



# STATE OF CONNECTICUT

## CONNECTICUT SITING COUNCIL

Ten Franklin Square, New Britain, CT 06051

Phone: (860) 827-2935 Fax: (860) 827-2950

E-Mail: [siting.council@ct.gov](mailto:siting.council@ct.gov)

[www.ct.gov/csc](http://www.ct.gov/csc)

May 1, 2019

Alex Murshteyn  
Real Estate Consultant  
Centerline Communications  
750 W. Center Street, Suite 301  
W. Bridgewater, MA 02379

**RE: TS-DISH-034-190405** – Gamma Purchasing LLC (Dish) request for an order to approve tower sharing at an existing telecommunications facility located at 52 Stadley Rough Road, Danbury, Connecticut.

Dear Mr. Murshteyn:

The Connecticut Siting Council (Council) received the tower share request for the above-referenced facility on April 5, 2019.

According to Section 16-50j-90 of the Regulations of Connecticut State Agencies, “no tower share application shall be approved until a complete application containing all information deemed relevant by the Council has been filed. Relevant information shall at a minimum include that listed in Section 16-50j-89 of the Regulations of Connecticut State Agencies...”

Staff has reviewed this tower share request for completeness and has identified that the request is not in compliance with the Connecticut Superior Court’s Stipulation for Judgment (Stipulation) dated January 6, 2010 specific to this facility (see attached). The Stipulation requires all modifications to this facility to comply with the following conditions:

- 1) All proposed antennas are to be flush mounted to the tower;
- 2) The tower, antennas and mounts are required to be painted brown;
- 3) All equipment is to be installed, in an equipment shelter with a pitched roof and cedar siding; and
- 4) Notice of any modifications is required to be provided to The City of Danbury and Jose and Christina Carvalheiro.

The inconsistencies identified in the tower share request consist of, but are not limited to, the following:

- Page No. 2 of the cover letter and Sheet No. C-2 of the Construction Drawings (CD), prepared by Hudson Design Group and last revised March 25, 2019, show a proposed 5-foot by 7-foot steel platform with a canopy which is inconsistent with condition No. 3 above;
- Sheet No. C-8 of the CD indicates that the proposed 3-foot wide satellite dish is to be installed on the platform above the 8-foot high wooden fence, which is inconsistent with condition No. 3 above;
- The proposed ice bridge is also above the wooden fence at 13-feet as shown on Sheet C-8 of the CD which is inconsistent with condition No. 3 above; and
- The description of the proposed 18-inch long stand-off antenna mounts appear to be inconsistent with the “flush-mounted” condition in condition No. 1 above.

Therefore, the tower share request is incomplete at this time. The Council recommends that Centerline Communications provide an updated cover letter, Structural Analysis Report and CD that are compliant with the conditions of the Stipulation referenced above, on or before May 16, 2019. If additional time is needed to gather the requested information, please submit a written request for an extension of time prior to May 16, 2019. **Please provide an electronic version and an original and 15 hard copies of the updated cover letter, Structural Analysis Report and CD for the incomplete request to be rendered complete and processed.**

This notice of incompleteness shall have the effect of tolling the Federal Communications Commission (FCC) 60-day timeframe in accordance with Paragraph 217 of the FCC Wireless Infrastructure Report and Order issued on October 21, 2014 (FCC 14-153).

Thank you for your attention to this matter. Should you have any questions, please feel free to contact me at 860-827-2951.

Sincerely,



Melanie A. Bachman  
Executive Director

MAB/IN/emr

c: Council Members

DOCKET NO.: CV-09-4021287-S : SUPERIOR COURT

CITY OF DANBURY,  
JOSE CARVALHEIRO, and : JUDICIAL DISTRICT  
CHRISTINA CARVALHEIRO

*Plaintiffs,*

v. : OF NEW BRITAIN

STATE OF CONNECTICUT SITING COUNCIL, : AT NEW BRITAIN  
OPTASITE TOWERS, LLC (currently  
known as SBA Towers II, LLC), and  
OMNIPOINT COMMUNICATIONS INC (currently  
known as T-Mobile Northeast, LLC)

*Defendants.* : JANUARY 6, 2010

**STIPULATION FOR JUDGMENT**

IT IS STIPULATED, by and between the undersigned Parties that:

The Parties consent and stipulate that a Judgment in the form set forth below shall be entered by the Court at any time following the date of filing of this Stipulation, without further notice to any party or other proceeding. Said Judgment shall be determinative of the rights of the undersigned parties against or to each other in the above-entitled action regarding the subject matter of the decision of the State of Connecticut Siting Council (Council) in Council Docket No. 366 and the application for a Certificate of Environmental Compatibility and Public Need for the construction, maintenance and operation of a telecommunications facility at 52 Stadley Rough Road in Danbury, Connecticut. By executing this Stipulation, the Parties expressly declare that they fully understand the terms of the Judgment to be entered as set forth below, and agree and desire to be bound thereby.

2009-11-06 10:22  
COURT

## JUDGMENT ON STIPULATION

Plaintiffs CITY OF DANBURY and JOSE and CHRISTINA CARVALHEIRO ("Carvalheiros"), the Defendants STATE OF CONNECTICUT SITING COUNCIL ("Council"), OPTASITE TOWERS, LLC. (now known as SBA TOWERS II, LLC)("SBA"), and OMNIPOINT COMMUNICATIONS, INC. (now known as T-MOBILE NORTHEAST, LLC)("T-Mobile") (collectively called "the Parties"), through their respective attorneys, have consented to the making and entry of this judgment in settlement of the above-captioned administrative appeal of the final decision in Council Docket No. 366;

1. With the consent of the Parties, the Court hereby AFFIRMS the Council's Findings of Fact in its final decision in Council Docket No. 366.

2. With the consent of the Parties, the Court hereby AFFIRMS the Council's opinion and its final decision in Council Docket No. 366.

3. With the consent of the Parties, the Court hereby APPROVES Exhibit A to this Stipulation, consisting of a revised and amended Development & Management Plan ("D&M Plan"), which includes construction drawings prepared by CHA Companies and included in Exhibit A and as dated/last revised as noted in the chart also included in Exhibit A. Future modifications to the D&M Plan as may be necessitated by the City of Danbury Building Department, construction, or other subsequent modifications sought by SBA, T-Mobile or third parties shall be reviewed by the Council subject to the Council's regulatory processes and any jurisdictional limits and subject to the conditions herein. Any field changes, D&M Plan amendments or exempt modifications will be subject to the requirement that Defendant SBA, or its authorized agents, provide notice to the Plaintiff City of Danbury with an opportunity to be heard prior to any Council action thereon, and

also shall be subject to any other required City permit(s) for such field changes, construction or facility site modifications. The Siting Council shall not acknowledge any future exempt modification notices or approve any tower sharing requests unless it determines that the proposed antennas are flush mounted to the tower and any new equipment is installed within the fenced compound in a manner consistent with the D&M Plan and this Stipulated Judgment which confirms the Council's April 2009 Decision & Order. Any other proposed modifications, applications and new and/or amended certificates must be designed to the greatest extent feasible to be consistent with the D&M Plan and this Stipulated Judgment, and the burden of proof for any proposed deviation shall be on the applicant(s) before the Council to demonstrate that such compliance is not feasible. The requirements set forth in the previous sentence may be waived by the City in its discretion. Any such future modifications to the D&M Plan shall not require review by this Court as part of this Stipulated Judgment. Notwithstanding any other provision herein to the contrary, the height of the tower (140 feet as agreed to in this Stipulated Judgment), shall not be increased for any reason, unless consented to by the City.

4. With the consent of the Parties, the Court hereby APPROVES a name change and/or transfer of the Certificate issued in Docket No. 366 to SBA Towers II, LLC.

5. The City of Danbury hereby affirms that, other than issuance of a building permit and certificate of occupancy by the City of Danbury Building Official pursuant to Sections 29-263 and 29-265 of the State Building Code and the review and approval of a "B100a" plan pursuant to Section 19-13-B100a of the State Public Health Code and a determination of the City Health Department that a code complying reserve area exists for the existing church at 52 Stadley Rough Road, no other City permits, approvals or consents are or will be required for the cellular tower

facility as approved by the Council in Docket 366 and as shown in the revised and amended D&M Plan. Attached hereto and incorporated herein are the City Building Permit (foundation only/tower component pending) and B100a approvals for the cellular tower facility.

6. In the event, SBA, T-Mobile or a future co-locating tenant of SBA seeks to modify the facility by adding additional backup power, such parties shall use a fuel cell to the extent such technology is readily available for use and meets the backup power requirements for the site. If a fuel cell is not used, SBA, T-Mobile or a future co-locating tenant shall provide written notice to the City and to the Carvalheiros explaining the reasons why such technology is not then readily available for such intended use. Any permanent diesel, propane or natural gas power backup generators will be considered a secondary option and if used must be baffled, and the cycling times shall be scheduled between the hours of 9am and 5pm weekdays.

7. Plaintiff JOSE AND CHRISTINA CARVALHEIRO shall be named as additional insureds under all insurance policies required to be maintained by SBA concerning the facility site, insuring the Carvalheiros against any damages for bodily injury and injury to property, with minimum coverage limits of \$1,000,000 per occurrence, solely to the extent such damages or injuries are determined to be caused in whole or in part by the negligent or wrongful acts or omissions of SBA, and excluding damages or injuries arising solely out of the Carvalheiros' negligence or own actions or omissions. Such policies shall provide for at least thirty (30) days' written notice to the Carvalheiros of expiration; in case of expiration, new policies containing the same terms and conditions as referenced above shall be issued no later than the expiration date of the expiring policy. The Carvalheiros shall receive at least annual written notice of such coverages by certified mail, return receipt requested.

8. Each of the undersigned signatories has been duly authorized to execute and enter into this Stipulation on behalf of the Parties by their respective clients, companies, and/or members and this Stipulation shall be fully binding on each Parties' successors, assigns, members and officials.

9. Each of the Parties, in consideration of the terms and provisions hereof, and other good, valuable and sufficient consideration, the receipt of which is hereby acknowledged by each of the Parties, hereby covenants not to sue and hereby fully and forever does release and discharge the other Parties, as well as their affiliates, parent companies, subsidiaries, employees, officers, directors, members, administrators, agents, attorneys, predecessors, successors and/or assigns, from all actions, causes of action, suits, debts, dues, sums of money, accounts, reckonings, bonds, bills, specialties, covenants, contracts, controversies, agreements, promises, variances, trespasses, damages, judgments, extents, executions, claims and demands whatsoever, whether known or unknown, in law, admiralty or equity, which any of the Parties now has or hereafter can, shall, or may have against the other Parties by reason of anything or cause from the beginning of the world to the date hereof with respect to any matter concerning or arising out of the subject matter of the above-captioned action. However, the terms of this release shall not release, or in any way affect, the obligations of each of the Parties under this Stipulated Judgment. Moreover, the terms of this release shall not release, or in any way affect, the obligations of SBA and T-Mobile under any separate agreement concerning or relating to the lease and/or operation of the cellular tower facility at issue in this action.

10. This Court shall retain continuing jurisdiction to enforce the terms and conditions of this Stipulation for Judgment. In the event any party hereto is found by the Court to be in violation of any term of this Stipulation for Judgment (including but not limited to a failure to adhere to the

plans attached at Exhibit A), the prevailing party shall be entitled to reasonable attorney's fees and costs.

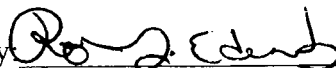
11. This Judgment shall be effective immediately upon entry.

12. This Judgment shall be binding on the parties, their heirs, successors and assigns, and the City shall record the Judgment on the Danbury Land Records for the parcel at 14 Indian Spring Road within ten (10) days of entry of the Judgment by the Court.

13. Nothing in this Stipulated Judgment shall be construed as an approval by the City or the Carvalheiros of the tower facility which is the subject of this proceeding.




PLAINTIFF  
CITY OF DANBURY

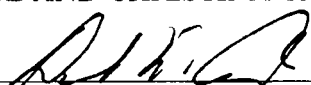
By:   
Robin L. Edwards, Esq.  
Assistant Corporation Counsel  
City of Danbury  
155 Deer Hill Avenue  
Danbury, CT 06810  
Phone: (203)797-4518

\_\_\_\_\_  
Date

Duly approved by the City of Danbury:

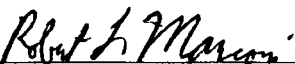
By:   
Mark D. Boughton, Mayor  
Date: \_\_\_\_\_, 2010

PLAINTIFFS  
JOSE AND CHRISTINA CARVALHEIRO

By:   
Daniel Casagrande, Esq.  
Cramer & Anderson, LLP  
30 Main Street, Suite 303  
Danbury, CT 06801  
(203) 744-1234

\_\_\_\_\_  
Date

DEFENDANT  
STATE OF CONNECTICUT  
SITING COUNCIL

By:   
Robert L. Marconi, Esq. (404518)  
Assistant Attorney General  
10 Franklin Square  
New Britain, CT 06051  
Tel (860) 827-2682

18 March 2010  
Date

DEFENDANTS  
OPTASITE COMMUNICATIONS, LLC  
(SBA TOWERS II, LLC)  
OMNIPOINT COMMUNICATIONS, INC.  
(T-MOBILE NORTHEAST, LLC)

\_\_\_\_\_  
Date

By: 

\_\_\_\_\_  
Christopher B. Fisher, Esq. (409919)  
Cuddy & Feder, LLP  
445 Hamilton Avenue  
White Plains, NY 10601  
Tel (914) 761-1300

**EXHIBIT A**



**PROJECT SUMMARY**

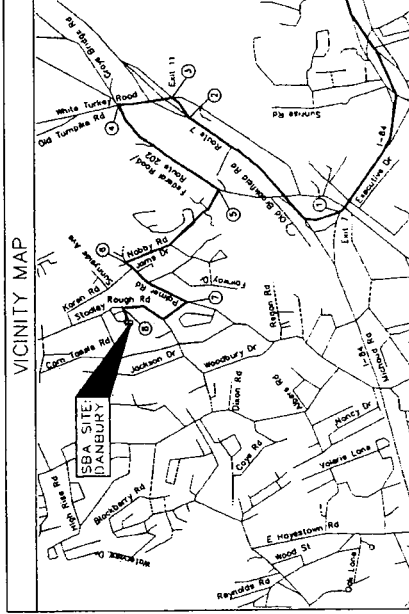
**SITE NAME**  
DANBURY-1  
**SITE ADDRESS**  
52 STADLEY ROUGH ROAD  
DANBURY, CT 06811  
**JURISDICTION**  
CT SITING COUNCIL  
**COUNTY**  
FAIRFIELD COUNTY  
**PROPERTY OWNER**  
CHRIST THE SHEPARD CHURCH PCA  
**APPLICANT**  
SBA TOWERS II LLC  
5800 BROKEN SOUND PARKWAY  
BOCA RATON, FL 33487-2797  
OFFICE: (561) 226-5523  
FAX: (561) 226-5572  
**HOLUS REDDING**  
(203) 464-3623  
**SITE COORDINATES**  
2C  
LATITUDE: N 41° 25' 59.17" (NAD 83)  
LONGITUDE: W 73° 25' 54.90" (NAD 83)  
ELEVATION: 54.7 (NAVD 88)  
**OCCUPANCY**  
UNMANNED  
**CONSTRUCTION TYPE**  
RAW LAND

**HANDICAPPED REQUIREMENTS**  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION  
HANDICAP ACCESS NOT REQUIRED  
**PLUMBING REQUIREMENTS**  
FACILITY HAS NO PLUMBING.

**CONSULTING TEAM**

**ARCHITECTURAL - ENGINEERING FIRM:**  
CHA TOWERS II LLC  
5800 BROKEN HIGHWAY, SUITE 212, ROCKY HILL, CT 06067  
CONTACT: PAUL LUSTIANI  
PHONE: (860) 257-4557 FAX: (860) 257-7514  
**SURVEYING FIRM:**  
2139 SILAS DEANE HIGHWAY, SUITE 212, ROCKY HILL, CT 06067  
CONTACT: PAUL LUSTIANI  
PHONE: (860) 257-4557 FAX: (860) 257-7514  
**TELEPHONE COMPANY:**  
AT&T  
1441 NORTH COLONY ROAD, MERIDEN, CT  
CONTACT: UNKNOWN  
PHONE: UNKNOWN  
**POWER COMPANY:**  
C&P  
CONTACT: UNKNOWN  
PHONE: UNKNOWN  
**ELECTRICAL ENGINEER:**  
2139 SILAS DEANE HIGHWAY, SUITE 212, ROCKY HILL, CT 06067  
CONTACT: PAUL LUSTIANI  
PHONE: (860) 257-4557 FAX: (860) 257-7514

**SITE NAME**  
DANBURY-1  
**SITE I.D.**  
CT13549  
**5911 ADDRESS**  
52 STADLEY ROUGH ROAD  
DANBURY, CT 06811  
**PROJECT TYPE**  
140' MONOPOLE  
TOWER HEIGHT NOT TO EXCEED 140'



**DRIVING DIRECTIONS**  
FROM I-84 WEST:  
1. TAKE EXIT 7 TOWARDS ROUTE 7 NORTH  
2. TAKE EXIT 11 OFF OF ROUTE 7  
3. TURN LEFT ON WHITE TURKEY ROAD  
4. TURN LEFT ON FEDERAL ROAD / ROUTE 202  
5. TURN LEFT ON PALMER ROAD  
6. TURN LEFT ON STADLEY ROUGH ROAD  
7. TURN RIGHT ON STADLEY ROUGH ROAD  
8. SITE WILL BE ON THE LEFT BEHIND THE CHURCH

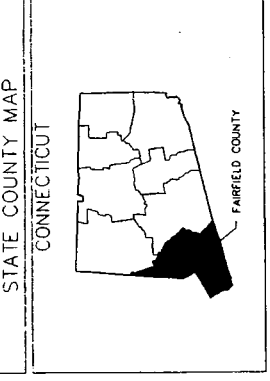
**SHEET SCALE FACTOR:**  
PLOT SIZE:  
11" x 17" TO SCALE  
24" x 36" 1/2 SCALE AS NOTED

**SHEET INDEX**

NO.	DESCRIPTION	REV.	REV. DATE
T-1	TITLE SHEET	E	01/04/10
T-2	ABBREVIATIONS & SYMBOLS LEGEND	D	11/30/09
DN-1	GENERAL NOTES	D	11/30/09
C-1	SITE PLAN	D	11/30/09
C-1A	CONSTRUCTION PHASING PLAN AND NOTES	E	12/16/09
C-2	PHOTO PLAN	D	11/30/09
C-3	SITE GRADING PLAN	E	12/16/09
C-4	ENLARGED SITE PLAN	D	11/30/09
C-4A	FOUNDATION EXCAVATION PLAN	D	11/30/09
C-5	SITE ELEVATIONS	D	11/30/09
C-6	SITE DETAILS	D	11/30/09
C-7	FENCE DETAILS	D	11/30/09
C-8	FENCE DETAILS	D	11/30/09
L-1	LANDSCAPE PLAN	E	01/04/10
L-2	LANDSCAPE DETAILS	D	11/30/09
L-3	ECOLOGICAL ENHANCEMENT PLAN	D	11/30/09
E-1	UTILITY SITE PLAN	D	11/30/09
E-2	UTILITY DETAILS	E	12/16/09
E-3	SINGLE-LINE DIAGRAM & PANEL SCHEDULE	E	12/16/09
EG-1	GROUNDING PLAN & DETAILS	D	11/30/09
EG-2	GROUNDING DETAILS	D	11/30/09
EG-3	GROUNDING DETAILS	D	11/30/09

**ENGINEER'S LICENSE**  
I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE REQUIREMENTS OF APPLICABLE BUILDING CODES.  
LICENSED ENGINEER - STATE OF CT  
DATE: 01/04/10

**APPROVALS**  
LANDLORD: \_\_\_\_\_ DATE: \_\_\_\_\_



SBA TOWERS II LLC  
5800 BROKEN SOUND  
PARKWAY, NW  
BOCA RATON, FL 33487-2797  
TEL: (561) 226-5523  
FAX: (561) 226-5572

1310 Main Street, Suite 212 Rocky Hill, CT 06067  
Tel: (860) 257-4557 Fax: (860) 257-7514

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO CHA TOWERS II LLC. ANY REPRODUCTION OR DISSEMINATION OF THIS INFORMATION TO THE CLIENT IS STRICTLY PROHIBITED.


AGE PROJECT # 1530-1930-1901  
DRAWN BY: PAL  
CHECKED BY: JPS

**REVISIONS**


NO.	DATE	DESCRIPTION
1	01/04/10	ISSUED FOR TOWER CONSTRUCTION
2	11/30/09	ISSUED FOR TOWER CONSTRUCTION
3	12/16/09	ISSUED FOR TOWER CONSTRUCTION
4	12/16/09	ISSUED FOR TOWER CONSTRUCTION
5	12/16/09	ISSUED FOR TOWER CONSTRUCTION
6	12/16/09	ISSUED FOR TOWER CONSTRUCTION
7	12/16/09	ISSUED FOR TOWER CONSTRUCTION
8	12/16/09	ISSUED FOR TOWER CONSTRUCTION
9	12/16/09	ISSUED FOR TOWER CONSTRUCTION
10	12/16/09	ISSUED FOR TOWER CONSTRUCTION

**PROJECT NO.**  
15363-1030-1601  
**SITE NAME**  
DANBURY-1  
**SITE NUMBER**  
CT13549  
**SITE ADDRESS**  
52 STADLEY ROUGH ROAD  
DANBURY, CT 06811  
**DESIGN TYPE**  
RAW LAND  
**SHEET TITLE**  
TITLE SHEET  
**DRAWING NO.**  
T-1  
**REVISION**  
E





**SBA TOWERS II LLC**  
3100 BROWDER SOING  
BOCA RATON, FL 33487-2797  
TEL: (561) 228-9323  
FAX: (561) 228-9389



**CHA**  
2100 N.W. 11th Street, Suite 112, Ft. Lauderdale, FL 33304  
TEL: (954) 561-1000  
FAX: (954) 561-1001

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO THE CLIENT IS STRICTLY PROHIBITED FROM BEING REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CLIENT.

DATE	10/27/09
REVISION	REVISED PER OWNER COMMENTS
DATE	10/27/09
REVISION	REVISED PER OWNER COMMENTS
DATE	10/27/09
REVISION	REVISED PER OWNER COMMENTS
DATE	10/27/09
REVISION	REVISED PER OWNER COMMENTS

PROJECT NO: 15363-1030-1601  
SITE NAME: DANBURY-1  
SITE NUMBER: CT113549  
SITE ADDRESS: 52 STADLEY ROUGH ROAD DANBURY, CT 06811  
OWNER TYPE: RAW LAND  
SHEET TITLE: GENERAL NOTES  
DRAWING NO: GN-1 D  
REVISION:

### PAINTING

- CONTRACTOR TO COORDINATE PAINTING REQUIREMENTS WITH OWNER
- PAINT COLORS SHALL BE SELECTED TO MATCH EXISTING COLORS AND TEXTURES
- PROVIDE THE BEST QUALITY GRADE OF COATINGS AS REGULARLY MANUFACTURED BY APPROVED PAINT MANUFACTURERS. MATERIALS NOT DISPLAYING THE BEST QUALITY GRADE PRODUCT WILL NOT BE ACCEPTABLE.
- PROVIDE UNDERCOAT PRODUCED BY THE SAME MANUFACTURER AS THE FINISH COAT. FINISH COAT USE ONLY WITHIN RECOMMENDED LIMITS.
- COMPLETELY COVERS TO PROVIDE AN OPAQUE, SMOOTH SURFACE OF UNIFORM FINISH LOOK, APPEARANCE, AND COVERAGE. CLOUDING, SPOTTING, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS, ROPIKNESS OR OTHER SURFACE IMPERFECTIONS WILL NOT BE ACCEPTABLE.

### FERROUS METALS

TOUCH-UP COAT - RED OXIDE METAL PRIMER  
FINISH COATS - SEMI-GLOSS ALYD ENAMEL

### SBA CONSTRUCTION REQUIREMENTS

- AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR SBA'S FILE.
- CONTRACTOR WILL BE REQUIRED TO SUBMIT A BID AWARD LETTER WITHIN 10 BUSINESS DAYS OF THE DATE OF THE BID AWARD.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONCRETE COMpressive TESTING AND REQUIRED TO SUBMIT FINAL TEST RESULTS WITHIN 10 BUSINESS DAYS TO PROVIDE SBA PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- CONTRACTOR WILL BE RESPONSIBLE FOR POWER TO THE SITE PRIOR TO TOWER ERECTION, AS WELL AS ILLCO SERVICE BEFORE PROJECT COMPLETION (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC.)
- CONTRACTOR WILL HAVE A REPRESENTATIVE ON A WEEKLY CONFERENCE CALL TO PROVIDE SBA WITH SITE SPECIFIC UPDATES CURRENTLY, THIS CONFERENCE CALL IS HELD EACH AND EVERY THURSDAY AT 4 PM (EASTERN TIME) SCHEDULED AT ALL TIMES.
- CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.
- ALL METEOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE OCCUPANCY AND GETTING SBA'S REGIONAL SITE MANAGERS SIGN-OFF/CHECKLIST APPROVAL ON THE SITE).
- CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF WORKING HOURS.
- CONTRACTOR WILL UTILIZE ALL OF THE SBA PROVIDED DOCUMENTATION INCLUDING BUT NOT LIMITED TO: TOWER CONSTRUCTION ACCEPTANCE CHECKLIST, CONSTRUCTION HEIGHT VERIFICATION CLOSE-OUT LIST & TOWER CONSTRUCTION CLOSE-OUT LIST.
- CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- CONTRACTOR IS RESPONSIBLE FOR GROUND WEG TESTING.

### UTILITIES

- CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONDITIONS OR OTHER STRUCTURES ADDRESS, UNDESIRABLE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING CONSTRUCTION. THERE APPEARS TO BE A CONFLICT.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS AND CONSTRUCTION MANAGER.
- ADVISE BY THE CONTRACTOR TO UTILITIES OR PROPERTY SURFACES DISTURBED BY THE CONSTRUCTION DURING CONSTRUCTION SHALL BE REPAIRED TO THE ORIGINAL CONDITION TO THE CLIENT FOR GRASSED AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF TELEPHONE UTILITY AND THE OWNER'S REQUIREMENTS.
- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES THROUGHOUT THE CONSTRUCTION OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

### GRADING

- THE CONTRACTOR SHALL REWORK (DSE, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERGO ALL THE EXPENSES AND SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED CONTACT BY GOVERNING AGENCY INSPECTORS.

### STRUCTURAL NOTES

- DESIGN REQUIREMENTS PER LOCAL BUILDING CODE AND THE IBC/716-222-G STRUCTURAL STANDARDS FOR STEEL ANTENNAS TOWERS AND SUPPORTING STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN AND AISC CODE OF STANDARD PRACTICE AND THE STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A36, ALL STRUCTURAL STEEL PIPES STRUCTURAL STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B, ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D11-98 STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XXR E80XXR E90XXR SHALL BE SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FINISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE STAINLESS STEEL NORTH ARROW SHOWN ON PLANS NORTH AND INFERM OWNER OF ANY DISCREPANCY BEFORE STARTING.
- ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND ACI 301, AND SHALL HAVE A 28 DAY MINIMUM CURE PERIOD AGAINST UNDISTURBED SOIL UNLESS OTHERWISE NOTED. MINIMUM CONCRETE COVER SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
- ALL CONCRETE SHALL BE PLACED AGAINST UNDISTURBED FABRIC REINFORCING SHALL CONFORM TO ASTM A185. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS.
- ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFIED TO BE ZINC COATED AFTER FABRICATION WHERE PRACTICAL GALVANIZING: ASTM A 153/A 153M 153M OR ASIM A 653/A 653M G90, AS APPLICABLE. REPAIR DAMAGED GALVANIZING TO ASTM A 780 OR SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING CLEAN AREAS TO BE SURFACES TO WHICH SINKING PASTE MATERIAL IS APPLIED WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTE. SPREAD JOINT MATERIALS ONLY MATERIALS SHALL BE COVERED AND WIRE OF EXCESS MATERIAL SHALL BE REMOVED.
- CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS IF NO INFORMATION IS CONTAINED IN THESE PLANS OR IF THE INFORMATION IS MANUFACTURER'S SPECIFICATIONS ARE STRICTER.

### PERMITS

- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE LOCAL GOVERNMENTAL AGENCIES (NOT SUPPLIED BY OWNER)
- ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS (NOT SUPPLIED BY OWNER)
- ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND THE LATEST APPLICABLE CODES AND STANDARDS.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE AGENCIES AT LEAST 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR CLOSING AND FILING ALL PERMITS ASSOCIATED WITH SITE.

### GENERAL NOTES

- ALL REFERENCES TO OWNER HEREIN SHALL BE CONSTRUED TO MEAN SBA OR ITS DESIGNATED REPRESENTATIVE
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE APPROVED BY THE OWNER. THE CONTRACTOR MUST HAVE SUFFICIENT EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. CONTRACTOR'S EXPERIENCE AND ABILITY DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND CAPABLE TO DO THIS WORK ON THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURERS SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF MATERIALS OR REINFORCING MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT. ELEVATIONS AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE MATERIALS TESTING AGENCY PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE CONTRACTOR IS TO PROCEED WITH THE WORK THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE SUPERVISED AND CONTROLLED BY THE CONTRACTOR'S SUPERVISOR AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE THE CONTRACTOR'S MEASUREMENTS OR THE CONSTRUCTION PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY. FREE FROM FAULTS AND DEFECTS. ALL MATERIALS AND EQUIPMENT MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY AND QUANTITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MANAGING AND MAINTAINING CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
- ALL PROPOSED CELLULAR EQUIPMENT AND FIXTURES SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTERFERED CONSTRUCTION ACTIVITIES INCLUDING THE PRESENT LEASING AGENCY FOR APPROVAL.
- RADIO EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.





THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF CHA. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHA.

DATE	DESCRIPTION
11/17/09	REVISED PER LOAN COMMENTS
11/18/09	REVISED PER LOAN COMMENTS
10/21/09	REVISED PER LOAN COMMENTS
10/09/09	REVISED TOWER FOUNDATION
08/17/09	ISSUED FOR CONSTRUCTION

REVISIONS

ALL PROJECTS: 15333-000-1001  
DRAWN BY: PAL  
CHECKED BY: JPS

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	CONSTRUCTION PHASING PLAN AND NOTES

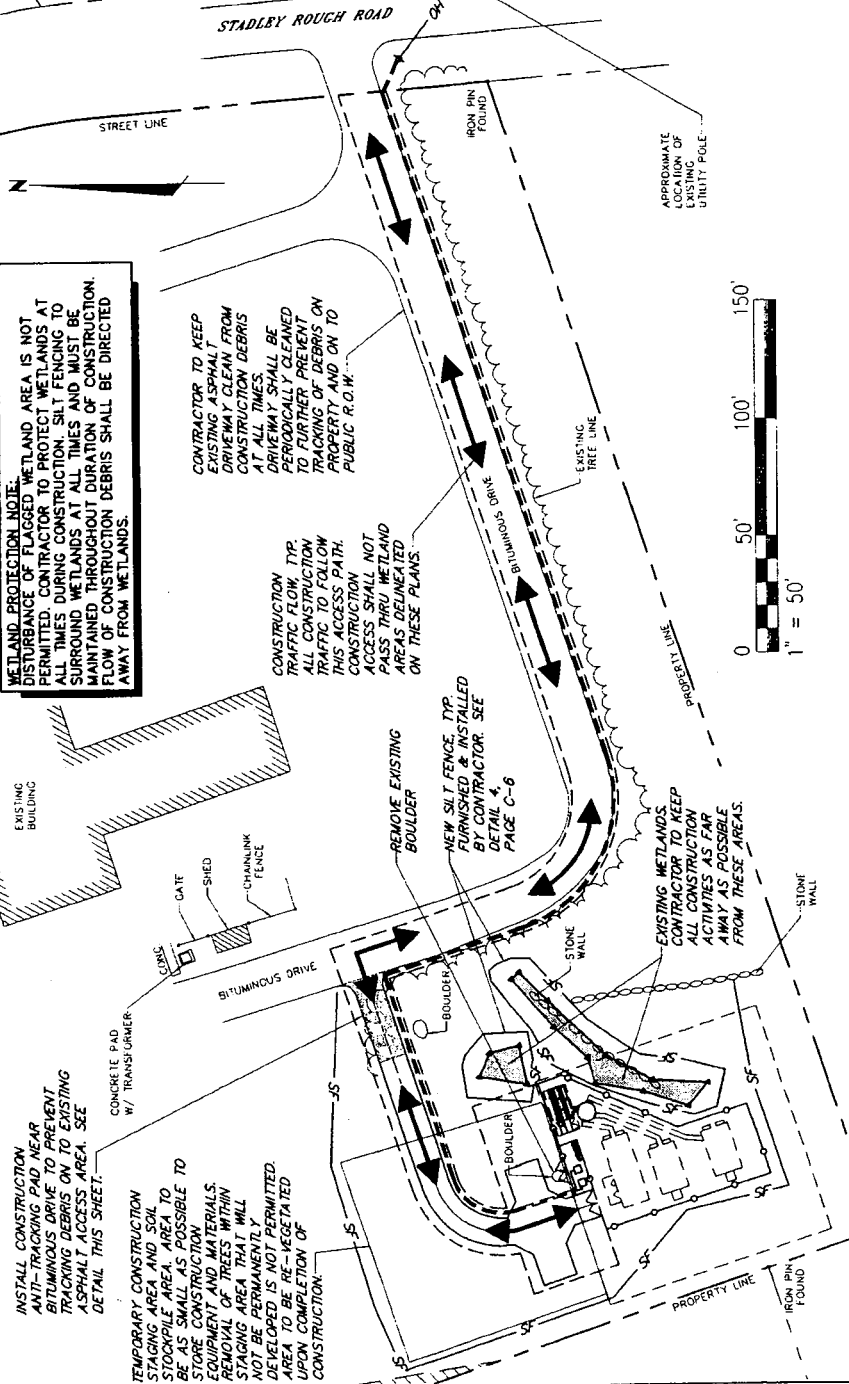
DRAWING NO.	C-1A
REVISION	E

**CONSTRUCTION PHASING NOTES:**

CONTRACTOR TO FOLLOW THE FOLLOWING CONSTRUCTION PHASING AS CLOSELY AS POSSIBLE:

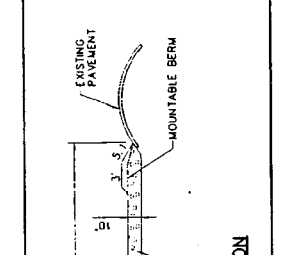
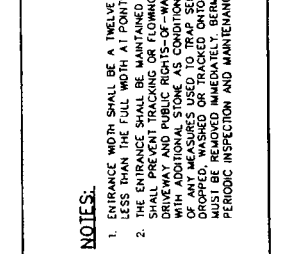
1. MOBILIZATION: BRING MATERIAL AND EQUIPMENT TO SITE. ALL TRAFFIC AND ACTIVITIES MUST BE INSIDE ACCESS PATH DELINEATED WITHIN STAGING AND STOCKPILE AREA, OR WITHIN AREA DELINEATED FOR CONSTRUCTION. CONTRACTOR IS TO PROTECT WETLANDS FROM DISTURBANCE AT ALL TIMES AND NO CONSTRUCTION ACTIVITIES OR UNLOADING SHALL OCCUR IN THE WETLANDS.
2. INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROL BARRIERS
3. CLEAR AND ROUGH GRADE THE ACCESS DRIVEWAY AND EQUIPMENT COMPOUND
4. EXCAVATE FOR TOWER FOUNDATION AND UTILITIES
5. INSTALL FORMS, STEEL REINFORCING AND CONCRETE FOR TOWER FOUNDATION
6. INSTALL BURIED GROUND RINGS, GROUND RODS, GROUND LEADS, UTILITIES CONDUITS, AND UTILITY EQUIPMENT
7. BACK FILL FOUNDATION AND UTILITY TRENCHES
8. ERECT TOWER OR MONOPOLE
9. INSTALL TELECOMMUNICATIONS EQUIPMENT ON TOWER AND IN COMPOUND
10. INSTALL COMPOUND AND ROAD GRAVEL SURFACES
11. INSTALL FENCING
12. CONNECT GROUNDING LEADS AND LIGHTNING PROTECTION
13. FINAL GRADE AROUND COMPOUND AND ROAD
14. INSTALL LANDSCAPING AND MULCH
15. LOAM AND SEED DISTURBED AREAS OUTSIDE COMPOUND AND ACCESS DRIVEWAY
16. REMOVE SILT FENCING AFTER SEEDED AREAS HAVE ESTABLISHED VEGETATION
17. FINAL CLEANUP AND EQUIPMENT TESTING

THE ESTIMATED TIME FOR COMPLETION OF THE WORK SHALL BE A TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT WHICH MAY BE PERIODIC FOR DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY OR ASPHALT DRIVEWAY SHALL BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.



**NOTES:**

1. ENTRANCE WIDTH SHALL BE A TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT WHICH MAY BE PERIODIC FOR DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY OR ASPHALT DRIVEWAY SHALL BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.



1 SITE PLAN

2 CONSTRUCTION DEBRIS ANTI-TRACKING PAD



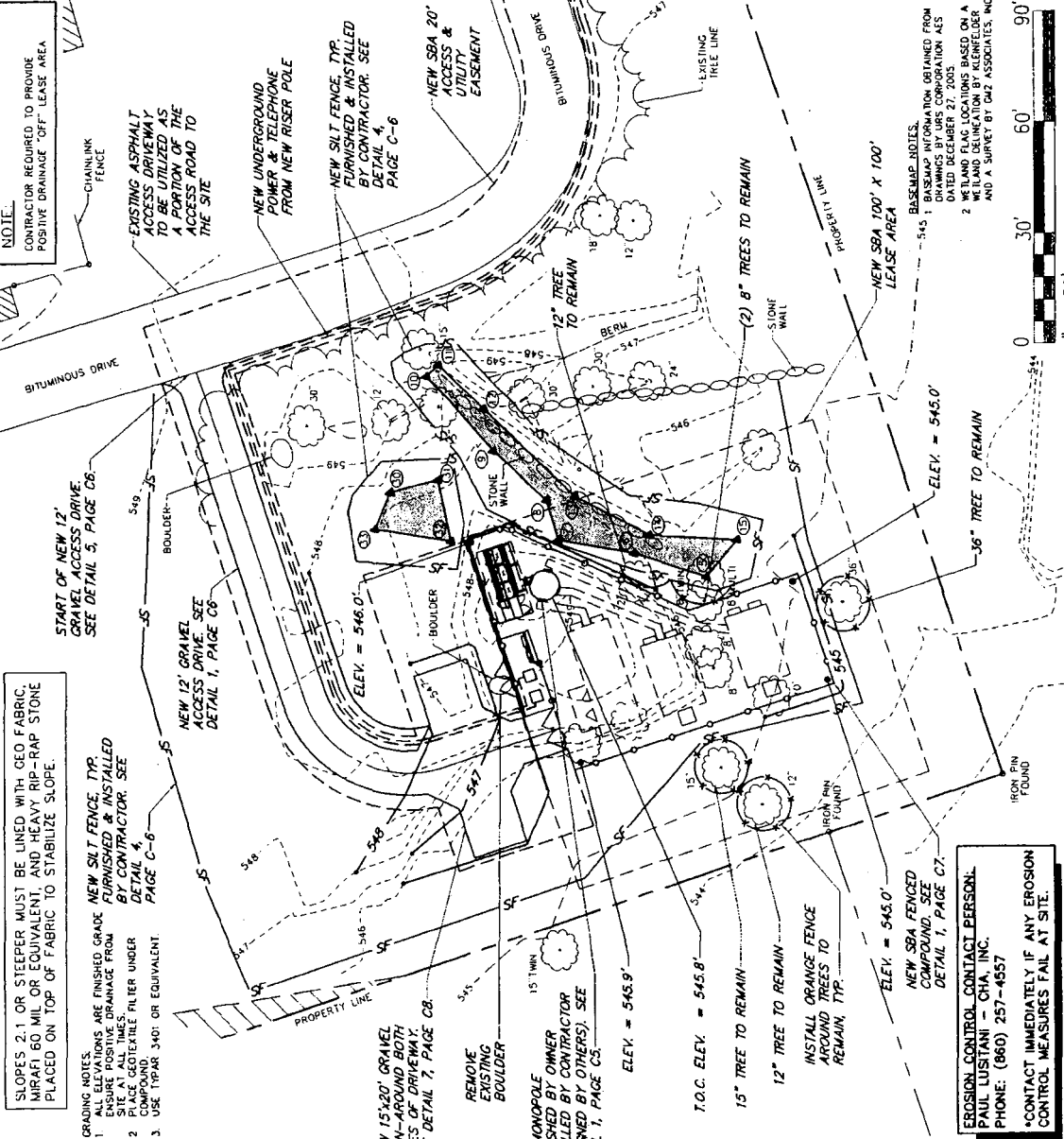




THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO THE CLIENT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THESE DOCUMENTS. ANY REUSE OR DISCLOSURE OF THIS INFORMATION TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE CLIENT IS STRICTLY PROHIBITED.

DATE PROJECT	12/28/00-1601	
DRAWN BY	PA	
CHECKED BY	JF	
REVISIONS		
NO.	DATE	DESCRIPTION
1	12/28/00	ISSUED FOR PERMITS
2	12/28/00	ISSUED FOR PERMITS
3	12/28/00	ISSUED FOR PERMITS
4	12/28/00	ISSUED FOR PERMITS
5	12/28/00	ISSUED FOR PERMITS
6	12/28/00	ISSUED FOR PERMITS
7	12/28/00	ISSUED FOR PERMITS
8	12/28/00	ISSUED FOR PERMITS
9	12/28/00	ISSUED FOR PERMITS
10	12/28/00	ISSUED FOR PERMITS
11	12/28/00	ISSUED FOR PERMITS
12	12/28/00	ISSUED FOR PERMITS

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT-13549
SITE ADDRESS	59 STANLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	SITE GRADING PLAN
DRAWING NO.	C-3
REVISION	E



- EROSION CONTROL NOTES:**
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH STATE OF CONNECTICUT GUIDELINES FOR EROSION CONTROL AND CONSTRUCTION DISTURBANCE, AND WITH THE TOWN/COUNTY CODE ENFORCEMENT OFFICER.
  - TEMPORARY SILT FENCE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT SITE CONSTRUCTION. STOCK PILE ON SITE SHALL BE COVERED WITH SILT FENCE OR SILT BARRIERS AT ALL TIMES. SILT BARRIERS SHALL BE PLACED UPSTREAM OF PERMANENT VEGETATIVE BOUNDARY COVER IS ESTABLISHED.
  - ALL DISTURBED AREAS OUTSIDE THE LIMITS OF THE EQUIPMENT LEASE AREA AND ACCESS ROADWAY SHALL BE PERMANENTLY ESTABLISHED WITH A VEGETATIVE GROUND COVER.
  - STILLING BASIN SHALL BE UTILIZED FOR ANY DE-WATERING OPERATIONS WHICH MAY OCCUR DURING CONSTRUCTION.
  - PROPOSED CONSTRUCTION IMPACTS AND PERMANENT IMPROVEMENTS SHALL NOT SIGNIFICANTLY IMPACT STORM WATER RUNOFF PATTERNS, VOLUME OR PEAK FLOW RATES. THE FLAT GRADE OF THE EQUIPMENT LEASE AREA AND STONE CONTOUR SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - CONTRACTOR SHALL TAKE ALL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY GRADING ACTIVITIES IN LOCATIONS SHOWN ON THIS PLAN.
  - SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
  - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN NEARLY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FABRIC.
  - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED TO THE SHORTEST PRACTICAL PERIOD OF TIME AND BE SHALL NOT EXCEED 10 DAYS. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
  - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION, SHALL BE SEEDED WITH GRASS OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDING AREAS AT A RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPILLED, AIR-DRIED, AND TREE FROM WEED, SEEDS, AND ANY COARSE MATERIAL.
- LAND DISTURBANCE NOTE:**  
0.04 ACRES OF LAND WILL BE DISTURBED DURING CONSTRUCTION ACTIVITIES, WHICH IS BELOW THE 0.5 ACRE LIMIT NOTED ON PAGE 3 OF THE 2002 CT EROSION AND SEDIMENT CONTROL GUIDELINES.
- TREE NOTE:** ALL TREES TO REMAIN NEED TO BE TAGGED IN THE FIELD PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT TREES TO REMAIN FROM DAMAGE. CONTRACTOR TO INSTALL ORANGE SNOW FENCING SECURED TO WOOD STAKES AROUND TREES TO REMAIN AS SHOWN ON PLAN THIS SHEET.
- WETLAND PROTECTION NOTE:**  
DISTURBANCE OF FLAGGED WETLAND AREA IS NOT PERMITTED. CONTRACTOR TO PROTECT WETLANDS AT ALL TIMES DURING CONSTRUCTION. SILT FENCING TO SURROUND WETLANDS AT ALL TIMES. WETLANDS MUST BE MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION. CONSTRUCTION DEBRIS SHALL BE DIRECTED AWAY FROM WETLANDS.

**BASEMAP NOTES:**  
1. BASEMAP OBTAINED FROM DANBURY, CT CORPORATION, DATED DECEMBER 27, 2005.  
2. WETLAND FLAG LOCATIONS BASED ON A WETLAND DELINEATION BY KLENFELDER AND A SURVEY BY CAZ ASSOCIATES, INC.

**EROSION CONTROL CONTACT PERSON:**  
PAUL LUSTANI - CIA, INC.  
PHONE: (860) 257-6557  
\*CONTACT IMMEDIATELY IF ANY EROSION CONTROL MEASURES FAIL AT SITE.



SBA  
TOWERS I LLC  
SOUTHVIEW PARKWAY NW  
BOCA RATON, FL 33487-7197  
TEL: (561) 228-9123  
FAX: (561) 228-2588



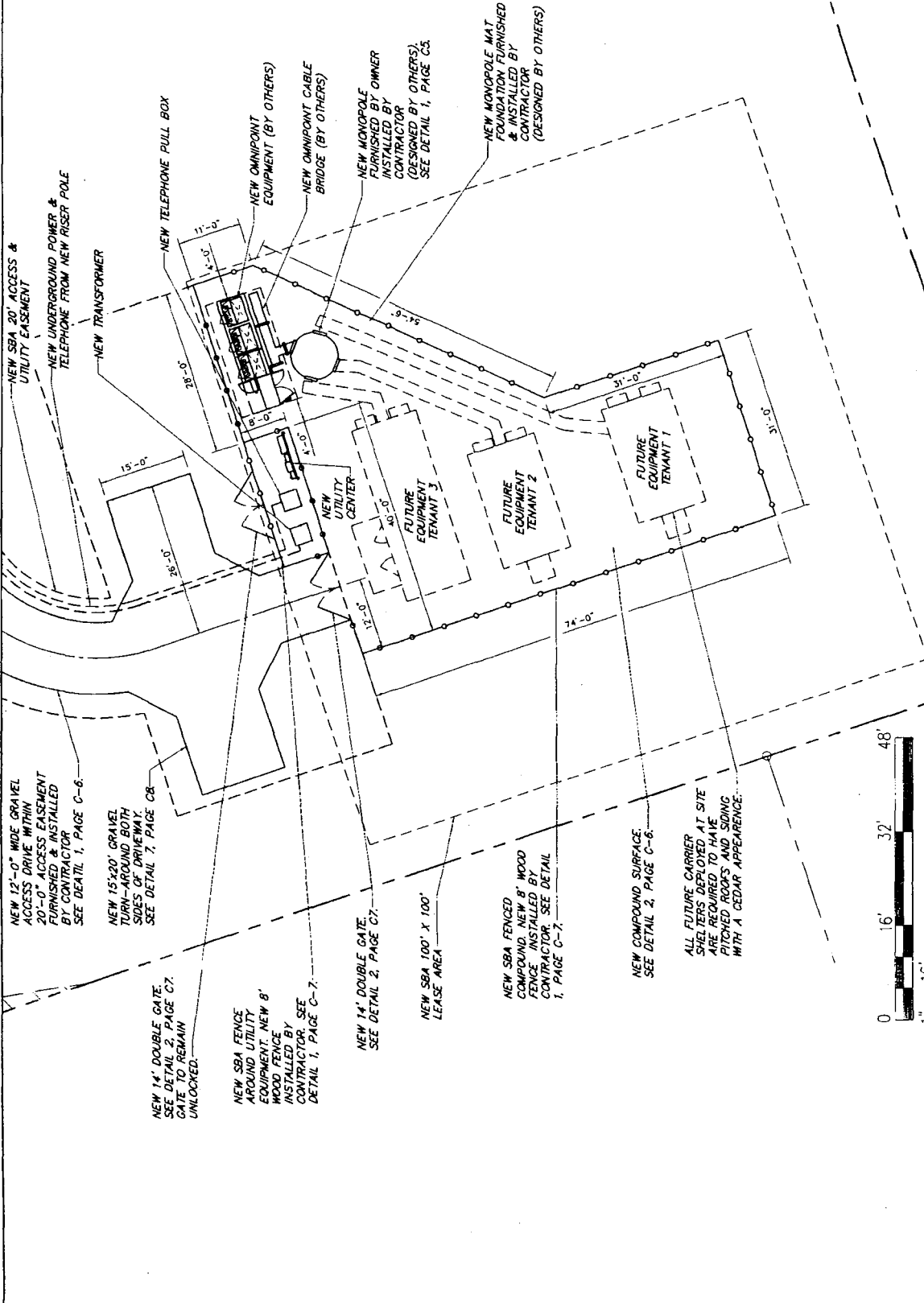
1100 Main Street, Suite 212, Danbury, CT 06810-2204  
www.cha.com

THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF CHA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED BY OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DATE PROJECT E. 15/03-10/09-10/11  
DRAWN BY: PHL  
CHECKED BY: JPS

REVISIONS	
NO.	DESCRIPTION
1	11/20/09 ISSUED PER OWNER COMMENTS
2	10/21/09 ISSUED PER OWNER COMMENTS
3	10/09/09 ISSUED TOWER FOUNDATION
4	09/21/09 ISSUED FOR CONSTRUCTION
5	DATE

PROJECT NO. 15363-1030-1601  
SITE NAME DANBURY-1  
SITE NUMBER CT13549  
SITE ADDRESS 52 STADLEY ROUGH ROAD DANBURY CT 06813  
DESIGN TYPE RAW LAND  
SHEET TITLE ENLARGED SITE PLAN  
DRAWING NO. C-4  
REVISION D





**SBA**  
 SBA INGENIER LLC  
 2960 BROWER SOUND  
 PARKWAY, NW  
 BOCA RATON, FL 33433  
 TEL: (561) 226-9523  
 FAX: (561) 226-9388

**CHIA**  
 CHIA ENGINEERING INC.  
 1180 Morris Avenue, Suite 212, Irving, NJ 07033  
 TEL: (973) 967-1000  
 FAX: (973) 967-1001

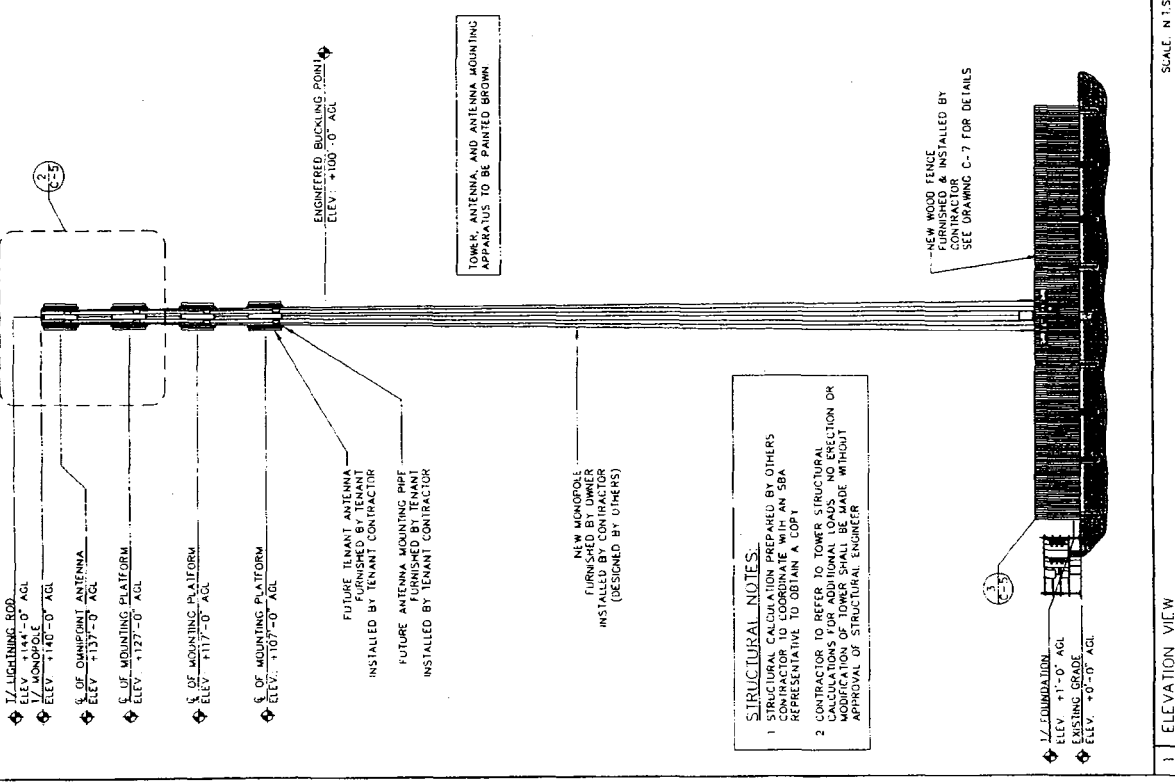
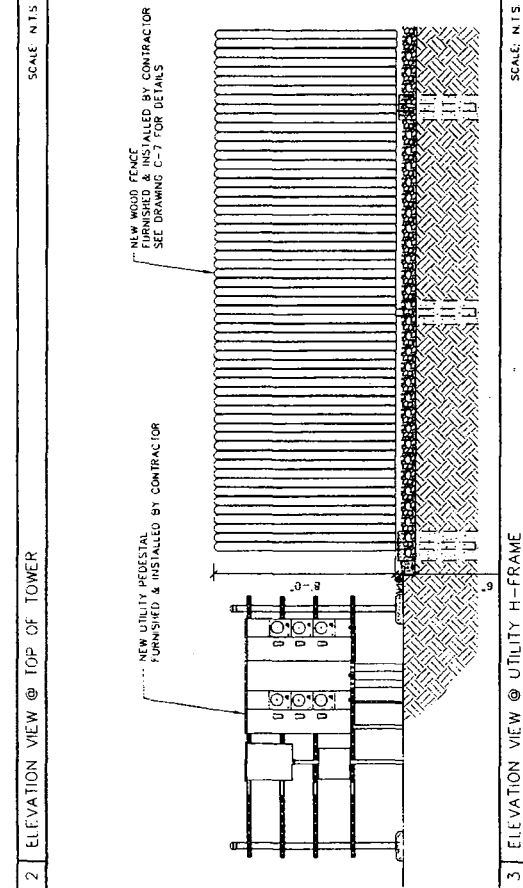
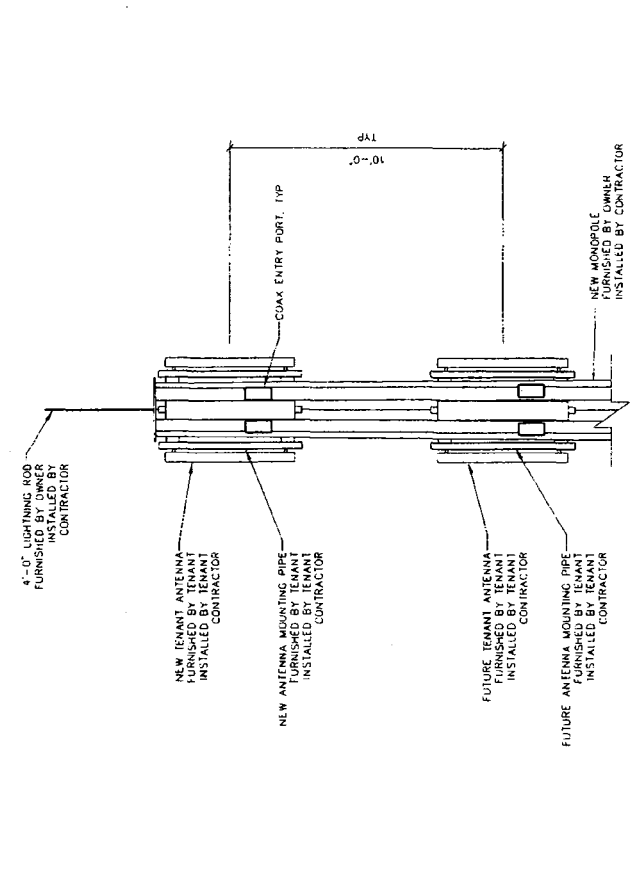
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO CHIA ENGINEERING INC. AND IS TO BE USED ONLY BY THE CLIENT TO WHOM IT IS STRICTLY PROHIBITED TO BE REPRODUCED OR COPIED.

DATE PROJECT #	15363-1030-1601
DRAWN BY	PAJ
CHECKED BY	JPE

NO.	DATE	DESCRIPTION
1	11/27/09	REVISED PER ITEM COMMENTS
2	12/17/09	REVISED PER ITEM COMMENTS
3	12/17/09	REVISED PER ITEM COMMENTS
4	12/17/09	REVISED PER ITEM COMMENTS
5	12/17/09	REVISED PER ITEM COMMENTS
6	12/17/09	ISSUED FOR CONSTRUCTION
7		

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND

SHEET TITLE	SITE ELEVATIONS
DRAWING NO.	C-5
REVISION	D



2 | ELEVATION VIEW @ TOP OF TOWER

3 | ELEVATION VIEW @ UTILITY H-FRAME



**SBA TOWERS & LLC**  
5900 BROOKLYN SOUND  
BOCA RATON, FL 33487-2797  
TEL: (561) 228-9523  
FAX: (561) 228-9388



1400 Main Street, Suite 112, Danbury, CT 06810  
Tel: (203) 755-1111  
Fax: (203) 755-1112

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROVIDED FOR THE CLIENT'S USE ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. ANY REVISIONS TO THIS SET OF DOCUMENTS SHALL BE STRICTLY PROHIBITED.

PROJECT #	15363-1030-1601
DRAWN BY	PAL
CHECKED BY	JPS

REVISIONS	
NO.	DATE
1	11/20/09
2	12/17/09
3	10/26/09
4	08/27/09
5	08/27/09

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SHEET NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	SITE DETAILS
DRAWING NO.	C-6
REVISION	D

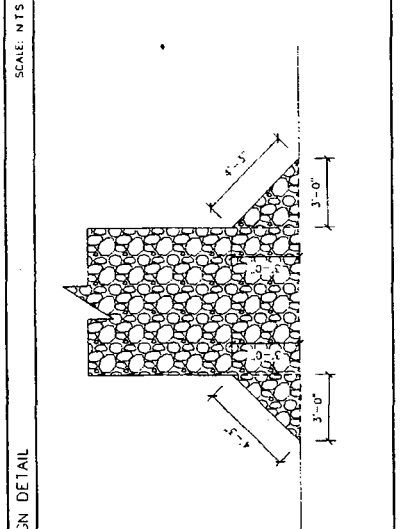
**NO TRESPASSING**  
AUTHORIZED PERSONNEL ONLY  
NO PARKING  
NO LOADING  
NO UNLOADING  
NO WALKING  
NO DRIVING  
NO STANDING  
NO STOPPING  
NO WAITING  
NO IDLING  
NO REVERSE  
NO BACKING  
NO FORWARD  
NO STOPPING  
NO WAITING  
NO IDLING  
NO REVERSE  
NO BACKING  
NO FORWARD

**SBA TOWERS**  
24"x18" SF C-X  
PLASTIC (TEMP)  
SBA TOWERS  
18"x24" SF C-X  
PLASTIC (TEMP)

**CAUTION**  
12"x24" D40  
ALUMINUM  
18"x12" D40  
ALUMINUM  
18"x12" D40  
ALUMINUM  
18"x12" D40  
ALUMINUM

**PLEASE KEEP GATE CLOSED**

**NOTE:** TO POST THE TEMPORARY SIGNS PRIOR TO SITE CONSTRUCTION



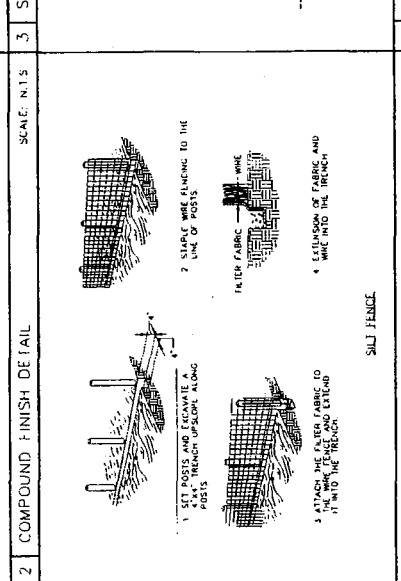
**NOTE:** WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELLED AREA WITH A 35" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

**NOTE:** NEW 3" THICK (MIN.) #57 WASHED STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

NEW 6" MIL HWY#1 SOG OR APPROVED EQUAL

NEW 3" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

SUITABLE UNDISTURBED SUBGRADE REMOVE ALL ORGANIC OR UNSUITABLE MATERIAL AND COMPACT TO SOG OF MFG. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)



**NOTE:** WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELLED AREA WITH A 35" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

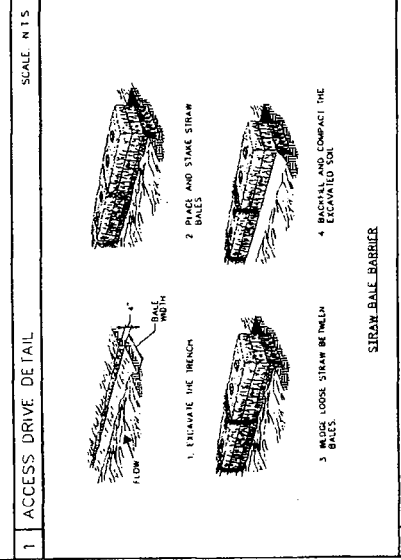
FIELD VERIFY W/PROJ. MGR. - CROWN ELEV. +1'3"

BASE - ELEV. 0'-0"

NEW 6" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

MIRAFIL (#500X) FABRIC UNDER ALL GRANULAR SURFACES. TYPICAL ALL CONDITIONS.

NEW 6" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)



**NOTE:** WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELLED AREA WITH A 35" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

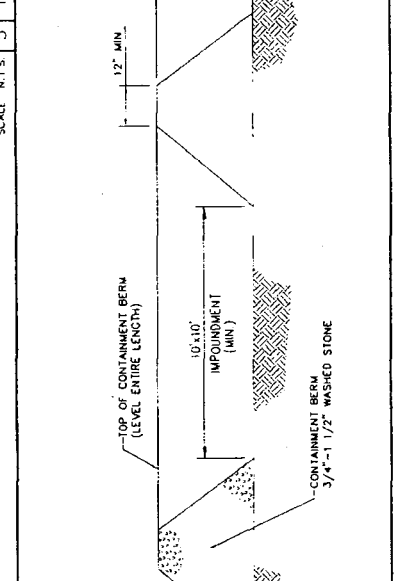
FIELD VERIFY W/PROJ. MGR. - CROWN ELEV. +1'3"

BASE - ELEV. 0'-0"

NEW 6" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

MIRAFIL (#500X) FABRIC UNDER ALL GRANULAR SURFACES. TYPICAL ALL CONDITIONS.

NEW 6" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)



**NOTE:** WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELLED AREA WITH A 35" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

FIELD VERIFY W/PROJ. MGR. - CROWN ELEV. +1'3"

BASE - ELEV. 0'-0"

NEW 6" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)

MIRAFIL (#500X) FABRIC UNDER ALL GRANULAR SURFACES. TYPICAL ALL CONDITIONS.

NEW 6" THICK (MIN.) ABC (CRUSHER RUN) STONE - SLOPE TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN POSITIVE DRAINAGE. STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)



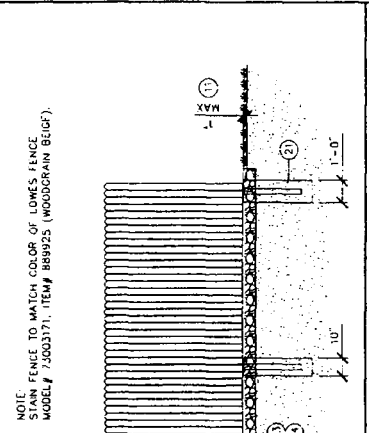


THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. THIS DOCUMENT IS STRICTLY PROHIBITED.

DATE PROJECTED	13/05/19-10-1601
DRAWN BY	PAL
CHECKED BY	APS

REVISIONS	
NO.	DESCRIPTION
1	11/20/09 REVISED PER OWNER COMMENTS
2	10/17/09 REVISED PER OWNER COMMENTS
3	10/06/09 REVISED TOWER FOUNDATION
4	09/17/09 ISSUED FOR CONSTRUCTION

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
TITLE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	FENCE DETAILS
DRAWING NO.	C-7
REVISION	D



NOTE: STAIN FENCE TO MATCH COLOR OF LOWES FENCE MODEL 73003171, ITEM# 889925 (WOODGRAIN BOUT).

SCALE: N.T.S.

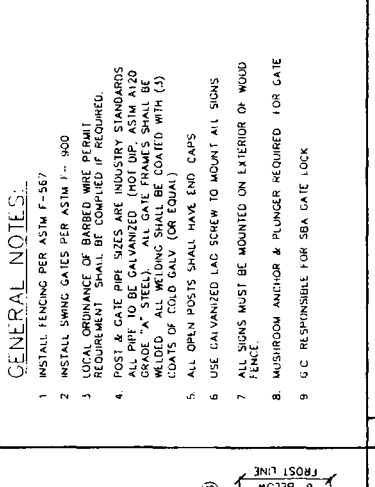
**GENERAL NOTES:**

1. INSTALL SWING GATES PER ASTM F-567
2. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
3. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF ZINC RICH (OR EQUIV).
4. ALL OPEN POSTS SHALL HAVE END CAPS
5. USE GALVANIZED LAC SCREW TO MOUNT ALL SIGNS
6. ALL SIGNS MUST BE MOUNTED ON EXTERIOR OF WOOD FENCE.
7. MUSHROOM ANCHOR & PLUNGER REQUIRED FOR GATE
8. G.C RESPONSIBLE FOR SEA GATE LOCK

**BALLOON REFERENCE NOTES:**

1. CORNER, END OR PULL POST: 3" O.D. SCHEDULE 40 PIPE
2. LINE POST: 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM F1083 LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
3. TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM-F1083
4. 5/8" X 6" X 8'-0" DOG EAR WOOD FENCE BOARD, NAIL TO 2 X 4 WITH GALVANIZED SPIRAL NAILS.
5. TIE WIRE: 9 GA ALUMINUM A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/GATES AND 24" NAILS/WIRE
6. TENSION WIRE: 9 GA ALUMINUM
7. BARBED WIRE: NOT REQUIRED
8. 3/16" X 3/4" (MIN) FULL HEIGHT STRETCHER BAR THREADED ROD.
9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL WOOD 2 X 4 SECURE TO POSTS WITH A GALVANIZED CLIP AND A U-BOLT 1" MINIMUM CLEARANCE FROM FINISH GRADE.
10. FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE.
11. FINISH GRADE SHALL BE UNIFORM AND LEVEL.
12. WELDED GATE FRAME: 2" O.D. SCHEDULE 40 PIPE, PER ASTM-F1083
13. GATE POST: 4" O.D. SCHEDULE 40 PIPE, PER ASTM F1083
14. GATE FRAME BRACE RAIL: 1 1/2" NOMINAL PIPE, PER ASTM-F1083
15. DUCK BILL OPEN GATE HOLDER: VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION
16. STYME LOCK MULTI-TENANT LOCKING DEVICE
17. URETHYLE FABRIC
18. CONCRETE FOUNDATION (MIN 3500 PSI) MINIMUM DEPTH: 6" BELOW FROST LINE
19. 12" X 24" SBA SITE INFORMATION SIGN
20. 12" X 24" NO TRESPASSING SIGN
21. 12" X 24" RT CAUTION SIGN
22. 18" X 12" KEEP GATE CLOSED SIGN

**DOUBLE-SWING GATE DETAIL**



NOTE: FENCE BOARDS, NOTE SHOWN, SO FENCE AND GATE FRAMES CAN BE DETAILED.

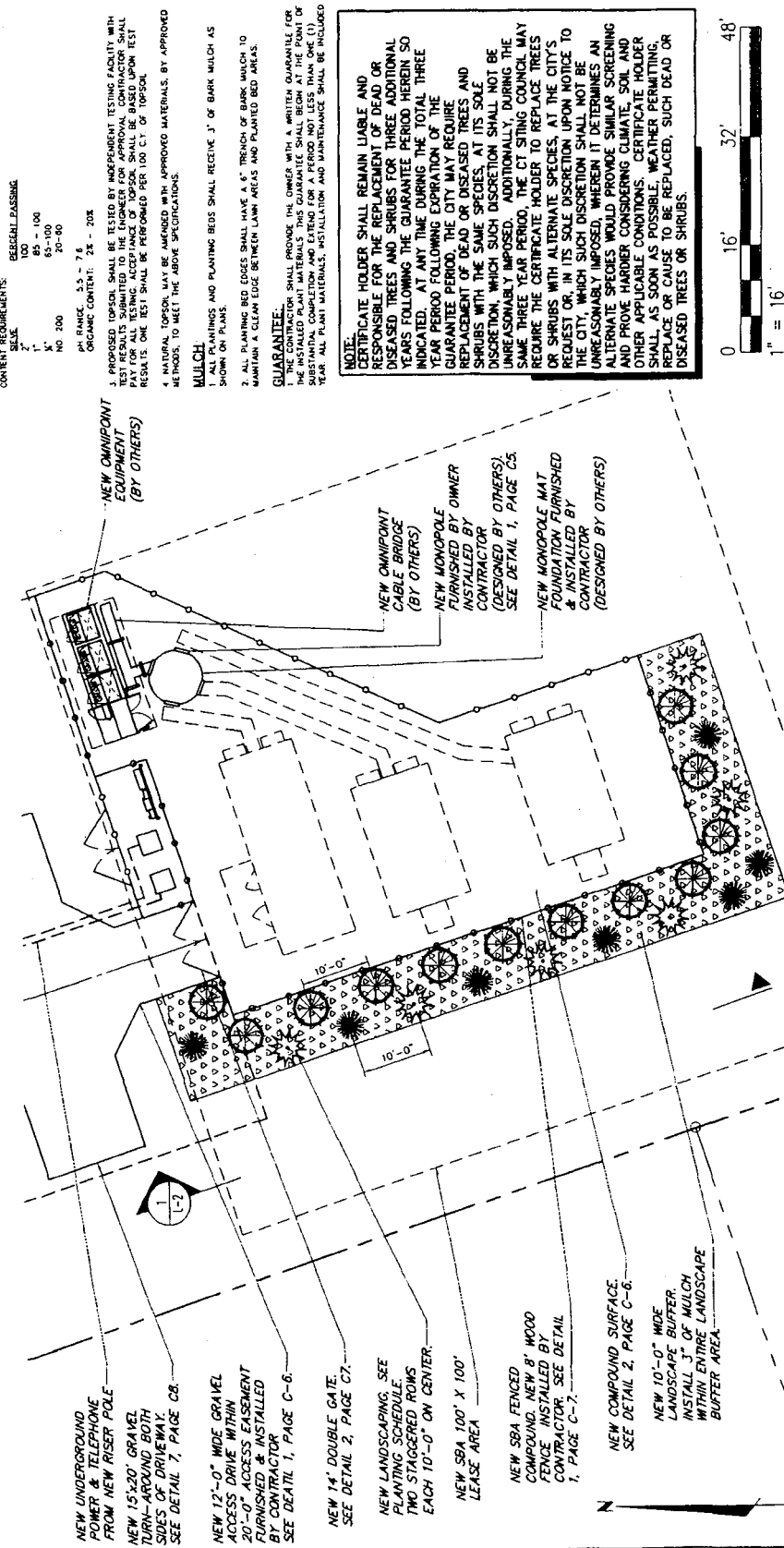
SCALE: 1/2"=1'-0"

**NOTES**

6 FENCING NOTES

**PLANTING SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	SYMBOL	REMARKS
TC	12	TAXUS CUSPIDATA "CAPITIATA"	CAPITIATA YEW	8'-0" TALL	B & B	10'-0" O.C.		FULL TO BASE
WP	7	THUJA OCC. "TECHNY"	MISSION ARBORVITAE	8'-0" TALL	B & B	10'-0" O.C.		FULL TO BASE
JV	6	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-0" TALL	B & B	10'-0" O.C.		FULL TO BASE



**SEEDING NOTES:**  
 1. ALL DISTURBED AREAS SHALL BE SOAK AND SEEDED WITH THE FOLLOWING SEEDING MIX:  
 50% MASSAW KENTUCKY BLUEGRASS  
 25% P-100 KENTUCKY BLUEGRASS  
 20% THE TURTLE RYE  
 2. WEED SEED CONTENT SHALL NOT EXCEED 0.25%  
 3. THE SEED MIXTURE SHALL BE DISTRIBUTED BY MEANS OF HYDRO-SEEDING.  
 4. THE FERTILIZER SHALL BE A 3-10-5 COMMERCIAL GRADE FERTILIZER APPLIED AT THE MANUFACTURER'S RECOMMENDED APPLICATION RATE  
 5. SEEDING APPLICATION RATE SHALL BE 5 LBS PER 1,000 SQ. FT.

**TOPSOIL NOTES:**  
 1. ALL DISTURBED AREAS TO BE SEED OR PLANTED SHALL RECEIVE TOPSOIL, 16" MINIMUM DEPTH)  
 2. TOPSOIL SHALL CONSIST OF FERTILE, FRABLE, NATURAL LOAM FREE OF SUBSOL, CLAY LUMPS, BRUSH, STONES OR OTHER DELETERIOUS MATERIALS LARGER THAN 2" IN DIAMETER AND MEETING THE FOLLOWING GRADATION, pH AND ORGANIC CONTENT REQUIREMENTS:  
 GENERAL PASSING:  
 75% - 100  
 100% - 200  
 100% - 4.75  
 100% - 7.5  
 100% - 100  
 100% - 200  
 100% - 4.75  
 100% - 7.5  
 100% - 100  
 100% - 200  
 ORGANIC CONTENT: 2% - 20%

**MULCH:**  
 ALL PLANTINGS AND PLANTING BEDS SHALL RECEIVE 1" OF BARK MULCH AS SHOWN ON PLANS.  
 2. ALL PLANTING BED EDGES SHALL HAVE A 4" TRIMMING OF BARK MULCH TO MAINTAIN A CLEAN EDGE BETWEEN LAWN AREAS AND PLANTED BED AREAS.

**GUARANTEE:**  
 THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR THE SUBSTITUTION OF PLANT MATERIALS THIS GUARANTEE SHALL BEGIN AT THE POINT OF SUBSTANTIAL COMPLETION AND EXTEND FOR A PERIOD NOT LESS THAN ONE (1) YEAR. ALL PLANT MATERIALS, INSTALLATION AND MAINTENANCE SHALL BE INCLUDED.

**NOTE:**  
 CERTIFICATE HOLDER SHALL REMAIN LIABLE AND RESPONSIBLE FOR THE REPLACEMENT OF DEAD OR DISEASED TREES AND SHRUBS OR THREE ADDITIONAL YEARS FOLLOWING THE CERTIFICATE PERIOD HEREIN SO INDICATED. AT THE EXPIRATION OF THE TOTAL THREE YEAR PERIOD FOLLOWING THE EXPIRATION OF THE CERTIFICATE PERIOD THE CITY MAY REQUIRE REPLACEMENT OF DEAD OR DISEASED TREES AND SHRUBS WITH THE SAME SPECIES AT ITS SOLE DISCRETION WHICH SUCH DISCRETION SHALL NOT BE UNREASONABLY IMPOSED. ADDITIONALLY DURING THE SAME THREE YEAR PERIOD THE CITY SITING COUNCIL MAY REQUIRE THE CERTIFICATE HOLDER TO REPLACE TREES OR SHRUBS WITH ALTERNATE SPECIES AT THE CITY'S REQUEST OR IN ITS SOLE DISCRETION UPON NOTICE TO THE CITY WHICH SUCH DISCRETION SHALL NOT BE UNREASONABLY IMPOSED. WHEREIN IT DETERMINES AN ALTERNATE SPECIES WOULD PROVIDE SIMILAR SCREENING AND PROVE HARDIER CONSIDERING CLIMATE, SOIL AND OTHER APPLICABLE CONDITIONS. CERTIFICATE HOLDER SHALL AS SOON AS POSSIBLE, WEATHER PERMITTING, REPLACE OR CAUSE TO BE REPLACED, SUCH DEAD OR DISEASED TREES OR SHRUBS.



**SBA**  
 SBA TOWERS II LLC  
 9600 BROOKEN SOUND  
 BOCA RATON, FL 33487-2197  
 TEL: (561) 235-8533  
 FAX: (561) 222-3588

**CHA**  
 CHA Landscape Architecture  
 2100 Main Street, Suite 113, Danbury, CT 06810  
 TEL: (203) 755-1200  
 FAX: (203) 755-1201

THE INFORMATION CONTAINED IN THIS SET OF PLANS IS THE PROPERTY OF CHA AND IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHA. THE CLIENT IS STRICTLY PROHIBITED FROM REPRODUCING OR TRANSMITTING THIS INFORMATION IN ANY MANNER.

DATE PROJECTED	15363-1030-1601
DRAWN BY	PAL
CHECKED BY	JPS

**REVISIONS**

NO.	DATE	DESCRIPTION
1	07/20/10	REVISED PER COMMENTS
2	11/22/09	REVISED PER TOWN COMMENTS
3	10/21/09	REVISED PER TOWN COMMENTS
4	10/27/09	REVISED TOWER FOUNDATION
5	09/27/09	ISSUED FOR CONSTRUCTION

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND

SHEET TITLE	LANDSCAPE PLAN
DRAWING NO.	L-1
REVISION	E



**SBA**  
 SBA TOWERS H LLC  
 5900 BROKEN SOUND  
 BOCA RATON, FL 33487-7297  
 TEL: (561) 238-9222  
 FAX: (561) 228-9268

**CHA**  
 1100 North Orange Avenue, Suite 211, Orlando, Florida 32801  
 www.cha.com

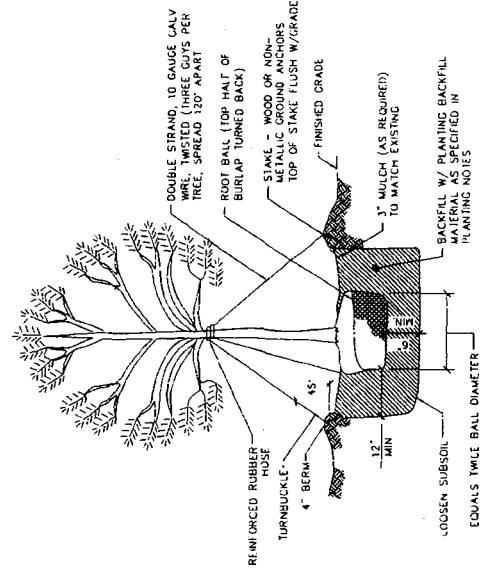
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO CHA AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED TO THE CLIENT IS STRICTLY PROHIBITED.

DATE PROJECTED: 12/08/09  
 DRAWN BY: PAL  
 CHECKED BY: JPE

REVISIONS

NO.	DATE	DESCRIPTION
1	11/22/09	REVISED PER TOWN COMMENTS
2	10/21/09	REVISED PER TOWN COMMENTS
3	10/09/09	REVISED TOWER FOUNDATION
4	08/27/09	REVISED FOR CONSTRUCTION

PROJECT NO: 15363-1030-1601  
 SITE NAME: DANBURY-1  
 SITE NUMBER: CT13549  
 SITE ADDRESS: 59 STADLEY ROUGH ROAD DANBURY, CT 06811  
 DESIGNTYPE: RAW LAND  
 SHEET TITLE: LANDSCAPE DETAILS  
 DRAWING NO: L-2  
 REVISION: D



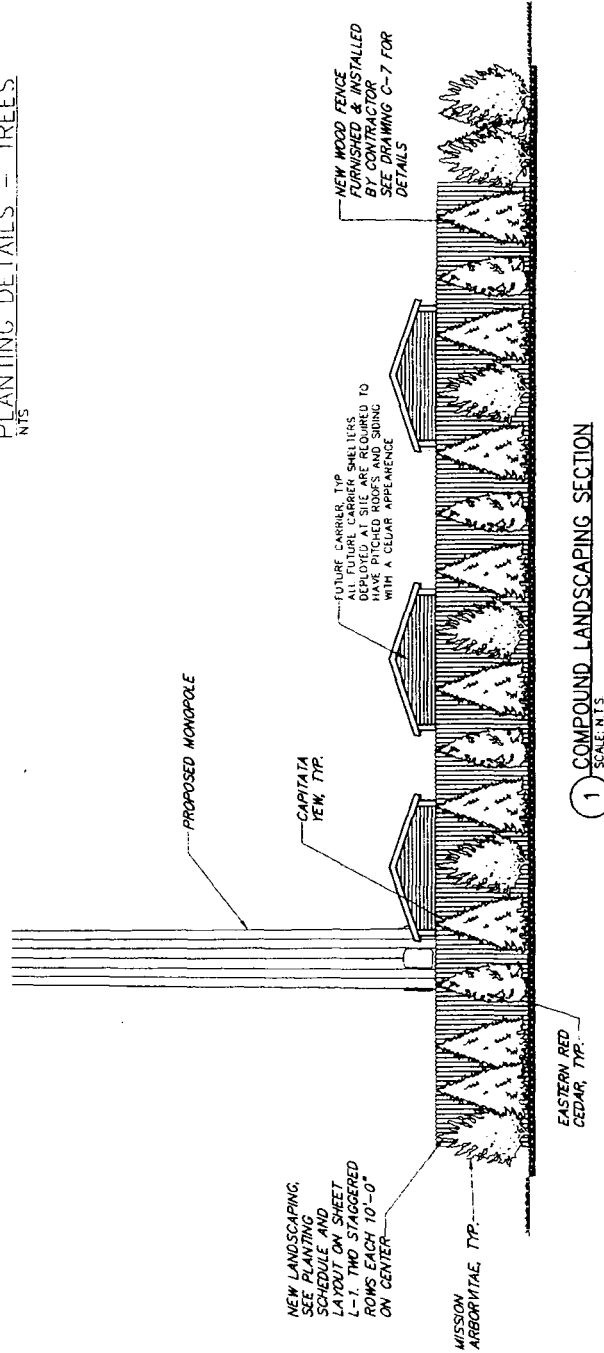
PLANTING DETAILS - TREES  
 NTS

**PLANTING NOTES**

**PLANTING BACKFILL:**  
 A. MIXES: ALL BACKFILL MATERIALS SHALL BE BULK MIXED, NOT INDIVIDUALLY MIXED AT EACH PLANT PIT  
 B. REVISIONS: BACKFILL FOR PLANTING PITS SHALL BE ENRICHED USING THE FOLLOWING BLEND PER CUBIC YARD:  
 C. SOIL MIX:  
 60% TOP SOIL  
 40% ORGANIC AMENDMENT, PEAT OR LEAF COMPOST  
 COMMERCIAL FERTILIZER "AGFORM", 20-10-5  
 ADD TERMA-SORB 1M OR EQUAL HYDROGEL CRYSTALS AT THE RATE OF ONE PER CUBIC FOOT

**PLANTING:**  
 A. TREE AND SHRUB PLANTING:  
 1. SOIL SURROUNDING PLANTING PIT SHALL BE IN A FRABLE CONDITION AND MOIST TO A DEPTH OF 8".  
 2. BACKFILL USING SPECIFIED SOIL MIX TO WITHIN 8" OF FINISH GRADE. AT THIS DEPTH, PLACE THE PLANT FERTILIZER TABLETS AGFORM, 20-10-5, ONE PER CUBIC FOOT. ONE TABLET PER CUBIC FOOT. A MINIMUM OF TWO TABLETS PER CUBIC FOOT SHALL BE USED TO ENRICH THE SOIL SURROUNDING THE PLANT.  
 3. TREES SHALL BE PLANTED AT SUCH A DEPTH THAT THE CROWN ROOTS BEAR THE SAME RELATIVE POSITION TO FINISH GRADE AS THE CROWN ROOTS DID IN THE SOILS WHERE THE TREES WERE GROWN. BACKFILL AFTER PLANTING SHALL BE COMPACTED CAREFULLY INTO PLACE WITHOUT INJURING THE ROOTS OF THE TREE OR BREAKING UP THE BALL OF EARTH SURROUNDING THE ROOTS.

**WATERING:**  
 A. RESPONSIBILITY: IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A BALANCED WATERING PROGRAM TO ENSURE PROPER GROWTH UNTIL FINAL ACCEPTANCE OF THE WORK.  
 B. INITIAL WATERING: IMMEDIATELY AFTER PLANTING, APPLY WATER TO EACH PLANT. APPLY WATER IN A MODERATE FLOW RATE TO THE TOP OF THE GROUND. FOR TREES PLANTED IN SPRING OR SUMMER, PROVIDE TWO TO THREE IRRIGATIONS EACH WEEK DURING THE FIRST TWO MONTHS AFTER PLANTING. THE USE OF "TRICKLE" DRIP IRRIGATION BAGS MAY BE USED AND SHOULD BE FILLED ONCE PER WEEK.  
 C. ONGOING WATERING: FOLLOWING THE INITIAL TWO MONTHS OF FREQUENT IRRIGATION, PROVIDE WEEKLY IRRIGATION UNTIL THE END OF THE GROWING SEASON (MID NOVEMBER). AT EACH IRRIGATION, APPLY ABOUT 2 GALLONS PER CUBIC FOOT OF SOIL SURROUNDING THE ROOT BALL. PROVIDE ADDITIONAL IRRIGATION FOR A 2-INCH TREE OVER THE ROOT BALL. NEVER ADD IRRIGATION IF THE ROOT BALL IS SATURATED.



1 COMPOUND LANDSCAPING SECTION  
 SCALE: NTS

**SBA**  
 SBA TOWERS II LLC  
 5900 BROOKEN SOUND  
 BOCA RATON, FL 33487-2797  
 TEL: (561) 224-9523  
 FAX: (561) 224-1268

**CHA**  
 CHA GROUP INC.  
 2100 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO CHA GROUP INC. AND IS TO BE RELEASED TO THE CLIENT IN STRICTLY PROHIBITED MANNER.  
 DATE PROJECT: 12/28/09  
 DRAWN BY: PAL  
 CHECKED BY: JPS

REVISIONS

NO.	DATE	DESCRIPTION
1	11/23/09	REVISED PER TOWER COMMENTS
2	10/21/09	REVISED PER TOWER COMMENTS
3	10/28/09	REVISED TOWER FOUNDATION
4	08/21/09	REVISED FOR CONSTRUCTION

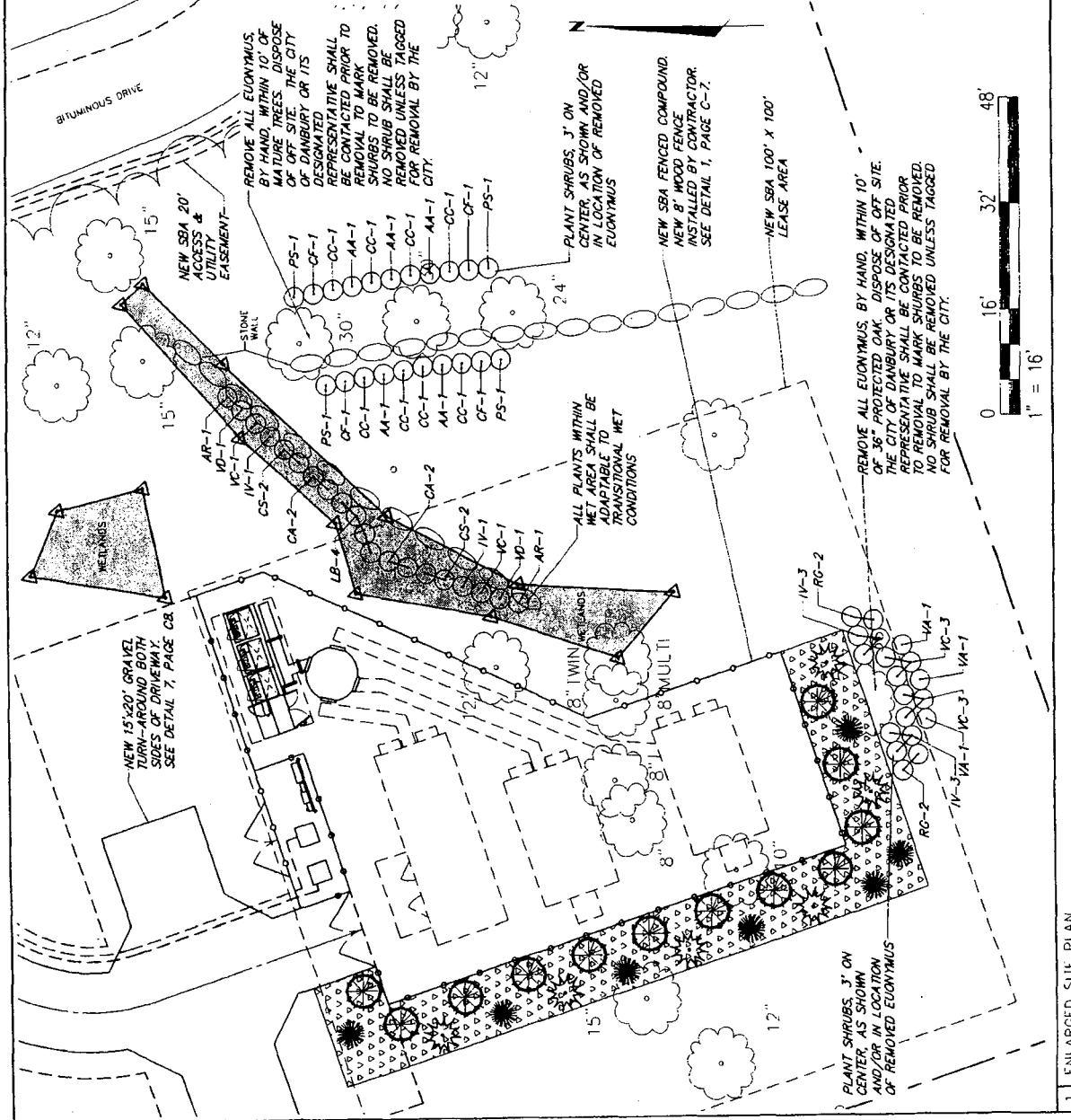
PROJECT NO: 15363-1030-1601  
 SITE NAME: DANBURY-1  
 SITE NUMBER: CT13549  
 SITE ADDRESS: 52 STANLEY BLOSS ROAD DANBURY, CT 06811  
 DESIGNATIVE: RAW LAND

SHEET TITLE: ECOLOGICAL ENHANCEMENT PLAN  
 DRAWING NO: L-3  
 REVISION: D

**NOTE:**  
 ALL PLANTINGS SHALL BE INSPECTED AT THE END OF EACH YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION THROUGH THE END OF THE YEAR ANY DEAD PLANTINGS FOUND AT EACH SUCH INSPECTION SHALL BE REPLACED. AN ANNUAL REPORT DOCUMENTING THIS SHALL BE SUBMITTED TO THE CITY OF DANBURY DEPARTMENT OF HEALTH & HOUSING.

**PLANTING SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SYMBOL
AA	5	AMELANCHIER ARBOREA	SHAQBUSH	○
CF	4	CORNUS FLORIDA	FLOWERING DOGWOOD	○
RC	4	RHUS GLABRA	SMOOTH SUMAC	○
VC	8	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	○
VA	3	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	○
IV	8	ILEX VERTICILLATA	COMMON WINTERBERRY	○
CC	8	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	○
PS	4	PRUNUS SEROTINA	BLACK CHERRY	○
LB	4	LINDERA BENZON	SPICEBUSH	○
CS	4	CORNUS SERICEA	RED OSIER DOGWOOD	○
VD	2	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	○
AR	2	ACER RUBRUM	RED MAPLE	○
CA	4	CORNUS ALBA	RED-TWIG DOGWOOD	○



1 ENLARGED SITE PLAN



THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO THE CLIENT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFIC TO THE CLIENT IS STRICTLY PROHIBITED.

DATE PROJECT: 10/08-10/01  
 DRAWN BY: CHM  
 CHECKED BY: PAL

REVISIONS	
NO.	DATE
1	10/21/08 REVISED PER TOWN COMMENTS
2	10/21/08 REVISED PER TOWN COMMENTS
3	10/21/08 REVISED PER TOWN COMMENTS
4	10/21/08 REVISED PER TOWN COMMENTS
5	10/21/08 REVISED PER TOWN COMMENTS
6	10/21/08 REVISED PER TOWN COMMENTS
7	10/21/08 REVISED PER TOWN COMMENTS
8	10/21/08 REVISED PER TOWN COMMENTS
9	10/21/08 REVISED PER TOWN COMMENTS
10	10/21/08 REVISED PER TOWN COMMENTS
11	10/21/08 REVISED PER TOWN COMMENTS
12	10/21/08 REVISED PER TOWN COMMENTS
13	10/21/08 REVISED PER TOWN COMMENTS
14	10/21/08 REVISED PER TOWN COMMENTS
15	10/21/08 REVISED PER TOWN COMMENTS
16	10/21/08 REVISED PER TOWN COMMENTS
17	10/21/08 REVISED PER TOWN COMMENTS
18	10/21/08 REVISED PER TOWN COMMENTS
19	10/21/08 REVISED PER TOWN COMMENTS
20	10/21/08 REVISED PER TOWN COMMENTS

PROJECT NO: 15363-1030-1601  
 SITE NAME: DANBURY-1  
 SITE NUMBER: CT13549  
 SITE ADDRESS: 52 STADLEY ROUGH ROAD, DANBURY, CT 06811  
 DESIGN TYPE: RAW LAND  
 SHEET TITLE: UTILITY SITE PLAN  
 DRAWING NO: E-1  
 REVISION: D

### GENERAL ELECTRICAL NOTES

- 1.) ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES.
- 2.) ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.
- 3.) CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL MATERIALS AND EQUIPMENT. THE CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
- 4.) ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT LISTED.
- 5.) ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL".
- 6.) THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
- 7.) ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
- 8.) FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
- 9.) PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 10.) PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
- 11.) LABEL ALL ELECTRICAL EQUIPMENT PER SBA SPECIFICATIONS.
- 12.) ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
- 13.) ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
- 14.) ALL INTERIOR CONDUITS AND BUSBARS SHALL BE BUILT ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
- 15.) NO SPOOLS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.
- 16.) CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER ONE TO IDENTIFY "SBA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.

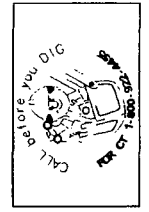
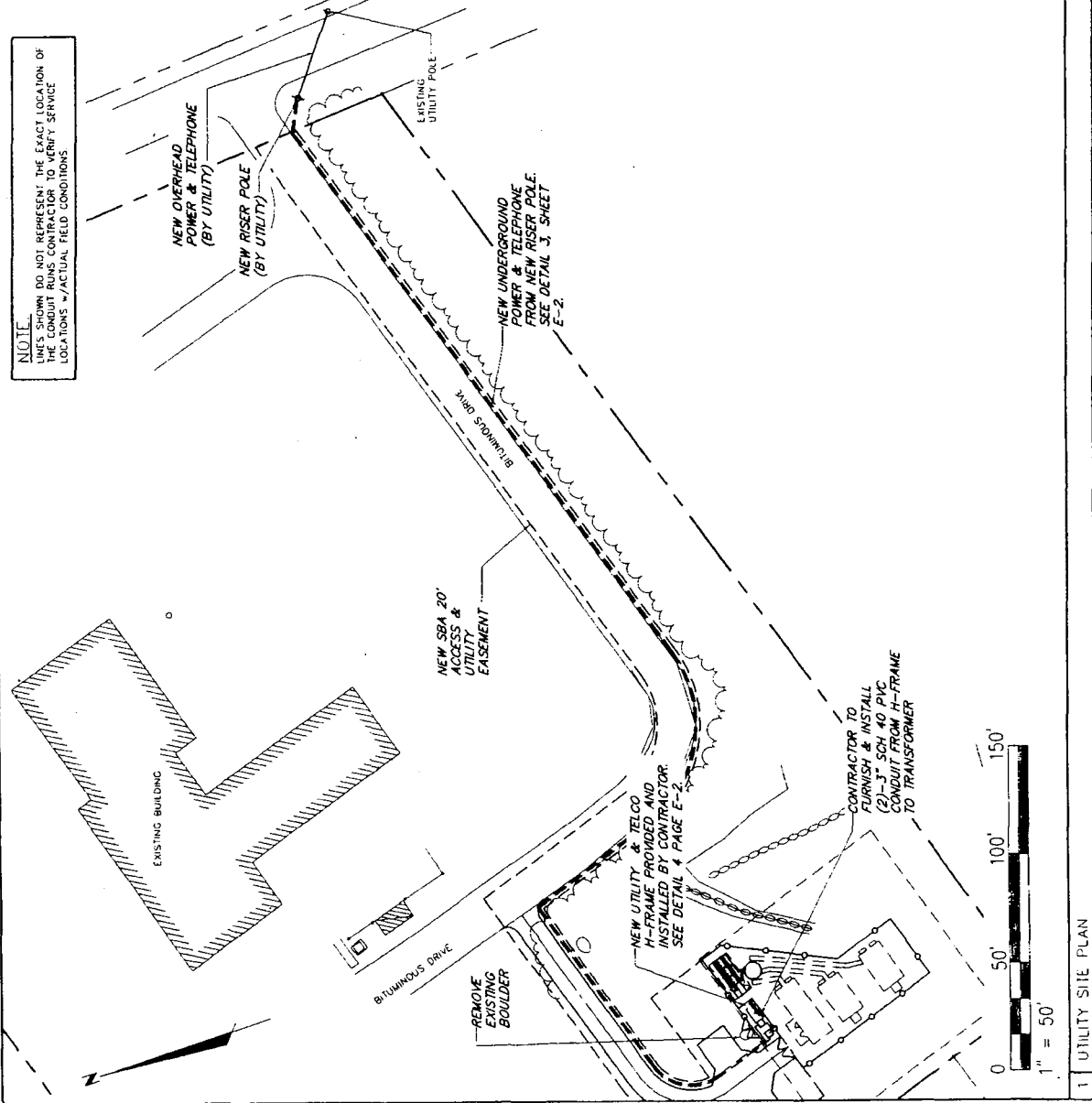
### CODES AND STANDARDS

ANSI AMERICAN NATIONAL STANDARDS INSTITUTE  
 NEC NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION  
 NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION  
 NFPA NATIONAL FIRE PROTECTION ASSOCIATION  
 UL UNDERWRITERS LABORATORIES, INC.

### UTILITY PROVIDE INFORMATION

POWER COMPANY: CLAP  
 CONTACT: UNKNOWN  
 PHONE: (800) 286-2000

TELEPHONE COMPANY: AT&T CONNECTICUT  
 CONTACT: UNKNOWN  
 PHONE: (800) 648-3920



1 UTILITY SITE PLAN

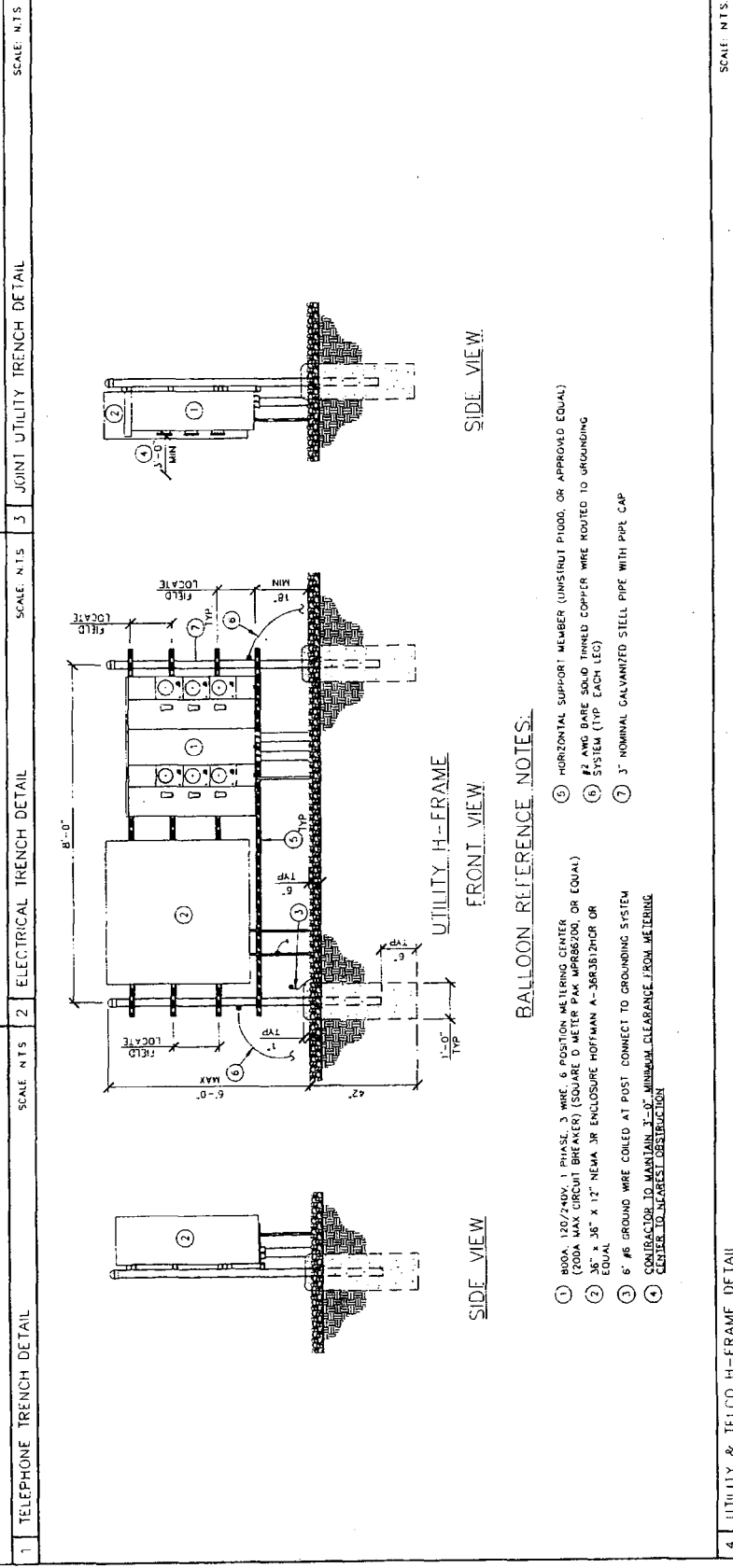
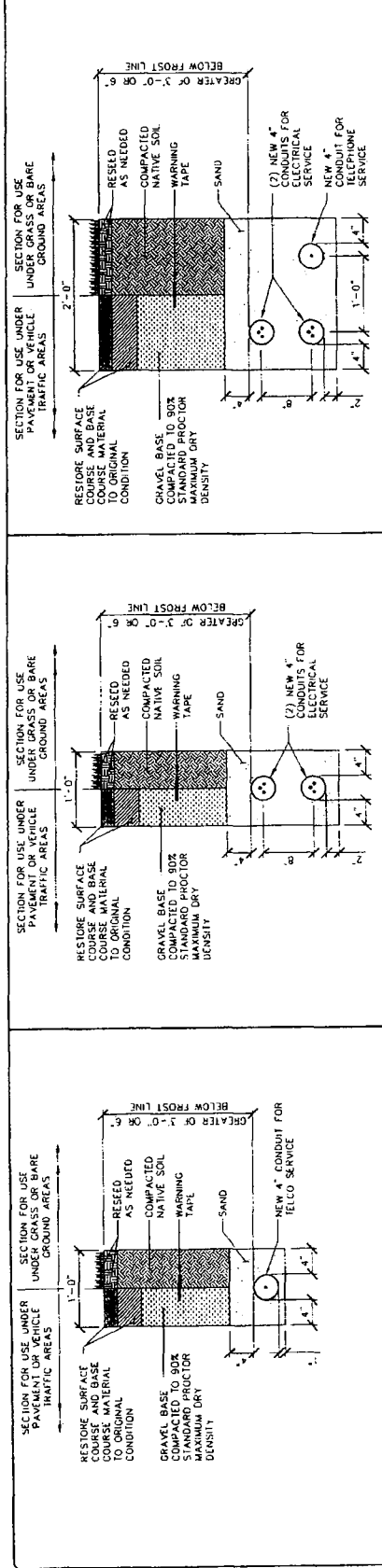


THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. THIS DOCUMENT IS STRICTLY CONFIDENTIAL.

DATE PROJECT #	1503-1030-1601
DRAWN BY:	CHAM
CHECKED BY:	PAL

NO.	DATE	DESCRIPTION
1	11/17/09	ISSUED FOR PERMITS
2	11/17/09	ISSUED FOR PERMITS
3	11/17/09	ISSUED FOR PERMITS
4	11/17/09	ISSUED FOR PERMITS
5	11/17/09	ISSUED FOR PERMITS
6	11/17/09	ISSUED FOR PERMITS
7	11/17/09	ISSUED FOR PERMITS

PROJECT NO.	15363-1030-1601
SITE NAME	DANBURY-1
SITE NUMBER	CT13549
SITE ADDRESS	52 STADLEY ROUGH ROAD DANBURY, CT 06811
DESIGN TYPE	RAW LAND
SHEET TITLE	UTILITY DETAILS
DRAWING NO.	E-2
REVISION	E



- BALLOON REFERENCE NOTES:**
- 1 400A 120/240V 1 PHASE 3 WRE 6 POSITION METERING CENTER (200A MAX CIRCUIT BREAKER) (SQUARE D METER PAK MPR86/200 OR EQUAL)
  - 2 35" x 35" x 12" NEMA 3R ENCLOSURE HOFFMAN A-36R3B/2HCR OR EQUAL
  - 3 #6 GROUND WIRE COILED AT POST CONNECT TO GROUNDING SYSTEM
  - 4 CONTRACTOR TO MAINTAIN 3'-0" MINIMUM CLEARANCE FROM METERING CENTER TO NEAREST OBSTRUCTION
  - 5 HORIZONTAL SUPPORT MEMBER (UNINSULATED, OR APPROVED EQUAL)
  - 6 #2 AND DATE SOLID THINNED COPPER WIRE ROUTED TO GROUNDING SYSTEM (TYP EACH LEG)
  - 7 3" NOMINAL GALVANIZED STEEL PIPE WITH PIPE CAP

SCALE: N.T.S. 4 UTILITY & TELCO H-FRAME DETAIL



SBA TOMERIS & LLC  
 5900 BROOKEN SOUND  
 ROCKY HILL, CT 06865-2797  
 TEL: (861) 228-9523  
 FAX: (861) 228-9388

Member of the CHA Group



258 Main Street, Suite 207, Middletown, CT 06457-1208  
 Tel: (860) 346-1100 Fax: (860) 346-1101

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY TO CHA GROUP AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHA GROUP. ANY OTHER THAN THAT WHICH IS RELAYED TO THE CLIENT IS STRICTLY PROHIBITED.

DATE PROJECT # 1593-1030-1601  
 DRAWN BY CHAM  
 CHECKED BY PAL

REVISIONS

NO.	DATE	DESCRIPTION
1	12/18/03	REVISED PER IOWA COMMENTS
2	11/14/03	REVISED PER IOWA COMMENTS
3	10/21/03	REVISED PER IOWA COMMENTS
4	10/09/03	REVISED PER IOWA COMMENTS
5	09/21/03	ISSUED FOR CONSTRUCTION

PROJECT No. 15363-1030-1601  
 SITE NAME DANBURY-1

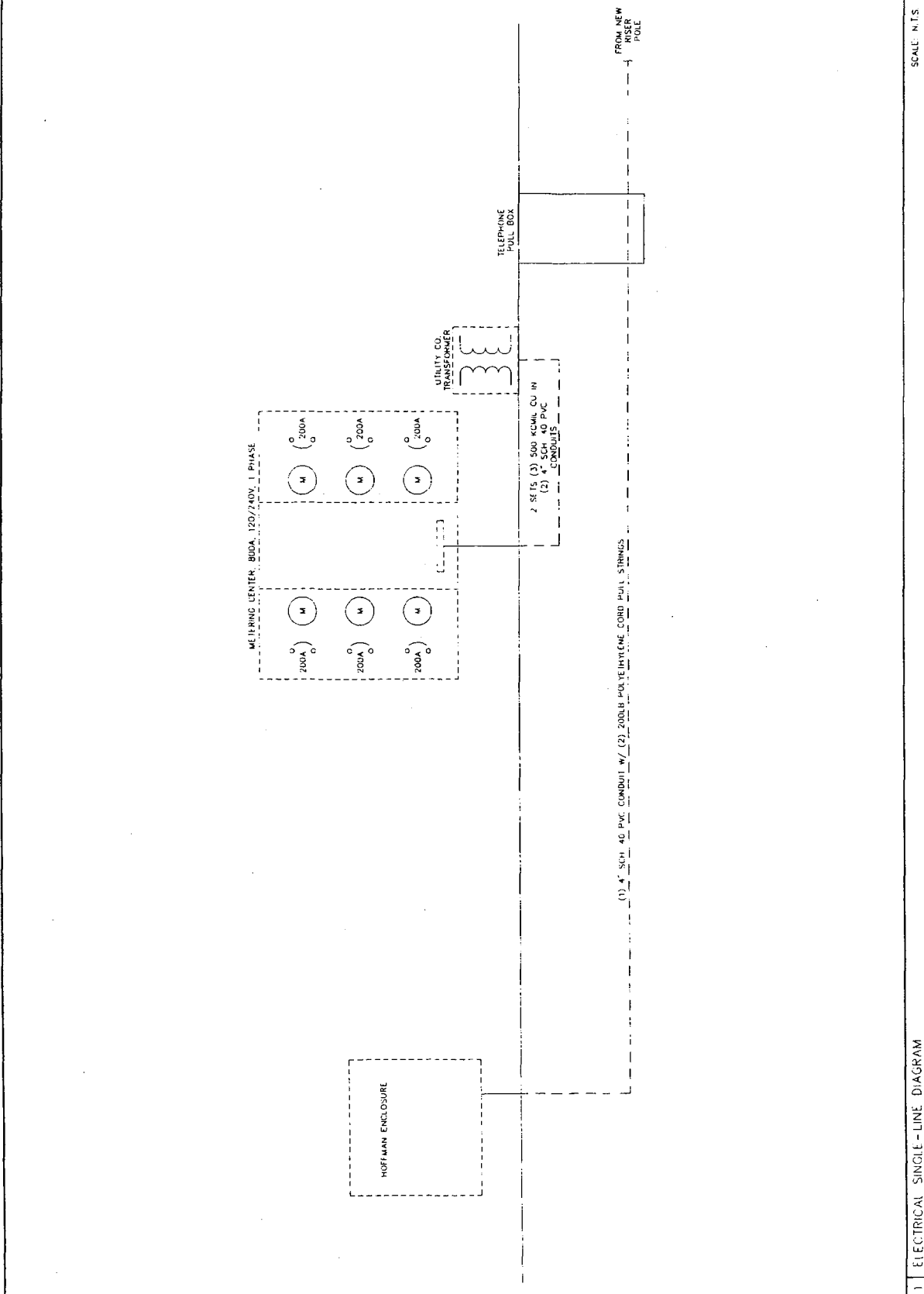
SITE NUMBER CT13549

SITE ADDRESS 52 STANLEY ROUGH ROAD DANBURY, CT 06811

DESIGN TYPE RAW LAND

SHEET TITLE SINGLE LINE DIAGRAM & PANEL SCHEDULE

DRAWING NO. E-3  
 REVISION E



SCALE: N.T.S.

1 ELECTRICAL SINGLE-LINE DIAGRAM

**SBA**  
 SBA TOWERS LLC  
 500 PARKWAY  
 BOCA RATON, FL 33497-2377  
 TEL: (561) 235-9288  
 FAX: (561) 235-9288

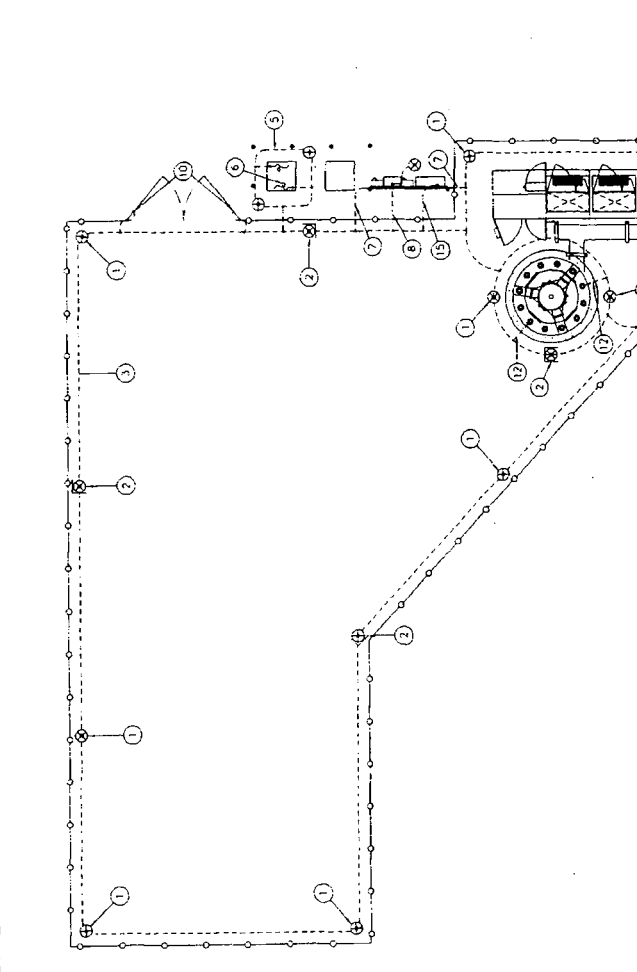
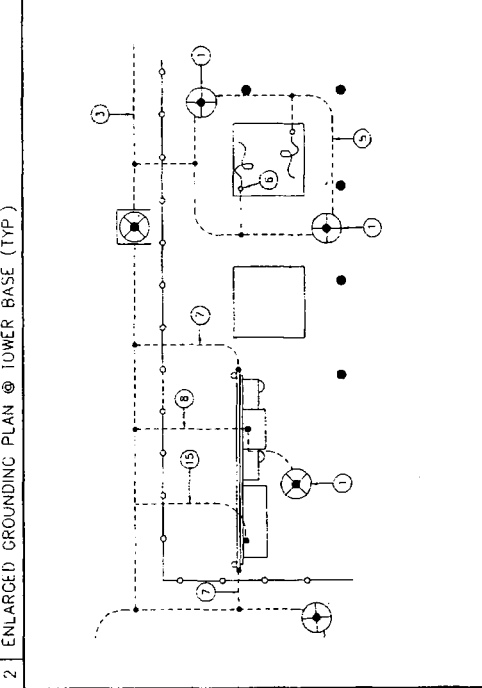
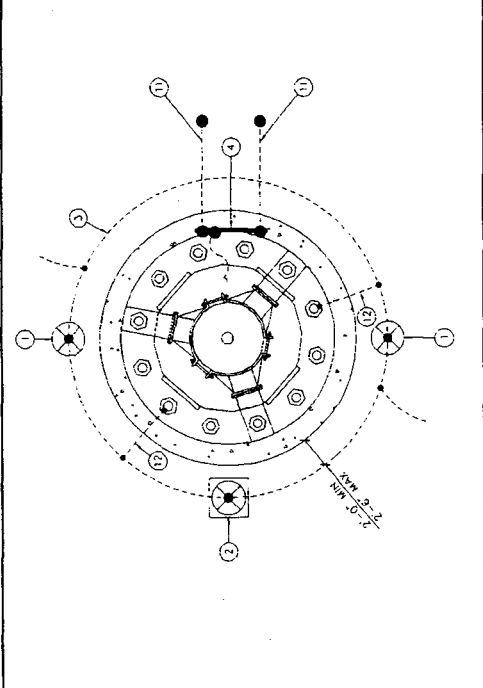
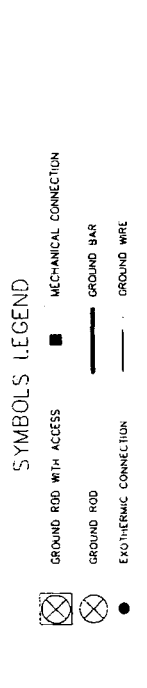
**CHA**  
 218 West Chester Highway, Suite 212, Westport, CT 06880  
 TEL: (203) 326-1000  
 FAX: (203) 326-1001

ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS TO SURFACE UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.  
 ALL DIMENSIONS TO SURFACE UNLESS OTHERWISE NOTED.

NO.	DATE	DESCRIPTION
1	11/25/09	ISSUED PER TOWER COMMENTS
2	02/27/09	REVISED PER TOWER COMMENTS
3	02/27/09	REVISED PER TOWER COMMENTS
4	02/27/09	REVISED PER TOWER COMMENTS
5	02/27/09	REVISED PER TOWER COMMENTS
6	02/27/09	REVISED PER TOWER COMMENTS
7	02/27/09	REVISED PER TOWER COMMENTS
8	02/27/09	REVISED PER TOWER COMMENTS
9	02/27/09	REVISED PER TOWER COMMENTS
10	02/27/09	REVISED PER TOWER COMMENTS

PROJECT NO: 15363-1030-1601  
 SITE NAME: DANBURY-1  
 SITE NUMBER: CT113549  
 SITE ADDRESS: 52 STADLEY ROUGH ROAD DANBURY, CT 06811  
 DESIGN TYPE: RAW LAND

SHEET TITLE: GROUNDING PLAN & DETAILS  
 DRAWING NO: EG-1 D  
 REVISION:



- BALLOON REFERENCE NOTES:**
- 5/8"-X8" COPPER CLAD GROUND ROD BURIED 36" BELOW GRADE (MIN)
  - GROUND ROD ACCESS WELL (MIN. OF 4 EACH PER COMPOUND)
  - #2 SOLID, TINNED, BARE COPPER WIRE GROUND RING (CONTINUOUS STRAND)
  - 1/4"x4"x20" TINNED COPPER GROUND BAR, 2 TYP, AT BASE AND TOP OF TOWER MOUNT DIRECT TO TOWER, DO NOT ISOLATE (CONTINUOUS STRAND) FOR UTILITY TRANSFORMER PER NEC AND UTILITY COMPANY SPECIFICATIONS
  - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM UTILITY TRANSFORMER TO GROUND RING (2 TYPICAL)
  - #2 SOLID, TINNED, BARE COPPER WIRE GROUND LEAD TO UTILITY H-FRAME SUPPORT POST
  - SERVICE ENTRANCE GROUND TO DEDICATED GROUND ROD
  - #2 SOLID, TINNED, BARE COPPER WIRE FROM PPC TO GROUND RING
  - 5/8"-X8" COPPER CLAD GROUND ROD BURIED 36" BELOW GRADE (MIN) FRAME TO GATE POST (1/8" EACH GATE)
  - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT MONOPOLE BASE TO GROUND RING ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END (2 TYPICAL)
  - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM MONOPOLE BASE TO GROUND RING (2 TYPICAL, 180° SEPARATION)
  - 1/4"x4"x20" TINNED COPPER GROUND BAR
  - #2 SOLID, TINNED, BARE COPPER GROUND LEAD FROM GROUND BAR AT ICE BRIDGE TO GROUND RING ROUTE IN 3/4" FLEX CONDUIT AND WEATHERPROOF OPEN END (2 TYPICAL)
  - #2 SOLID, TINNED, BARE COPPER WIRE FROM MOUNTAIN BOX TO GROUND RING
  - #2 SOLID, TINNED, BARE COPPER WIRE FROM EQUIPMENT CABINET TO GROUND RING

**SBA**

SBA TOWERS B.L.L.C.  
5000 WINDY HOLLOW  
PARWAY, NJ  
BOCA RATON, FL 33487-2797  
TEL: (561) 226-5523  
FAX: (561) 226-9348

**GHA**

1130 Olive Street, Suite 212, Albany, NY 12206  
Tel: 518-862-1111  
Fax: 518-862-1112

THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF GHA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED BY NUMBER. ANY USE OR DISCLOSURE BY OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

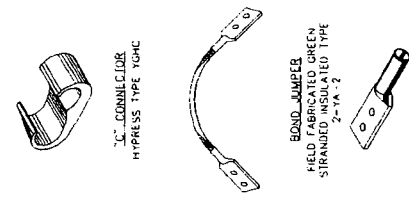
DATE PROJECT: 10/23/09-10/30/10  
DRAWN BY: CMW  
CHECKED BY: PAL

**REVISIONS**

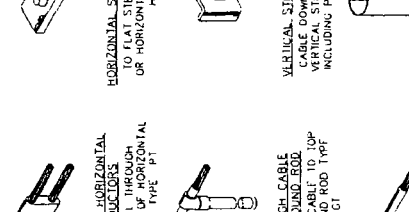
NO.	DATE	DESCRIPTION
1	11/26/09	REVISED PER 10/26 COMMENTS
2	12/17/09	REVISED PER 10/26 COMMENTS
3	12/23/09	REVISED PER 10/26 COMMENTS
4	02/27/10	ISSUED FOR CONSTRUCTION

PROJECT NO: 15363-1030-1601  
SITE NAME: DANBURY-1  
SITE NUMBER: C713549  
SITE ADDRESS: 52 STADLEY ROUGH ROAD DANBURY, CT 06811  
DESIGN TYPE: RAW LAND  
SHEET TITLE: GROUNDING DETAILS  
DRAWING NO: EG-2  
REVISION: D

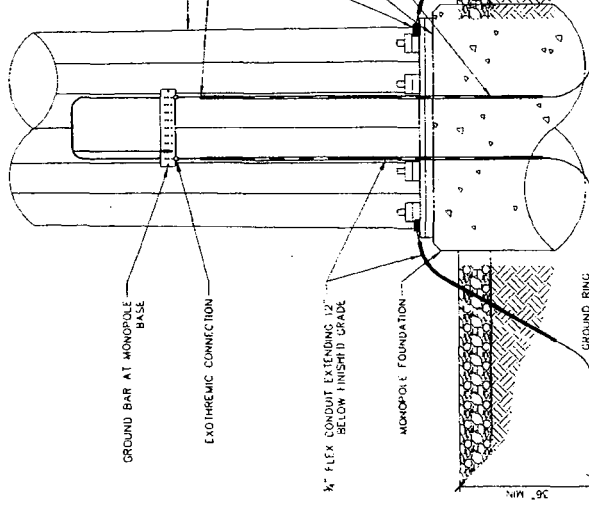
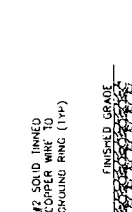
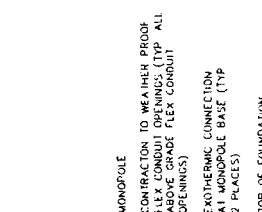
**BURNDY CONNECTIONS**  
(OR APPROVED EQUAL)



**CADWELD CONNECTIONS**  
(OR APPROVED EQUAL)

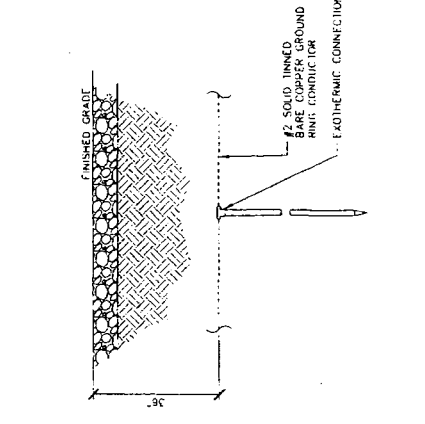


**PARALLEL HORIZONTAL CONDUCTORS**  
PARALLEL THROUGH CABLES TYPE #1



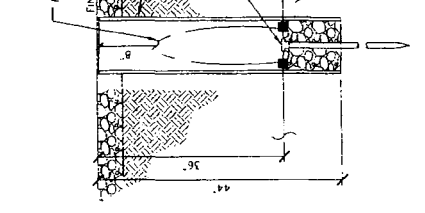
1 GROUNDING @ TOWER BASE SCALE: N.T.S.

**TYPICAL WELDING CONNECTIONS**



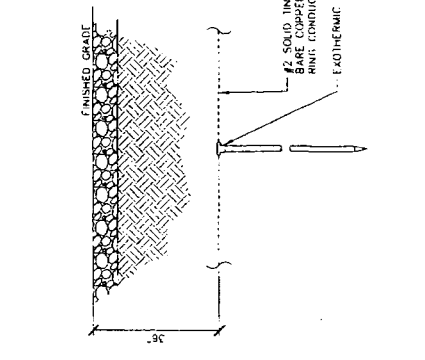
2 TYPICAL WELDING CONNECTIONS SCALE: N.T.S.

**ACCESS WELL DETAIL**



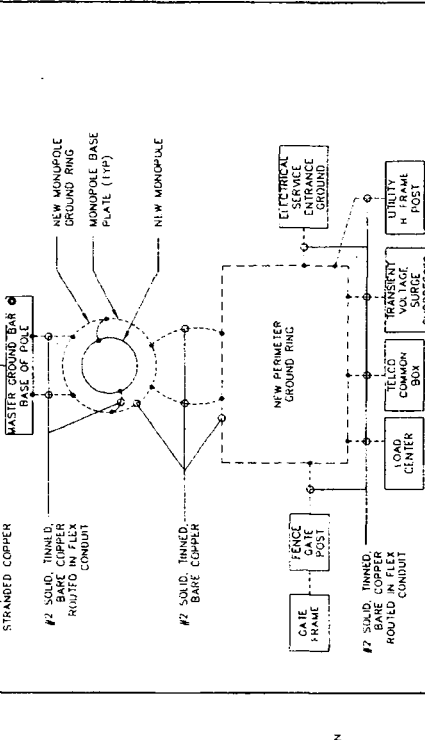
3 ACCESS WELL DETAIL SCALE: N.T.S.

**GROUNDING ROD DETAIL**



4 GROUNDING ROD DETAIL SCALE: N.T.S.

**SINGLE LINE DIAGRAM**



5 SINGLE LINE DIAGRAM SCALE: N.T.S.



SBA  
DOWNS SIZING  
590 PARKWAY, NW  
BOCA RATON, FL 33487-2797  
TEL: (561) 355-9388  
FAX: (561) 355-9388

Drawing Number: 19-01



1100 Main Street, Wallingford, Conn 06495, Phone: 860-252-0200  
Fax: 860-252-0201

ALL DIMENSIONS SHOWN IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OF THIS INFORMATION WITHOUT PERMISSION TO THE CLIENT IS STRICTLY PROHIBITED.

DATE PROJECTED: 10/20/10  
DRAWN BY: CHM  
CHECKED BY: PAL

REVISIONS	
NO	DATE DESCRIPTION
1	11/20/10 REVISED PER TOWN COMMENTS
2	12/17/10 REVISED PER TOWN COMMENTS
3	01/27/11 REVISED PER TOWN COMMENTS
4	02/27/11 ISSUED FOR CONSTRUCTION

PROJECT NO:  
15363-1030-1601

SITE NAME:  
DANBURY-1

SITE NUMBER:  
CT13549

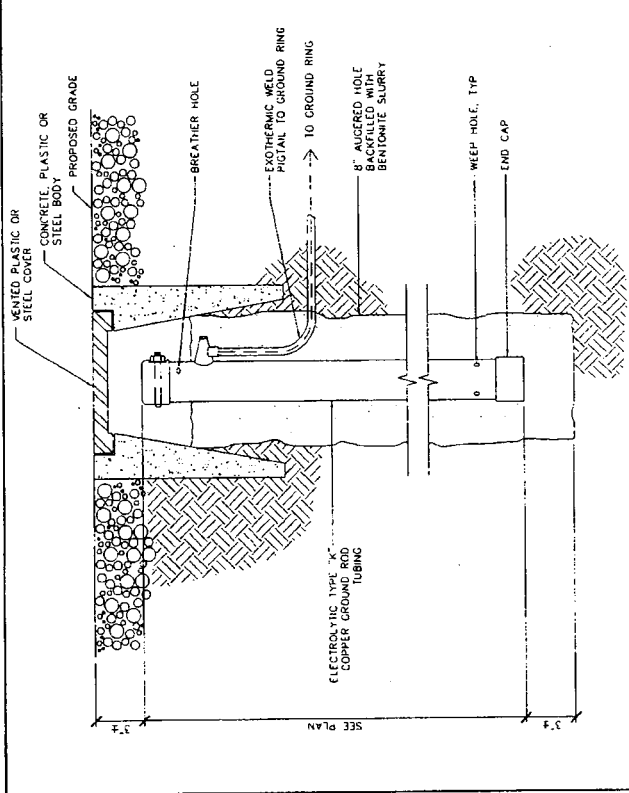
SITE ADDRESS:  
52 STADLEY ROUGH ROAD  
DANBURY, CT 06811

DESIGN TYPE:  
RAW LAND

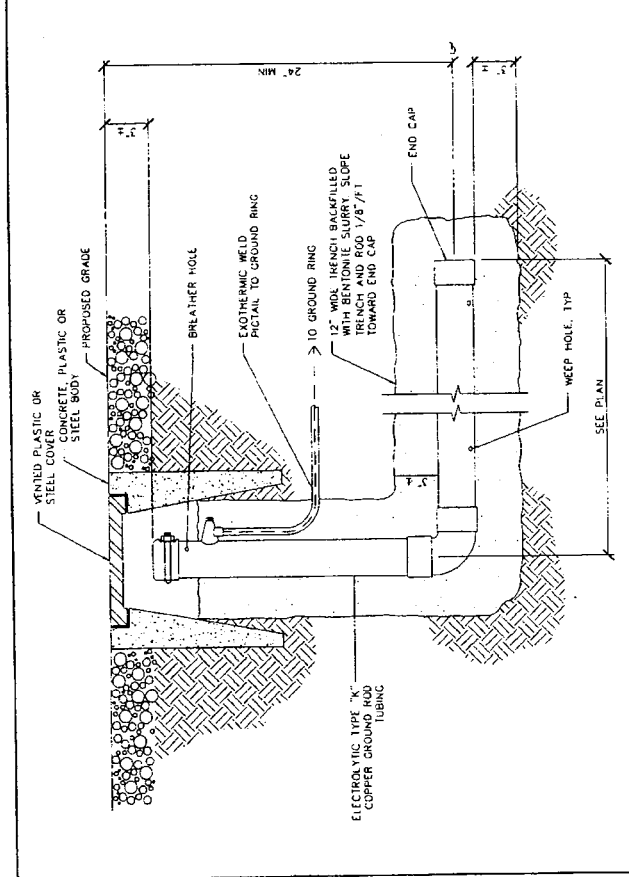
SHEET TITLE:  
GROUNDING DETAILS

DRAWING NO:  
EG-3

REVISION:  
D



1 XIT CHEMICAL GROUND DETAIL VERTICAL (WHEN REQUIRED) SCALE: N.T.S.



2 XIT CHEMICAL GROUND DETAIL HORIZONTAL (WHEN REQUIRED) SCALE: N.T.S.



**DOCKET NO. 366** - Optasite Towers LLC and Omnipoint } Connecticut  
Communications, Inc. application for a Certificate of }  
Environmental Compatibility and Public Need for the } Siting  
construction, maintenance and operation of a telecommunications }  
facility located at 52 Stadley Rough Road in Danbury, } Council  
Connecticut.

April 23, 2009

### **Decision and Order**

Pursuant to the foregoing Findings of Fact and Opinion, the Connecticut Siting Council (Council) finds that the effects associated with the construction, operation, and maintenance of a telecommunications facility, including effects on the natural environment; ecological integrity and balance; public health and safety; scenic, historic, and recreational values; forests and parks; air and water purity; and fish and wildlife are not disproportionate, either alone or cumulatively with other effects, when compared to need, are not in conflict with the policies of the State concerning such effects, and are not sufficient reason to deny the application, and therefore directs that a Certificate of Environmental Compatibility and Public Need, as provided by General Statutes § 16-50k, be issued to Optasite Towers LLC, hereinafter referred to as the Certificate Holder, for a telecommunications facility at 52 Stadley Rough Road, Danbury, Connecticut.

The facility shall be constructed, operated, and maintained substantially as specified in the Council's record in this matter, and subject to the following conditions:

1. The tower shall be constructed as a monopole, no taller than necessary to provide the proposed telecommunications services, sufficient to accommodate the antennas of Omnipoint Communications, Inc. and other entities, both public and private, but such tower shall not exceed a height of 140 feet above ground level. All antennas attached to the monopole shall be flush-mounted.
2. The Certificate Holder shall shift, to the extent feasible, the compound to the north and east to help retain the existing vegetative buffer.
3. The Certificate Holder shall incorporate an architectural treatment for the fence of the facility compound and any equipment shelters therein that is consistent with and amenable to adjacent land uses.
4. The Certificate Holder shall prepare a Development and Management (D&M) Plan for this site in compliance with Sections 16-50j-75 through 16-50j-77 of the Regulations of Connecticut State Agencies. The D&M Plan shall be served on the City of Danbury for comment, and all parties and intervenors as listed in the service list, and submitted to and approved by the Council prior to the commencement of facility construction and shall include:

- a) a final site plan(s) of site development to include specifications for the tower, tower foundation, antennas, equipment compound, radio equipment, access road, utility line, and landscaping that will provide additional vegetative buffering for the adjacent properties; and
  - b) construction plans for site clearing, grading, landscaping, water drainage, and erosion and sedimentation controls consistent with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, as amended.
5. The Certificate Holder shall, prior to the commencement of operation, provide the Council worst-case modeling of the electromagnetic radio frequency power density of all proposed entities' antennas at the closest point of uncontrolled access to the tower base, consistent with Federal Communications Commission, Office of Engineering and Technology, Bulletin No. 65, August 1997. The Certificate Holder shall ensure a recalculated report of the electromagnetic radio frequency power density be submitted to the Council if and when circumstances in operation cause a change in power density above the levels calculated and provided pursuant to this Decision and Order.
  6. Upon the establishment of any new State or federal radio frequency standards applicable to frequencies of this facility, the facility granted herein shall be brought into compliance with such standards.
  7. The Certificate Holder shall permit public or private entities to share space on the proposed tower for fair consideration, or shall provide any requesting entity with specific legal, technical, environmental, or economic reasons precluding such tower sharing.
  8. The Certificate Holder shall provide reasonable space on the tower for no compensation for any City of Danbury public safety services (police, fire and medical services), provided such use can be accommodated and is compatible with the structural integrity of the tower.
  9. Unless otherwise approved by the Council, if the facility authorized herein is not fully constructed and providing wireless services within eighteen months from the date of the mailing of the Council's Findings of Fact, Opinion, and Decision and Order (collectively called "Final Decision"), this Decision and Order shall be void, and the Certificate Holder shall dismantle the tower and remove all associated equipment or reapply for any continued or new use to the Council before any such use is made. The time between the filing and resolution of any appeals of the Council's Final Decision shall not be counted in calculating this deadline.
  10. Any request for extension of the time period referred to in Condition 9 shall be filed with the Council not later than 60 days prior to the expiration date of this Certificate and shall be served on all parties and intervenors, as listed in the service list, and the City of Danbury. Any proposed modifications to this Decision and Order shall likewise be so served.
  11. If the facility ceases to provide wireless services for a period of one year, this Decision and Order shall be void, and the Certificate Holder shall dismantle the tower and remove all associated equipment or reapply for any continued or new use to the Council before any such use is made.

12. The Certificate Holder shall remove any nonfunctioning antenna, and associated antenna mounting equipment, within 60 days of the date the antenna ceased to function.
13. In accordance with Section 16-50j-77 of the Regulations of Connecticut State Agencies, the Certificate Holder shall provide the Council with written notice two weeks prior to the commencement of site construction activities. In addition, the Certificate Holder shall provide the Council with written notice of the completion of site construction and the commencement of site operation.

Pursuant to General Statutes § 16-50p, the Council hereby directs that a copy of the Findings of Fact, Opinion, and Decision and Order be served on each person listed below, and notice of issuance shall be published in the Danbury News-Times.

By this Decision and Order, the Council disposes of the legal rights, duties, and privileges of each party named or admitted to the proceeding in accordance with Section 16-50j-17 of the Regulations of Connecticut State Agencies.

The parties and intervenors to this proceeding are:

**APPLICANT**

Optasite Towers LLC and  
Omnipoint Communications, Inc.  
One Research Drive, Suite 200C  
Westborough, MA 01581

City of Danbury

**ITS REPRESENTATIVE**

Christopher B. Fisher, Esq.  
Lucia Chiocchio, Esq.  
Cuddy & Feder LLP  
445 Hamilton Avenue, 14<sup>th</sup> Floor  
White Plains, New York 10601

Laszlo L. Pinter, Esq.  
Robin Edwards, Esq.  
City of Danbury  
155 Deer Hill Avenue  
Danbury, CT 06810