

April 8, 2022

Connecticut Siting Council  
Attn: Melanie A. Bachman – Executive Director  
10 Franklin Square  
New Britain, CT 06051

**Notice of Exempt Modification**

**Facility Address: 405 Brushy Plain Road, Branford, CT 06405**  
**Facility Coordinates: 41.31680556, -72.8197**

Dear Ms. Bachman,

American Tower (ATC) currently maintains an Existing Cellular Tower Facility (154' Monopole) at 405 Brushy Plain Road, Branford, CT 06405. The property is owned by Edward F. Jaconette Jr. & Kristin L. Jaconette. American Tower (ATC) now intends to install an 80kw Diesel Generator within the leased, fenced ground space area of the facility. The purpose of the generator installation is to allow for a shared back up emergency power option for its current (and future) wireless carrier tenants.

Because this proposed generator is within the existing, approved compound space, and the applicant is NOT requesting expansion of ground space beyond the approved conditions, please accept this letter, as notification pursuant to Regulations of Connecticut State Agencies @16-50j-73, for construction that constitutes an exempt modification pursuant to R.C.S.A. @16-50j-72(b)(2). In accordance with R.C.S.A.@16-50j-73, a copy of this letter is being sent to James Cosgrove the First Selectman for the Town of Branford, Harry Smith the Town Planner and Zoning for the Town of Branford, as well as the property owner and tower owner.



## ATTACHMENT A

The planned modifications to the facility fall squarely within those activities explicitly provided for in R.C.S.A @ 16-50j-72(b)(2).

1. The proposed modifications will not result in an increase in the height of the existing structure.
2. The proposed modifications will not require the extension of the site boundary
3. The proposed modifications will not increase noise levels at the facility by six decibels or more, or to levels that exceed state and local criteria.
4. The operation of the generator back up power facility will not increase radio frequency emissions at the facility to the level at or above the Federal Communications Commission safety standard.
5. The proposed modifications will not cause a change or alteration in the physical or environmental characteristics of the site.
6. The existing structure and its foundation can support the proposed loading if the tower will be re-enforced to support them. <<< NOTE – This condition is N/A. The proposed Generator is based on the ground, and not associated or loaded onto the tower or foundation.

For the foregoing reasons, American Tower Corporation (ATC) respectfully submits that the proposed modifications to the above referenced telecommunications facility constitute an exempt modification under R.C.S.A. @16-50j-72(b)(2).

If you have any questions, I can be reached at [cbruttomesso@airosmithdevelopment.com](mailto:cbruttomesso@airosmithdevelopment.com) or 860-306-8355.

Best Regards,

A handwritten signature in black ink, appearing to read "Chuck Bruttomesso", is written over a horizontal line.

Chuck Bruttomesso  
Attachments

cc: James Cosgrove, First Selectman for Town of Branford  
Harry Smith, Town Planner and Zoning for the Town of Branford  
Edward F. Jaconette Jr. & Kristin L. Jaconette - Property Owner  
American Tower (ATC) – Tower Owner



**AMERICAN TOWER<sup>®</sup>**  
CORPORATION  
**LETTER OF AUTHORIZATION**

**SITE NO/PROJECT NO: 370641 / ATC834525**

**SITE NAME: Beacon Falls CT**

**ADDRESS: 401 LOPUS RD BEACON FALLS, CT  
06403**

**APN: BEAC-000003-000001-000016-001800**

I, Margaret Robinson, Senior Counsel, US Tower Division on behalf of American Tower\*, owner of the tower facility located at the address identified above (the "Tower Facility"), do hereby authorize **AIROSMITH DEVELOPMENT** its successors and assigns, to act as American Tower's non-exclusive agent for the purpose of filing and securing any zoning, land-use, building permit and/or electrical permit application(s) and approvals of the applicable jurisdiction for and to conduct the construction of the installation of antennas and related telecommunications equipment on the Tower Facility located at the above address. This installation shall not affect adjoining lands and will occur only within the area leased by American Tower.

American Tower understands that the application may be denied, modified or approved with conditions. The above authorization is limited to the acceptance by American Tower of conditions related to American Tower's installation. Any such conditions of approval or modifications will not be effective unless approved in writing by American Tower.

The above authorization does not permit **AIROSMITH Development** to modify or alter any existing permit(s) and/or zoning or land-use conditions or impose any additional conditions unrelated to American Tower's installation of telecommunications equipment without the prior written approval of American Tower.

Signature: \_\_\_\_\_

Margaret Robinson, Senior Counsel  
US Tower Division

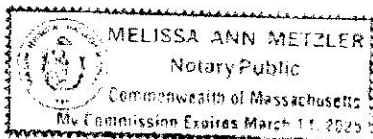
**NOTARY BLOCK**

COMMONWEALTH OF MASSACHUSETTS  
County of Middlesex

This instrument was acknowledged before me by Margaret Robinson, Senior Counsel of American Tower (Tower Facility owner and/or operator), personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same.

WITNESS my hand and official seal, this 30th day of March 2022.

NOTARY SEAL



Notary Public   
My Commission Expires: March 14, 2025

\* American Tower as used herein is defined as American Tower Corporation and any of its affiliates or subsidiaries.

CURRENT OWNER	TOPQ	UTILITIES	STRT/ROAD	LOCATION	DESCRIPTION	CURRENT ASSESSMENT	PREVIOUS ASSESSMENTS (HISTORY)
JACONETTE EDWARD F JR & JACONETTE KRISTIN L (SUR)	4 Rolling	5 Well	1 Paved	2 Suburban	UTL LAND	4-1	253,500
405 BRUSHY PLAIN RD		3 Public Sewer			UTL BLDG	4-2	124,200
BRANFORD, CT 06405					UTL OUTBL	4-3	1,300
Additional Owners:							
SUPPLEMENTAL DATA							
Other ID: D02/000/003/00001/							
CONDO BLDG							
CONDO UNIT							
CONDO FLOOR							
PARCEL DESC							
GIS ID: D02/000/003/00001							
ASSOC PID#							
RECORD OF OWNERSHIP							
JACONETTE EDWARD F JR & ADAMS MARSHA	BE-VOL/PAGE	SALE DATE	g/u	v/l	SALE PRICE	V.C.	
ADAMS MARSHA	0788/1038	11/18/2002	U	1	253,500	2019	4-1
ADAMS MARSHA	442/252	12/22/1987	U	1	124,200	2019	4-2
		12/22/1987	U	1	1,300	2019	4-3
Total					541,400	379,000	

Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Inv.	Total
EXEMPTIONS									
OTHER ASSESSMENTS									
ASSESSING NEIGHBORHOOD									
NBHD/SUB									
0050/A									
Street Index Name									
Tracting									
Batch									
Total:									
NOTES									
2014-NO ACCESS PRESUME SAME									
RESIDENTIAL									
120 FT HGT 773-2872									
TOWER IDCT-0020									
LEASED TO SNET + 4.26 AC									
LANDTOTAL=4.5 AC=24 AC									

Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Inv.	Total
APPRaised VALUE SUMMARY									
Appraised Bldg. Value (Card)									
Appraised XF (B) Value (Bldg)									
Appraised OB (L) Value (Bldg)									
Appraised Land Value (Bldg)									
Special Land Value									
Total Appraised Parcel Value									
Valuation Method:									
Adjustment:									
Net Total Appraised Parcel Value									
541,400									

Permit ID	Issue Date	Type	Description	Amount	Issr. Date	% Comp.	Date Comp.	Comments	Date	Type	IS	ID	CD	Purpose/Result
19-002385	03/26/2019	EL	Electric	9,100	08/27/2019	100		ADD 25KW DIESEL GEN	01/2019			SPB	11	Field Review
13-014490	12/13/2013	CM	Commercial	8,500	07/16/2014	100		UPGRADE TO EXISTING	08/27/2019			ECS	37	Bldg Permit
00864-2012	10/10/2013	CO	CO ISSUED	0	07/16/2014	100		ADDING THREE LTE	01/07/2019			ECS	02	1st Callback
01070-2013	04/29/2009	CM	Commercial	20,000	07/16/2014	100	07/28/2009	REPL 3 EXISTING ANTENNA	01/15/2014			DV	11	Measured Field Review

B	Use	Description	Zone	D	Front	Depth	Units	Unit Price	I. Factor	S.A. Disc	Acres	C. Factor	ST. Lax	Adj.	Notes-Adj	Special Pricing	S Adj Fact	Adh. Unit Price	Land Value
1	0431	TEL REL. TW MDL96	R-4				0.46 AC	109,600.00	2.0152	5	1.0000	1.00	0050	1.00			1.00		101,600
1	0431	TEL REL. TW MDL96	R-4				4.04 AC	15,000.00	1.0000	0	1.0000	1.00	0050	1.00			1.00		60,600
1	0431	TEL REL. TW MDL96	R-4				1.00 BL	200,000.00	1.0000	0	1.0000	1.00		0.00	CELL SITE		1.00		200,000
Total Card Land Units: 4.50 AC Parcel Total Land Area: 4.5 AC																			
Total Land Value: 362,200																			

Permit ID	Issue Date	Type	Description	Amount	Issr. Date	% Comp.	Date Comp.	Comments	Date	Type	IS	ID	CD	Purpose/Result
BUILDING PERMIT RECORD														
LANDLINE VALUATION SECTION														

Permit ID	Issue Date	Type	Description	Amount	Issr. Date	% Comp.	Date Comp.	Comments	Date	Type	IS	ID	CD	Purpose/Result
VISIT/CHANGE HISTORY														

Permit ID	Issue Date	Type	Description	Amount	Issr. Date	% Comp.	Date Comp.	Comments	Date	Type	IS	ID	CD	Purpose/Result
VISIT/CHANGE HISTORY														

Permit ID	Issue Date	Type	Description	Amount	Issr. Date	% Comp.	Date Comp.	Comments	Date	Type	IS	ID	CD	Purpose/Result
VISIT/CHANGE HISTORY														

**CONSTRUCTION DETAIL**

**CONSTRUCTION DETAIL (CONTINUED)**

Element	Cd.	Ch.	Description	Element	Cd.	Ch.	Description
Style	48		Warehouse				
Model	96		Ind/Comm				
Grade	03		C				
Stories	1						
Occupancy	1						
Exterior Wall 1	22		Precast Panel				
Exterior Wall 2							
Roof Structure	02		Shed				
Roof Cover	04		T&G/Rubber				
Interior Wall 1	01		Minim/Masonry				
Interior Wall 2							
Interior Floor 1	03		Concr-Finished				
Interior Floor 2							
Heating Fuel	04		Electric				
Heating Type	03		Hot Air-no Duc				
AC Type	02		Heat Pump				
Bldg Use	0431		TEL REL TW MDDL96				
Total Rooms	00						
Total Baths	0						
Heat/AC	01		HEAT/AC PKGS				
Frame Type	03		MASONRY				
Baths/Plumbing	00		NONE				
Ceiling/Wall	02		CEILING ONLY				
Rooms/Ptms	02		AVERAGE				
Wall Height	9						
% Comm Wall							

**MIXED USE**

Code	Description	Percentage
0431	TEL REL TW MDDL96	100

**COST/MARKET EVALUATION**

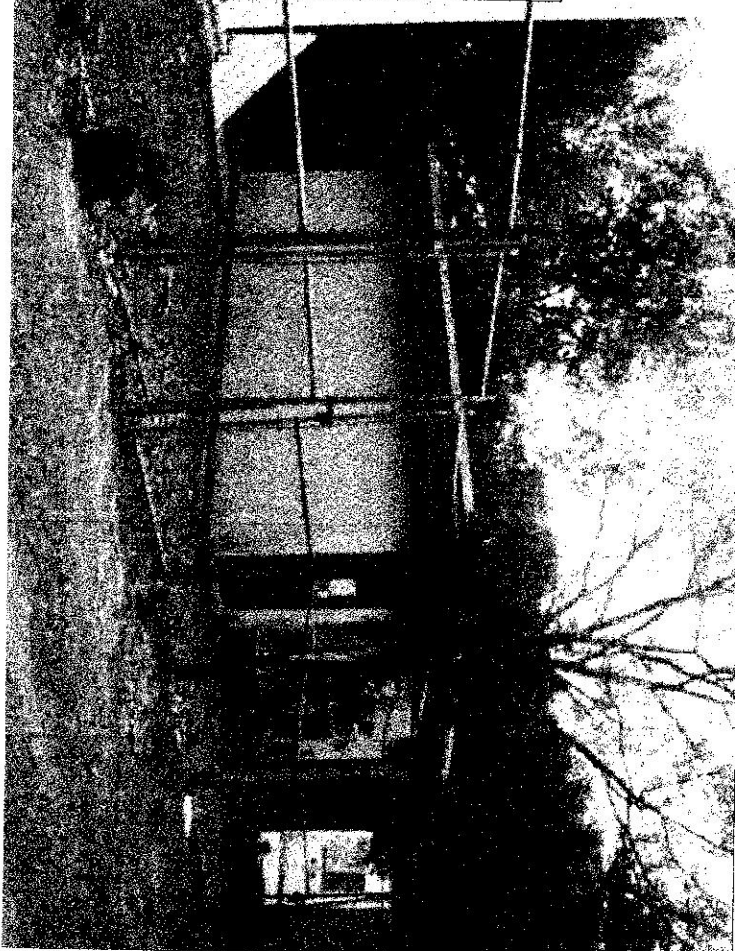
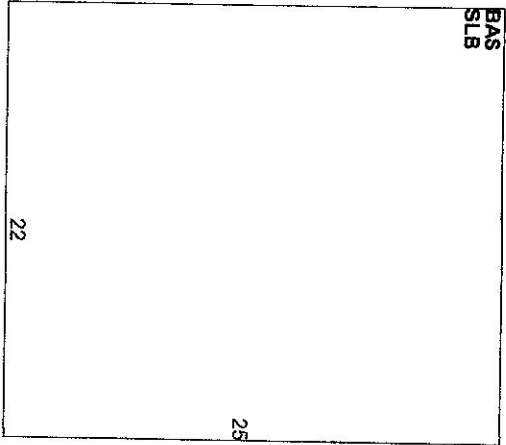
Adj. Base Rate:	49.70
Replace Cost	27,335
AYB	1992
Dep Code	A
Remodel Rating	
Year Remodeled	
Dep %	20
Functional Obsolete	0
External Obsolete	0
Cost Trend Factor	
Condition	
% Complete	80
Overall % Cond	21,900
Apprais Val	
Dep % Ovr	0
Dep Ovr Comment	
Misc Imp Ovr	0
Misc Imp Ovr Comment	
Cost to Cure Ovr	0
Cost to Cure Ovr Comment	

**OB-OUTBUILDING & YARD ITEMS(D) / XF-BUILDING EXTRA FEATURES(B)**

Code	Description	Sub	Sub Descrip	L/B	Units	Unit Price	Fr	Gde	Dp Rt	Chd	%Chd	Apr Value
FN3	FENCE-6' CH			L	260	9.90	2002	0			50	1,300
PAV2	PAVING-CON			L	137	3.30	2014	0			100	500
GEN2	GEN 15-30KW			B	1	5,000.00	1999	1			100	4,000

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Gross Area	Eff Area	Unit Cost	Undeprc. Value
BAS	First Floor	550	550	550	49.70	27,335
SLB	Slab	0	550	0	0.00	0
Ttl. Gross Inv/Lease Area:		550	1,100	550		27,335



CURRENT OWNER	TOPO	UTILITIES	STRT/ROAD	LOCATION	DESCRIPTION	CURRENT ASSESSMENT	PREVIOUS ASSESSMENTS (HISTORY)
JACONETTE EDWARD F JR & JACONETTE KRISTIN L (SUR) 405 BRUSHY PLAIN RD	4 Rolling	5 Well 3 Public Sewer	1 Paved	2 Suburban	UTL LAND UTL BLDG UTL OUTBL	4-1 362,200 4-2 177,400 4-3 1,800	253,500 124,200 1,300
BRANFORD, CT 06405						6014 BRANFORD, CT	
Additional Owners:							
SUPPLEMENTAL DATA							
Other ID: D02/000/003/00001/							
CONDO BLDG							
CONDO UNIT							
CONDO FLOOR							
PARCEL DESC							
HDDG TK							
SEPTIC							
SEWER							
DISTRICT							
CENSUS TR 1847							
GIS ID: D02/000/003/00001							
ASSOC PID#							

RECORD OF OWNERSHIP	BA-VOL/PAGE	SALE DATE	Q/W	V/I	SALE PRICE	V.C.	Yr.	Code	Assessed Value	Yr.	Code	Assessed Value
JACONETTE EDWARD F JR & ADAMS MARSHA ADAMS MARSHA	0788/1038 442,252	11/18/2002	U	I		25	2019	4-1	253,500	2018	4-1	253,500
		12/22/1987	U	V			2019	4-2	124,200	2019	4-2	119,900
		12/22/1987					2019	4-3	1,300	2019	4-3	1,300
Total:									541,400			379,000

EXEMPTIONS	Amount	Code	Description	Number	Amount	Comm. Int.
OTHER ASSESSMENTS						
ASSESSING NEIGHBORHOOD						
NBHD/SUB			Tracting			
0050/A			Street Index Name			
NOTES						
BLDG 2 LABELED						
SITE 120 800-852-2671						
120 FT MONOPOLE SITE						
2019- VERIZON, T-MOBILE, CLEANWIRE						
ALMA RADIO						

Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Int.
APPRAISED VALUE SUMMARY								
Appraised Bidg. Value (Card)								
Appraised XF (B) Value (Bidg)								
Appraised OB (L) Value (Bidg)								
Appraised Land Value (Bidg)								
Special Land Value								
Total Appraised Parcel Value								
Valuation Method:								
Adjustment:								
Net Total Appraised Parcel Value								

Permit ID	Issue Date	Type	Description	Amount	Insp. Date	% Comp.	Date Comp.	Comments
BUILDING PERMIT RECORD								

Permit ID	Issue Date	Type	Description	Amount	Insp. Date	% Comp.	Date Comp.	Comments
VISIT/CHANGE HISTORY								

B	Use Code	Use Description	Zone	D	Front Depth	Units	Unit Price	I. Factor	S.A. Disc.	C. Factor	ST. Idx	Adj.	Notes-Adj	S Adj	Fac	Adj. Unit Price	Land Value
2	0431	TEL. REL. TW MDL96	R-4			0.00	AC	0.00	1.0000	0	1.0000	1.00	0050	1.00			0
Total Card Land Units: 0.00 AC Parcel Total Land Area: 4.5 AC																	

LAND LINE VALUATION SECTION																	
Date	Type	IS	CA	ID	CD	Purpose/Result											
10/01/2019				SRB	11	Field Review											
08/27/2019				ECS	37	Bldg Permit											
01/07/2019				ECS	02	1st Callback											
01/02/2019				ECS	01	Measured											
10/15/2014				DV	11	Field Review											

Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Int.
APPRAISED VALUE SUMMARY								
Appraised Bidg. Value (Card)								
Appraised XF (B) Value (Bidg)								
Appraised OB (L) Value (Bidg)								
Appraised Land Value (Bidg)								
Special Land Value								
Total Appraised Parcel Value								
Valuation Method:								
Adjustment:								
Net Total Appraised Parcel Value								

**CONSTRUCTION DETAIL**

**CONSTRUCTION DETAIL (CONTINUED)**

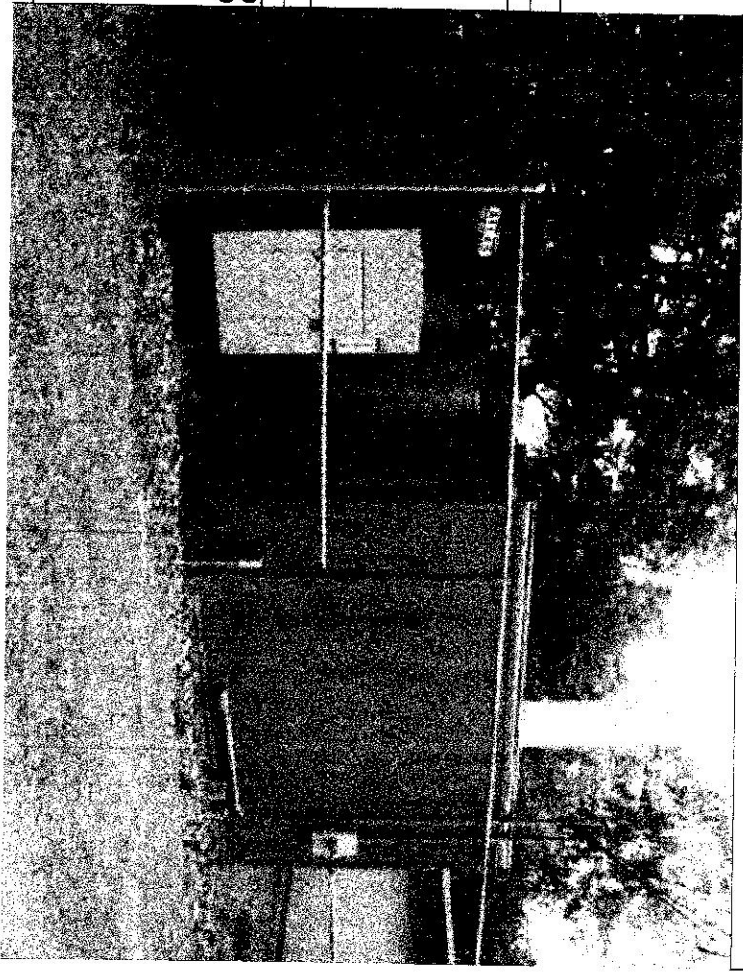
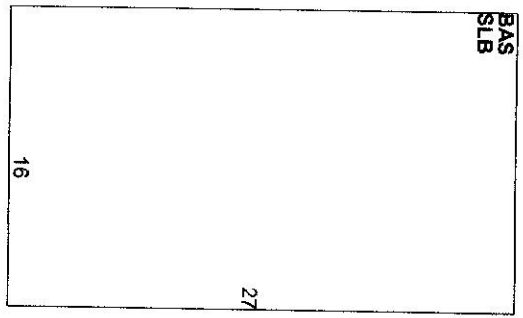
Element	Cd.	Ch.	Description	Element	Cd.	Ch.	Description
Style	48		Warehouse				
Model	96		Ind/Comm				
Grade	03		C				
Stories	1						
Occupancy	4						
Exterior Wall 1	22		Precast Panel				
Exterior Wall 2							
Roof Structure	02		Shed				
Roof Cover	04		T&G/Rubber				
Interior Wall 1	01		Minim/Masonry				
Interior Wall 2							
Interior Floor 1	03		Concr-Finished				
Interior Floor 2							
Heating Fuel	04		Electric				
Heating Type	03		Hot Air-no Duc				
AC Type	02		Heat Pump				
Bldg Use	0431		TEL REL TW MDL96				
Total Rooms	00						
Total Bedrms	0						
Total Baths	0						
Heat/AC	01		HEAT/AC PKGS				
Frame Type	03		MASONRY				
Baths/Plumbing	00		NONE				
Ceiling/Wall	02		CEILING ONLY				
Rooms/Ptms	02		AVERAGE				
Wall Height	9						
% Conn Wall							

**OB-OUTBUILDING & YARD ITEMS(C) / XF-BUILDING EXTRA FEATURES(B)**

Code	Description	Sub	Sub Descript	L/B Units	Unit Price	Yr	Code	Dp Rt	Chd	%Chd	Apr Value

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Gross Area	Eff. Area	Unit Cost	Undeprec. Value
BAS	First Floor	432	432	432	49.70	21,470
SLB	Slab	0	432	0	0.00	0
	<b>Ttl. Gross Liv/Lease Area:</b>	<b>432</b>	<b>864</b>	<b>432</b>		<b>21,470</b>



CURRENT OWNER	TOPO	UTILITIES	STRT/ROAD	LOCATION	DESCRIPTION	CURRENT ASSESSMENT	PREVIOUS ASSESSMENTS (HISTORY)
JACONETTE EDWARD F JR & JACONETTE KRISTIN L (SUR)	4 Rolling	5 Well 3 Public Sewer	1 Paved	2 Suburban	UTL LAND UTL BLDG UTL OUTBL	4-1 4-2 4-3	253,500 177,400 1,800
BRANFORD, CT 06405							124,200 1,300
Additional Owners:							
SUPPLEMENTAL DATA							
Other ID: D02/000/003/00001/							
CONDO BLDG							
CONDO UNIT							
CONDO FLOOR							
PARCEL DESC							
GIS ID: D02/000/003/00001							
ASSOC PID#							
HIDG TK							
SEPTIC							
SEWER							
DISTRICT							
CENSUS TR 1847							

**VISION**

RECORD OF OWNERSHIP	BE-VOL/PAGE	SALE DATE	Q/U	W	V	SALE PRICE	V.C.	Yr	Code	Assessed Value	Yr	Code	Assessed Value		
JACONETTE EDWARD F JR & ADAMS MARSHA	0788/1038	11/18/2002	U		I			2019	4-1	253,500	2018	4-1	253,500		
ADAMS MARSHA	442/252	12/22/1987	U		V			2019	4-2	124,200	2018	4-2	119,900		
ADAMS MARSHA		12/22/1987						2019	4-3	1,300	2018	4-3	1,300		
<b>Total:</b>													379,000	<b>Total:</b>	374,700

EXEMPTIONS	Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Int.
<b>ASSESSING NEIGHBORHOOD</b>									
<b>NOTES</b>									
<b>DK BROWN 1A</b>									
<b>1STKLRDR3 BR2 BTHS</b>									
<b>BSMTR</b>									
<b>ECO=RESALE</b>									
<b>WDK - FAIR, LQ</b>									

Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Int.
<b>APPRaised VALUE SUMMARY</b>								
Appraised Bldg. Value (Card)								
Appraised XF (B) Value (Bldg)								
Appraised OB (L) Value (Bldg)								
Appraised Land Value (Bldg)								
Special Land Value								
Total Appraised Parcel Value								
Valuation Method:								
Adjustment:								
Net Total Appraised Parcel Value								

Permit ID	Issue Date	Type	Description	Amount	Insr. Date	% Comp.	Date Comp.	Comments
<b>BUILDING PERMIT RECORD</b>								
<b>LAND LINE VALUATION SECTION</b>								
<b>APPRaised VALUE SUMMARY</b>								
Appraised Bldg. Value (Card)								
Appraised XF (B) Value (Bldg)								
Appraised OB (L) Value (Bldg)								
Appraised Land Value (Bldg)								
Special Land Value								
Total Appraised Parcel Value								
Valuation Method:								
Adjustment:								
Net Total Appraised Parcel Value								

Permit ID	Issue Date	Type	Description	Amount	Insr. Date	% Comp.	Date Comp.	Comments
<b>VISIT/CHANGE HISTORY</b>								
<b>LAND LINE VALUATION SECTION</b>								
10/01/2019								
08/27/2019								
01/07/2019								
01/02/2019								
10/15/2014								

B Use # Code	Use Description	Zone	D Front	Depth	Units	Unit Price	I Factor	S.A. Disc	C Factor	ST. Idx	Adj.	Notes-Adj	S Adj. Fac	Adj. Unit Price	Land Value
3	043R TEL REL TW MDL01	R-4			0.00	AC	1.00000	0	1.00000	0050	1.00		.00		0
<b>Total Card Land Units: 0.00 AC Parcel Total Land Area: 4.5 AC</b>															
<b>Total Land Value: 0</b>															



**CONSTRUCTION DETAIL**

**CONSTRUCTION DETAIL (CONTINUED)**

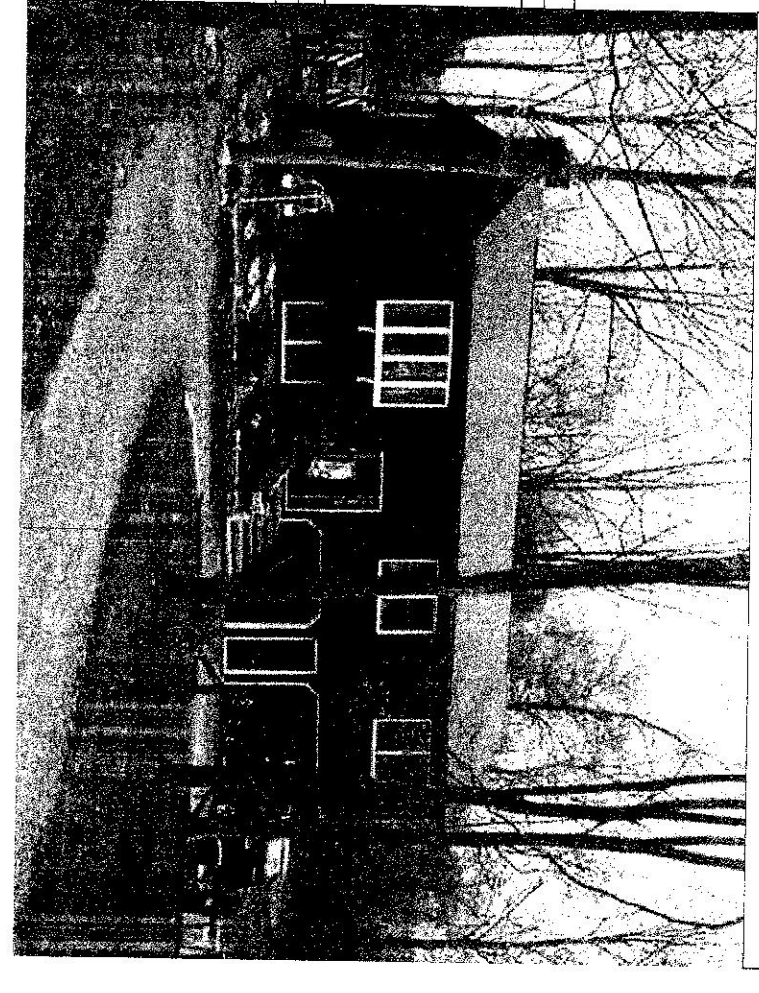
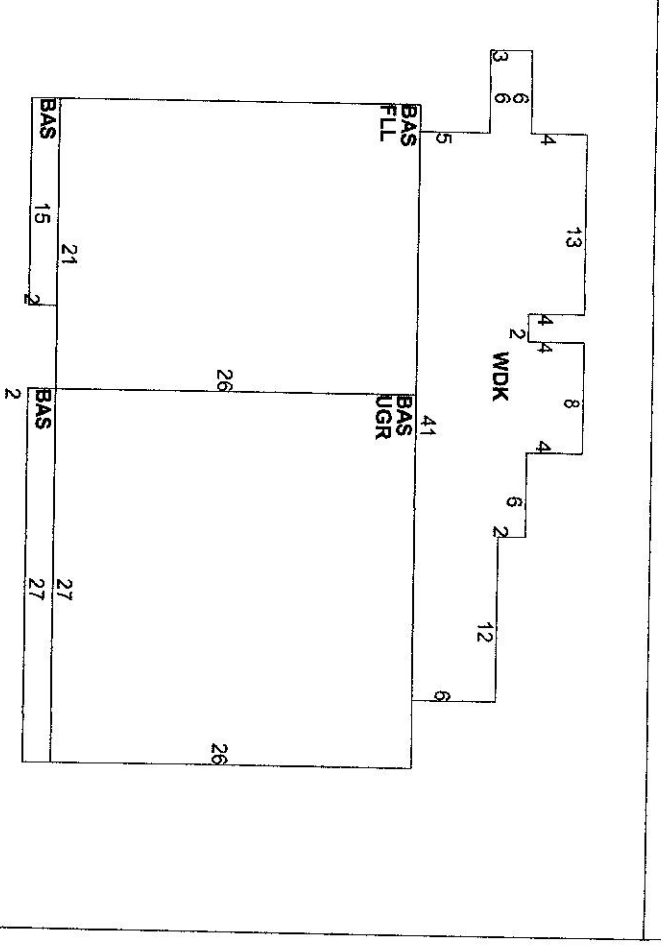
Element	Cd	Ch	Description	Element	Cd	Ch	Description
Style	08		Raised Ranch				
Model	01		Residential				
Grade	04		C +				
Stories	1		1 Story				
Occupancy	1		Wood Shingle				
Exterior Wall 1	14						
Exterior Wall 2	03		Gable/Hip				
Roof Structure	03		Asphalt				
Roof Cover	03		Drywall				
Interior Wall 1	05						
Interior Wall 2	14						
Interior Flr 1	14		Carpet				
Interior Flr 2	02		Oil				
Heat Fuel	05		Hot Water				
Heat Type	03		Central				
AC Type	03		3 Bedrooms				
Total Bedrooms	03						
Total Bathrooms	2						
Total Half Baths	0						
Total Xtra Fixtrs	0						
Total Rooms	7		7 Rooms				
Bath Style	02		Average				
Kitchen Style	02		Average				
Cottage Cmplx							
Cottage Adj							

**OB-OUTBUILDING & YARD ITEMS(D) / XF-BUILDING EXTRA FEATURES(B)**

Code	Description	Sub	Sub Descript	L/B	Units	Unit Price	Yr	Gde	Dp Rt	Chd	%Chd	Apr Value
FPL2	FIREPLACE I	B		B	1	5,000.00	1995		1		100	3,300
FPO	EXTRA FPL O	B		B	1	1,200.00	1995		1		100	800

**BUILDING SUB-AREA SUMMARY SECTION**

Code	Description	Living Area	Gross Area	Eff Area	Unit Cost	Undeprec. Value
BAS	First Floor	1,332	1,332	1,332	97.96	130,486
FLL	Finished Lower Level	410	546	410	73.56	40,165
UGR	Garage Under	0	702	211	29.44	20,670
WDK	Deck, Wood	0	406	41	9.89	4,016
<b>Ttl. Gross Liv/Lease Area:</b>		<b>1,742</b>	<b>2,986</b>	<b>1,994</b>		<b>195,337</b>



# 405 BRUSHY PLAIN RD

**Location** 405 BRUSHY PLAIN RD

**Mblu** D02/000 003/ 00001/ /

**Acct#** 004475

**Owner** JACONETTE EDWARD F JR &

**Assessment** \$379,000

**Appraisal** \$541,400

**PID** 695

**Building Count** 3

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2019	\$179,200	\$362,200	\$541,400
Assessment			
Valuation Year	Improvements	Land	Total
2019	\$125,500	\$253,500	\$379,000

## Owner of Record

**Owner** JACONETTE EDWARD F JR &  
**Co-Owner** JACONETTE KRISTIN L (SUR)  
**Address** 405 BRUSHY PLAIN RD  
 BRANFORD, CT 06405

**Sale Price** \$0  
**Certificate**  
**Book & Page** 0788/1038  
**Sale Date** 11/18/2002  
**Instrument** 25

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
JACONETTE EDWARD F JR &	\$0		0788/1038	25	11/18/2002
ADAMS MARSHA	\$0		442/ 252		12/22/1987
ADAMS MARSHA	\$0				12/22/1987

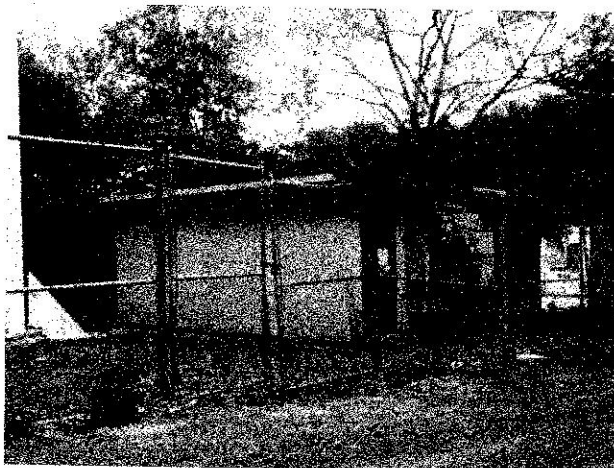
## Building Information

### Building 1 : Section 1

**Year Built:** 1992  
**Living Area:** 550  
**Replacement Cost:** \$27,335  
**Building Percent Good:** 80

Replacement Cost  
Less Depreciation: \$21,900

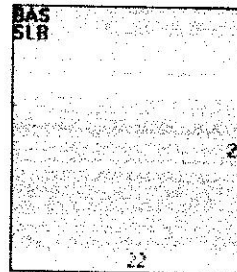
**Building Photo**



(http://images.vgsi.com/photos/BranfordCTPhotos/A00\01\45\84.jpg)

Building Attributes	
Field	Description
STYLE	Warehouse
MODEL	Ind/Comm
Grade	C
Stories:	1
Occupancy	1
Exterior Wall 1	Precast Panel
Exterior Wall 2	
Roof Structure	Shed
Roof Cover	T&G/Rubber
Interior Wall 1	Minim/Masonry
Interior Wall 2	
Interior Floor 1	Concr-Finished
Interior Floor 2	
Heating Fuel	Electric
Heating Type	Hot Air-no Duc
AC Type	Heat Pump
Bldg Use	TEL REL TW MDL96
Total Rooms	
Total Bedrms	00
Total Baths	0
1st Floor Use:	0431
Heat/AC	HEAT/AC PKGS
Frame Type	MASONRY
Baths/Plumbing	NONE
Ceiling/Wall	CEILING ONLY
Rooms/Prtns	AVERAGE
Wall Height	9
% Comn Wall	

**Building Layout**



(http://images.vgsi.com/photos/BranfordCTPhotos/Sketches/695\_695.jpg)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	550	550
SLB	Slab	550	0
		1,100	550

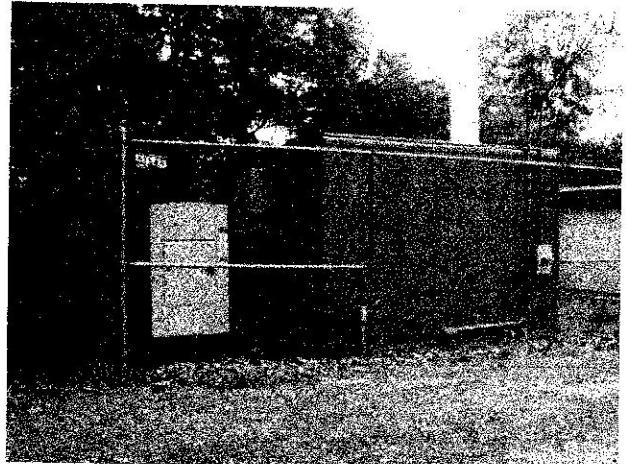
**Building 2 : Section 1**

Year Built: 2001  
 Living Area: 432  
 Replacement Cost: \$21,470  
 Building Percent Good: 86  
 Replacement Cost  
 Less Depreciation: \$18,500

Building Attributes : Bldg 2 of 3	
Field	Description
STYLE	Warehouse

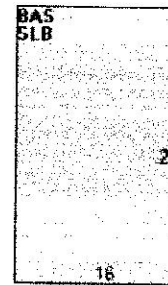
MODEL	Ind/Comm
Grade	C
Stories:	1
Occupancy	4
Exterior Wall 1	Precast Panel
Exterior Wall 2	
Roof Structure	Shed
Roof Cover	T&G/Rubber
Interior Wall 1	Minim/Masonry
Interior Wall 2	
Interior Floor 1	Concr-Finished
Interior Floor 2	
Heating Fuel	Electric
Heating Type	Hot Air-no Duc
AC Type	Heat Pump
Bldg Use	TEL REL TW MDL96
Total Rooms	
Total Bedrms	00
Total Baths	0
1st Floor Use:	0431
Heat/AC	HEAT/AC PKGS
Frame Type	MASONRY
Baths/Plumbing	NONE
Ceiling/Wall	CEILING ONLY
Rooms/Prtns	AVERAGE
Wall Height	9
% Corn Wall	

### Building Photo



(<http://images.vgsi.com/photos/BranfordCTPhotos/A00\0145\85.jpg>)

### Building Layout



([http://images.vgsi.com/photos/BranfordCTPhotos/Sketches/695\\_13769.jp](http://images.vgsi.com/photos/BranfordCTPhotos/Sketches/695_13769.jp))

Building Sub-Areas (sq ft)			Legend	
Code	Description	Gross Area	Living Area	
BAS	First Floor	432	432	
SLB	Slab	432	0	
		864	432	

### Building 3 : Section 1

**Year Built:** 1975  
**Living Area:** 1,742  
**Replacement Cost:** \$195,337  
**Building Percent Good:** 66  
**Replacement Cost**  
**Less Depreciation:** \$128,900

Building Attributes : Bldg 3 of 3	
Field	Description
Style	Raised Ranch
Model	Residential
Grade:	C +

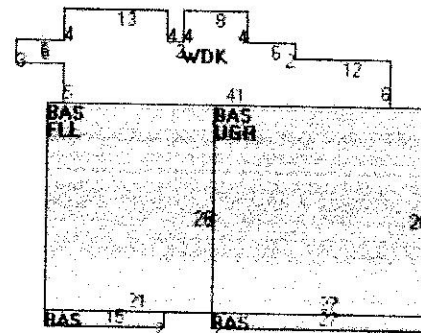
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Wood Shingle
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Asphalt
Interior Wall 1	Drywall
Interior Wall 2	
Interior Flr 1	Carpet
Interior Flr 2	
Heat Fuel	Oil
Heat Type:	Hot Water
AC Type:	Central
Total Bedrooms:	3 Bedrooms
Total Bthrms:	2
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	7 Rooms
Bath Style:	Average
Kitchen Style:	Average
Cottage Cmplx	
Cottage Adj	

### Building Photo



(<http://images.vgsi.com/photos/BranfordCTPhotos/A00\01\05\61.jpg>)

### Building Layout



([http://images.vgsi.com/photos/BranfordCTPhotos/Sketches/695\\_13770.jc](http://images.vgsi.com/photos/BranfordCTPhotos/Sketches/695_13770.jc))

Building Sub-Areas (sq ft)			Legend	
Code	Description	Gross Area	Living Area	
BAS	First Floor	1,332	1,332	
FLL	Finished Lower Level	546	410	
UGR	Garage Under	702	0	
WDK	Deck, Wood	406	0	
		2,986	1,742	

### Extra Features

Extra Features				Legend
Code	Description	Size	Value	Bldg #
FPL2	FIREPLACE 1.5	1 UNITS	\$3,300	3
FPO	EXTRA FPL OPEN	1 UNITS	\$800	3
GEN2	GEN 15-30KW PRMT BKP	1 UNITS	\$4,000	1

### Land

**Land Use**

Use Code 0431  
 Description TEL REL TW MDL96  
 Zone R-4  
 Neighborhood 0050  
 Alt Land Appr No  
 Category

**Land Line Valuation**

Size (Acres) 4.5  
 Frontage  
 Depth  
 Assessed Value \$253,500  
 Appraised Value \$362,200

**Outbuildings**

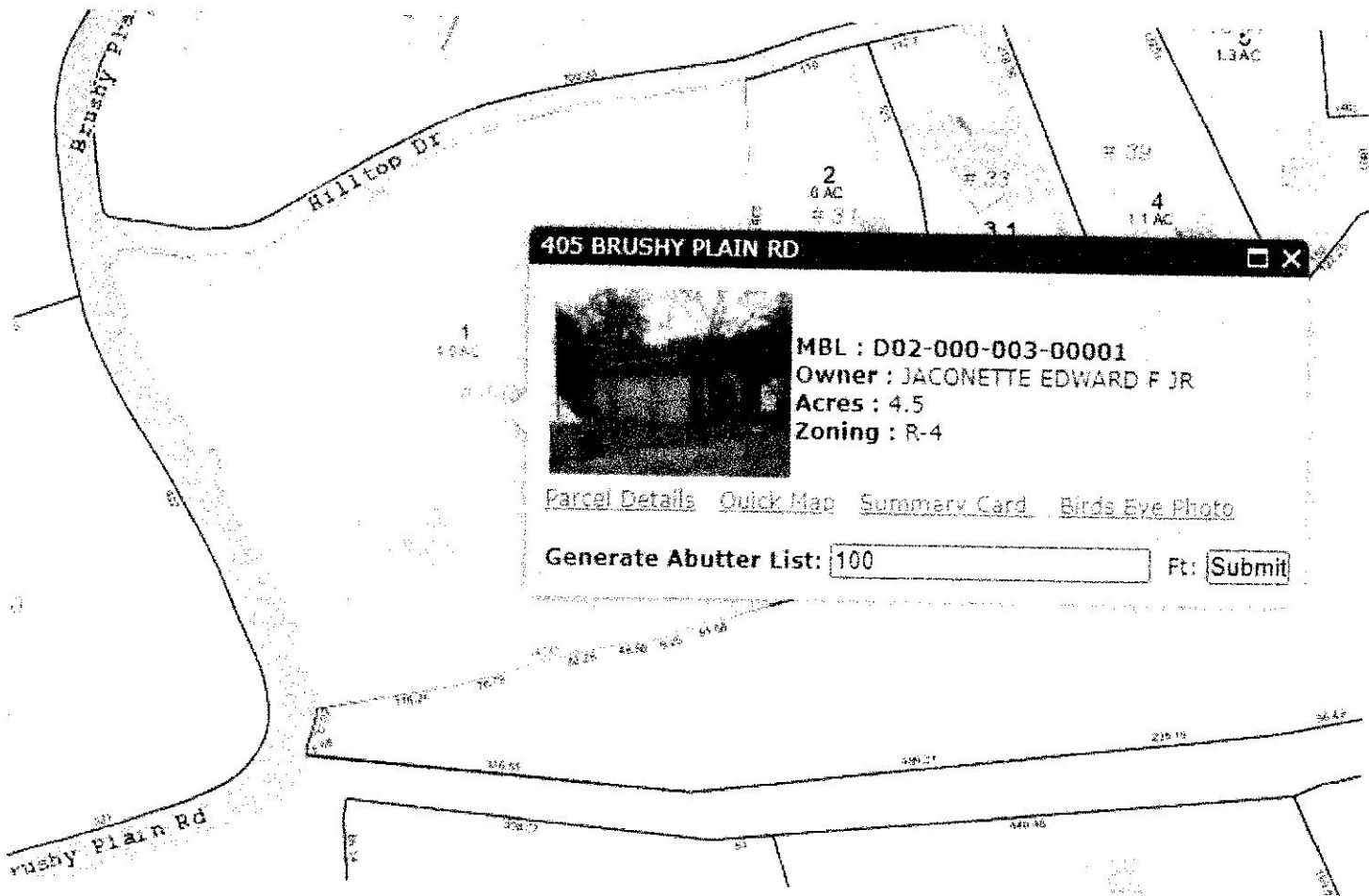
Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FN3	FENCE-6' CHAIN			260 L.F.	\$1,300	1
PAV2	PAVING-CONC			137 S.F.	\$500	1

**Valuation History**

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$179,200	\$362,200	\$541,400
2019	\$179,200	\$362,200	\$541,400
2018	\$173,100	\$362,200	\$535,300

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$125,500	\$253,500	\$379,000
2019	\$125,500	\$253,500	\$379,000
2018	\$121,200	\$253,500	\$374,700





**405 BRUSHY PLAIN RD**

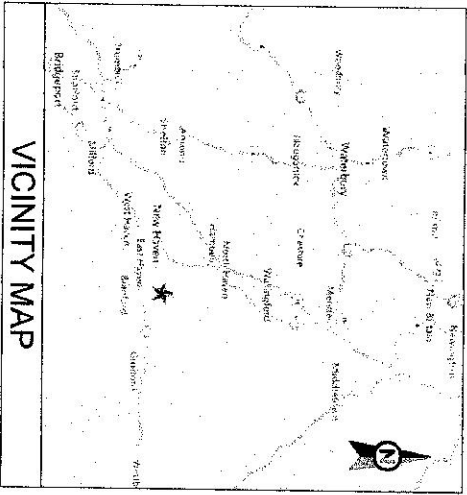


**MBL : D02-000-003-00001**  
**Owner : JACONETTE EDWARD F JR**  
**Acres : 4.5**  
**Zoning : R-4**

[Parcel Details](#) [Quick Map](#) [Summary Card](#) [Birds Eye Photo](#)

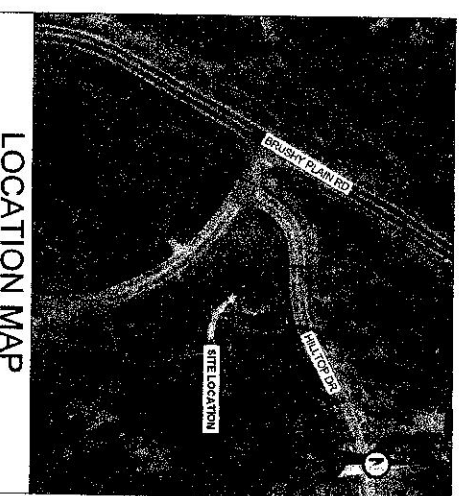
**Generate Abutter List:**  Ft:





**AMERICAN TOWER®**

ATC SITE NAME: BRANFORD CT 6  
 SITE NUMBER: 302484  
 SITE ADDRESS: 405 BRUSHY PLAIN RD  
 BRANFORD, CT 06405



**AMERICAN TOWER®**  
 A.T. ENGINEERING SERVICE, PLLC  
 3606 REGENCY PARKWAY  
 SUITE 100  
 GAITHERSBURG, MD 20878  
 PHONE: (301) 951-1000  
 FAX: (301) 951-1001  
 WWW.ATCOM.COM

**SHARED GENERATOR PROGRAM  
 ANCHOR TENANT**

**COMPLIANCE CODE**

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. INTERNATIONAL BUILDING CODE (IBC)
2. NATIONAL ELECTRICAL CODE (NEC)
3. LOCAL BUILDING CODE
4. CITY/COUNTY ORDINANCES

**PROJECT SUMMARY**

**SITE ADDRESS:**  
 405 BRUSHY PLAIN RD  
 BRANFORD, CT 06405  
 COUNTY: NEW HAVEN

**GEOGRAPHIC COORDINATES:**  
 LATITUDE: 41.3188934  
 LONGITUDE: -72.8187  
 GROUND ELEVATION: 240' AMSL

**ZONING INFORMATION:**  
 JURISDICTION: NEW HAVEN  
 PARCEL NUMBER: BRAN-000002D-000003-000001

**PROJECT DESCRIPTION**

THE PROPOSED PROJECT INSTALLS AN OPTIONAL STANDBY GENERATOR SYSTEM AUTOMATIC TRANSFER SWITCH, GENERATOR, FUEL TANK, DISTRIBUTION, AND REMOTE MONITORING CAPABILITY FOR AN COMMUNICATION TOWER TENANT.

**PROJECT NOTES**

1. THE FACILITY IS UNMANNED.
2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE PER YEAR TO PERFORM INSPECTION AND MAINTENANCE.
3. THE PROJECT WILL NOT DISTURB EXISTING UTILITIES OR DISTURBANCE OR EFFECT OF STORM WATER DRAINAGE.
4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED.
5. THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS AS AN ELIGIBLE FACILITIES REQUESTER ENTITLED TO EXPEDITED REVIEW UNDER 47 U.S.C. § 1585(A) AS A MODIFICATION OF AN EXISTING WIRELESS TOWER THAT REPLACEMENT OF TRANSMISSION EQUIPMENT THAT IS NOT A SUBSTANTIAL CHANGE UNDER CFR § 1.14000 (b)(7).

**PROJECT LOCATION DIRECTIONS**

FROM HARTFORD TAKE I-91 SOUTH TO I-88 NORTH, TAKE EXIT 2A, TURN RIGHT ONTO HILLTOP ROAD, GO ABOUT 1/2 MILE, TURN RIGHT ONTO HILLTOP ROAD, COMPOUND IS AT CORNER OF BRUSHY PLAIN RD. AND HILLTOP RD. ACCESS SITE FROM HILLTOP ROAD.

**UTILITY COMPANIES**

**POWER COMPANY RESOURCE:**  
 PHONE: (877) 699-5283

**TELEPHONE COMPANY - FRONTIER COMMUNICATIONS:**  
 PHONE: (888) 578-8888



Know what's below,  
 Call before you dig.

**SHEET INDEX**

SHEET NO.	DESCRIPTION	REV.	DATE	BY
G-001	TITLE SHEET	0	02/08/22	MF
G-002	GENERAL NOTES	0	02/08/22	MF
C-101	SITE PLAN	0	02/08/22	MF
C-201	CONCRETE PAD DETAILS	0	02/08/22	MF
E-001	ELECTRICAL ONE-LINE AND WIRING DETAILS	0	02/08/22	MF
R-001	SUPPLEMENTAL			



Authorized by "EOR"  
 11 Feb 2022 11:36:56

**DRAWN BY:** JAM  
**DATE DRAWN:** 02/08/22  
**ATC JOB NO.:** 19770942.JAM

**TITLE SHEET**

**SHEET NUMBER:** G-001  
**REVISION:** 0

**GENERAL CONSTRUCTION NOTES:**

1. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING AMERICAN IRON AND STEEL INSTITUTE (AISC) CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL CONTRACT LOCAL #111 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS. ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DAMAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
4. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
5. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
6. THESE DRAWINGS DO NOT INCLUDE ACCESSORY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS ARE WELDED FOR BOLTS, ETC.
8. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUND DRAINS, DRAIN PRESS VENTS, ETC. BEFORE COMMENCING WORK.
9. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE UNSUITABLE OR NON-COMPLYING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE AISC CM PRIOR TO REMOVAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE AISC CM PRIOR TO PROCEEDING.
10. EACH CONTRACTOR SHALL COOPERATE WITH THE AISC CM AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
11. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO EXISTING UTILITIES, STRUCTURES, OR OTHERS.
12. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND STRUCTURES AT ALL TIMES.
13. ALL GATE VALVES, FLOWMETER PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
14. WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THESE DRAWINGS, CONTRACTOR SHALL NOTIFY THE AISC CONSTRUCTION MANAGER IMMEDIATELY.
15. CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
16. CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
17. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH AISC CM AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
18. CONTRACTOR SHALL FURNISH AITC WITH A PPT W/ WIND UP AS BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
19. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH AITC TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.
20. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH AITC CONSTRUCTION MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY AITC. ALL REQUIRED PERMITS NOT OBTAINED BY AITC MUST BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
21. CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH AITC SPECIFICATIONS AND REQUIREMENTS.
22. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO AITC FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
23. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO AITC SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
24. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE CONSTRUCTION METHODS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
25. CONTRACTOR SHALL NOTIFY AITC ON A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR THE START OF ANY OTHER MAJOR CONSTRUCTION ACTIVITY ON ANY WALL, FLOOR OR ROOF REINFORCING FOR ENGINEERING REVIEW AND APPROVAL.
26. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL SAFETY AND HEALTH STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY AND HEALTH PROTECTION DEVICES SUCH AS WELDING MASKS, GLOVES, WELDING BARRIERS, ETC.
27. THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE ALL EXISTING FACILITIES AND SUCH OTHER ADJACENT FACILITIES AS MAY BE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT CAUSED BY NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS SUBS. NOTIFY THE AITC OF ANY SUCH DAMAGE TO THE PART OF THIS CONTRACTOR OR HIS SUBS. NOTIFY THE AITC OF ANY SUCH DAMAGE TO THE PART OF THIS CONTRACTOR OR HIS SUBS.

**CONCRETE AND REINFORCING STEEL NOTES:**

1. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF ALL APPLICABLE CODES INCLUDING ACI 308, SPECIFICATIONS FOR CONCRETE REINFORCING STEEL, AND ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
2. MIX DESIGN SHALL BE APPROVED BY AITC CM PRIOR TO PLACING CONCRETE.
3. CONCRETE SHALL BE NOMINAL WEIGHT, 6% AIR ENTRAINMENT (4.1.58) WITH A SLUMP RANGE OF 3.5" AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED.
4. THE FOLLOWING MATERIALS SHALL BE USED:
  - A. PORTLAND CEMENT: ASTM C 150, TYPE 2
  - B. FINE AGGREGATE: ASTM C 602, PLAIN STEEL WELDED WIRE FABRIC REINFORCING BARS: ASTM A 618, GRADE 60, DEFORMED NORMAL WEIGHT AGGREGATE: ASTM C 33
  - C. WATER: ASTM C 939, MAXIMUM ALLOWABLE CHLORIDE: ASTM C 480, TYPE A
  - D. AIR-ENTRAINING AGENT: ASTM C 480, TYPE A
  - E. SUPERPLASTICIZER: ASTM C 480, TYPE B
5. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE NO LESS THAN 3".
6. A 3/8" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 318 SECTION 4.2.4, UNLESS NOTED OTHERWISE.
7. INSTALLATION OF CONCRETE EXPANSION JOINTS SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDATION. THE ANCHORS, BOLTS, DOWELS, OR SHIMS SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE HOLES IN CONCRETE.
8. ANCHURERS SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN METHOD 1 OF ACI 301.
9. DO NOT WELD OR TACK WELD REINFORCING STEEL.
10. ALL CORNERS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE GLEVES, GROUNDING BARS, AND OTHER ITEMS SHALL BE FORMED AND FINISHED AS SHOWN ON THE START OF CONCRETE PLACEMENT.
11. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
12. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
13. DO NOT ALLOW REINFORCEMENT, CONCRETE OR SUBGRADE TO FREEZE DURING CONCRETE PLACEMENT AND SETTING PERIOD, OR FOR A MINIMUM OF 3 DAYS AFTER PLACEMENT.
14. FOR COLD-WEATHERING AND LOW-TEMPERATURE CURE CONCRETE PLACEMENT, CONCRETE CHLORIDE CALCULATIONS AND RECOMMENDATIONS, IN EITHER CASE, MATERIALS CONTAINING WEATHER RESISTANT DYES, MINIMUM:
  - A. ALL CONCRETE SHALL HAVE A "SMOOTH FORM FINISH".
  - B. UNLESS OTHERWISE NOTED.
  - C. ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A 618/A 618A.
  - D. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185.
15. SPACING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN IN THE CONTRACT DRAWINGS AS NOTED BY THE ENGINEER. UNLESS OTHERWISE SHOWN OR NOTED REINFORCEMENT IS TO BE SPACED TO DEVELOP ITS FULL TENSILE CAPACITY (CLASS A) IN ACCORDANCE WITH ACI 318.
16. REINFORCING BAR DEVELOPMENT LENGTHS, AS COMPUTED IN ACCORDANCE WITH ACI 318, FROM THE BASIS FOR BAR EMBEDMENT LENGTHS AND BAR SPACED LENGTHS SHOWN IN THE

**DRAMAING. APPLY APPROPRIATE MODIFICATION FACTORS FOR TIE STEEL, BAR SPACING, COVER AND THE LIKE.**

19. DETAILING OF REINFORCING STEEL SHALL CONFORM TO "A CI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 318).
  20. ALL SLAB CONSTRUCTION SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS, UNLESS SHOWN IN THE CONTRACT DRAWINGS.
  21. LOCATION OF ALL CONSTRUCTION JOINTS ARE SUBJECT TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, CONFORMANCE WITH ACI 318, AND ACCEPTANCE OF THE ENGINEER. DRAWINGS SHOWING LOCATION OF DETAILS OF THE PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED WITH REINFORCING STEEL PLACEMENT DRAWINGS.
  22. SPICES OF WIRE AT ALL SLAB EDGES SHALL BE SUCH THAT THE OVERLAP WELDED BETWEEN OUTERTOP SPICES OF WIRE IS NOT LESS THAN 6" (150MM).
  23. BAR SUPPORTS SHALL BE ALL GALVANIZED METAL WITH PLASTIC TIPS.
  24. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE TO PREVENT DISPLACEMENT BY VIBRATION OR CONCRETE SETTING. THE WIRE SHALL BE OF SUFFICIENT STRENGTH FOR INTENDED PULL OUT, BUT NOT LESS THAN NO. 10 GAUGE.
  25. SLAB ON GROUND:
    - A. COMPACT SUBGRADE AND ENSURE THERE IS PLACE OF GRAVEL BENEATH SLAB.
    - B. PROVIDE VAPOR BARRIER BENEATH SLAB ON GROUND.
- STRUCTURAL STEEL NOTES:**
1. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS."
  2. STRUCTURAL STEEL, ROLLED SHAPES, PLATES AND BARS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS:
    - A. ASTM A 36, GRADE 50 - ALL W SHAPES, UNLESS NOTED OR 480 OTHERWISE
    - B. ASTM A 36 - ALL OTHER ROLLED SHAPES, PLATES AND BARS UNLESS NOTED OTHERWISE
    - C. ASTM A 240, GRADE B - HSS SECTION (SQUARE, RECTANGULAR, AND ROUND)
    - D. ASTM A 325, TYPE 80 OR 9 - ALL BOLTS FOR CONNECTING STRUCTURAL MEMBERS
    - E. ASTM A 307 - ALL ANCHOR BOLTS, UNLESS NOTED OTHERWISE
  3. ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A 153. STEEL HARDWARE AND WELDING SHALL BE GALVANIZED PER ASTM A 153 OR 8896.
  4. ALL FIELD CUT SURFACES, FIELD DRILLED HOLES AND GROUND SURFACES WHERE EXISTING CONCRETE IS TO BE REMOVED SHALL BE REPAIRED WITH A REPAIR COMPOUND PER ASTM A 780 AND MANUFACTURER'S RECOMMENDATIONS.
  5. DO NOT DRILL HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
    - A. ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D 1.1.
    - B. ALL WELDS SHALL BE INSPECTED VISUALLY. 25% OF WELDS SHALL BE INSPECTED WITH DYE PENETRANT OR MAGNETIC PARTICLE TO MEET THE ACCEPTANCE CRITERIA OF AWS D 1.1. REPAIR ALL WELDS AS NECESSARY.
    - C. INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.
    - D. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE BURNING WELDING PERMITS AS REQUIRED BY LOCAL GOVERNING AUTHORITY AND IF REQUIRED SHALL PAY THE DEPARTMENT DETAIL FOR ANY WELDING ACTIVITY.
    - E. ALL ELECTRODES TO BE LOW HYDROGEN, MATCHING FILLER METAL, PER AWS D 1.1, UNLESS NOTED OTHERWISE.
    - F. MINIMUM WELD SIZE TO BE 0.1875 INCH FILLET WELDS, UNLESS NOTED OTHERWISE.
  6. PRIOR TO FIELD WELDING GALVANIZING MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZING TO BEYOND ALL FIELD WELD SURFACES. AFTER WELD AND WELD INSPECTION IS COMPLETE, REPAIR ALL GROUND AND WELDED SURFACES WITH ZINC ALKYLATE COLD GALVANIZING COMPOUND PER ASTM A 780 AND MANUFACTURER'S RECOMMENDATIONS.

**AMERICAN TOWER**  
**A.T. ENGINEERING SERVICE, PLLC**  
 3500 REVERCY PARKWAY  
 SUITE 400  
 CARY, NC 27513  
 PHONE (919) 484-1414  
 FAX (919) 484-1983

THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS AND NOTES ARE THE PROPERTY OF AMERICAN TOWER. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER. THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS AND NOTES SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THESE DRAWINGS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF AMERICAN TOWER IS STRICTLY PROHIBITED.

REV.	DESCRIPTION	BY	DATE
1	FOR CONSTRUCTION	ME	02/08/22

ATC SITE NAME:  
**BRANFORD CT 6**

ATC SITE NUMBER:  
**302484**

SITE ADDRESS:  
 425 BRANCH PLAIN RD  
 BRANFORD CT 06405

Authorized by "EOR"  
 11 Feb 2022 11:36:56



DRAWN BY:	AM
CHECKED BY:	02/08/22
DATE DRAWN:	02/08/22
ATC JOB NO.:	1370286_04

**GENERAL NOTES**

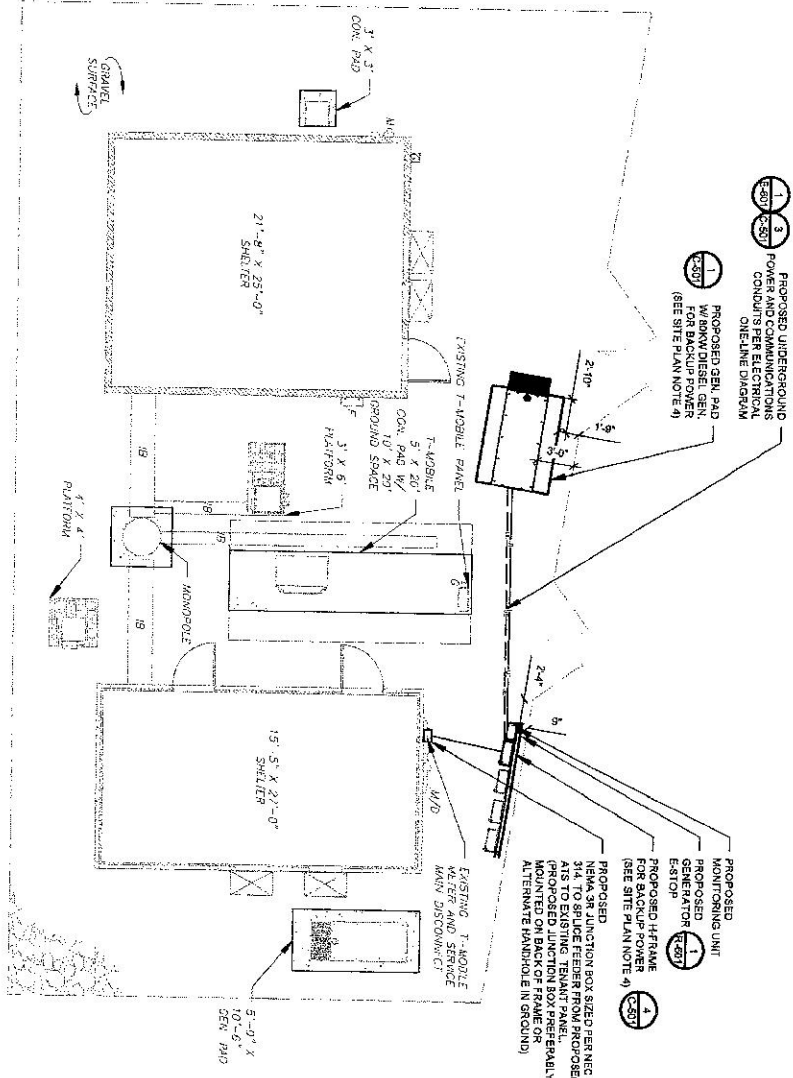
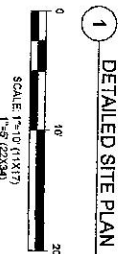
SHEET NUMBER: **G-002** REVISION: **0**

**SITE PLAN NOTES:**

1. THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VERIFY TO THE PROPOSER THE EXISTING CONDITIONS AND THE SCOPE OF WORK FOR THIS PROJECT.
2. SEE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PERMANENTLY INSTALLED EQUIPMENT BEFORE UTILIZING EXISTING CABLE SUPPORTS OR PORTS OR ANY OTHER EQUIPMENT. CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE ATC CONSTRUCTION MANAGER AND LOCAL UTILITY COMPANIES WITH THE LOCATION OF CONDUITS, CONDUCTORS, BREAKERS, DISCONNECTS, OR ANY OTHER EQUIPMENT REQUIRED FOR ELECTRICAL SERVICE. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE AND NATIONAL CODES, STANDARDS AND REGULATIONS APPLICABLE TO THIS PROJECT. CONTRACTOR SHALL INSURE THAT ALL WORKING SPACE REQUIREMENTS ARE MET PER APPLICABLE CODES AND MANUFACTURER SPECIFICATIONS.
4. ABOVE GROUND CONDUITS NEED TO BE SUPPORTED/FASTENED PER NEC 344, NEC 352, AND PER ATC CONSTRUCTION SPECIFICATIONS.
5. THE FOLLOWING SHALL BE INSTALLED AT TENANT SERVICE MAIN DISCONNECT PER NEC 702.1:
  - 6.1. CAUTION: TWO SOURCES OF SUPPLY STANDBY GENERATOR LOCATED OUTDOORS.
  - 6.2. WARNINGS: SHOCK HAZARD EXISTS IF GROUNDING ELECTRODE CONDUCTOR OR BONDING JUMPER CONNECTED IN THIS EQUIPMENT IS REMOVED WHILE ALTERNATE SOURCE IS ENERGIZED.
6. ROBERT CONTROL AROUND GENERATOR ENVELOPE.
  1. INSTALL ALL PROVIDED SEALS, PLUGS, COVERS, ETC. IN GENERATOR AND FUEL TANK ENVELOPE. SEAL ALL REMAINING OPENINGS EXCEPT NORMAL VENTING WITH ROBDENT FOM SEALANT. NO OPENING SHALL BE LARGER THAN 1/4 INCH ANY DIMENSION.
  2. SEAL ALL CONDUITS INCLUDING CONDUITS ENTERING GENERATOR EQUIPMENT, BOXES, ATTACHMENTS, ETC. WITH ROBDENT FOM SEALANT.
  3. SEAL ALL CONDUIT ACCESS OPENINGS THROUGH CONCRETE PAD WITH CONCRETE.
  4. SLOPE GRAVEL BASE AT CONCRETE PAD PERIMETER FROM ABOVE PAD BASE TO EXISTING GRADE LEVEL TYPICAL ALL PERIMETER SIDES.

LEGEND	
⊕	GROUNDING TEST WELL
A	ATC STANDBY GENERATOR
B	ROLDENT FOM SEALANT
C	CELL SITE CABINET
D	DISCONNECT
E	ELECTRICAL
F	FIBER
G	GENERATOR
H	GENERATOR RECEPTACLE
I	HAND HOLE WAULT
J	ICE BRIDGE
K	KENTROCK BOX
L	LIGHTNING CONTROL
M	METER
N	PULL BOX
PP	POWER POLE
P	TELCO
TRN	TRANSFORMER
	CHAINLINK FENCE

APPROXIMATE TRENCH DISTANCES	
27'	POWER CONDUIT TRENCH



**AMERICAN TOWER**  
A.T. ENGINEERING SERVICE, PLLC  
360 REGENCY PARKWAY  
SUITE 100  
CARY, NC 27718  
PHONE: (919) 484-4112  
CDE: PEC:0001583

Authorizing by "EOR"  
11 Feb 2022 11:36:56  
DATE DRAWN: 02/08/22  
ATC JOB NO.: 1377346\_JM

ATC SITE NUMBER: 302484  
ATC SITE NAME: BRANFORD CT 6  
SITE ADDRESS: 405 BRUSH PLAIN RD BRANFORD, CT 06405

DESIGNER: FOR CONSTRUCTION  
DATE: 02/08/22

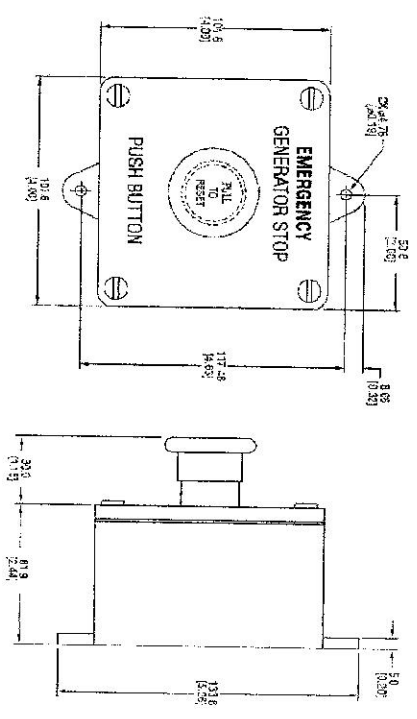
DATE: 02/08/22  
DRAWN BY: JM

REVISION: 0  
SHEET NUMBER: C-101





REPAIR EMERGENCY STOP SWITCH  
SERIES MODEL 44-100



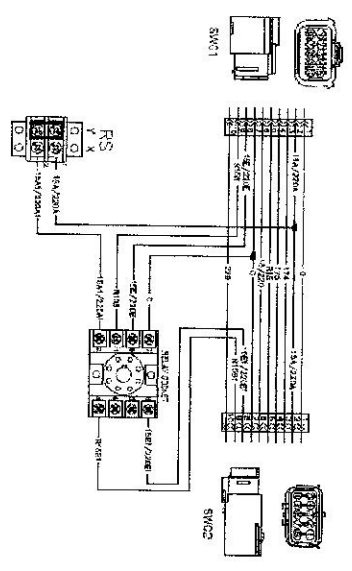
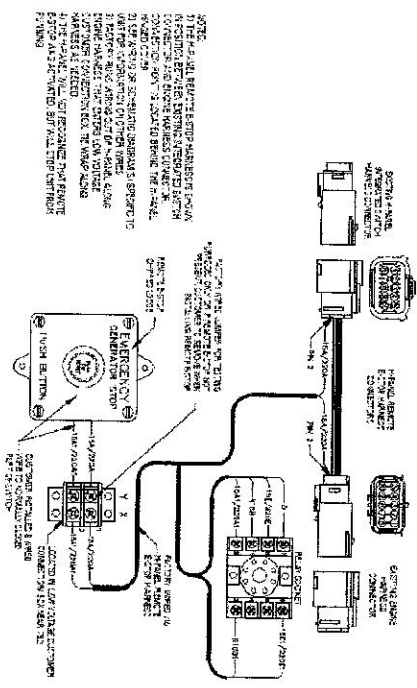
- MANUFACTURER: FLA ELECTRICAL PRODUCTS, INC.
- MODEL: 55120
- GENERAC PART NUMBER: 091735
- SERVICE POINT: NEMA 4X
- INDUSTRIAL: BROADBOK

DIMENSIONS: UNDIMENSIONED

1 E-STOP SWITCH

GENSET CONTROLS

REPAIR EMERGENCY STOP SWITCH  
SERIES MODEL 44-100



GENSET CONTROLS

<b>SUPPLEMENTAL</b>	
SHEET NUMBER: <b>R-601</b>	REVISION: <b>0</b>



FedEx® Tracking

7765 3007 7516

ADD NICKNAME



Delivered  
Monday, 4/11/2022 at 9:22 am



DELIVERED

Signed for by: C.LERK

GET STATUS UPDATES

OBTAIN PROOF OF DELIVERY

FROM

FARMINGTON, CT US

TO

BRANFORD, CT US

MANAGE DELIVERY

*TOWN OF BRANFORD  
FIRST SELECTMAN -  
JAMES COSGROVE*

Travel History

TIME ZONE

Local Scan Time

Monday, April 11, 2022

9:22 AM	BRANFORD, CT	Delivered
8:19 AM	NORTH HAVEN, CT	On FedEx vehicle for delivery
7:41 AM	NORTH HAVEN, CT	Shipment arriving early
7:23 AM	NORTH HAVEN, CT	At local FedEx facility

Saturday, April 9, 2022

7:10 PM	EAST GRANBY, CT	Shipment arriving early
6:50 PM	EAST GRANBY, CT	At destination sort facility
6:40 PM	WINDSOR LOCKS, CT	Left FedEx origin facility
12:33 PM	WINDSOR LOCKS, CT	Shipment arriving On-Time

4/12/22, 11:41 AM

Detailed Tracking

12:21 PM

WINDSOR LOCKS, CT

Picked up

Friday, April 8,  
2022

10:20 AM

Shipment information sent to FedEx

Expand History 

### Shipment Facts

**TRACKING NUMBER**

7765 3007 7516

**SERVICE**

FedEx Express Saver

**WEIGHT**

0.5 lbs / 0.23 kgs

**DELIVERED TO**

Receptionist/Front Desk

**TOTAL PIECES**

1

**TOTAL SHIPMENT WEIGHT**

0.5 lbs / 0.23 kgs

**TERMS**

Shipper

**SHIPPER REFERENCE**

ATC East BUP 202202


**PACKAGING**

FedEx Envelope


**SPECIAL HANDLING SECTION**

Deliver Weekday

**SHIP DATE**

4/9/22 

**STANDARD TRANSIT**

4/13/22 before 4:30 pm 

**ACTUAL DELIVERY**

4/11/22 at 9:22 am





FedEx® Tracking

7765 3016 3394

ADD NICKNAME



Delivered  
Monday, 4/11/2022 at 9:22 am



DELIVERED

Signed for by: C.LERK

GET STATUS UPDATES

OBTAIN PROOF OF DELIVERY

FROM  
FARMINGTON, CT US

TO  
BRANFORD, CT US

MANAGE DELIVERY

*TOWN OF BRANFORD  
ZONING OFFICER  
HARRY SMITH*

Travel History

TIME ZONE  
Local Scan Time

Monday, April 11, 2022

9:22 AM	BRANFORD, CT	Delivered
8:18 AM	NORTH HAVEN, CT	On FedEx vehicle for delivery
7:41 AM	NORTH HAVEN, CT	Shipment arriving early
7:22 AM	NORTH HAVEN, CT	At local FedEx facility

Saturday, April 9, 2022

7:10 PM	EAST GRANBY, CT	Shipment arriving early
6:50 PM	EAST GRANBY, CT	At destination sort facility
6:40 PM	WINDSOR LOCKS, CT	Left FedEx origin facility
4:17 PM	WINDSOR LOCKS, CT	Shipment arriving On-Time

4/12/22, 11:48 AM

Detailed Tracking

12:21 PM

WINDSOR LOCKS, CT

Picked up

Friday, April 8,  
2022

10:25 AM

Shipment information sent to FedEx

Expand History 

### Shipment Facts

**TRACKING NUMBER**

7765 3016 3394

**SERVICE**

FedEx Express Saver

**WEIGHT**

0.5 lbs / 0.23 kgs

**DELIVERED TO**

Receptionist/Front Desk

**TOTAL PIECES**

1

**TOTAL SHIPMENT WEIGHT**

0.5 lbs / 0.23 kgs

**TERMS**

Shipper

**SHIPPER REFERENCE**

ATC East BUP 202202


**PACKAGING**

FedEx Envelope


**SPECIAL HANDLING SECTION**

Deliver Weekday

**SHIP DATE**

4/9/22 

**STANDARD TRANSIT**

4/13/22 before 4:30 pm 

**ACTUAL DELIVERY**

4/11/22 at 9:22 am



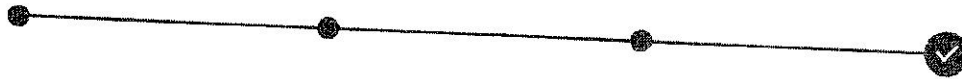
FedEx® Tracking

7765 3029 8678

ADD NICKNAME



Delivered  
Monday, 4/11/2022 at 11:52 am



DELIVERED

Signature not required

GET STATUS UPDATES

OBTAIN PROOF OF DELIVERY

FROM  
FARMINGTON, CT US

TO  
BRANFORD, CT US

MANAGE DELIVERY

*TO PROPERTY OWNER  
EDUARDO JACONETTE  
& KRISTIN JACONETTE*

Travel History

TIME ZONE  
Local Scan Time

Monday, April 11, 2022

11:52 AM	BRANFORD, CT	Delivered Package delivered to recipient address - release authorized
8:18 AM	NORTH HAVEN, CT	On FedEx vehicle for delivery
7:42 AM	NORTH HAVEN, CT	Shipment arriving early
7:22 AM	NORTH HAVEN, CT	At local FedEx facility

Saturday, April 9, 2022

7:10 PM	EAST GRANBY, CT	Shipment arriving early
6:50 PM	EAST GRANBY, CT	At destination sort facility
6:40 PM	WINDSOR LOCKS, CT	Left FedEx origin facility

4/12/22, 12:09 PM

12:33 PM

12:21 PM

Friday, April 8,  
2022

10:33 AM

Detailed Tracking

WINDSOR LOCKS, CT

Shipment arriving On-Time

WINDSOR LOCKS, CT

Picked up

Shipment information sent to FedEx

Expand History 

Shipment Facts

**TRACKING NUMBER**

7765 3029 8678

**SERVICE**

FedEx Express Saver

**WEIGHT**

0.5 lbs / 0.23 kgs

**DELIVERED TO**

Residence

**TOTAL PIECES**

1

**TOTAL SHIPMENT WEIGHT**

0.5 lbs / 0.23 kgs

**TERMS**

Shipper

**SHIPPER REFERENCE**

ATC East BUP 202202


**PACKAGING**

FedEx Envelope

**SPECIAL HANDLING SECTION**

Deliver Weekday, Residential Delivery

**SHIP DATE**

4/9/22 

**STANDARD TRANSIT**

4/13/22 before 8:00 pm 

**ACTUAL DELIVERY**

4/11/22 at 11:52 am