETAILS	D	11/30/09
C-8	FENCE DETAILS	D	11/30/09
L-1	LANDSCAPE PLAN	E	01/04/10
L-2	LANDSCAPE DETAILS	D	11/30/09
L-3	ECOLOGICAL ENHANCEMENT PLAN	D	11/30/09
E-1	UTILITY SITE PLAN	D	11/30/09
E-2	UTILITY DETAILS	E	12/18/09
E-3	SINGLE-LINE DIAGRAM & PANEL SCHEDULE	E	12/18/09
EG-1	GROUNDING PLAN & DETAILS	D	11/30/09
EG-2	GROUNDING DETAILS	D	11/30/09
EG-3	GROUNDING DETAILS	D	11/30/09

ENGINEER'S LICENSE

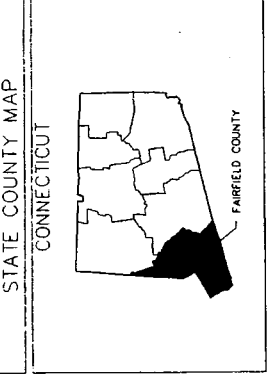
I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE REQUIREMENTS OF APPLICABLE BUILDING CODES

LICENSED ENGINEER - STATE OF CT

DATE: 01/04/10

APPROVALS

LANDLORD: _____ DATE: _____



SBA

SBA TOWERS II LLC
 5900 BROKEN SOUND
 BOCA RATON, FL 33487-2797
 TEL: (561) 226-5523
 FAX: (561) 226-5572

CHA

1310 Main Street, Suite 212 Rocky Hill, CT 06067
 Tel: (860) 257-4557 Fax: (860) 257-7514

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO CHA SKAS DEANE AND IS TO BE USED ONLY FOR THE PROJECT AND TO THE CLIENT IS STRICTLY PROHIBITED.

DATE PROJECT: 05/03-10/01-10/01
 DRAWN BY: PAL
 CHECKED BY: JPS

REVISIONS

NO.	DATE	DESCRIPTION
1	01/04/10	ISSUED FOR TOWER CONSTRUCTION
2	11/30/09	ISSUED FOR TOWER CONSTRUCTION
3	12/16/09	ISSUED FOR TOWER CONSTRUCTION
4	12/16/09	ISSUED FOR TOWER CONSTRUCTION
5	12/16/09	ISSUED FOR TOWER CONSTRUCTION
6	12/16/09	ISSUED FOR TOWER CONSTRUCTION
7	12/16/09	ISSUED FOR TOWER CONSTRUCTION
8	12/16/09	ISSUED FOR TOWER CONSTRUCTION
9	12/16/09	ISSUED FOR TOWER CONSTRUCTION
10	12/16/09	ISSUED FOR TOWER CONSTRUCTION

PROJECT NO: 15363-1030-1601
 SITE NAME: DANBURY-1

SITE NUMBER: CT13549
 SITE ADDRESS: 52 STADLEY ROUGH ROAD DANBURY, CT 06811
 DESIGN TYPE: RAW LAND

SHEET TITLE: TITLE SHEET
 DRAWING NO.: T-1

REVISION: E



SBA TOWERS & LLC
 5900 JACKSON SQUARE
 BOCA RATON, FL 33487-2797
 TEL: (561) 236-9523
 FAX: (561) 238-5268



3220 West Orange Avenue, Suite 112, Boca Raton, FL 33486-2288
 Phone: (561) 361-3447
 www.cha.com

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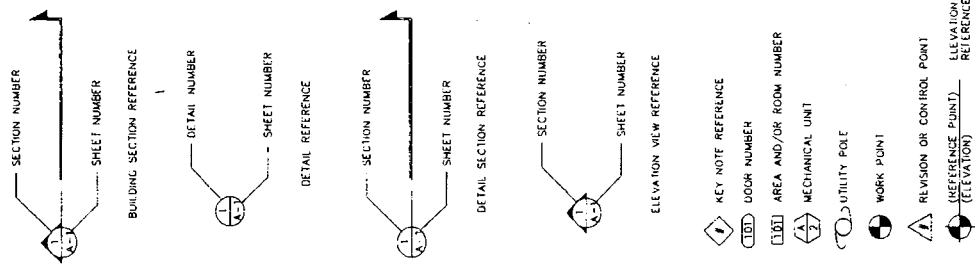
DATE	DESCRIPTION
11/20/09	ISSUED FOR TOWER CONSTRUCTION
10/21/09	REVISED FOR TOWER CONSTRUCTION
10/09/09	REVISED TOWER FOUNDATION
08/21/09	ISSUED FOR CONSTRUCTION

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND

SHEET TITLE	ABBREVIATIONS & SYMBOLS LEGEND
DRAWING NO.	T-2
REVISION	D

SYMBOLS:

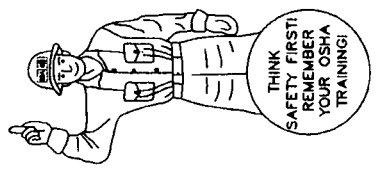
- MASONRY
- BRICK
- CONCRETE
- EARTH
- STEEL
- GRAVEL
- CENTER LINE
- PROPERTY LINE
- LEASE LINE
- EASEMENT LINE
- RIGHT-OF-WAY
- CHAIN LINK FENCE
- WOOD FENCE
- SILT FENCE
- BELOW GRADE ELECTRIC
- BELOW GRADE TELEPHONE
- OVERHEAD ELECTRIC/TELEPHONE
- OVERHEAD TELEPHONE
- ELECTRIC
- COUNTOUR
- TREE PROTECTION FENCE
- TREE LINE
- TREES, SHRUBS, BUSHES
- SANITARY SEWER LINE
- WATER LINE
- NATURAL GAS LINE




- KEY NOTE REFERENCE
- DOOR NUMBER
- AREA AND/OR ROOM NUMBER
- MECHANICAL UNIT
- UTILITY POLE
- WORK POINT
- RELVISION OR CONTROL POINT
- REFERENCE POINT (ELEVATION)
- ELEVATION REFERENCE


ABBREVIATIONS

AB	ANCHOR BOLT	GR	GRADE	SIM	SIMILAR
AC	ASPHALTIC CONCRETE	GYP	GYPSUM	SPCS	SPECIFICATIONS
A/C	AIR CONDITIONING	D/C	GROUND FAULT CIRCUIT INTERRUPT	SS	STAINLESS STEEL
ADJ	ADJUSTABLE	UNO	GROUND	STL	STEEL
A.F.F.	ABOVE FINISH FLOOR	HC	HOLLOW CORE	STOR	STORAGE
ARCH	ARCHITECTURAL	HDR	HEADER	STRUCT	STRUCTURAL
APPROX	APPROXIMATELY	HTR	HEATER	SUSP	SUSPENDED
A.C.L	ABOVE GRADE LEVEL	HM	HOLLOW METAL	SW	SWITCHBOARD
A.M.S.L	ABOVE MEAN SEA LEVEL	HORIZ	HORIZONTAL	THK	THICK
BD	BOARD	HT	HEIGHT	TI	TENANT IMPROVEMENT
BLDG	BUILDING	HT	HIGH VOLTAGE	TMA	TOWER MOUNTED AMPLIFIER
BLK	BLOCKING	HV	INSIDE DIMENSION	TOS	TOP OF SURFACE
BOT	BOTTOM	ID	INSULATION	TS	TUBE STEEL
BSMT	BASEMENT	INS	INTERIOR	TP	TYPICAL
USMT	BASE TRANSVERSE	INT	JOINT	U	UNDERGROUND
BTS	BASE TRANSVERSE	JT	LAMINATED	UNO	UNLESS NOTED OTHERWISE
C	COURSE(S)	LAM	LAMINATED	UNO	UNLESS NOTED OTHERWISE
CEM	CEMENT	LBS	POUNDS	VCT	VINYL COMPOSITION TILE
CL	CHAIN LINK	LGHT	LIGHT	VERT	VERTICAL
C-LG	CEILING	L1	LIGHTNING ARRESTOR	VLF	VERIFY IN FIELD
CLR	CLEAR	LNA	LOW NOISE AMPLIFIER	VC	VERTICAL CURVE
COL	COLUMN	MFR	MANUFACTURER	W	WITH
CONC	CONCRETE	MAT	MATERIAL	W/	WOOD
CONST	CONSTRUCTION	MAX	MAXIMUM	WO	WOOD
CONT	CONTINUOUS	MCH	MECHANICAL	WR	WATER RESISTANT
CORR	CORROSION	MIN	MINIMUM	WT	WEIGHT
CO	CONDUIT ONLY	MISC	MISCELLANEOUS	XEMR	TRANSFORMER
DIA	DIAMETER	ML	METAL LATH	AT	ANGLE
DBL	DOUBLE	MO	MASONRY OPENING	CH	CHANNEL
DEPT	DEPTH	MS	MACHINE SCREW	CL	CENTERLINE
DEMO	DEMOLITION	MTD	MOUNTED	CL	CENTERLINE
DIM	DIMENSION	MTL	METAL	ANG	ANGLE
DN	DOWN	NEW	NEW	PROP	PROPERTY LINE
DR	DOOR	NOT IN CONTRACT	NOT IN CONTRACT		
DTL	DETAIL	NUMBER	NUMBER		
DWG	DRAWING	NOT TO SCALE	NOT TO SCALE		
(E)	EXISTING	OVERHEAD	OVERHEAD		
EA	EAVE	ON CENTER	ON CENTER		
ELEC	ELECTRIC	OPENING	OPENING		
ELEV	ELEVATION	OPPOSITE	OPPOSITE		
EQUIP	EQUIPMENT	PARTITION	PARTITION		
EXP	EXPANSION	PL	PLASTER		
EAT	EXTERIOR	PLAS	PLASTER		
FA	FIRE ALARM	PLYWD	PLYWOOD		
FB	FLAT BAR	POC	POINT OF CONNECTION		
FF	FINISH FLOOR	PROP	PROPERTY		
FH	FLAT HEAD	PT	PRESSURE TREATED		
FIN	FINISHED	R	RISER		
FLR	FLOOR	RELD	REQUIRED		
FOS	FACED STUDS	RU	ROOF DRAIN		
FS	FINISH SURFACE	ROOM	ROOM		
FT	FOOT FEET	RMS	ROOMS		
FIG	FOOTING	RO	ROUGH OPENING		
FW	FINISH WALL	SC	SOLID CORE		
F.G	FINISH GRADE	SCHED	SCHEDULE		
FUT	FUTURE	SECT	SECTION		
FUT	FUTURE	SHT	SHEET		
GA	GALVANIZED				
GALV	GALVANIZED				
GL	GLASS				





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DATE	10/27/09
REVISION	REVISED PER OWNER COMMENTS
DATE	10/27/09
REVISION	REVISED PER OWNER COMMENTS
DATE	10/27/09
REVISION	REVISED PER OWNER COMMENTS

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT113549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
OWNER TYPE	RAW LAND
SHEET TITLE	GENERAL NOTES
DRAWING NO.	GN-1
REVISION	D

PAINTING

- CONTRACTOR TO COORDINATE PAINTING REQUIREMENTS WITH OWNER
- PAIN COLORS SHALL BE SELECTED TO MATCH EXISTING COLORS AND TEXTURES
- PROVIDE THE BEST QUALITY GRADE OF COATINGS AS REGULARLY MANUFACTURED BY APPROVED PAINT MATERIAL MANUFACTURERS. MATERIALS NOT DISPLAYING THE BEST QUALITY GRADE PRODUCT WILL NOT BE ACCEPTABLE.
- PROVIDE UNDERCOAT PRODUCED BY THE SAME MANUFACTURER AS THE FINISH COAT. FINISH COAT TO BE APPROVED BY THE PAINT MANUFACTURER AND USE ONLY WITHIN RECOMMENDED LIMITS.
- COMPLETELY COVERS TO PROVIDE AN OPAQUE, SMOOTH SURFACE OF UNIFORM FINISH LOOK, APPEARANCE, AND COVERAGE. CLOUDING, SPOTTING, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS, ROPELINES OR OTHER SURFACE IMPERFECTIONS WILL NOT BE ACCEPTABLE.

FERROUS METALS TOUCH-UP COAT - RED OXIDE METAL PRIMER FINISH COAT - SEMI-GLOSS ALYD ENAMEL

SBA CONSTRUCTION REQUIREMENTS

- AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR SBA'S FILE.
- CONTRACTOR WILL BE REQUIRED TO SUBMIT A PROGRESS REPORT EVERY FOUR WEEKS IN JARBUSSION AT TIME OF BID AWARD.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL FOLLOW SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONCRETE COMPRESSION TESTING AND REQUIRED TO SUBMIT FINAL TEST RESULTS WITHIN 10 BUSINESS DAYS TO PROVIDE SBA PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR WILL BE RESPONSIBLE TO POSTER IN SITE PRIOR TO TOWER ERECTION, AS WELL AS ILLCO SAFETY INSPECTIONS AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.
- ALL METEOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE OCCUPANCY AND GETTING SBA'S REGIONAL SITE MANAGERS SIGN-OFF/CHECKLIST APPROVAL ON THE SITE.
- CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF WORKING HOURS.
- CONTRACTOR WILL UTILIZE ALL OF THE SBA PROVIDED DOCUMENTATION INCLUDING BUT NOT LIMITED TO: TOWER CONSTRUCTION ACCEPTANCE CHECKLIST, CONSTRUCTION HEIGHT VERIFICATION CLOSE-OUT LIST & TOWER CONSTRUCTION CLOSE-OUT LIST.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- CONTRACTOR IS RESPONSIBLE FOR GROUND WEG TESTING.

UTILITIES

- CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONDITIONS OR OTHER STRUCTURES ACCESS, UNDESIRABLE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING CONSTRUCTION. THERE APPEARS TO BE A CONFLICT.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS AND CONSTRUCTION MANAGER.
- ADVISE BY THE CONTRACTOR TO UTILITIES OR PROPERTY SURFACES DISTURBED BY THE CONSTRUCTION DURING CONSTRUCTION SHALL BE REPAIRED TO THE ORIGINAL CONDITION TO THE CLIENT FOR GRASSED AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF TELEPHONE UTILITY AND THE OWNER'S REQUIREMENTS.
- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES TO AVOID ANY OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

GRADING

- THE CONTRACTOR SHALL REWORK (DSE, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERGO ALL THE EXPENSES AND SUB GRADERS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. IF ANY DIMENSIONS ARE FOUND TO BE DISCREPANT, THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED CONTACT BY GOVERNING AGENCY INSPECTORS.

STRUCTURAL NOTES

- DESIGN REQUIREMENTS PER LOCAL BUILDING CODE AND THE IBC/INTL-222-G STRUCTURAL STANDARDS FOR STEEL ANTENNAS TOWERS AND SUPPORTING STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN AND AISC CODE OF STANDARD PRACTICE AND THE STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A36, ALL STRUCTURAL STEEL PIPES STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B, ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D11-98 STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70T18.
- ALL WELDS SHALL BE FULL PENETRATION BUT NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS THE CONTRACTOR SHALL FINISH ALL CONNECTION HANDMADE REQUIRED TO SECURE THE STAINLESS STEEL NORTH ARROW SHOWN ON PLANS NORTH AND NORTH OWNER OF ANY DISCREPANCY BEFORE STARTING.
- ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND ACI 301, AND SHALL HAVE A 28 DAY MINIMUM CURE PERIOD AGAINST UNDISTURBED SOIL UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVER SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
- ALL CONCRETE SHALL BE PLACED AGAINST UNDISTURBED FABRIC REINFORCING SHALL CONFORM TO ASTM A185.
- THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS.
- ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFIED TO BE ZINC COATED AFTER FABRICATION WHERE PRACTICAL GALVANIZING: ASTM A 153/A 153M 155M OR ASIM A 653/A 653M G90, AS APPLICABLE. REPAIR DAMAGED GALVANIZING TO ASTM A 780 OR BY APPLICATION OF STICK OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING CLEAN AREAS TO BE SURFACES TO WHICH SINK OR PASTE MATERIAL IS APPLIED WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTE. SPREAD MEDIA MATERIAL, ONLY MATERIALS SPECIFIED TO BE COVERED AND WIRE OF EXCESS MATERIAL SHALL BE REMOVED.
- CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS, SPECIFICATIONS IF NO INFORMATION IS CONTAINED IN THESE PLANS OR IF THE INFORMATION IS MANUFACTURER'S SPECIFICATIONS ARE STRICTER.

PERMITS

- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES (NOT SUPPLIED BY OWNER)
- ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS (NOT SUPPLIED BY OWNER)
- ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE LATEST APPLICABLE CODES AND STANDARDS.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE AGENCIES AT LEAST 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR CLOSING AND FILING ALL PERMITS ASSOCIATED WITH SITE.

GENERAL NOTES

- ALL REFERENCES TO OWNER HEREIN SHALL BE CONSTRUED TO MEAN SBA OR ITS DESIGNATED REPRESENTATIVE
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE APPROVED BY THE OWNER. THE CONTRACTOR MUST HAVE SUFFICIENT EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. CONTRACTOR'S EXPERIENCE AND ABILITY DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND CAPABLE TO DO THE WORK ON THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURERS SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF MATERIALS OR REINFORCING MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT. ELEVATIONS AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE MATERIALS TESTING AGENCY PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE CONTRACTOR IS TO PROCEED WITH THE WORK THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE SUPERVISED AND CONTROLLED BY THE CONTRACTOR'S SUPERVISOR FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE THE CONTRACTOR'S MEASUREMENTS OR THE CONSTRUCTION PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY. FREE FROM FAULTS AND DEFECTS. ALL MATERIALS AND EQUIPMENT MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY AND QUANTITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MANAGING AND FINISHING CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
- ALL PROPOSED CELLULAR EQUIPMENT AND FIXTURES SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTERFERED CONSTRUCTION ACTIVITIES INCLUDING THE PRESENT LEASING AGENCY FOR APPROVAL.
- RADIO EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.



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DATE	DESCRIPTION
11/17/09	ISSUED PER LOAN COMMENTS
11/18/09	ISSUED PER LOAN COMMENTS
10/21/09	ISSUED PER LOAN COMMENTS
10/09/09	ISSUED FOR CONSTRUCTION
08/17/09	ISSUED FOR CONSTRUCTION

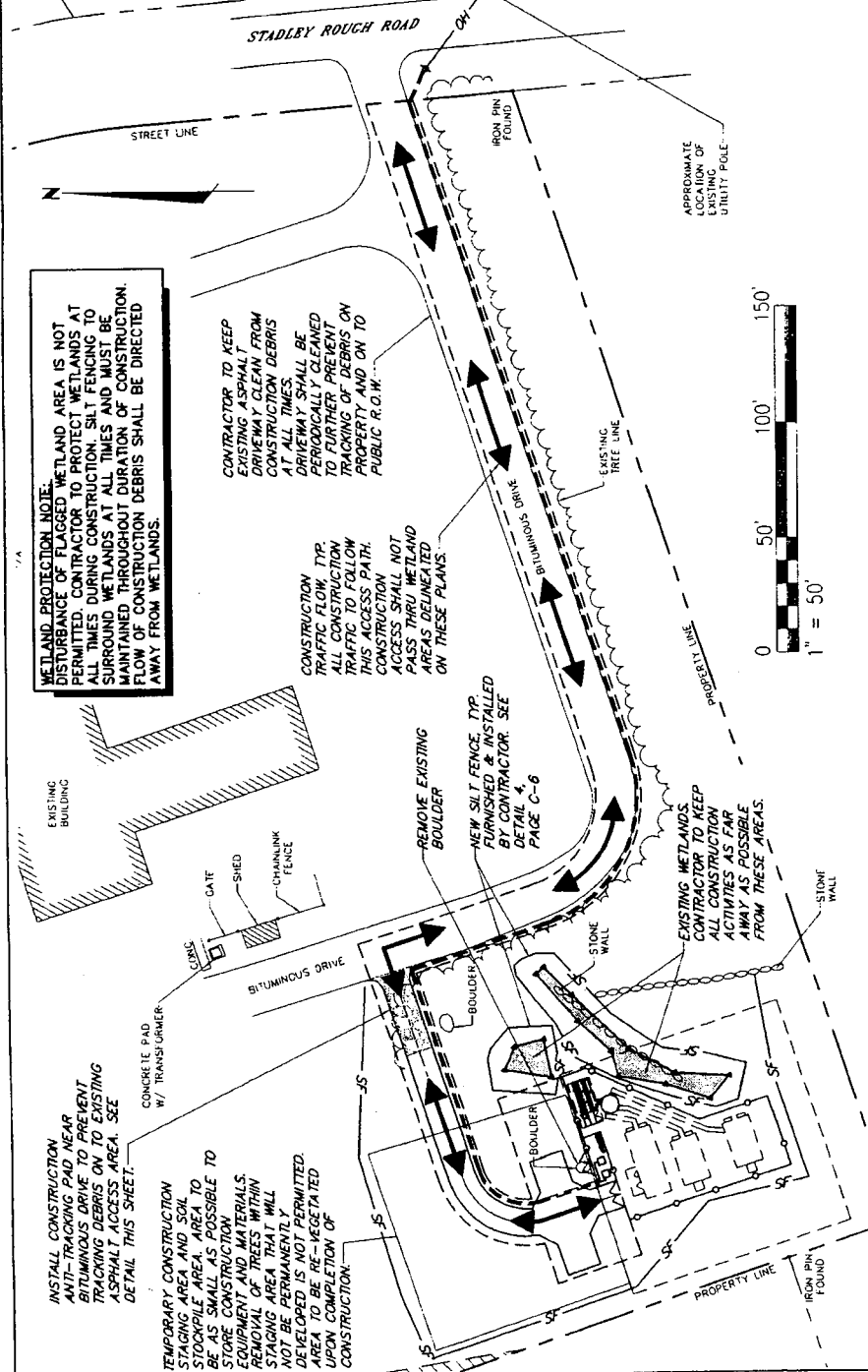
PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	CONSTRUCTION PHASING PLAN AND NOTES

DRAWING NO.	C-1A
REVISION	E

CONSTRUCTION PHASING NOTES:

- CONTRACTOR TO FOLLOW THE FOLLOWING CONSTRUCTION PHASING AS CLOSELY AS POSSIBLE.
1. MOBILIZATION: BRING MATERIAL AND EQUIPMENT TO SITE. ALL TRAFFIC AND ACTIVITIES MUST BE INSIDE ACCESS PATH DELINEATED WITHIN STAGING AND STOCKPILE AREA, OR WITHIN AREA DELINEATED FOR CONSTRUCTION. CONTRACTOR TO PROTECT WETLANDS FROM DISTURBANCE AT ALL TIMES AND NO CONSTRUCTION ACTIVITIES OR UNLOADING SHALL OCCUR IN THE WETLANDS.
 2. INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROL BARRIERS
 3. CLEAR AND ROUGH GRADE THE ACCESS DRIVEWAY AND EQUIPMENT COMPOUND
 4. EXCAVATE FOR TOWER FOUNDATION AND UTILITIES
 5. INSTALL FORMS, STEEL REINFORCING AND CONCRETE FOR TOWER FOUNDATION
 6. INSTALL BURIED GROUND RINGS, GROUND RODS, GROUND LEADS, UTILITIES CONDUITS, AND UTILITY EQUIPMENT
 7. BACK FILL FOUNDATION AND UTILITY TRENCHES
 8. ERECT TOWER OR MONOPOLE
 9. INSTALL TELECOMMUNICATIONS EQUIPMENT ON TOWER AND IN COMPOUND
 10. INSTALL COMPOUND AND ROAD GRAVEL SURFACES
 11. INSTALL FENCING
 12. CONNECT GROUNDING LEADS AND LIGHTNING PROTECTION
 13. FINAL GRADE AROUND COMPOUND AND ROAD
 14. INSTALL LANDSCAPING AND MULCH
 15. LOAM AND SEED DISTURBED AREAS OUTSIDE COMPOUND AND ACCESS DRIVEWAY
 16. REMOVE SILT FENCING AFTER SEEDED AREAS HAVE ESTABLISHED VEGETATION
 17. FINAL CLEANUP AND EQUIPMENT TESTING

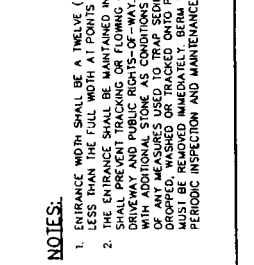
THE ESTIMATED TIME FOR COMPLETION OF THE WORK SHALL BE A TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT WHICH MAY BE PERIODIC FOR DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY OR ASPHALT DRIVEWAY SHALL BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.



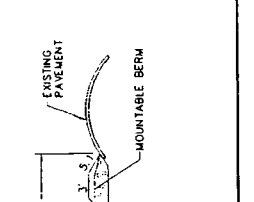
NOTES:

1. ENTRANCE WIDTH SHALL BE A TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT WHICH MAY BE PERIODIC FOR DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY OR ASPHALT DRIVEWAY SHALL BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

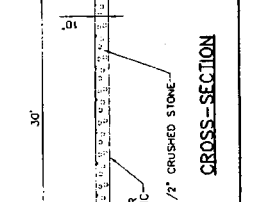
1 SITE PLAN



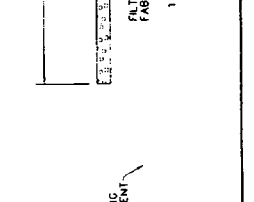
2 CONSTRUCTION DEBRIS ANTI-TRACKING PAD



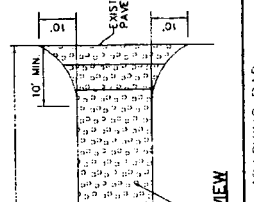
CROSS-SECTION



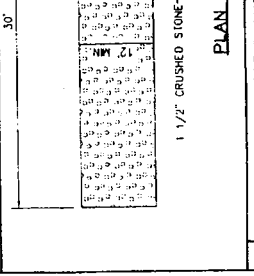
PLAN VIEW



1 1/2" CRUSHED STONE



10' MIN





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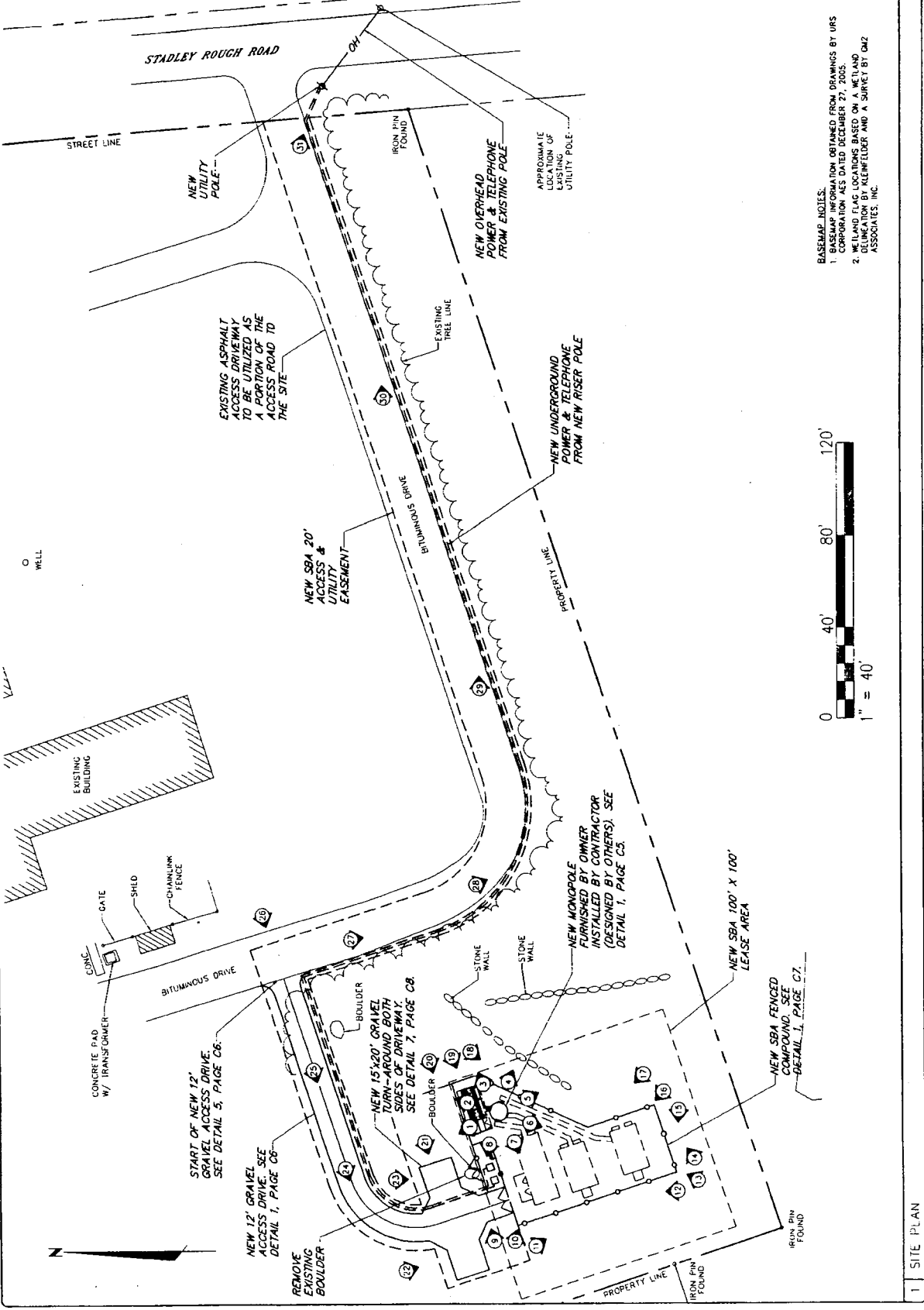
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DATE PROJECT: 15363-1030-1601
 DRAWN BY: PML
 CHECKED BY: JPS

REVISIONS	
NO.	DATE
1	11/20/05
2	12/21/05
3	12/29/05
4	12/29/05
5	02/17/06
6	02/17/06

REVISIONS	
NO.	DATE
7	02/17/06
8	02/17/06
9	02/17/06
10	02/17/06
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PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	PHOTO PLAN
DRAWING NO.	C-2
REVISION	D



BASEMAP NOTES:
 1. BASEMAP INFORMATION OBTAINED FROM DRAWINGS BYURS CORPORATION, AS DATED DECEMBER 27, 2005.
 2. WETLAND FLAG LOCATIONS BASED ON A WETLAND DELINEATION BY KLEINFELDER AND A SURVEY BY CH2 ASSOCIATES, INC.

1 SITE PLAN

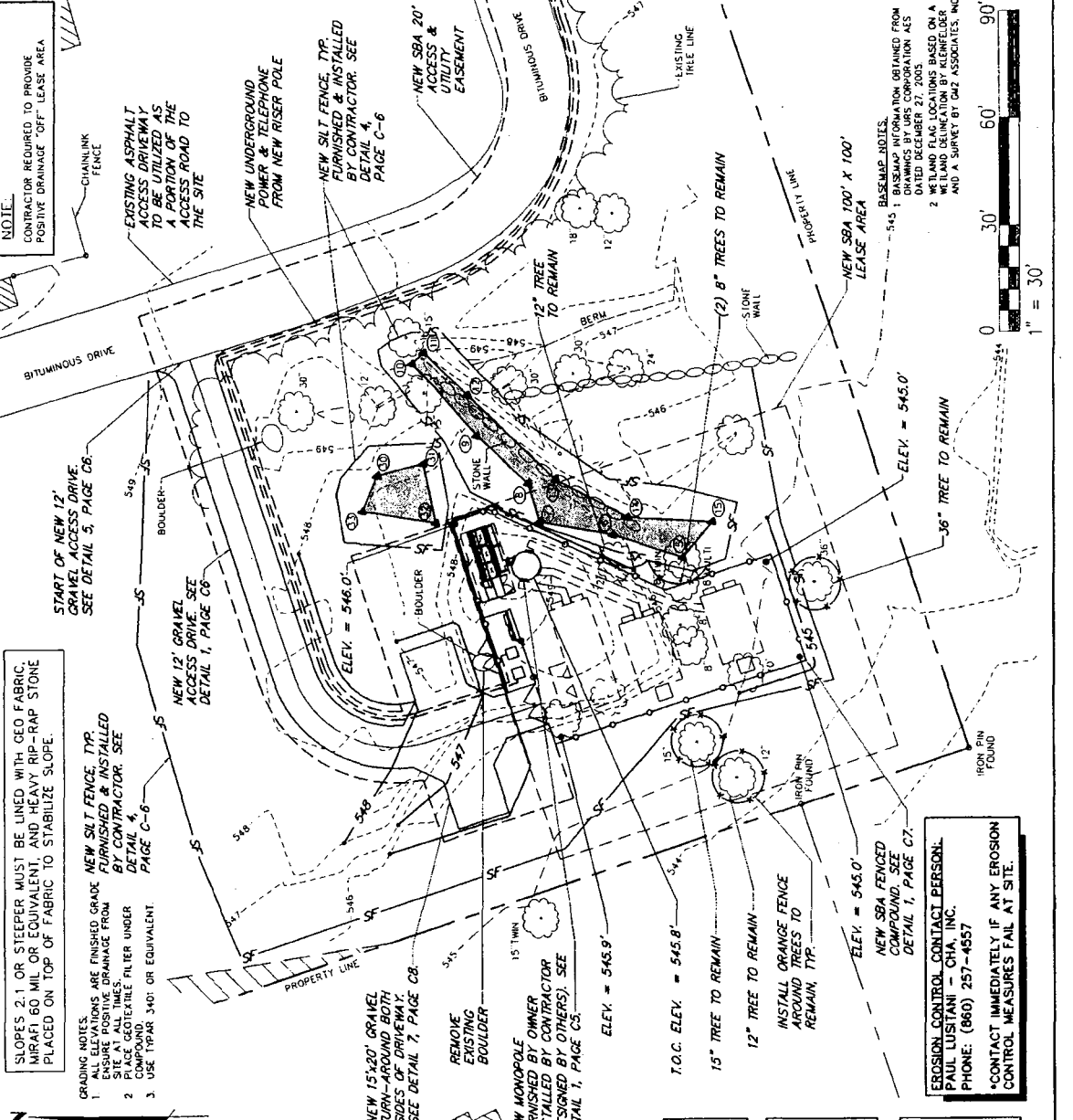
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 PARKWAY, NY 11757
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 2100 Main Street, Suite 311, New York, NY 10028
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DATE PROJECT	12/28/00-1601	
DRAWN BY	PA	
CHECKED BY	JF	
REVISIONS		
NO.	DATE	DESCRIPTION
1	12/28/00	ISSUED FOR PERMITS
2	12/28/00	ISSUED FOR PERMITS
3	12/28/00	ISSUED FOR PERMITS
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5	12/28/00	ISSUED FOR PERMITS
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10	12/28/00	ISSUED FOR PERMITS
11	12/28/00	ISSUED FOR PERMITS
12	12/28/00	ISSUED FOR PERMITS

PROJECT NO. 15363-1030-1601
 SITE NAME DANBURY-1
 SITE NUMBER CT-13549
 SITE ADDRESS 52 STANLEY ROUGH ROAD DANBURY, CT 06811
 DESIGN TYPE RAW LAND
 SHEET TITLE SITE GRADING PLAN
 DRAWING NO. C-3
 REVISION E



EROSION CONTROL NOTES:

- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH STATE OF CONNECTICUT GUIDELINES FOR EROSION CONTROL. EROSION CONTROL MEASURES SHALL BE MAINTAINED WITH THE TOWN/COUNTY CODE ENFORCEMENT OFFICER.
- TEMPORARY SILT FENCE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT SITE CONSTRUCTION. STOCK PILE ON SITE 100 FT. OR MORE FROM EXISTING OR PROPOSED EROSION CONTROL BARRIERS SHALL BE PLACED UNTIL PERMANENT VEGETATIVE GROUND COVER IS ESTABLISHED.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF THE EQUIPMENT LEASE AREA AND ACCESS ROADWAY SHALL BE PERMANENTLY ESTABLISHED WITH A VEGETATIVE GROUND COVER.
- STILLING BASIN SHALL BE UTILIZED FOR ANY DE-WATERING OPERATIONS WHICH MAY OCCUR DURING CONSTRUCTION.
- PROPOSED CONSTRUCTION IMPACTS AND PERMANENT IMPROVEMENTS SHALL NOT SIGNIFICANTLY IMPACT STORM WATER RUNOFF PATTERNS, VOLUME OR PEAK FLOW RATES. THE FLAT GRADE OF THE EQUIPMENT LEASE AREA AND STONE CONTOUR OF THE STORMWATER COLLECTION SYSTEM SHALL BE MAINTAINED.
- CONTRACTOR SHALL TAKE ALL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY GRADING ACTIVITIES IN LOCATIONS SHOWN ON THIS PLAN.
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN NEARLY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FABRIC.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED TO THE SHORTEST PRACTICAL PERIOD OF TIME AND BE SHALL NOT EXCEED 10 DAYS. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION, SHALL BE PROTECTED WITH STRAW MULCH. STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDING AREAS AT A RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPILLED, AIR-DRIED, AND FREE FROM WEED, SEEDS, AND ANY COARSE MATERIAL.

LAND DISTURBANCE NOTE:
 0.04 ACRES OF LAND WILL BE DISTURBED DURING CONSTRUCTION ACTIVITIES, WHICH IS BELOW THE 0.5 ACRE LIMIT NOTED ON PAGE 3 OF THE 2002 CT EROSION AND SEDIMENT CONTROL GUIDELINES.

TREE NOTE: ALL TREES TO REMAIN NEED TO BE TAGGED IN THE FIELD PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT TREES TO REMAIN FROM DAMAGE. CONTRACTOR TO INSTALL ORANGE SNOW FENCING SECURED TO WOOD STAKES AROUND TREES TO REMAIN AS SHOWN ON PLAN THIS SHEET.

WETLAND PROTECTION NOTE:
 DISTURBANCE OF FLAGGED WETLAND AREA IS NOT PERMITTED. CONTRACTOR TO PROTECT WETLANDS AT ALL TIMES DURING CONSTRUCTION. SILT FENCING TO SURROUND WETLANDS AT ALL TIMES. WETLANDS MUST BE MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION. CONSTRUCTION DEBRIS SHALL BE DIRECTED AWAY FROM WETLANDS.

BASEMAP NOTES:
 1. BASEMAP OBTAINED FROM DANBURY, CT CORPORATION. DATED DECEMBER 27, 2005.
 2. WETLAND FLAG LOCATIONS BASED ON A WETLAND DELINEATION BY KLENFELDER AND A SURVEY BY CAZ ASSOCIATES, INC.

EROSION CONTROL CONTACT PERSON:
 PAUL LUSTANI - CHA, INC.
 PHONE: (860) 257-6557

*CONTACT IMMEDIATELY IF ANY EROSION CONTROL MEASURES FAIL AT SITE.

1" = 30'

0 30' 60' 90'

1 SITE GRADING PLAN



SBA
TOWERS I LLC
SBA TOWERS II LLC
SBA TOWERS III LLC
BOOK NATION, FL 33487-7197
TEL: (561) 228-9123
FAX: (561) 228-9268



1100 Main Street, Suite 212, Walling, CT 06491-2284
www.cha.com

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DATE PROJECT E. 15/03-10/09-10/11
DRAWN BY: PHL
CHECKED BY: JPS

REVISIONS	
NO.	DESCRIPTION
1	11/20/09 ISSUED PER OWNER COMMENTS
2	10/21/09 ISSUED PER OWNER COMMENTS
3	10/09/09 ISSUED TOWER FOUNDATION
4	09/21/09 ISSUED FOR CONSTRUCTION
5	DATE
6	DESCRIPTION

PROJECT NO. 15363-1030-1601
SITE NAME DANBURY-1

SITE NUMBER CT13549

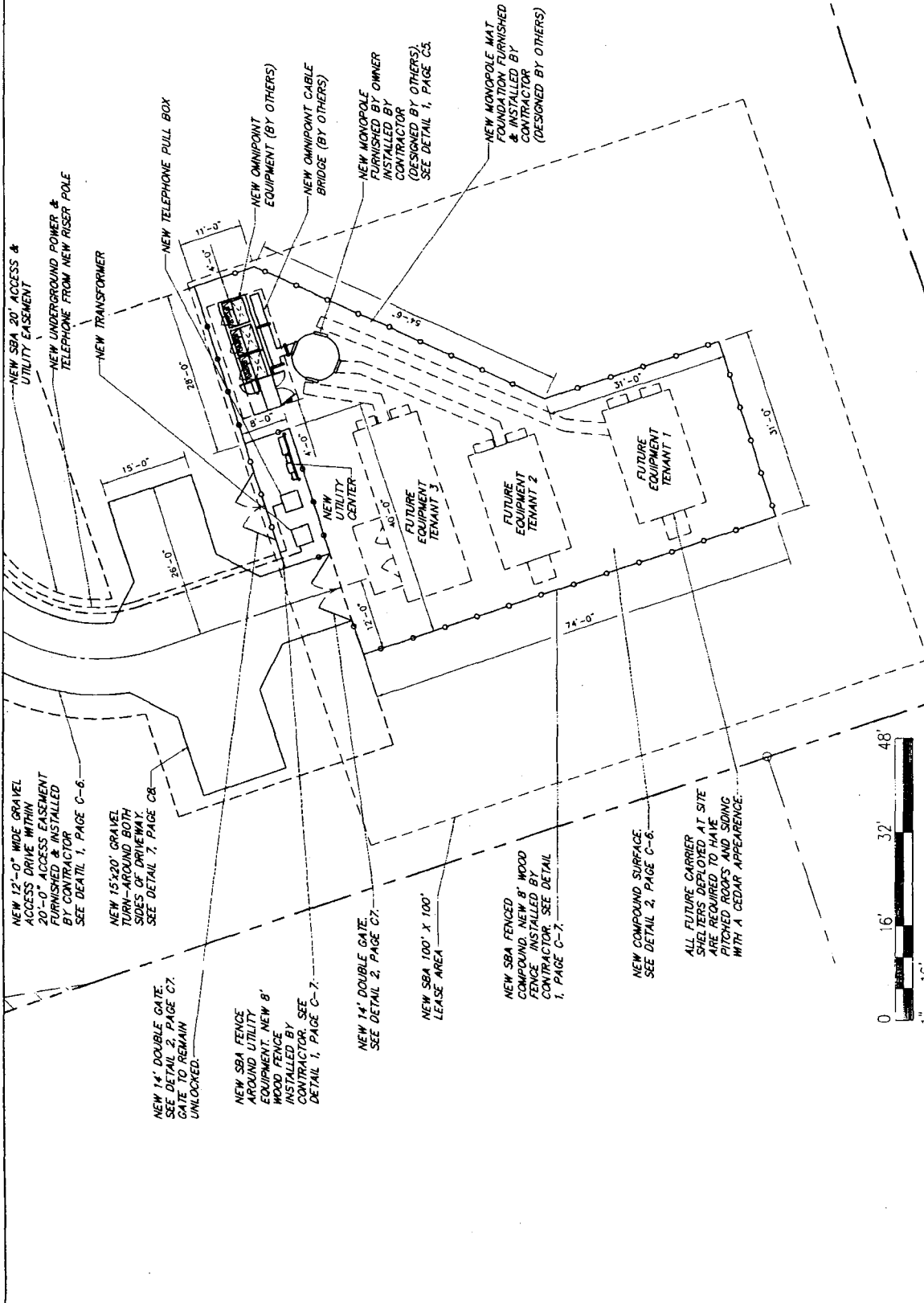
SITE ADDRESS 52 STADLEY ROUGH ROAD
DANBURY CT 06813

DESIGN TYPE RAW LAND

SHEET TITLE ENLARGED SITE PLAN

DRAWING NO. C-4

REVISION D



SBA

SBA TOWERS I LLC
 5900 BROADWAY SOUND
 BOCA RATON, FL 33487-7197
 TEL: (561) 238-8523
 FAX: (561) 238-9368

CHA

1100 Main Street, Suite 210, Danbury, CT 06811
 TEL: (860) 341-1100

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ALL PROJECTS: 15363-1030-1601
 DRAWN BY: PAL
 CHECKED BY: JPS

REVISIONS

NO.	DATE	REVISION
1	11/20/09	REVISED PER TOWN COMMENTS
2	12/7/09	REVISED PER TOWN COMMENTS
3	12/22/09	REVISED PER TOWN COMMENTS
4	02/17/10	REVISED PER TOWN COMMENTS
5	02/17/10	REVISED PER TOWN COMMENTS
6	02/17/10	REVISED PER TOWN COMMENTS
7	02/17/10	REVISED PER TOWN COMMENTS

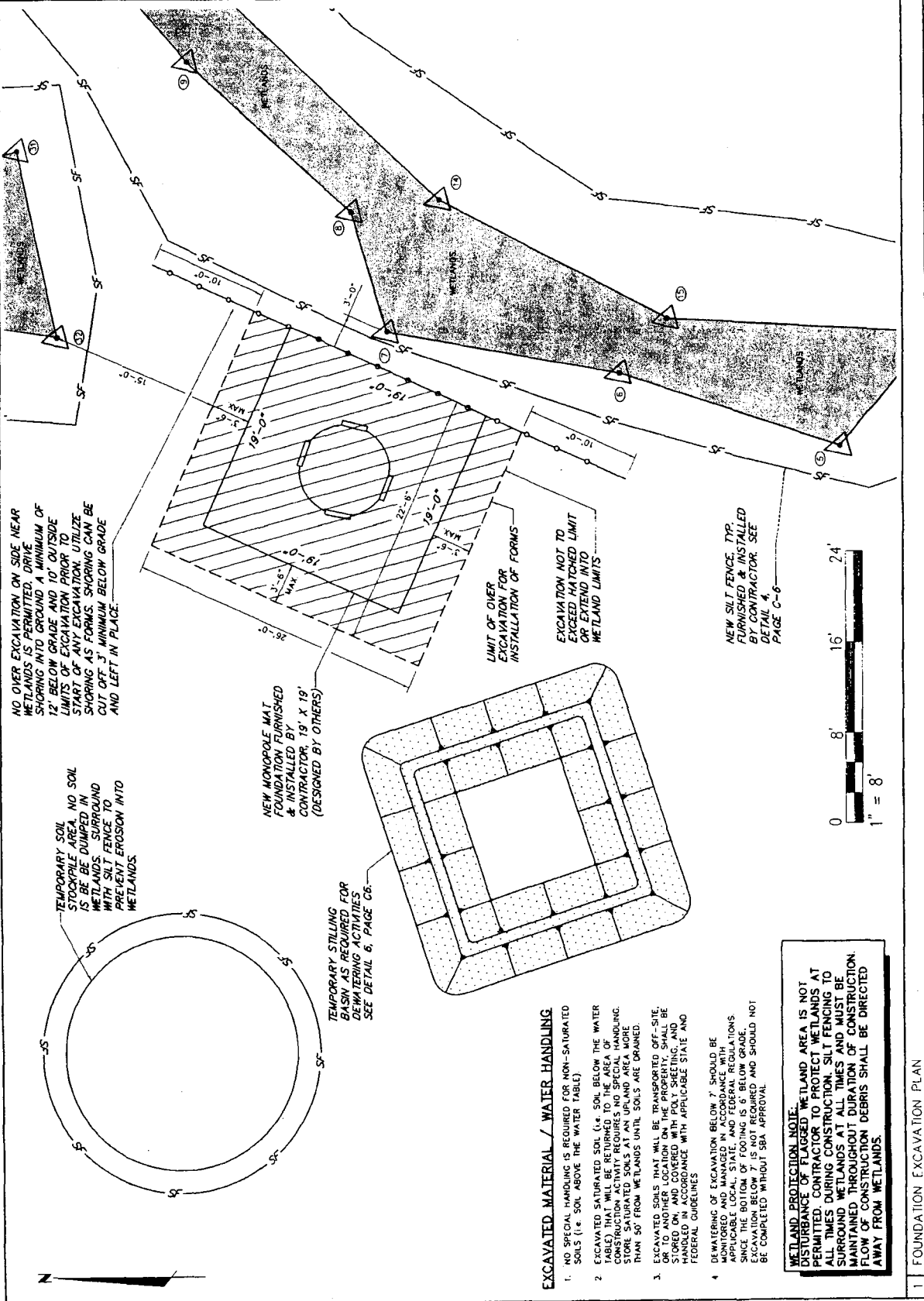
PROJECT NO.: 15363-1030-1601
 SITE NAME: DANBURY-1

SITE NUMBER: CT13549
 SITE ADDRESS: 52 STADLEY ROUGH ROAD
 DANBURY, CT 06811

DESIGN TYPE: RAW LAND

SHEET TITLE: FOUNDATION EXCAVATION PLAN

DRAWING NO.: C-4A
 REVISION: D



EXCAVATED MATERIAL / WATER HANDLING

- NO SPECIAL HANDLING IS REQUIRED FOR NON-SATURATED SOILS (i.e. SOIL ABOVE THE WATER TABLE)
- EXCAVATED SATURATED SOIL (i.e. SOIL BELOW THE WATER TABLE) THAT WILL BE RETURNED TO THE AREA OF CONSTRUCTION ACTIVITY REQUIRES NO SPECIAL HANDLING. STORE SATURATED SOILS AT AN UPLAND AREA MORE THAN 50' FROM WETLANDS UNTIL SOILS ARE DRAINED.
- EXCAVATED SOILS THAT WILL BE TRANSPORTED OFF-SITE, OR TO ANOTHER LOCATION ON THE PROPERTY, SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL GUIDELINES.
- DEWATERING OF EXCAVATION BELOW 1' SHOULD BE PERMITTED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. SINCE THE BOTTOM OF FOOTING IS 6' BELOW GRADE, EXCAVATION BELOW 7' IS NOT REQUIRED AND SHOULD NOT BE COMPLETED WITHOUT SBA APPROVAL.

WETLAND PROTECTION NOTE:
 DISTURBANCE OF FLAGGED WETLAND AREA IS NOT PERMITTED. CONTRACTOR TO PROTECT WETLANDS AT ALL TIMES DURING CONSTRUCTION. SILT FENCING TO SURROUND WETLANDS AT ALL TIMES AND MUST BE MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION. FLOW OF CONSTRUCTION DEBRIS SHALL BE DIRECTED AWAY FROM WETLANDS.

SBA
 SBA INGENIER LLC
 2960 BROWER SOUND
 PARKWAY, NW
 BOCA RATON, FL 33433
 TEL: (561) 226-9523
 FAX: (561) 226-9388

CHIA
 Drawing Complete 08/19/09
 1180 Morris Avenue, Suite 212, Irving, NJ 07033
 Tel: (973) 967-7600

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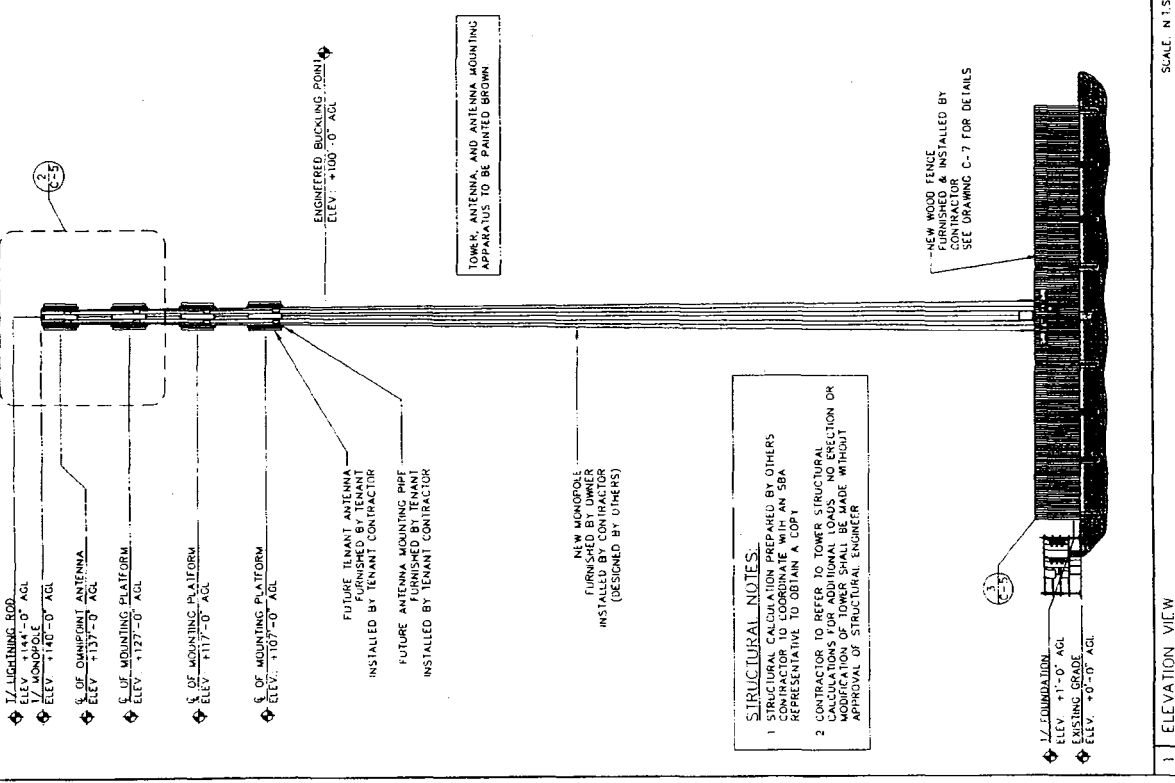
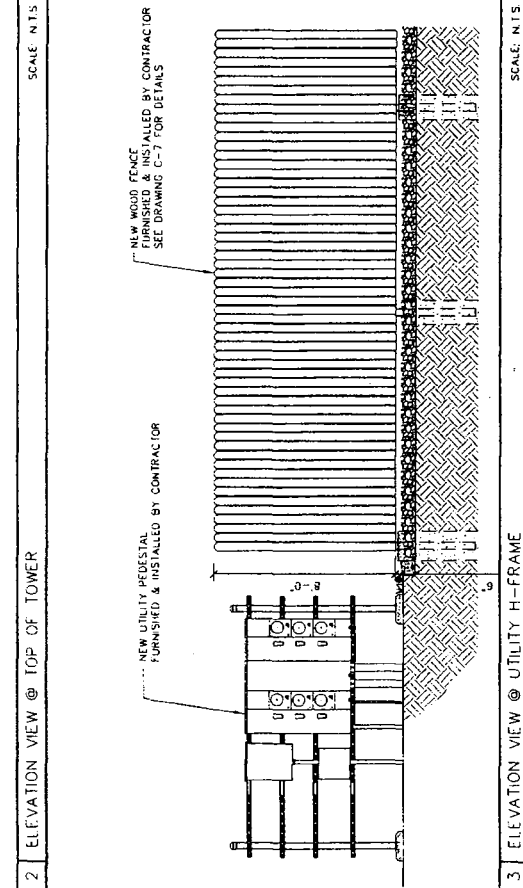
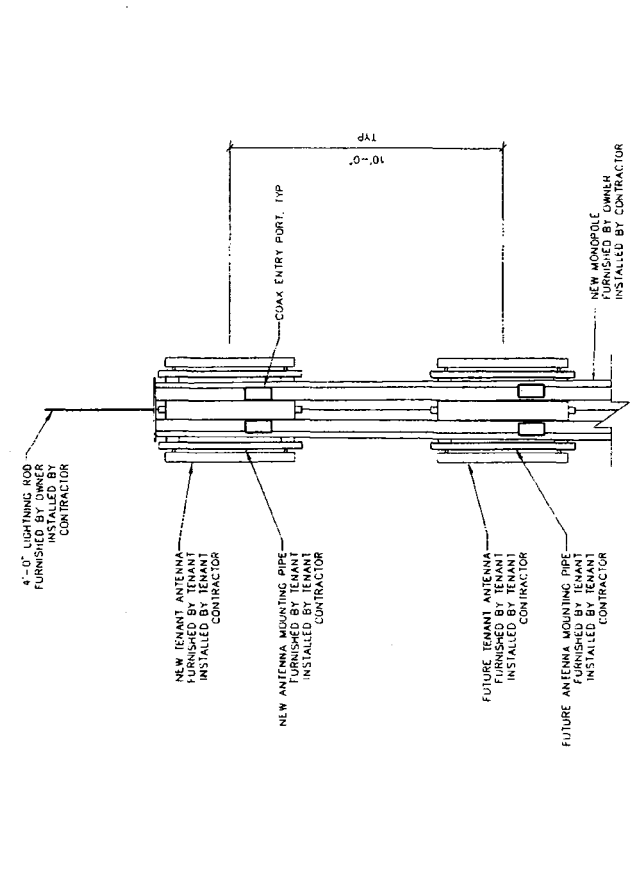
DATE PROJECT # 10/21/09
 DRAWN BY PAJ
 CHECKED BY JPE

REVISIONS

NO	DATE	DESCRIPTION
1	10/21/09	REVISED PER ITEM COMMENTS
2	10/21/09	REVISED PER ITEM COMMENTS
3	10/21/09	REVISED PER ITEM COMMENTS
4	10/21/09	REVISED PER ITEM COMMENTS
5	10/21/09	ISSUED FOR CONSTRUCTION

PROJECT No. 15363-1030-1601
 SITE NAME DANBURY-1
 SITE NUMBER CT13549
 SITE ADDRESS 52 STADLEY ROUGH ROAD DANBURY, CT 06811
 DESIGN TYPE RAW LAND

SHEET TITLE SITE ELEVATIONS
 DRAWING NO. C-5
 REVISION D



1 | ELEVATION VIEW

SBA
SBA TOWERS & LLC
5900 BROOKLYN SOUND
BOCA RATON, FL 33487-2797
TEL: (561) 228-9523
FAX: (561) 228-9388

CHA
210 West Ocean Boulevard, Suite 112, Pompano Beach, FL 33062-4008
Tel: (954) 781-6222

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PROJECT #	15363-1030-1601
DRAWN BY	PAL
CHECKED BY	JPS

DATE	REVISION
11/20/09	REVISED PER OWNER COMMENTS
10/27/09	REVISED PER OWNER COMMENTS
10/08/09	REVISED TOWER FOUNDATION
08/27/09	ISSUED FOR CONSTRUCTION
08/27/09	DATE OF REVISION

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	SITE DETAILS
DRAWING NO.	C-6
REVISION	D

SBA TOWERS
24"x18" SF C-X PLASTIC (TEMP)
SBA TOWERS & LLC
5900 BROOKLYN SOUND
BOCA RATON, FL 33487-2797
TEL: (561) 228-9523
FAX: (561) 228-9388

SBA TOWERS
24"x18" SF C-X PLASTIC (TEMP)

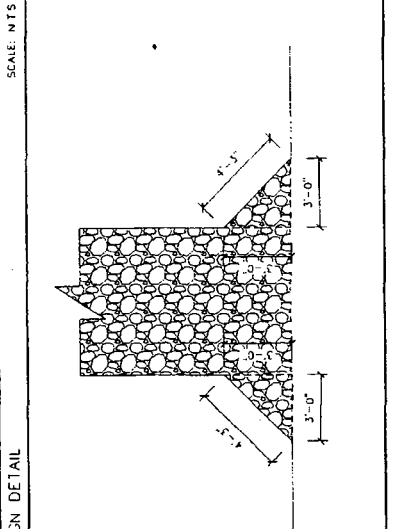
NO TRESPASSING
AUTHORIZED PERSONNEL ONLY
NO DOCK CLIMBING
NO TOWER WALKING
ANTENNAS MAY BE DAMAGED BY IMPROPER HANDLING

CAUTION
12"x24" D40 ALUMINUM

PLEASE KEEP GATE CLOSED
18"x12" D40 ALUMINUM

NOTE: TO POST THE TEMPORARY SIGNS PRIOR TO SITE CONSTRUCTION

FCC # 1215412
4"x18" D40 ALUMINUM



NOTE: WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELLED AREA WITH A 35" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

NEW 3" THICK (MIN.) #57 WASHED STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

NEW 6 MIL W/RAFI #500 APPROVED EQUAL

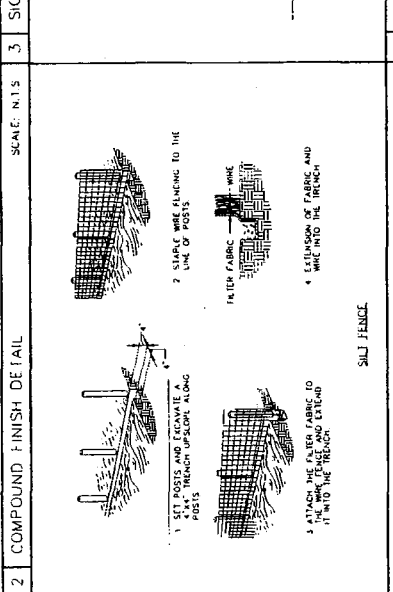
NEW 3" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

SUITABLE UNDISTURBED SUBGRADE REMOVE ALL ORGANIC OR UNSUITABLE MATERIAL AND COMPACT TO SOFT OF MAKE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

1" MIN

NEW 6 MIL W/RAFI #500 APPROVED EQUAL

NEW 3" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)



NOTE: WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELLED AREA WITH A 35" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

FIELD VERIFY W/PROJ. MGR. - CROWN ELEV. +1.3'

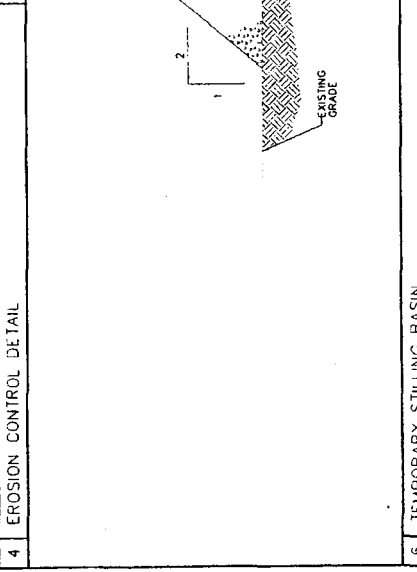
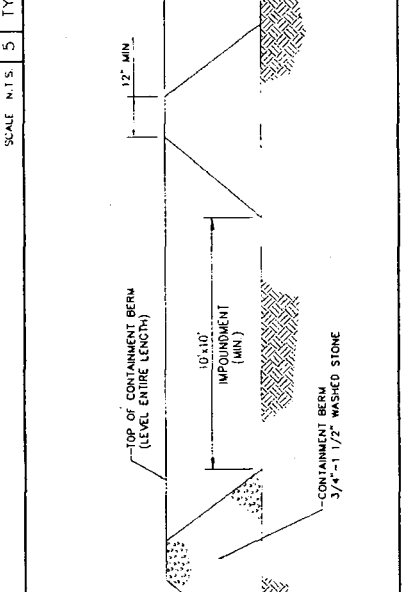
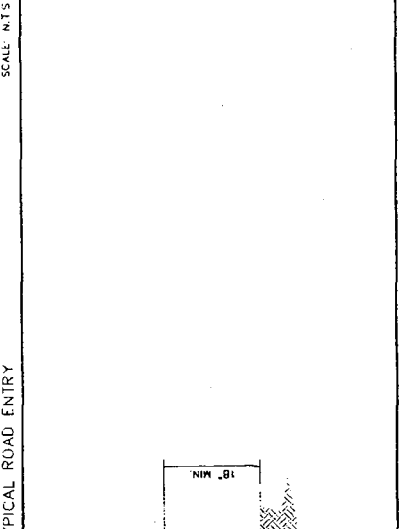
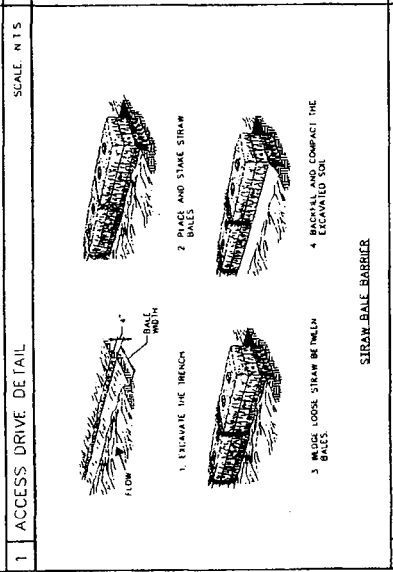
BASE ELEV. 0'-0"

NEW 6 MIL W/RAFI #500 APPROVED EQUAL

NEW 3" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

NEW 6 MIL W/RAFI #500 APPROVED EQUAL

NEW 3" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)





SBA TOWERS II, LLC
5800 BROOKS SOUND
BOCA RATON, FL 33487-2787
TEL: (561) 228-9523
FAX: (561) 228-9386



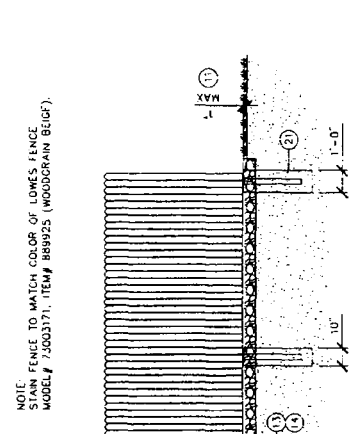
118 New York Ave., Suite 200, Danbury, CT 06810
Tel: (203) 753-1111
Fax: (203) 753-1112

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DATE PROJECTED	13/05/10 (10/10)
DRAWN BY	PAL
CHECKED BY	APS

REVISIONS	
NO.	DESCRIPTION
1	11/20/09 REVISED PER OWNER COMMENTS
2	10/17/09 REVISED PER OWNER COMMENTS
3	10/06/09 REVISED TOWER FOUNDATION
4	09/17/09 ISSUED FOR CONSTRUCTION

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
TITLE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	FENCE DETAILS
DRAWING NO.	C-7
REVISION	D



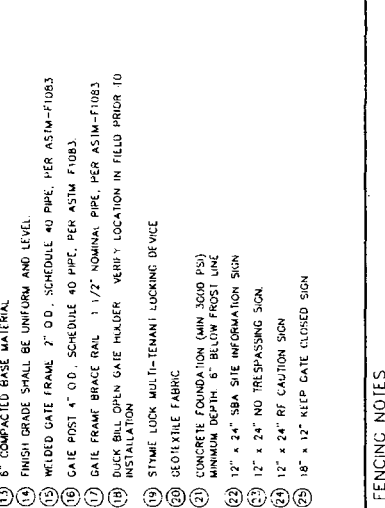
NOTE: STAIN FENCE TO MATCH COLOR OF LOWES FENCE MODEL 73003171, ITEM# 889925 (WOODGRAIN BOUG).
SCALE: N.T.S.

GENERAL NOTES:

1. INSTALL SWING GATES PER ASTM F-567
2. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
3. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF ZINC RICH (OR EQUIV).
4. ALL OPEN POSTS SHALL HAVE END CAPS
5. USE GALVANIZED LAC SCREW TO MOUNT ALL SIGNS
6. ALL SIGNS MUST BE MOUNTED ON EXTERIOR OF WOOD FENCE.
7. MUSHROOM ANCHOR & PLUNGER REQUIRED FOR GATE
8. G.C RESPONSIBLE FOR SEA GATE LOCK

BALLOON REFERENCE NOTES:

1. CORNER, END OR PULL POST: 3" O.D. SCHEDULE 40 PIPE
2. LINE POST: 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM F1083 LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
3. TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM-F1083
4. 5/8" X 6" X 8'-0" DOG EAR WOOD FENCE BOARD, NAIL TO 2 X 4 WITH GALVANIZED SPIRAL NAILS.
5. TIE WIRE: 9 GA ALUMINUM A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/GATES AND 24" NAILS/WIRE
6. TENSION WIRE: 9 GA ALUMINUM
7. BARBED WIRE: NOT REQUIRED
8. 3/16" X 3/4" (MIN) FULL HEIGHT STRETCHER BAR THREADED ROD.
9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL WOOD 2 X 4 SECURE TO POSTS WITH A GALVANIZED CLIP AND A U-BOLT 1" MINIMUM CLEARANCE FROM FINISH GRADE.
10. FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE.
11. FINISH GRADE SHALL BE UNIFORM AND LEVEL.
12. WELDED GATE FRAME: 2" O.D. SCHEDULE 40 PIPE, PER ASTM-F1083
13. GATE POST: 4" O.D. SCHEDULE 40 PIPE, PER ASTM F1083
14. GATE FRAME BRACE RAIL: 1 1/2" NOMINAL PIPE, PER ASTM-F1083
15. DUCK BILL OPEN GATE HULLER: VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION
16. STYME LOCK MULTI-TENANT LOCKING DEVICE
17. URETEXILE FABRIC
18. CONCRETE FOUNDATION (MIN 3500 PSI) MINIMUM DEPTH: 6" BELOW FROST LINE
19. 12" X 24" SBA SITE INFORMATION SIGN
20. 12" X 24" NO TRESPASSING SIGN
21. 12" X 24" RT CAUTION SIGN
22. 18" X 12" KEEP GATE CLOSED SIGN



DOUBLE-SWING GATE DETAIL

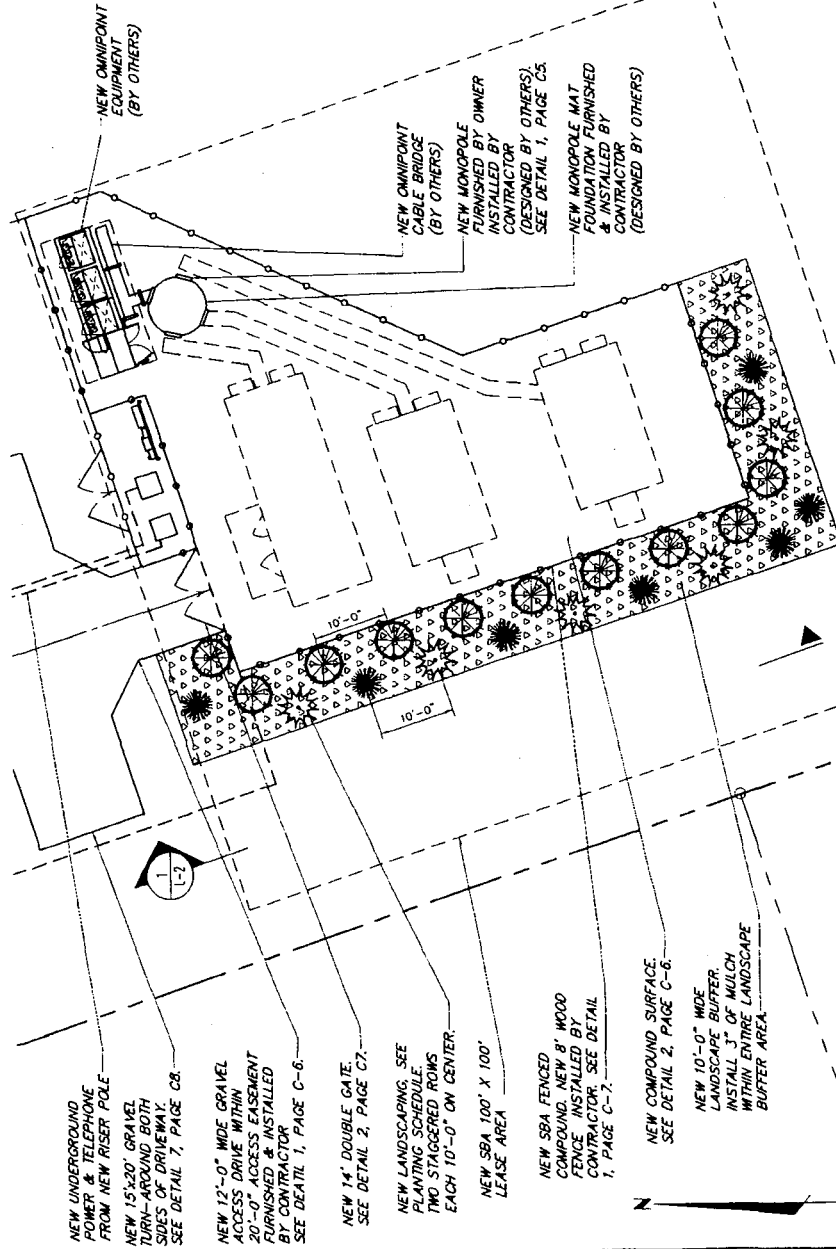
SCALE: 1/2" = 1'-0"

4 NOTES

6 FENCING NOTES

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	SYMBOL	REMARKS
TC	12	TAXUS CUSPIDATA "CAPITIATA"	CAPITIATA YEW	8'-0" TALL	B & B	10'-0" O.C.		FULL TO BASE
WP	7	THUJA OCC. "TECHNY"	MISSION ARBORVITAE	8'-0" TALL	B & B	10'-0" O.C.		FULL TO BASE
JV	6	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-0" TALL	B & B	10'-0" O.C.		FULL TO BASE



SEEDING NOTES:
 1. ALL DISTURBED AREAS SHALL BE SOAK AND SEEDED WITH THE FOLLOWING SEEDING MIX:
 50% MASSAW KENTUCKY BLUEGRASS
 25% P-100 KENTUCKY BLUEGRASS
 25% P-100 KENTUCKY BLUEGRASS
 20% THE TURTLE RYE
 2. WEED SEED CONTENT SHALL NOT EXCEED 0.25%
 3. THE SEED MIXTURE SHALL BE DISTRIBUTED BY MEANS OF HYDRO-SEEDING.
 4. THE FERTILIZER SHALL BE A 3-10-5 COMMERCIAL GRADE FERTILIZER APPLIED AT THE MANUFACTURER'S RECOMMENDED APPLICATION RATE
 5. SEEDING APPLICATION RATE SHALL BE 5 LBS PER 1,000 SQ. FT.

TOPSOIL NOTES:
 1. ALL DISTURBED AREAS TO BE SEED OR PLANTED SHALL RECEIVE TOPSOIL, 16" MINIMUM DEPTH)
 2. TOPSOIL SHALL CONSIST OF FERTILE, FRABLE, NATURAL LOAM FREE OF SUBSOL, CLAY LUMPS, BRUSH, STONES OR OTHER DELETERIOUS MATERIALS LARGER THAN 2" IN DIAMETER AND MEETING THE FOLLOWING GRADATION, pH AND ORGANIC CONTENT REQUIREMENTS:
 GENERAL PASSING:
 75% - 100
 5% - 75
 NO 200
 85-100
 20-60
 pH RANGE: 5.5 - 7.5
 ORGANIC CONTENT: 2% - 20%

3. APPROVED TOPSOIL SHALL BE TESTED BY INDEPENDENT TESTING FACILITY WITH TEST RESULTS SUBMITTED TO THE ENGINEER FOR APPROVAL. CONTRACTOR SHALL PAY FOR ALL TESTING. ACCEPTANCE OF TOPSOIL SHALL BE BASED UPON TEST RESULTS. ONE TEST SHALL BE PERFORMED PER 100 CY OF TOPSOIL.
 4. NATURAL TOPSOIL MAY BE AMENDED WITH APPROVED MATERIALS, BY APPROVED METHODS, TO MEET THE ABOVE SPECIFICATIONS.

MULCH:
 ALL PLANTINGS AND PLANTING BEDS SHALL RECEIVE 1" OF BARK MULCH AS SHOWN ON PLANS.
 2. ALL PLANTING BED EDGES SHALL HAVE A 4" TRENCH OF BARK MULCH TO MAINTAIN A CLEAN EDGE BETWEEN LAWN AREAS AND PLANTED BED AREAS.

GUARANTEE:
 THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR THE REPLACEMENT OF ANY PLANT MATERIALS THIS GUARANTEE SHALL BEGIN AT THE POINT OF SUBSTANTIAL COMPLETION AND EXTEND FOR A PERIOD NOT LESS THAN ONE (1) YEAR. ALL PLANT MATERIALS, INSTALLATION AND MAINTENANCE SHALL BE INCLUDED.

NOTE:
 CERTIFICATE HOLDER SHALL REMAIN LIABLE AND RESPONSIBLE FOR THE REPLACEMENT OF DEAD OR DISEASED TREES AND SHRUBS OR THREE ADDITIONAL YEARS FOLLOWING THE GUARANTEE PERIOD HEREIN SO INDICATED. AT THE EXPIRATION OF THE TOTAL THREE YEAR PERIOD FOLLOWING THE EXPIRATION OF THE GUARANTEE PERIOD, THE CITY MAY REQUIRE REPLACEMENT OF DEAD OR DISEASED TREES AND SHRUBS WITH THE SAME SPECIES AT ITS SOLE DISCRETION. UNLESS OTHERWISE SPECIFIED, SUCH DISCRETION SHALL NOT BE UNREASONABLY IMPOSED. ADDITIONALLY, DURING THE SAME THREE YEAR PERIOD, THE CITY SITING COUNCIL MAY REQUIRE THE CERTIFICATE HOLDER TO REPLACE TREES OR SHRUBS WITH ALTERNATE SPECIES AT THE CITY'S REQUEST OR IN ITS SOLE DISCRETION UPON NOTICE TO THE CITY, WHICH SUCH DISCRETION SHALL NOT BE UNREASONABLY IMPOSED. WHEN IT DETERMINES AN ALTERNATE SPECIES WOULD PROVIDE SIMILAR SCREENING AND PROVE HARDIER CONSIDERING CLIMATE, SOIL AND OTHER APPLICABLE CONDITIONS, CERTIFICATE HOLDER SHALL AS SOON AS POSSIBLE, WEATHER PERMITTING, REPLACE OR CAUSE TO BE REPLACED, SUCH DEAD OR DISEASED TREES OR SHRUBS.



SBA
 SBA TOWERS II LLC
 9600 BROOKLYN SOUND
 BOCA RATON, FL 33487-2197
 TEL: (561) 235-8533
 FAX: (561) 222-3588

CHA
 CHA Landscape Group
 2100 Main Street, Suite 113, Danbury, CT 06811
 TEL: (203) 753-1200

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DATE PROJECTED	15363-1030-1601
DRAWN BY	PAL
CHECKED BY	JPS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/02/10	REVISED PER COMMENTS
2	11/22/09	REVISED PER TOWN COMMENTS
3	10/21/09	REVISED PER TOWN COMMENTS
4	10/27/09	REVISED TOWER FOUNDATION
5	09/27/09	ISSUED FOR CONSTRUCTION

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND

SHEET TITLE	LANDSCAPE PLAN
DRAWING NO.	L-1
REVISION	E

SBA
 SBA TOWERS II LLC
 5900 BROOKEN SOUND
 BOCA RATON, FL 33487-2797
 TEL: (561) 224-9523
 FAX: (561) 224-1268

CHA
 City of Danbury
 218 STATE STREET, DANBURY, CT 06811
 TEL: (860) 346-2000
 FAX: (860) 346-2000

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DATE PROJECT F. 12/21/09
 DRAWN BY PAL
 CHECKED BY JPS

REVISIONS

NO.	DATE	DESCRIPTION
1	11/21/09	REVISED PER TOWN COMMENTS
2	10/21/09	REVISED PER TOWN COMMENTS
3	10/29/09	REVISED TOWER FOUNDATION
4	08/21/09	REVISED FOR CONSTRUCTION

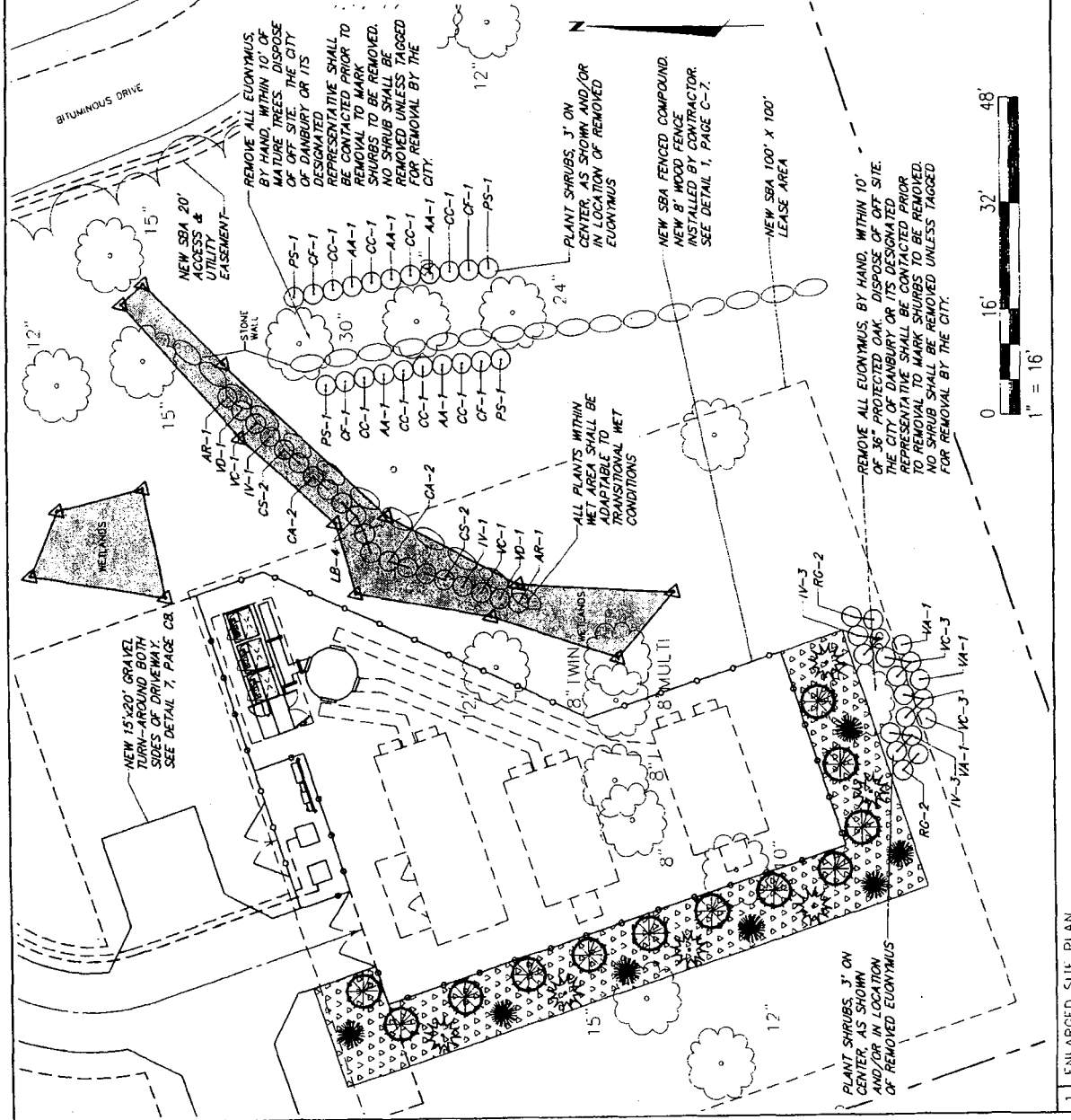
PROJECT NO. 15363-1030-1601
 SITE NAME DANBURY-1
 SITE NUMBER CT13549
 SITE ADDRESS 52 STANLEY BLOSS ROAD DANBURY, CT 06811
 DESIGNATIVE RAW LAND

SHEET TITLE ECOLOGICAL ENHANCEMENT PLAN
 DRAWING NO. L-3
 REVISION D

NOTE:
 ALL PLANTINGS SHALL BE INSPECTED AT THE END OF EACH YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION THROUGH THE END OF THE YEAR ANY DEAD PLANTINGS FOUND AT EACH SUCH INSPECTION SHALL BE REPLACED. AN ANNUAL REPORT DOCUMENTING THIS SHALL BE SUBMITTED TO THE CITY OF DANBURY DEPARTMENT OF HEALTH & HOUSING.

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SYMBOL
AA	5	AMELANCHIER ARBOREA	SHAOBUSH	○
CF	4	CORNUS FLORIDA	FLOWERING DOGWOOD	○
RC	4	RHUS GLABRA	SMOOTH SUMAC	○
VC	8	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	○
VA	3	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	○
IV	8	ILEX VERTICILLATA	COMMON WINTERBERRY	○
CC	8	CARPINUS CAROLINIANA	AMERICAN HORNBEEAM	○
PS	4	PRUNUS SEROTINA	BLACK CHERRY	○
LB	4	LINDERA BENZON	SPICEBUSH	○
CS	4	CORNUS SERICEA	RED OSIER DOGWOOD	○
VD	2	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	○
AR	2	ACER RUBRUM	RED MAPLE	○
CA	4	CORNUS ALBA	RED-TWIG DOGWOOD	○



1 ENLARGED SITE PLAN



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DATE PROJECT: 10/08/08-10/01
 DRAWN BY: CHM
 CHECKED BY: PAL

REVISIONS	
NO.	DATE
1	10/21/08 REVISED PER TOWN COMMENTS
2	10/21/08 REVISED PER TOWN COMMENTS
3	10/21/08 REVISED PER TOWN COMMENTS
4	10/21/08 REVISED PER TOWN COMMENTS
5	10/21/08 REVISED PER TOWN COMMENTS
6	10/21/08 REVISED PER TOWN COMMENTS
7	10/21/08 REVISED PER TOWN COMMENTS
8	10/21/08 REVISED PER TOWN COMMENTS
9	10/21/08 REVISED PER TOWN COMMENTS
10	10/21/08 REVISED PER TOWN COMMENTS
11	10/21/08 REVISED PER TOWN COMMENTS
12	10/21/08 REVISED PER TOWN COMMENTS
13	10/21/08 REVISED PER TOWN COMMENTS
14	10/21/08 REVISED PER TOWN COMMENTS
15	10/21/08 REVISED PER TOWN COMMENTS
16	10/21/08 REVISED PER TOWN COMMENTS
17	10/21/08 REVISED PER TOWN COMMENTS
18	10/21/08 REVISED PER TOWN COMMENTS
19	10/21/08 REVISED PER TOWN COMMENTS
20	10/21/08 REVISED PER TOWN COMMENTS

PROJECT NO: 15363-1030-1601
 SITE NAME: DANBURY-1
 SITE NUMBER: CT13549
 SITE ADDRESS: 52 STADLEY ROUGH ROAD, DANBURY, CT 06811
 DESIGN TYPE: RAW LAND
 SHEET TITLE: UTILITY SITE PLAN
 DRAWING NO: E-1
 REVISION: D

GENERAL ELECTRICAL NOTES

- 1.) ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES.
- 2.) ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.
- 3.) CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
- 4.) ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
- 5.) ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
- 6.) THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- 7.) ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- 8.) FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- 9.) PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 10.) PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- 11.) LABEL ALL ELECTRICAL EQUIPMENT PER SBA SPECIFICATIONS.
- 12.) ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- 13.) ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- 14.) ALL INTERIOR CONDUITS AND BUSINESSES SHALL BE BUILT ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
- 15.) NO SPOOLS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.
- 16.) CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER ONE TO IDENTIFY "SBA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.

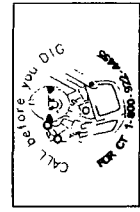
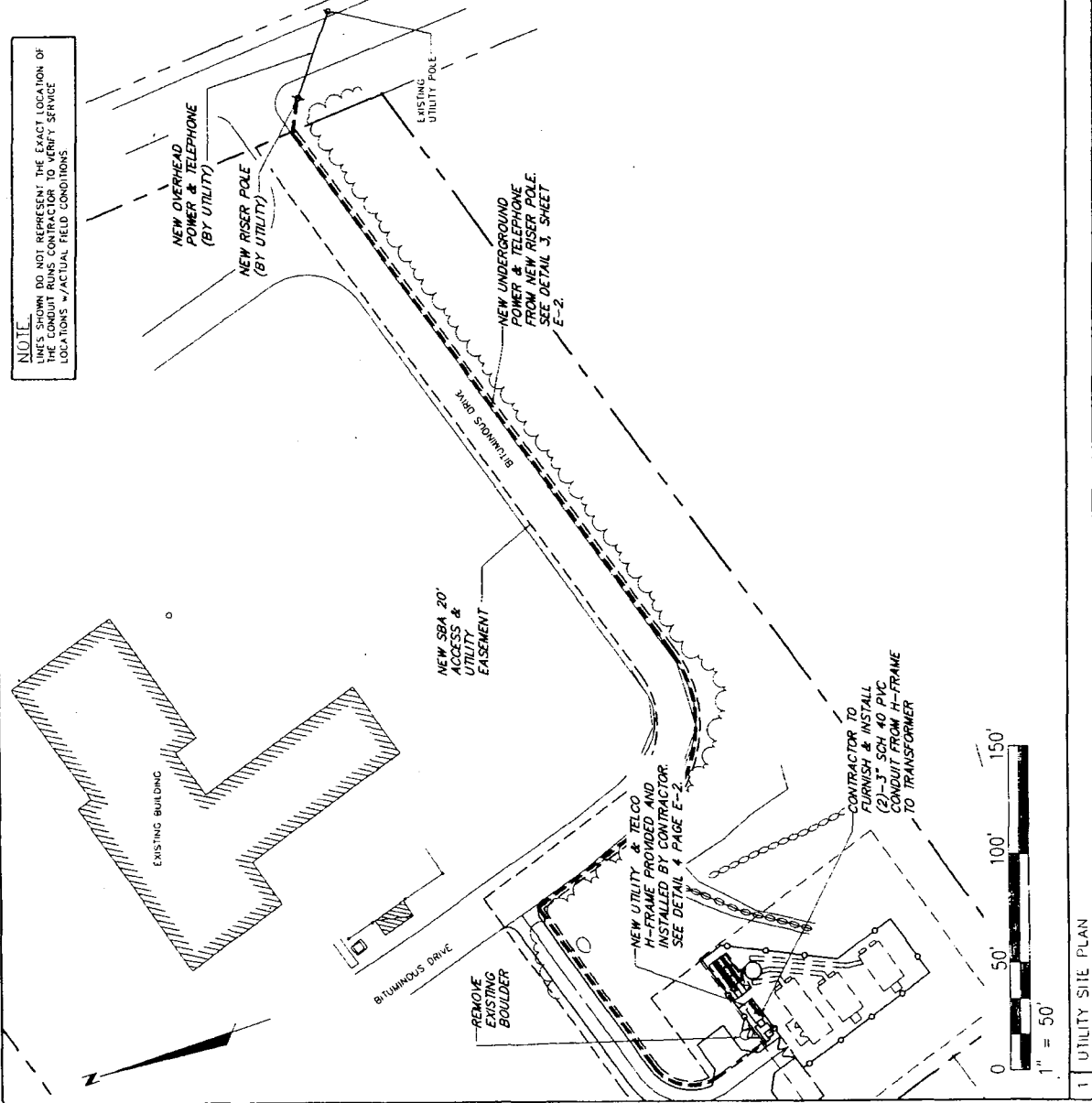
CODES AND STANDARDS

ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
 NEC NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
 NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
 NFPA NATIONAL FIRE PROTECTION ASSOCIATION
 UL UNDERWRITERS LABORATORIES, INC.

UTILITY PROVIDE INFORMATION

POWER COMPANY: CLAP
 CONTACT: UNKNOWN
 PHONE: (800) 286-2000

TELEPHONE COMPANY: AT&T CONNECTICUT
 CONTACT: UNKNOWN
 PHONE: (800) 648-3920



1 UTILITY SITE PLAN

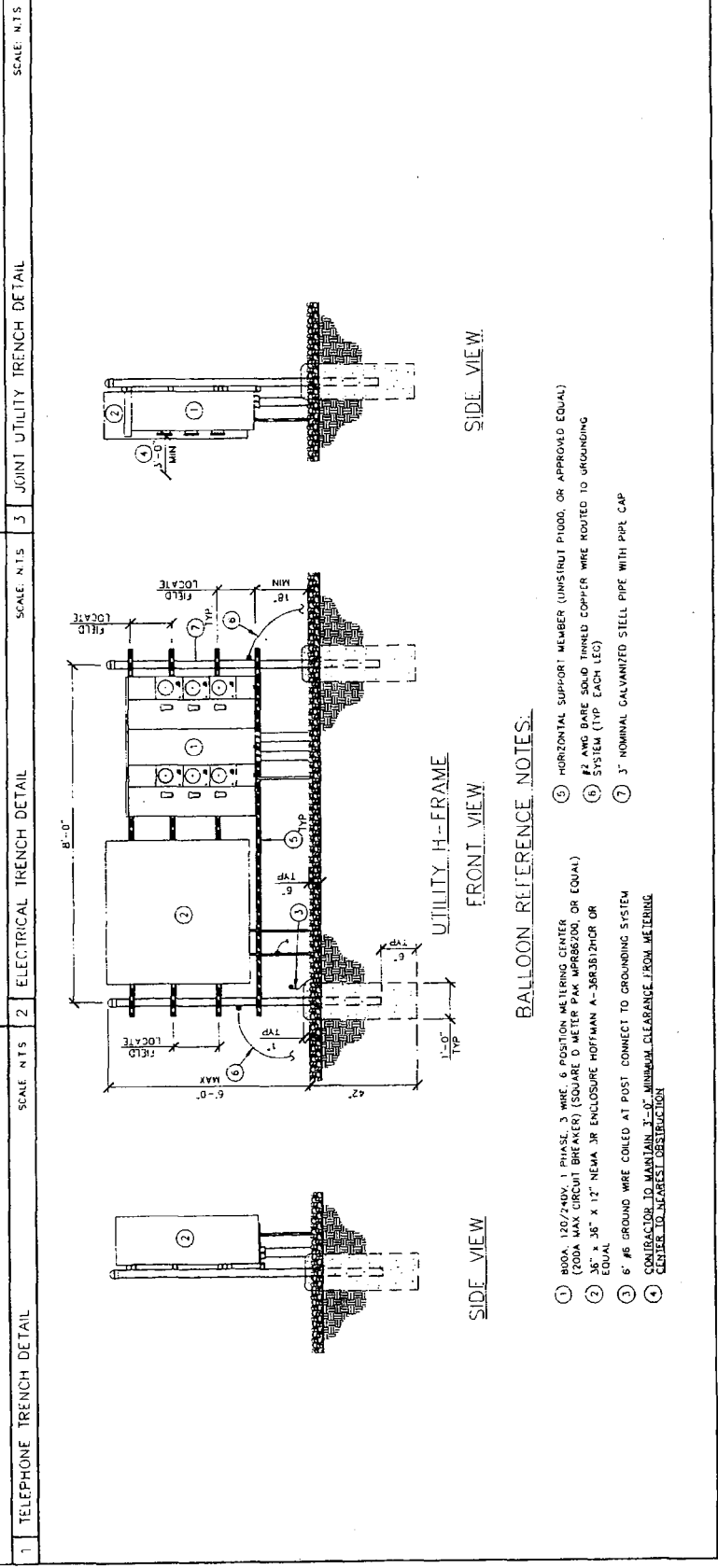
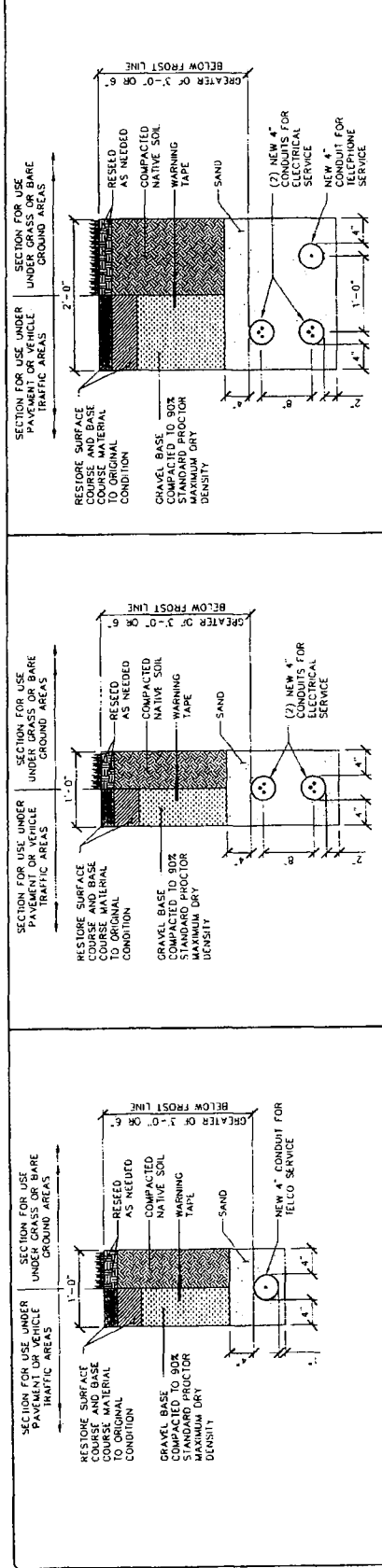


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DATE PROJECT #	15363-1030-1601
DRAWN BY	CHAM
CHECKED BY	PAL

NO.	DATE	DESCRIPTION
1	11/17/09	ISSUED FOR PERMITS
2	11/17/09	ISSUED FOR PERMITS
3	11/17/09	ISSUED FOR PERMITS
4	11/17/09	ISSUED FOR PERMITS
5	11/17/09	ISSUED FOR PERMITS
6	11/17/09	ISSUED FOR PERMITS
7	11/17/09	ISSUED FOR PERMITS

PROJECT NO: 15363-1030-1601
 SITE NAME: DANBURY-1
 SITE NUMBER: CT13549
 SITE ADDRESS: 52 STADLEY ROUGH ROAD, DANBURY, CT 06811
 DESIGN TYPE: RAW LAND
 SHEET TITLE: UTILITY DETAILS
 DRAWING NO: E-2
 REVISION: E



1 TELEPHONE TRENCH DETAIL SCALE: N.T.S.
 2 ELECTRICAL TRENCH DETAIL SCALE: N.T.S.
 3 JOINT UTILITY TRENCH DETAIL SCALE: N.T.S.
 4 UTILITY & TELCO H-FRAME DETAIL SCALE: N.T.S.

BALLOON REFERENCE NOTES:

- 1 400A 120/240V 1 PHASE 3 WIRE 6 POSITION METERING CENTER (200A MAX CIRCUIT BREAKER) (SQUARE D METER PAK MPR86200 OR EQUAL)
- 2 35" x 35" x 12" NEMA 3R ENCLOSURE HOFFMAN A-36R3B2HCR OR EQUAL
- 3 #6 GROUND WIRE COILED AT POST CONNECT TO GROUNDING SYSTEM
- 4 CONTRACTOR TO MAINTAIN 3'-0" MINIMUM CLEARANCE FROM METERING CENTER TO NEAREST OBSTRUCTION
- 5 HORIZONTAL SUPPORT MEMBER (UNINSULATED, OR APPROVED EQUAL)
- 6 #2 AND DATE SOLID THINNED COPPER WIRE ROUTED TO GROUNDING SYSTEM (TYP EACH LEG)
- 7 3" NOMINAL GALVANIZED STEEL PIPE WITH PIPE CAP



SBA TOMERIS & LLC
 5900 BROOKEN SOUND
 DANBURY, CT 06811
 TEL: (561) 228-9523
 FAX: (561) 228-9388

Member of Group 10 Inc.



258 Main Street, Danbury, CT 06811
 Danbury, CT 06811
 Telephone: (203) 755-1234

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DATE PROJECT # 1593-1030-1601
 DRAWN BY CHAM
 CHECKED BY PAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/18/03	REVISED PER IOWA COMMENTS
2	11/14/03	REVISED PER IOWA COMMENTS
3	10/21/03	REVISED PER IOWA COMMENTS
4	10/09/03	REVISED PER IOWA COMMENTS
5	09/21/03	ISSUED FOR CONSTRUCTION

PROJECT No. 15363-1030-1601
 SITE NAME DANBURY-1

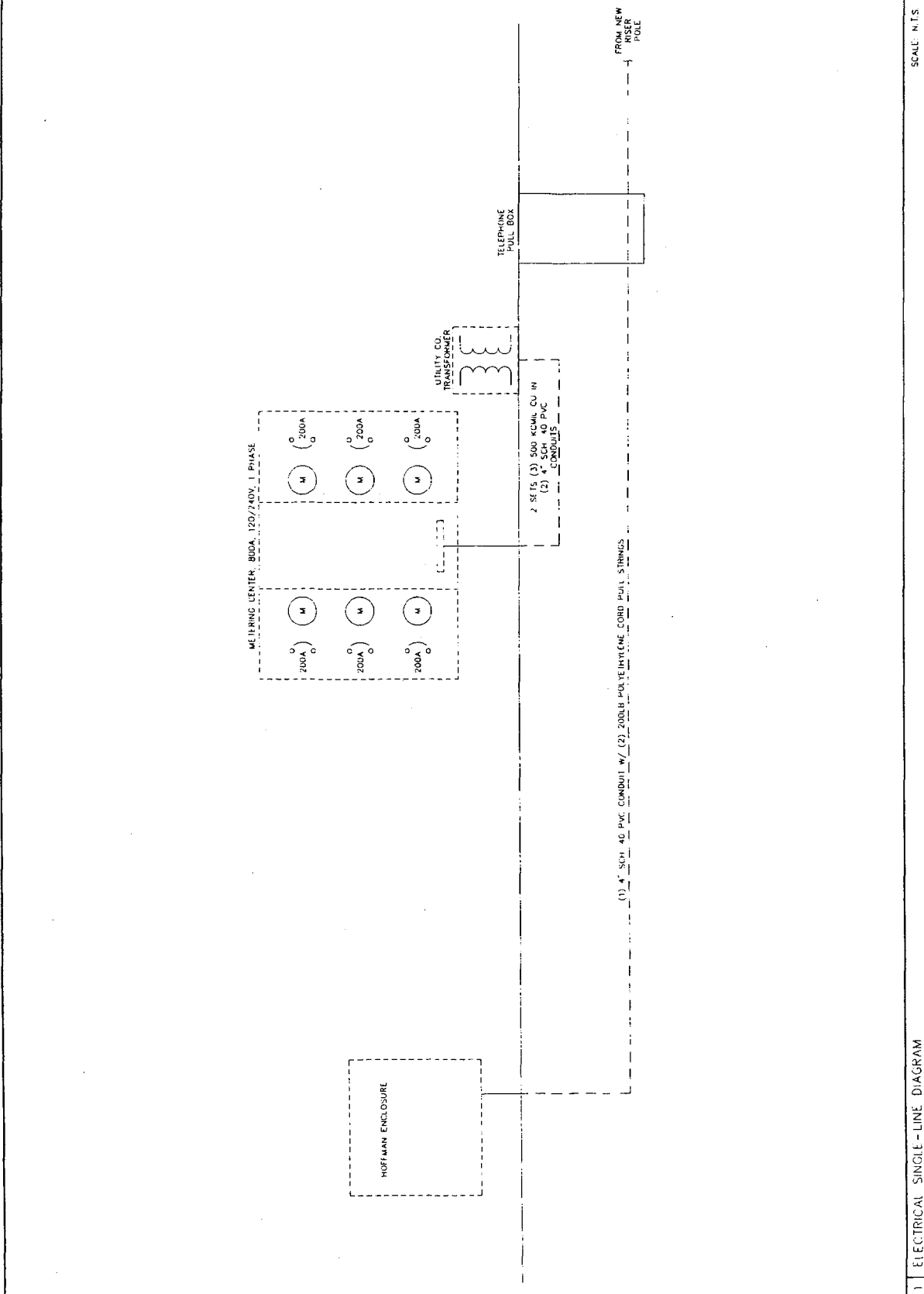
SITE NUMBER CT13549

SITE ADDRESS 52 STANLEY ROUGH ROAD
 DANBURY, CT 06811

DESIGN TYPE RAW LAND

SHEET TITLE SINGLE LINE DIAGRAM & PANEL SCHEDULE

DRAWING NO. E-3
 REVISION E



SCALE: N.T.S.

1 ELECTRICAL SINGLE-LINE DIAGRAM

SBA
 SBA TOWERS LLC
 500 PARKWAY
 BOCA RATON, FL 33407-2377
 TEL: (561) 235-9288
 FAX: (561) 235-9288

CHA
 218 West Chester Highway, Suite 212, Westport, CT 06880
 TEL: (203) 326-1000
 FAX: (203) 326-1001

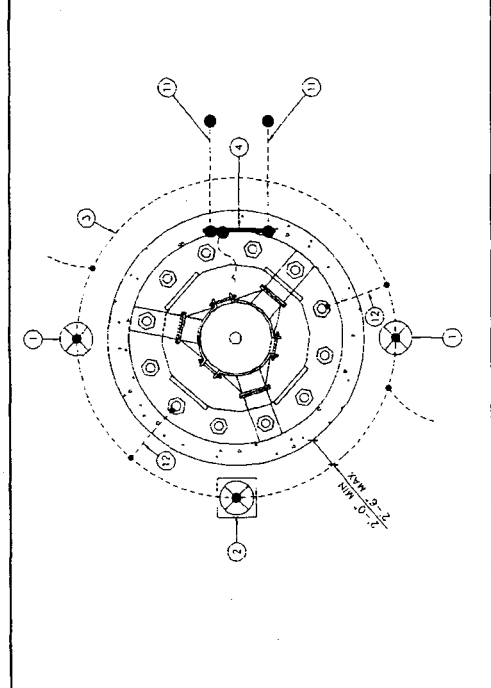
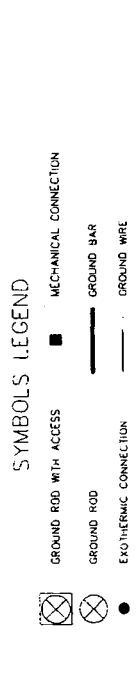
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DATE PROJECT # 15363-1030-1601
 DRAWN BY CHM
 CHECKED BY PAL

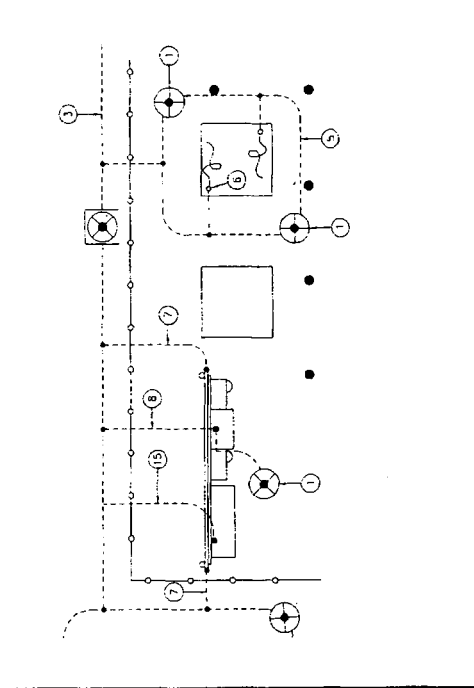
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NO.	DESCRIPTION
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2	02/27/09 REVISED PER TOWER COMMENTS
3	02/27/09 REVISED PER TOWER COMMENTS
4	02/27/09 REVISED PER TOWER COMMENTS
5	02/27/09 REVISED PER TOWER COMMENTS
6	02/27/09 REVISED PER TOWER COMMENTS
7	02/27/09 REVISED PER TOWER COMMENTS
8	02/27/09 REVISED PER TOWER COMMENTS
9	02/27/09 REVISED PER TOWER COMMENTS
10	02/27/09 REVISED PER TOWER COMMENTS

PROJECT NO: 15363-1030-1601
 SITE NAME: DANBURY-1
 SITE NUMBER: CT113549
 SITE ADDRESS: 52 STADLEY ROUGH ROAD DANBURY, CT 06811
 DESIGN TYPE: RAW LAND

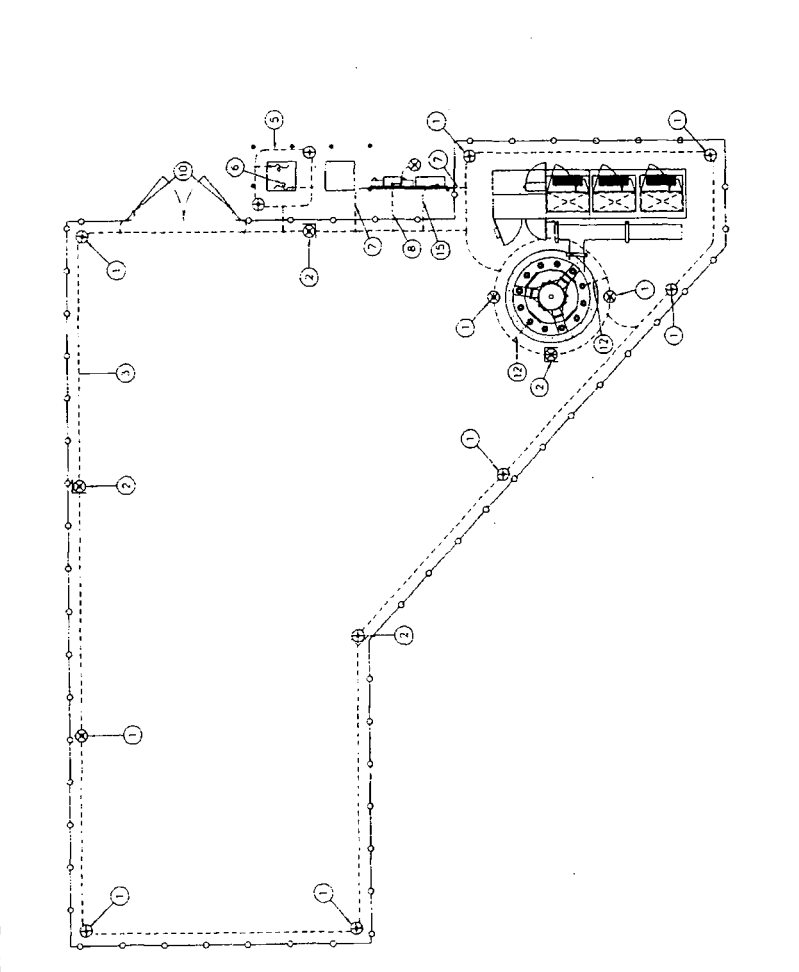
SHEET TITLE: GROUNDING PLAN & DETAILS
 DRAWING NO: EG-1 D
 REVISION:



2 ENLARGED GROUNDING PLAN @ TOWER BASE (TYP)



3 ENLARGED GROUNDING PLAN @ UTILITY & TELCO PEDESTAL

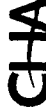


- BALLOON REFERENCE NOTES:**
- 5/8"-X8" COPPER CLAD GROUND ROD BURIED 36" BELOW GRADE (MIN)
 - GROUND ROD ACCESS WELL (MIN. OF 4 EACH PER COMPOUND)
 - #2 SOLID, TINNED, BARE COPPER WIRE GROUND RING (CONTINUOUS STRAND)
 - 1/4"x4"x20" TINNED COPPER GROUND BAR, 2 TYP, AT BASE AND TOP OF TOWER MOUNT DIRECT TO TOWER, DO NOT ISOLATE (CONTINUOUS STRAND) FOR UTILITY TRANSFORMER PER NEC AND UTILITY COMPANY SPECIFICATIONS
 - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM UTILITY TRANSFORMER TO GROUND RING (2 TYPICAL)
 - #2 SOLID, TINNED, BARE COPPER WIRE GROUND LEAD TO UTILITY H-FRAME SUPPORT POST
 - SERVICE ENTRANCE GROUND TO DEDICATED GROUND ROD
 - #2 SOLID, TINNED, BARE COPPER WIRE FROM PPC TO GROUND RING
 - #2 INSULATED, STRANDED COPPER BOND STRAP FROM GATE FRAME TO GATE POST (1/8" EACH GATE)
 - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT MONOPOLE BASE TO GROUND RING ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END (2 TYPICAL)
 - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM MONOPOLE BASE TO GROUND RING (2 TYPICAL, 180° SEPARATION)
 - 1/4"x4"x20" TINNED COPPER GROUND BAR
 - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT ICE BRIDGE TO GROUND RING ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END (2 TYPICAL)
 - #2 SOLID, TINNED, BARE COPPER WIRE FROM MOUNTAIN BOX TO GROUND RING
 - #2 SOLID, TINNED, BARE COPPER WIRE FROM EQUIPMENT CABINET TO GROUND RING

1 SITE GROUNDING PLAN (TYP)



SBA TOWERS B.L.L.C.
5000 WINDY HOLLOW
PARWAY, NJ
BOCA RATON, FL 33487-2797
TEL: (561) 226-5523
FAX: (561) 226-9348



1100 West Orange Blvd., Suite 212, Orange, NJ 07067-2288
Phone: 908-860-1000
Fax: 908-860-1001

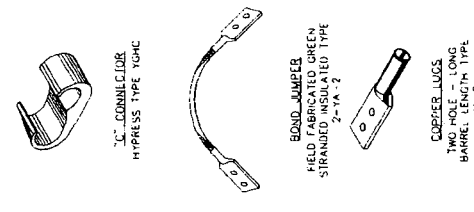
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DATE PROJECT: 10-03-1030-1601
DRAWN BY: CHM
CHECKED BY: PAL

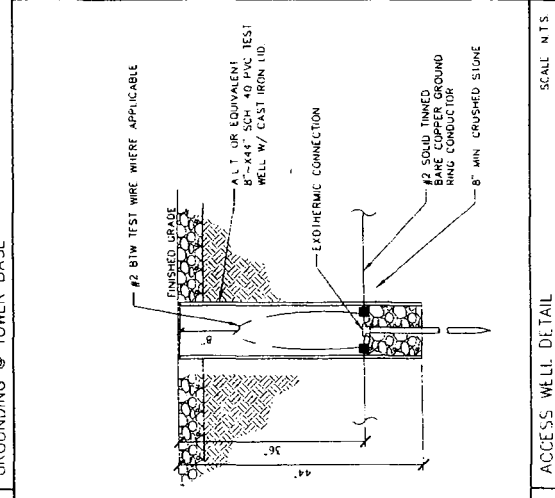
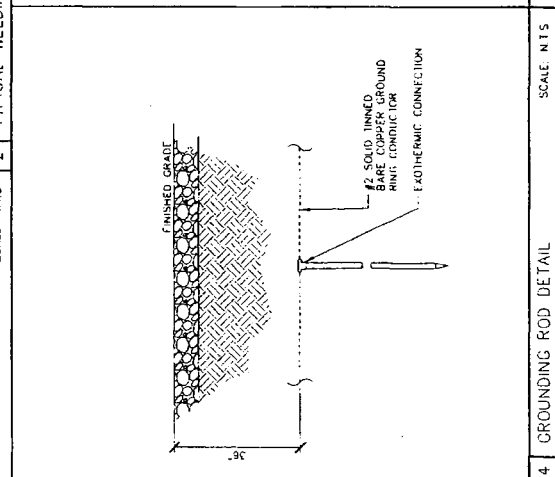
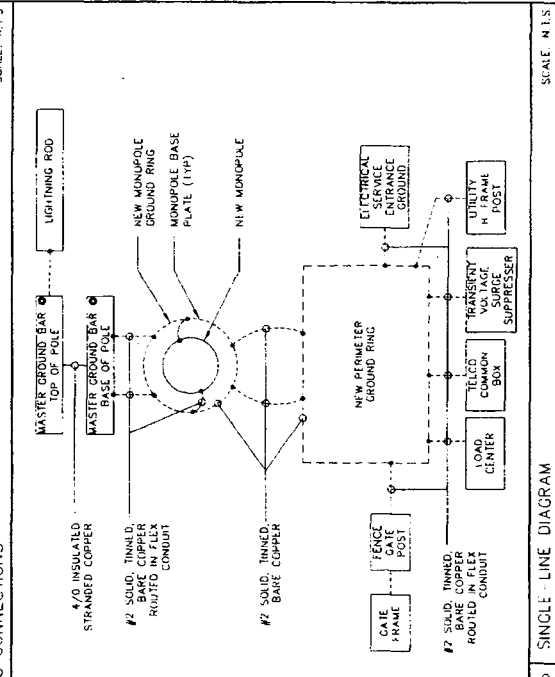
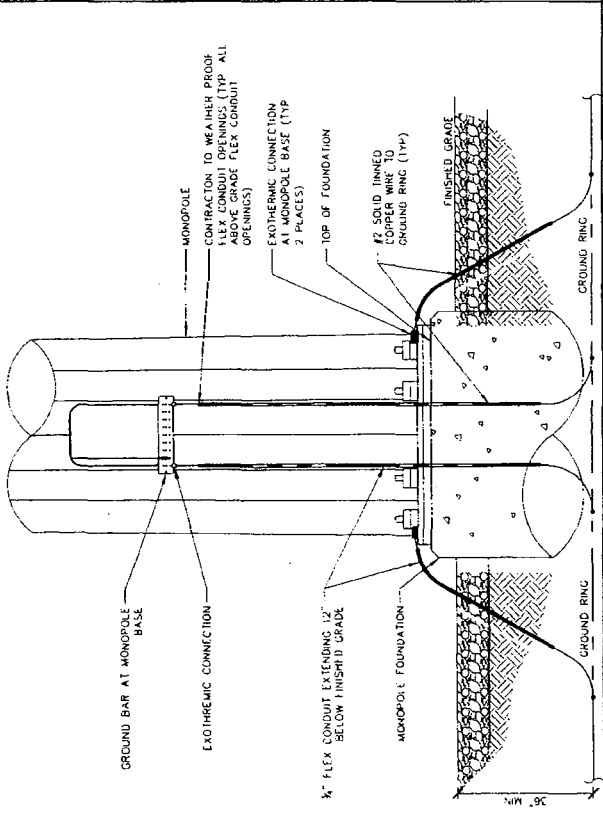
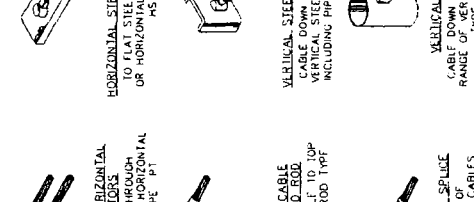
REVISIONS	
1	11/12/09 REVISED PER 10% COMMENTS
2	12/17/09 REVISED PER 10% COMMENTS
3	12/22/09 REVISED PER 10% COMMENTS
4	02/17/10 ISSUED FOR CONSTRUCTION

PROJECT NO: 15363-1030-1601
SITE NAME: DANBURY-1
SITE NUMBER: C713549
SITE ADDRESS: 52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE: RAW LAND
SHEET TITLE: GROUNDING DETAILS
DRAWING NO: EG-2
REVISION: D

BURNDY CONNECTIONS
(OR APPROVED EQUAL)



CADWELD CONNECTIONS
(OR APPROVED EQUAL)



SCALE: N.T.S. 5 SINGLE LINE DIAGRAM



SBA
DOWNS SIZING
590 PARKWAY, NW
BOCA RATON, FL 33487-2797
TEL: (561) 335-9388
FAX: (561) 335-9388

Drawing Code: 19 201



1100 Main Street, Wallingford, Conn 06495, CT 06495
Tel: (860) 291-1111

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DATE PROJECT: 10/20/10
DRAWN BY: CHM
CHECKED BY: PAL

REVISIONS	
NO	DATE DESCRIPTION
1	11/20/10 REVISED PER TOWN COMMENTS
2	12/17/10 REVISED PER TOWN COMMENTS
3	01/27/11 REVISED PER TOWN COMMENTS
4	02/27/11 ISSUED FOR CONSTRUCTION

PROJECT NO:
15363-1030-1601

SITE NAME:
DANBURY-1

SITE NUMBER:
CT13549

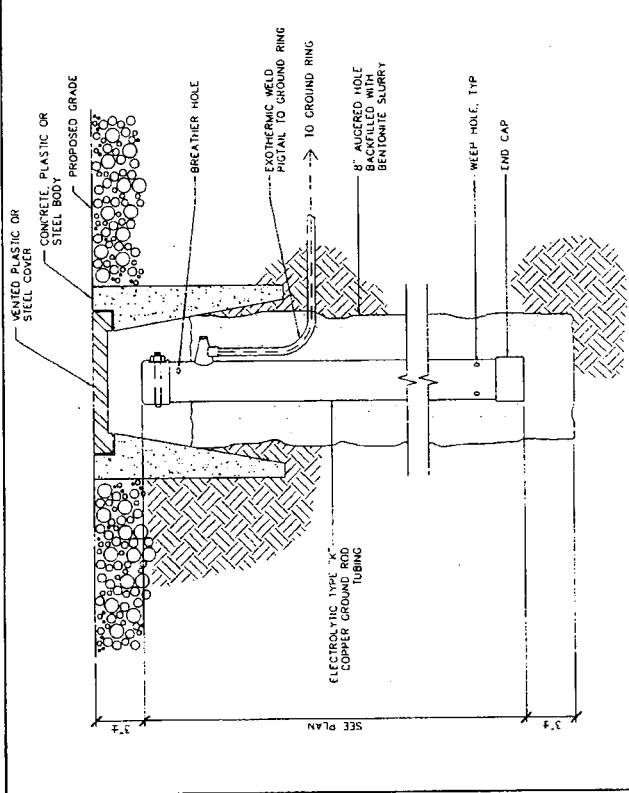
SITE ADDRESS:
52 STADLEY ROUGH ROAD
DANBURY, CT 06811

DESIGN TYPE:
RAW LAND

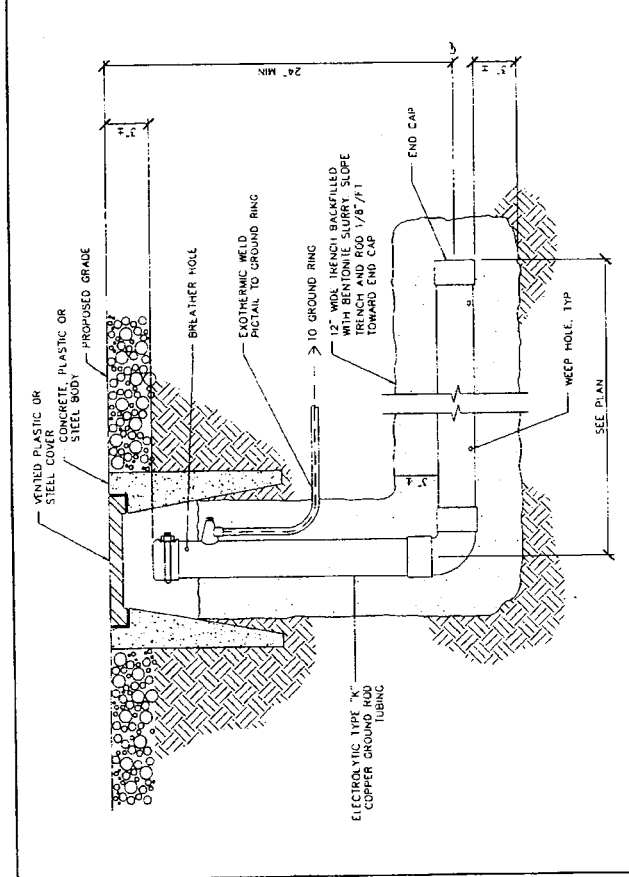
SHEET TITLE:
GROUNDING DETAILS

DRAWING NO:
EG-3

REVISION:
D



1 XIT CHEMICAL GROUND DETAIL VERTICAL (WHEN REQUIRED) SCALE: NTS



2 XIT CHEMICAL GROUND DETAIL HORIZONTAL (WHEN REQUIRED) SCALE: NTS

DOCKET NO. 366 - Optasite Towers LLC and Omnipoint } Connecticut
Communications, Inc. application for a Certificate of }
Environmental Compatibility and Public Need for the } Siting
construction, maintenance and operation of a telecommunications }
facility located at 52 Stadley Rough Road in Danbury, } Council
Connecticut.

April 23, 2009

Decision and Order

Pursuant to the foregoing Findings of Fact and Opinion, the Connecticut Siting Council (Council) finds that the effects associated with the construction, operation, and maintenance of a telecommunications facility, including effects on the natural environment; ecological integrity and balance; public health and safety; scenic, historic, and recreational values; forests and parks; air and water purity; and fish and wildlife are not disproportionate, either alone or cumulatively with other effects, when compared to need, are not in conflict with the policies of the State concerning such effects, and are not sufficient reason to deny the application, and therefore directs that a Certificate of Environmental Compatibility and Public Need, as provided by General Statutes § 16-50k, be issued to Optasite Towers LLC, hereinafter referred to as the Certificate Holder, for a telecommunications facility at 52 Stadley Rough Road, Danbury, Connecticut.

The facility shall be constructed, operated, and maintained substantially as specified in the Council's record in this matter, and subject to the following conditions:

1. The tower shall be constructed as a monopole, no taller than necessary to provide the proposed telecommunications services, sufficient to accommodate the antennas of Omnipoint Communications, Inc. and other entities, both public and private, but such tower shall not exceed a height of 140 feet above ground level. All antennas attached to the monopole shall be flush-mounted.
2. The Certificate Holder shall shift, to the extent feasible, the compound to the north and east to help retain the existing vegetative buffer.
3. The Certificate Holder shall incorporate an architectural treatment for the fence of the facility compound and any equipment shelters therein that is consistent with and amenable to adjacent land uses.
4. The Certificate Holder shall prepare a Development and Management (D&M) Plan for this site in compliance with Sections 16-50j-75 through 16-50j-77 of the Regulations of Connecticut State Agencies. The D&M Plan shall be served on the City of Danbury for comment, and all parties and intervenors as listed in the service list, and submitted to and approved by the Council prior to the commencement of facility construction and shall include:

- a) a final site plan(s) of site development to include specifications for the tower, tower foundation, antennas, equipment compound, radio equipment, access road, utility line, and landscaping that will provide additional vegetative buffering for the adjacent properties; and
 - b) construction plans for site clearing, grading, landscaping, water drainage, and erosion and sedimentation controls consistent with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, as amended.
5. The Certificate Holder shall, prior to the commencement of operation, provide the Council worst-case modeling of the electromagnetic radio frequency power density of all proposed entities' antennas at the closest point of uncontrolled access to the tower base, consistent with Federal Communications Commission, Office of Engineering and Technology, Bulletin No. 65, August 1997. The Certificate Holder shall ensure a recalculated report of the electromagnetic radio frequency power density be submitted to the Council if and when circumstances in operation cause a change in power density above the levels calculated and provided pursuant to this Decision and Order.
 6. Upon the establishment of any new State or federal radio frequency standards applicable to frequencies of this facility, the facility granted herein shall be brought into compliance with such standards.
 7. The Certificate Holder shall permit public or private entities to share space on the proposed tower for fair consideration, or shall provide any requesting entity with specific legal, technical, environmental, or economic reasons precluding such tower sharing.
 8. The Certificate Holder shall provide reasonable space on the tower for no compensation for any City of Danbury public safety services (police, fire and medical services), provided such use can be accommodated and is compatible with the structural integrity of the tower.
 9. Unless otherwise approved by the Council, if the facility authorized herein is not fully constructed and providing wireless services within eighteen months from the date of the mailing of the Council's Findings of Fact, Opinion, and Decision and Order (collectively called "Final Decision"), this Decision and Order shall be void, and the Certificate Holder shall dismantle the tower and remove all associated equipment or reapply for any continued or new use to the Council before any such use is made. The time between the filing and resolution of any appeals of the Council's Final Decision shall not be counted in calculating this deadline.
 10. Any request for extension of the time period referred to in Condition 9 shall be filed with the Council not later than 60 days prior to the expiration date of this Certificate and shall be served on all parties and intervenors, as listed in the service list, and the City of Danbury. Any proposed modifications to this Decision and Order shall likewise be so served.
 11. If the facility ceases to provide wireless services for a period of one year, this Decision and Order shall be void, and the Certificate Holder shall dismantle the tower and remove all associated equipment or reapply for any continued or new use to the Council before any such use is made.

12. The Certificate Holder shall remove any nonfunctioning antenna, and associated antenna mounting equipment, within 60 days of the date the antenna ceased to function.
13. In accordance with Section 16-50j-77 of the Regulations of Connecticut State Agencies, the Certificate Holder shall provide the Council with written notice two weeks prior to the commencement of site construction activities. In addition, the Certificate Holder shall provide the Council with written notice of the completion of site construction and the commencement of site operation.

Pursuant to General Statutes § 16-50p, the Council hereby directs that a copy of the Findings of Fact, Opinion, and Decision and Order be served on each person listed below, and notice of issuance shall be published in the Danbury News-Times.

By this Decision and Order, the Council disposes of the legal rights, duties, and privileges of each party named or admitted to the proceeding in accordance with Section 16-50j-17 of the Regulations of Connecticut State Agencies.

The parties and intervenors to this proceeding are:

APPLICANT

Optasite Towers LLC and
Omnipoint Communications, Inc.
One Research Drive, Suite 200C
Westborough, MA 01581

City of Danbury

ITS REPRESENTATIVE

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