



**TECHNICAL REPORT
to the
TOWN OF STRATFORD**

**OMNIPOINT COMMUNICATIONS, INC.
(T-MOBILE)**

**PROPOSED STRATFORD
MONOPOLE TOWER TELECOMMUNICATIONS FACILITY**

**23 STONYBROOK ROAD
STRATFORD, CONNECTICUT**

*Omnipoint Communications, Inc.
35 Griffin Road South
Bloomfield, Connecticut 06002*

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Introduction

Omnipoint Communications, Inc., a subsidiary of T-Mobile USA, Inc., d/b/a T-Mobile ("T-Mobile") hereby submits this Technical Report to the Town of Stratford pursuant to Connecticut General Statutes § 16-50f. T-Mobile proposes to install a wireless telecommunications facility (the "Facility") on an approximately 3.51 acre parcel located at 23 Stonybrook Road and owned by Stonybrook Management LLC ("Stonybrook Road Site" or "Site"). The Facility will consist of a 100 ft unipole structure (the "Tower") with antennas mounted inside the unipole at an approximate centerline of 97 ft AGL, and related equipment at the base of the tower, on a concrete equipment pad within the proposed compound area. The Facility, if approved, would provide wireless communications service in this area of Stratford.

The purpose of this Technical Report is to provide the Town of Stratford with information concerning the need for the proposed Facility (Section 1), the site selection process (Section 2), the Facility design and any environmental effects associated with the proposed Facility (Section 3).

Correspondence and/or communications regarding this Technical Report should be addressed to the attorneys for the applicant:

Cohen and Wolf, P.C.
1115 Broad Street
Bridgeport, CT 06604
(203) 368-0211

Attention: Julie D. Kohler, Esq.
Jesse A. Langer, Esq.

SECTION 1

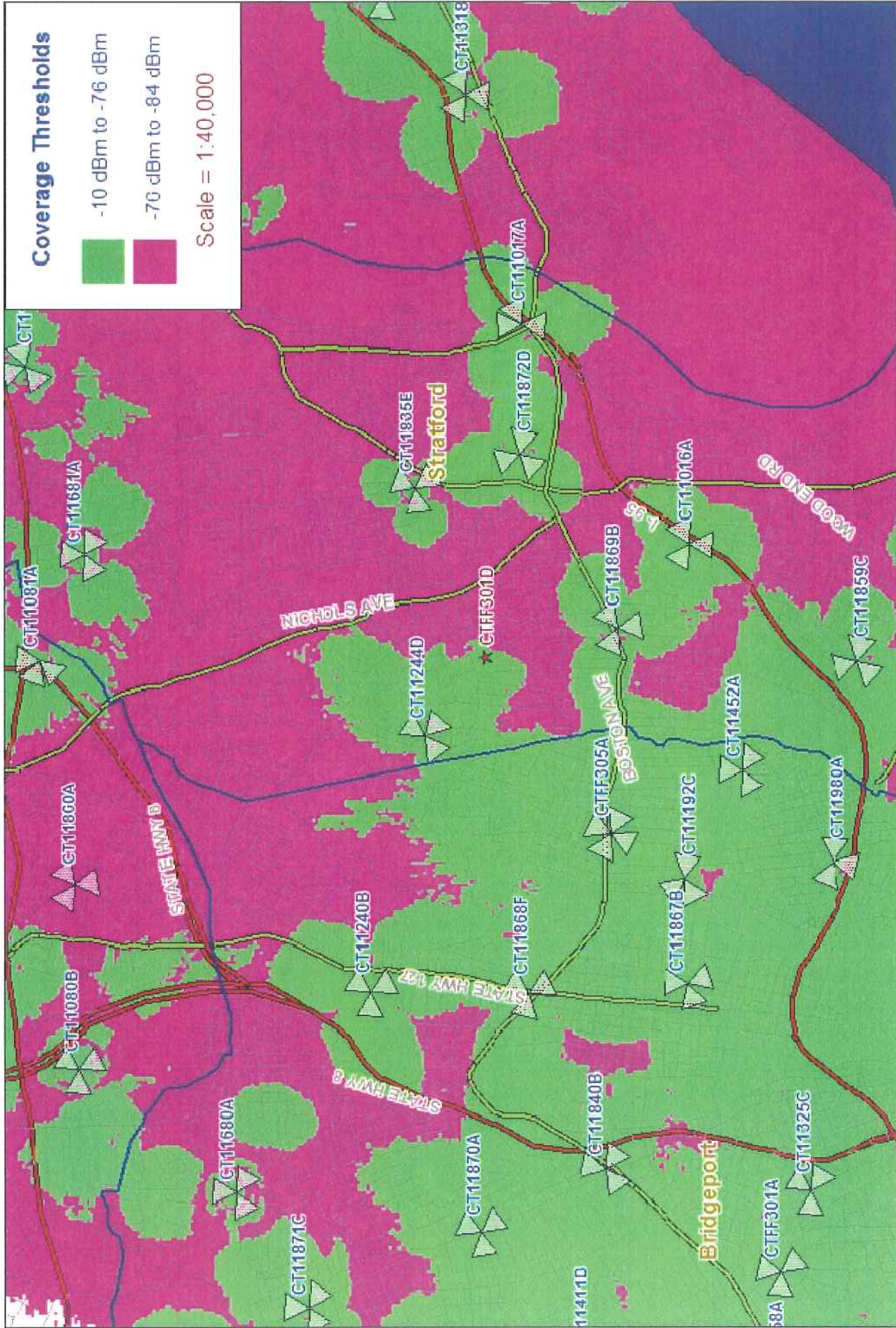
Site Justification

The proposed Stonybrook Road Site is necessary to enhance wireless service availability to existing and future T-Mobile wireless device users. Enhanced coverage provided by the Facility will allow T-Mobile subscribers to use voice and data services reliably as well as to connect to Emergency 911 services. The intended coverage area of the Facility includes Broadbridge Avenue, Henry Avenue, Franklin Avenue and Route 108 just north of Route 1 in Stratford. Additionally, the proposed Facility will provide capacity relief for the current sites that presently cover this area from outer lying areas.

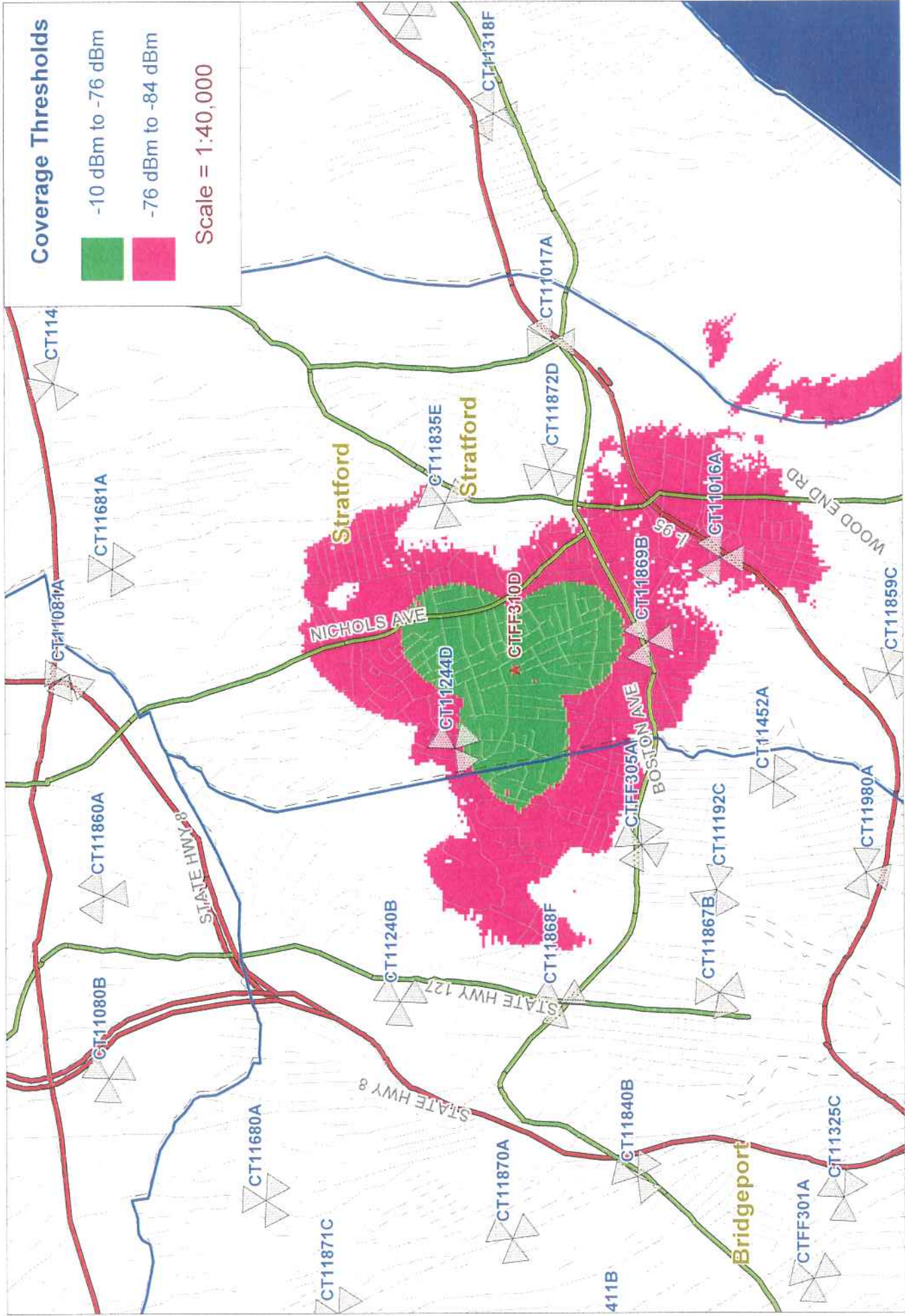
Included herein are propagation plots prepared by T-Mobile that depict (1) coverage from existing and approved surrounding sites; (2) predicted coverage from the proposed Site with antennas mounted at approximately 97 ft above grade level ("AGL"); and (3) coverage from the proposed Site with existing and approved sites.

Together, these propagation plots clearly demonstrate the need for a site in the area and the effectiveness of the proposed Site in meeting the need for wireless service in this area of Stratford.

ATTACHMENT A



- T-Mobile - Existing T-Mobile On Air Coverage



Coverage Thresholds

- 10 dBm to -76 dBm
- 76 dBm to -84 dBm

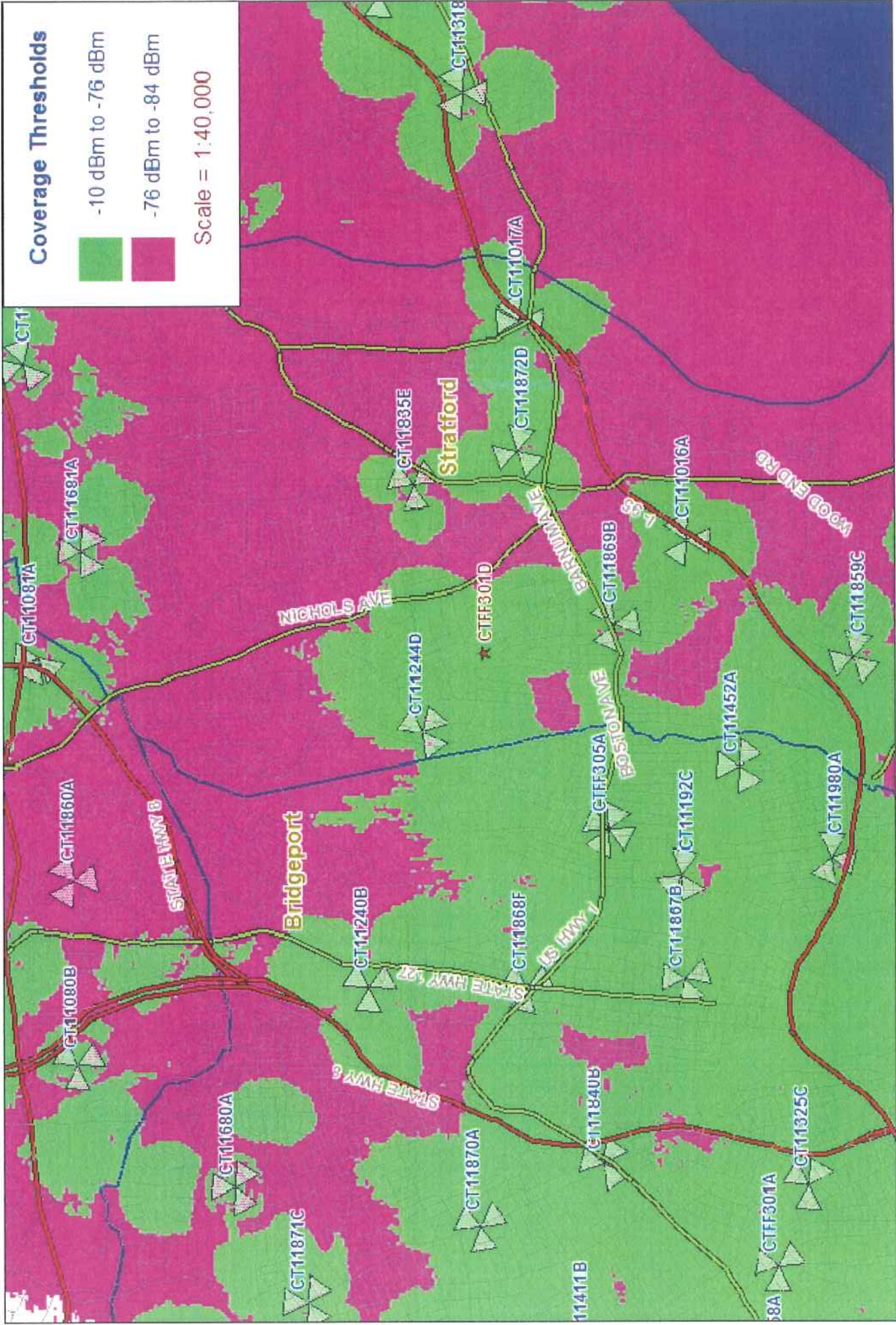
Scale = 1:40,000



T-Mobile Proposed CTF310D Facility @ 97

- T-Mobile -





Coverage Thresholds

- 10 dBm to -76 dBm
- 76 dBm to -84 dBm

Scale = 1:40,000



Existing T-Mobile On Air Coverage
With CTF310D @ 97' AGL

- T-Mobile -



SECTION 2

Site Search Process and Selection

Section 16-50j-74(j) of the Regulations of Connecticut State Agencies requires the applicant to submit a statement that describes “the narrowing process by which other possible sites were considered and eliminated.” In accordance with this requirement, the description of the general site search process, the identification of the target search area and the alternative locations considered for development of the proposed Facility are provided below.

As an FCC licensed wireless carrier, T-Mobile decides to seek out a site in an area based upon the needs of its wireless infrastructure and extensive research of the subject area. T-Mobile chooses a target area central to the area in which it has identified coverage and/or capacity needs. The area targeted is the geographical location where the installation of a site would, based on general radio frequency engineering and system design standards, likely address the identified problem. T-Mobile’s goal is to locate sites that will remedy coverage or capacity issues, while resulting in the least environmental impact. In this case, T-Mobile has searched for a site in this area for several years, and has identified the Stonybrook Road Site as the best possible location for a wireless facility.

T-Mobile is sensitive to State and local desires to minimize the construction of new towers, and it does not pursue development of a new facility where an acceptable existing structure can be found. In general, T-Mobile’s site acquisition personnel first study the area in and near the search ring to determine whether any suitable structure exists. If T-Mobile cannot find a structure with appropriate height and structural capabilities, it turns to industrial/ commercial areas or individual parcels that have appropriate environmental and land use characteristics. The list of potential locations is limited by the willingness of property owners to make their property available. Radio frequency engineers study potentially suitable and available locations to determine whether the locations will meet the technical requirements for a site in the area. Analysis of potential environmental effects and benefits may further narrow the alternatives. The weight given relevant factors varies for each search, depending on the nature of the area and the availability of potential sites.

In the area of Stratford, which is the subject of this site search, there are no existing towers, transmission line structures or other suitable structures. Moreover, any existing towers are too far from the target area to provide coverage specifically to the target area. The nearest towers and suitable structures are already in use by T-Mobile. There are no large areas of commercial or industrial use in or near the target area, only small pockets of commercial use as the area is primarily residential.

The locations considered and the reasons locations other than the proposed Stonybrook Road Site were not selected are outlined below:

1. 2336 Broadbridge Ave. This small commercial property, which is only .37 acres, is used as a shopping plaza with inadequate space for a tower. The site is directly across street from the proposed Site. The roof of the plaza is approximately 20 feet tall, which is too low to afford adequate coverage.

2. Sikorsky Facility, 3191 Broadbridge Corp Park. This site is located to the north of the target area where T-Mobile currently has an existing rooftop installation (CT11244D).

3. 1700 Broadbridge Ave. This site hosts a 4 story apartment building, which is located approximately .6 miles to the south east. This location is too far from the target area to afford adequate coverage.

4. 55 Singer Court, Stony Brook Gardens. This property would require a tower installation and is too close to an existing T-Mobile facility (CT11244D).

5. Northeast Utility Transmission Tower, Line #1710. This site is .5 miles to the east of the target area, which is too far from target area to afford adequate coverage.

Consequently, T-Mobile has determined that the property owned by Stonybrook Management LLC at 23 Stonybrook Road (the "Property") is superior to other properties in the area. The Property is zoned for commercial use and is .73 acres. Access to the Property is across an existing paved parking lot. T-Mobile would not have to engage in any tree removal for the proposed Site. The land to the south of the Property is owned by the Town of Stratford and is used as a park.

SECTION 3

PROPOSED SITE

**23 Stonybrook Road
Stratford, Connecticut**

Land of
Stonybrook Management LLC

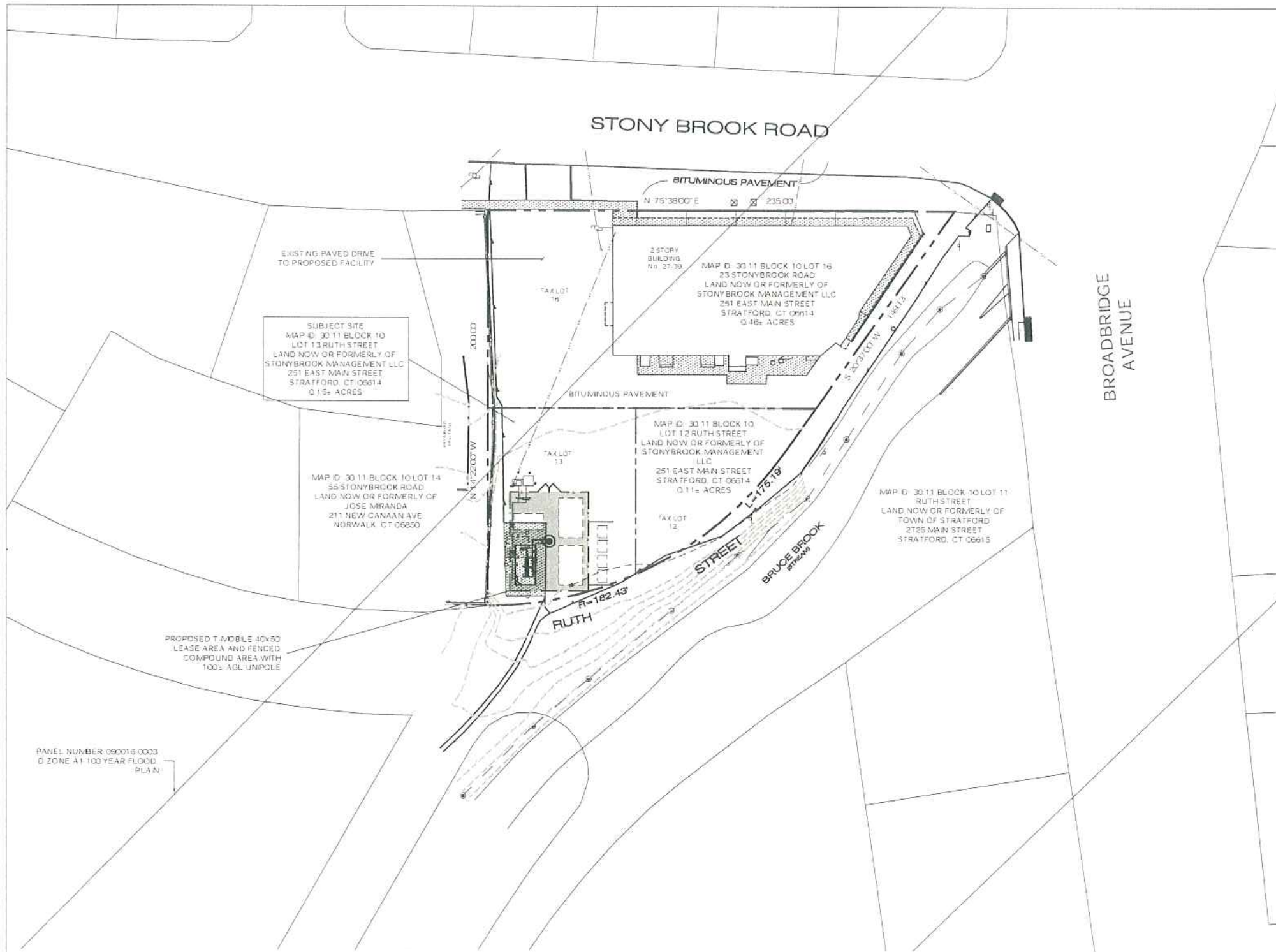
Map 30.11/Block 10/Lot 13
.73 Acres

GENERAL FACILITY DESCRIPTION

The proposed Orchard Park Road Site is a 2000 square foot leased area located in the south westerly portion of an approximately .73 acre parcel at 23 Stonybrook Road in Stratford. The Facility would consist of a 100 ft monopole structure with 3 antennas mounted inside the unipole at a centerline of approximately 97 ft AGL. The Facility would accommodate 3 additional sets of antennas.

Related equipment cabinets would be placed within the compound in the center of the leased area. The equipment would be surrounded by an 8 ft high chain link fence. Vehicle access to the Site would extend south across the eastern boundary of the Site via an existing paved parking lot. Overhead utility connections would extend from existing service originating at Stonybrook Road.

ATTACHMENT B



PANEL NUMBER 090016 0003
D ZONE A1 100 YEAR FLOOD
PLAN

PROPOSED T-MOBILE 40X50
LEASE AREA AND FENCED
COMPOUND AREA WITH
100% AGL UNPOLE

SUBJECT SITE
MAP ID: 30 11 BLOCK 10
LOT 13 RUTH STREET
LAND NOW OR FORMERLY OF
STONYBROOK MANAGEMENT LLC
251 EAST MAIN STREET
STRATFORD, CT 06614
0.15+ ACRES

MAP ID: 30 11 BLOCK 10 LOT 14
55 STONYBROOK ROAD
LAND NOW OR FORMERLY OF
JOSE MIRANDA
211 NEW CANAAN AVE
NORWALK, CT 06850

STONY BROOK ROAD

BROADBRIDGE
AVENUE

RUTH
STREET

BRUCE BROOK
STREAM

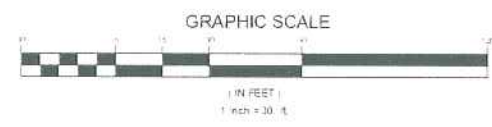
BITUMINOUS PAVEMENT

BITUMINOUS PAVEMENT

2 STORY
BUILDING
No. 27-39
MAP ID: 30 11 BLOCK 10 LOT 16
23 STONYBROOK ROAD
LAND NOW OR FORMERLY OF
STONYBROOK MANAGEMENT LLC
251 EAST MAIN STREET
STRATFORD, CT 06614
0.46+ ACRES

MAP ID: 30 11 BLOCK 10
LOT 12 RUTH STREET
LAND NOW OR FORMERLY OF
STONYBROOK MANAGEMENT
LLC
251 EAST MAIN STREET
STRATFORD, CT 06614
0.11+ ACRES

MAP ID: 30 11 BLOCK 10 LOT 11
RUTH STREET
LAND NOW OR FORMERLY OF
TOWN OF STRATFORD
2755 MAIN STREET
STRATFORD, CT 06615

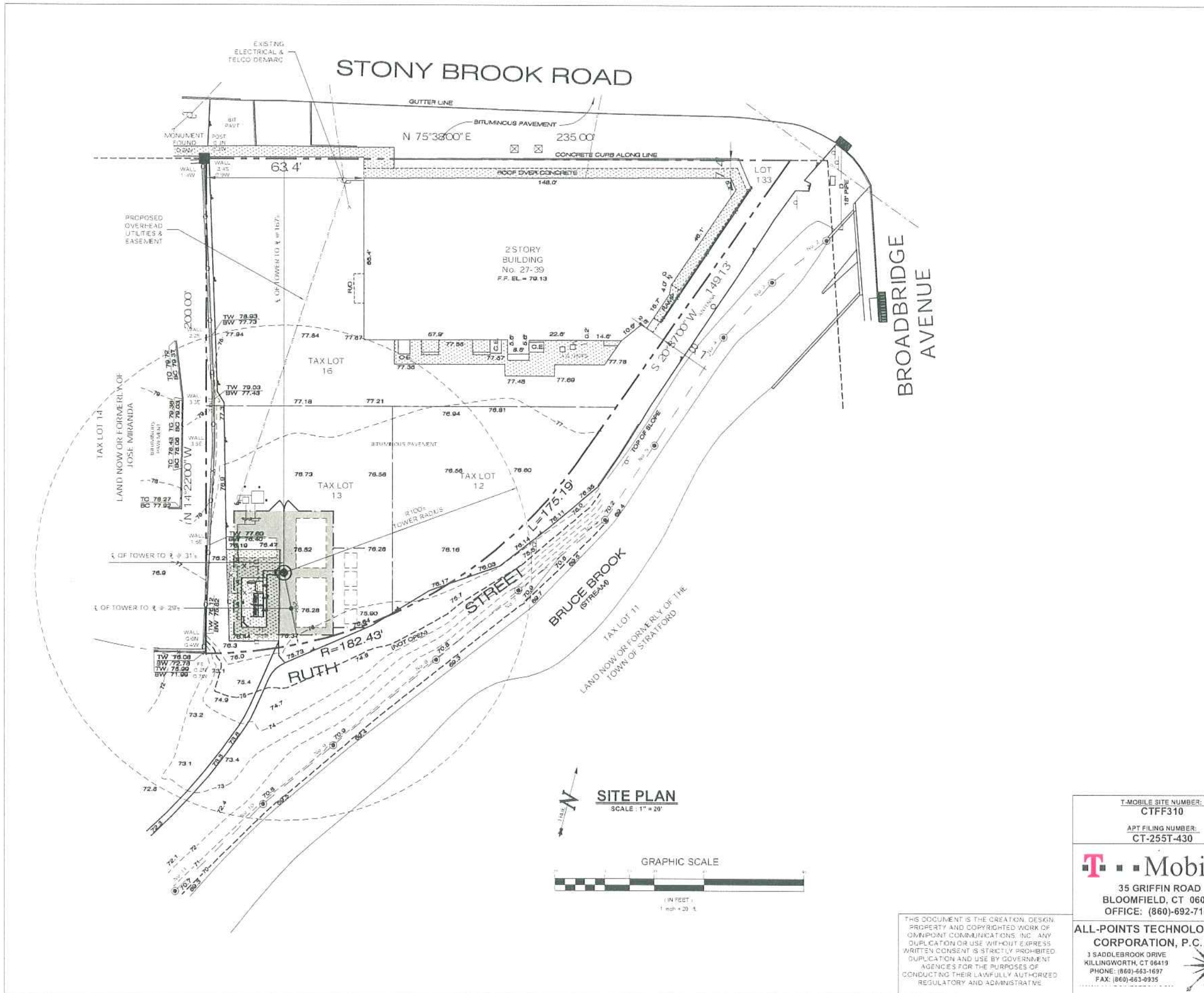


ABUTTERS MAP
SCALE: 1" = 30'



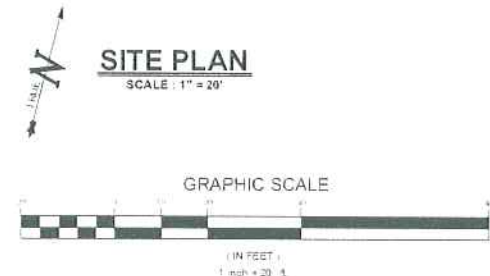
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AGENCIES FOR THE PURPOSES OF
CONDUCTING THEIR LAWFULLY AUTHORIZED
REGULATORY AND ADMINISTRATIVE

T-MOBILE SITE NUMBER: CTFF310	PERMITTING DOCUMENTS 23 STONYBROOK ROAD 23 STONYBROOK ROAD STRATFORD, CT 06614	ABUTTERS MAP
APT FILING NUMBER: CT-255T-430	DESIGN TYPE: RAW LAND	
 35 GRIFFIN ROAD BLOOMFIELD, CT 06002 OFFICE: (860)-692-7100	REVISIONS:	DRAWN BY: RCB CHECKED BY: SMC
	REV. 0: 05/15/09: FOR REVIEW: SMC REV. 1: 05/20/09: FOR REVIEW: SMC REV. 2: 05/26/09: FINAL REV. 3: REV. 4:	SCALE: AS NOTED DATE: 04/27/09
ALL-POINTS TECHNOLOGY CORPORATION, P.C. 3 SADDLEBROOK DRIVE KILLINGWORTH, CT 06419 PHONE: (860)-463-1897 FAX: (860)-663-9335	SHEET NUMBER: A-1	



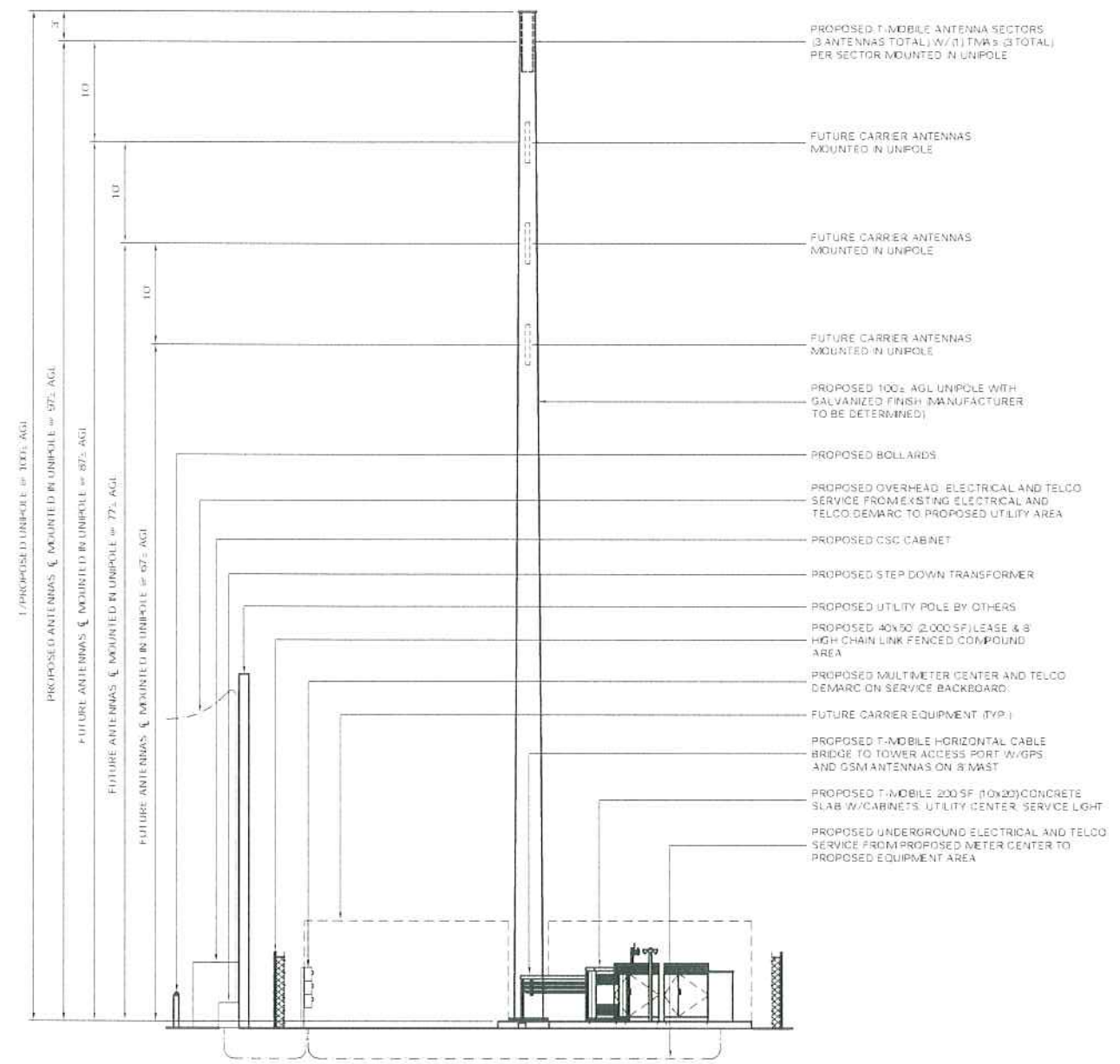
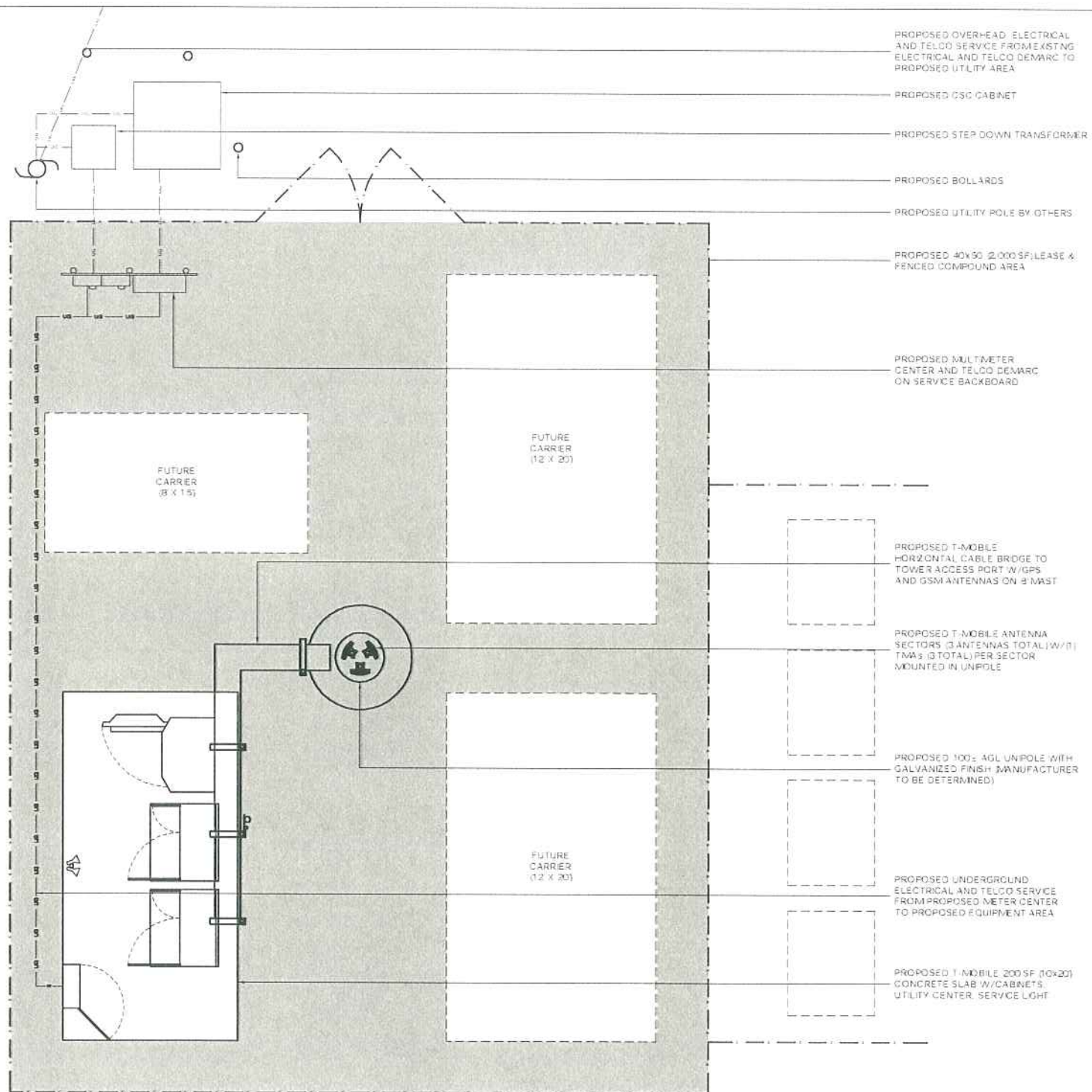
LEGEND			
	CURB		DRAINAGE NLET STRUCTURE
	DROP CURB		CATCH BASIN
	WALL		SGN
	STONE WALL		LIGHT POLE
	EDGE OF PAVEMENT		UTILITY POLE
	OVERHEAD WIRES		STOCKADE FENCE
	STRUCTURE - MANHOLE		CONTOURS
	GAS VALVE		TOP-BOTTOM OF CURB
	WATER VALVE		SPOT ELEVATION
	HANDICAP PARKING		CONCRETE
	PARKING STALL COUNT		GUY WIRE

- NOTES**
- THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 25, 1995.
 - THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A PROPERTY SURVEY.
 - BOUNDARY DETERMINATION CATEGORY: FIRST SURVEY
 - HORIZONTAL ACCURACY CLASS: A-2
 - VERTICAL ACCURACY CLASS: T-2. ELEVATIONS REFER TO NATIONAL GEODETIC VERTICAL DATUM 1988. TOPOGRAPHIC INFORMATION IS DEPICTED ONLY FOR A PORTION OF THE PROPERTY.
 - TOTAL LOT AREA = 31,852 SQUARE FEET OR 0.73 ACRES.
 - ALL MONUMENTATION FOUND OR SET ON THE SUBJECT PREMISES IS DEPICTED HEREON.
 - NORTH REFERS APPROXIMATELY TO NOTE #8.
 - REFERENCE MAPS:
 A) THE MAP OF ENL NYITRAY, STONY BROOK PARK, STRATFORD, CONNECTICUT, LAST DATED JULY 21, 1917, 1"=50'
 B) REVISED MAP OF LOTS 22A, 122, 123, 124, 125, 136, 137, 138, 139, STONY BROOK PARK, STRATFORD, CONNECTICUT, FOR MARY H. CHARAK, DATED SEPT. 2, 1997, REVISED JAN. 19, 1998, 1"=20' PREPARED BY STEVEN BOMBERO SR., DATED JANUARY 19, 1998.
 C) SUBJECT PARCEL APPEARS AS LOTS 136 THRU 133 INCL. AND LOTS 140 THRU 144 INCL. ON THE RECORD FILED MAP AND DEED VOL. 2604, PAGE 277.
 - PARCEL OWNER OF RECORD: STONYBROOK MANAGEMENT, LLC.
 - THE OFFSETS OR DIMENSIONS SHOWN FROM STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE. THEY ARE NOT INTENDED TO GUIDE IN THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITIONS TO BUILDINGS, OR ANY OTHER CONSTRUCTION.
 - SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY.
 - WETLAND FLAGS SET BY VANASSE HAGEN BRUSTLIN INC.



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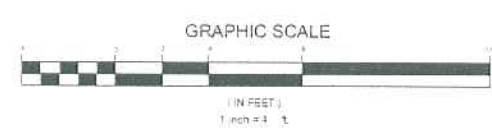
T-MOBILE SITE NUMBER: CTFF310	PERMITTING DOCUMENTS 23 STONYBROOK ROAD 23 STONYBROOK ROAD STRATFORD, CT 06614	SITE PLAN	
APT FILING NUMBER: CT-255T-430	DESIGN TYPE: RAW LAND	APT FILING NUMBER: CT-255T-430	APT DRAWING NUMBER: CTFF310 SP-1.DWG
 35 GRIFFIN ROAD BLOOMFIELD, CT 06002 OFFICE: (860)-692-7100	REVISIONS:	DRAWN BY: RCB	SCALE: AS NOTED
	ALL-POINTS TECHNOLOGY CORPORATION, P.C. 1 SADDLEBROOK DRIVE KILLINGWORTH, CT 06419 PHONE: (860)-663-1697 FAX: (860)-663-0935	REV. 0: 05/15/09: FOR REVIEW: SMC REV. 1: 05/20/09: FOR REVIEW: SMC REV. 2: 05/26/09: FINAL REV. 3: REV. 4:	CHECKED BY: SMC
		SHEET NUMBER: SP-1	



WESTERN ELEVATION
SCALE: 1/4" = 1'-0"



COMPOUND PLAN
SCALE: 1/4" = 1'-0"



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T-MOBILE SITE NUMBER: CTFF310	PERMITTING DOCUMENTS 23 STONYBROOK ROAD 23 STONYBROOK ROAD STRATFORD, CT 06614	COMPOUND PLAN & TOWER ELEVATION	
APT FILING NUMBER: CT-255T-430	DESIGN TYPE: RAW LAND	APT FILING NUMBER: CT-255T-430	
 35 GRIFFIN ROAD BLOOMFIELD, CT 06002 OFFICE: (860)-692-7100	REVISIONS:	DRAWN BY: AAJ	SCALE: AS NOTED
	ALL-POINTS TECHNOLOGY CORPORATION, P.C. 1 SADDLEBROOK DRIVE KILLINGWORTH, CT 06419 PHONE: (860)-663-1697 FAX: (860)-663-0935	REV. 0: 05/15/09: FOR REVIEW: SMC REV. 1: 05/20/09: FOR REVIEW: SMC REV. 2: 05/26/09: FINAL REV. 3: REV. 4:	CHECKED BY: SMC
		SHEET NUMBER: SP-2	

SITE EVALUATION REPORT

I. LOCATION

- A. COORDINATES: 41°12'11.80 N
73°08'55.05" W
- B. GROUND ELEVATION: 77'± AMSL
- C. USGS MAP: USGS 7.5 quadrangle for Bridgeport (1984)
- D. SITE ADDRESS: 23 Stonybrook Road
Stratford, CT 06614
- E. ZONING WITHIN ¼ MILE OF SITE: Zoned single family residential to the north. Town owned and multi-family residential to the south. Commercial and single family residential to the east. Multi family residential to the west.

II. DESCRIPTION

- A. SITE SIZE: 40' x 50'
- B. TOWER TYPE/HEIGHT: 100' Unipole
- C. SITE TOPOGRAPHY AND SURFACE: Subject site is located in an existing bituminous parking lot for a commercial retail strip center. Topography is generally flat, sloping slightly from north to south.
- D. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: Existing terrain is a bituminous parking area with an existing brook running to the south of the subject site. The 100 year flood plain runs across the Property.
- E. LAND USE WITHIN ¼ MILE OF SITE: Single family residential to the north. Town owned park and multi-family residential to the south. Commercial and single family residential to the east. Multi-family residential to the west.

III. FACILITIES

- A. POWER COMPANY: United Illuminating Company
- B. POWER PROXIMITY TO SITE: 140'±
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: 140'±
- E. VEHICLE ACCESS TO SITE: Existing bituminous driveway and parking area.
- F. OBSTRUCTION: N/A
- G. CLEARING AND FILL REQUIRED:

Total area of disturbance: 4,200 sf.

No trees will need to be removed.

Site is balanced with approx. 40 cubic yards of fill and approx. 40 cubic yards of cut material

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: Stonybrook Management, LLC
- C. ADDRESS: 251 Main Street
Stratford, CT
- D. DEED ON FILE AT: Book 2604, Page 275

**FACILITIES AND EQUIPMENT SPECIFICATION
(TOWER & EQUIPMENT)**

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: TBD
- B. TYPE: Unipole
- C. HEIGHT: 100 ft
- D. DIMENSIONS: Approx 40" outer diameter at bottom x 26" outer diameter at top

II. TOWER LOADING:

- A. T-MOBILE
 - 1. ANTENNAS: 3 antennas mounted within the unipole
 - 2. POSITION ON TOWER: 97' Rad Center
 - 3. TRANSMISSION LINES: 12 lines
- B. FUTURE CARRIERS – 3 additional carriers; TBD

III. ENGINEERING ANALYSIS AND CERTIFICATION:

In accordance with the 2005 Connecticut State Building Code and the Electronic Industries Association Standard EIA/TIA-222-F "Structural Standards for Steel Antenna Towers and Antenna Support Structures" for Fairfield County, the tower would be designed to withstand pressures equivalent to a maximum 110 MPH wind. The foundation design would be based on soil conditions at the site.

ENVIRONMENTAL ASSESSMENT STATEMENT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the Facility. Bruce Brook flows north to south along the southerly border of the Property. Although proposed development activities will occur within 35 feet of the delineated edge of Bruce Brook, there will be no direct impact. There will be no removal of mature upland vegetation bordering the brook. Additionally, T-Mobile will install a silt fence during installation to avoid any temporary impact to the brook. See Wetlands Compliance Statement attached hereto. Best Management Practices will be used during construction to control storm water and erosion.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at this Facility would emit no air pollutants of any kind. For limited periods during power outages, a portable generator might be utilized.

C. LAND

Minimal clearing and grading would be required for development of the proposed Site (4200 sf). No trees need to be removed or relocated to construct the Facility. The remainder of the Property would remain unchanged by the construction and operation of the Site.

D. NOISE

The equipment to be in operation at the proposed Site after construction would emit no noise other than from cooling fans within the equipment cabinets. A portable generator might be employed during power outages. Some noise is anticipated during Facility construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for operation of T-Mobile's antennas at the facility would be approximately 12.336% of the applicable FCC/ANSI standards.

F. VISIBILITY

The potential visibility of the proposed monopole was assessed using a viewshed map (attached) with an approximate two-mile radius. Areas from where the proposed 100-foot tall monopole may be visible comprise approximately 12 acres within the 8,042-acre Study Area (less than one half of one percent of the total land area). As depicted on the attached viewshed map, the potential visibility associated with the 100-foot tall monopole is generally limited to the immediate vicinity of the proposed site. The viewshed map depicts limited areas of potential year-round visibility along select portions of Stonybrook Road, Broadbridge Avenue, Franklin Avenue, Barnum Terrace Extension and Marcroft Street.

II. SCENIC, NATURAL, HISTORIC & RECREATIONAL VALUES

The NEPA report for this site is pending and will be filed with the Certificate application. As is evident from the attached Low Potential Impact Letter, however, EBI has concluded that the proposed installation will not implicate any of the criteria as outlined in NEPA 1.1307(a) items (1) through (8) and preparation of an Environmental Assessment (EA) is not required (tribal consultation is pending). Further, based on EBI's archaeological review, it appears that development during the recent past has likely impacted the local soil deposits within this area, and they have concluded no further archeological investigation is warranted.

ATTACHMENT C



Vanasse Hangen Brustlin, Inc.

54 Tuttle Place
Middletown, Connecticut 06457
860 632-1500
FAX 860 632-7879

Memorandum

To: Mr. Scott Chasse
All-Points Technology Corp., P.C.
3 Saddlebrook Drive
Killingworth, CT 06419

Date: May 26, 2009

Project No.: 40505.05

From: Dean Gustafson
Professional Soil Scientist

Re: Wetland Compliance
T-Mobile Site No. CT11436
23 Stonybrook Road
Stratford, Connecticut

Vanasse Hangen Brustlin, Inc. (VHB) previously completed on-site investigations to determine if wetlands and/or watercourses are located on the above-referenced Site.

The Site was inspected on April 22, 2009. The property is improved with a commercial retail building and associated paved parking area. Based on a review of plans prepared by All-Points Technology Corporation, P.C. (latest revised date 05/15/09) VHB understands that T-Mobile proposes to construct a wireless communications facility in the southwest corner of the property within the limits of the existing paved parking lot. Bruce Brook, which flows north to south along the south property line, was delineated by flag numbers WF 1 to 11. The banks of this partially armored incised stream channel are characterized by moderately steep fill slopes and adjoining developed/disturbed areas associated with the current site development; no bordering wetlands were identified.

Development activities proposed by T-Mobile are located approximately 35 feet from the brook's delineated edge. Although work is proposed in proximity to this nearby watercourse resource, no direct impact will occur. In addition, proposed development activities will occur in an existing developed paved area and will not result in removal of mature upland vegetation bordering the brook. Silt fence will be installed and maintained during construction activities to avoid any temporary impacts to Bruce Brook. Therefore, no likely adverse impact to Bruce Brook will occur as a result of the proposed T-Mobile development.

VHB recommends that any exposed soils surrounding the proposed facility be permanently stabilized by loam and seeding with a New England Conservation/Wildlife seed mix (New England Wetland Plants, Inc., or approve equivalent). The New England Conservation/Wildlife seed mix provides a permanent cover of grasses, forbs, wildflowers, legumes and grasses to provide both good erosion control and wildlife habitat value. This mix is designed to be a no maintenance seeding, and it is appropriate for cut and fill slopes and disturbed areas.

Connecticut Market



Worst Case Power Density

Site: CTF310D
Site Address: 23 Stonybrook Road
Town: Stratford
Tower Height: 100 ft.
Facility Style: Monopole

GSM Data		UMTS Data	
Base Station TX output	20 W	Base Station TX output	40 W
Number of channels	8	Number of channels	2
Antenna Model	APX16DWV-16DWV	Antenna Model	APX16DWV-16DWV
Cable Size	7/8 in.	Cable Size	7/8 in.
Cable Length	125 ft.	Cable Length	125 ft.
Antenna Height	97.0 ft.	Antenna Height	97.0 ft.
Ground Reflection	1.6	Ground Reflection	1.6
Frequency	1945.0 MHz	Frequency	2.1 GHz
Jumper & Connector loss	4.50 dB	Jumper & Connector loss	1.50 dB
Antenna Gain	18.0 dBi	Antenna Gain	18.0 dBi
Cable Loss per foot	0.0186 dB	Cable Loss per foot	0.0116 dB
Total Cable Loss	2.3250 dB	Total Cable Loss	1.4500 dB
Total Attenuation	6.8250 dB	Total Attenuation	2.9500 dB
Total EIRP per Channel (In Watts)	54.19 dBm 262.14 W	Total EIRP per Channel (In Watts)	61.07 dBm 1279.56 W
Total EIRP per Sector (In Watts)	63.22 dBm 2097.10 W	Total EIRP per Sector (In Watts)	64.08 dBm 2559.12 W
nsg	11.1750	nsg	15.0500
Power Density (S) = 0.055559 mW/cm ²		Power Density (S) = 0.067800 mW/cm ²	
T-Mobile Worst Case % MPE =		12.3359%	

Equation Used:

$$S = \frac{(1000)(grf)^2 (Power)^{10^{(nsg/10)}}}{4\pi (R)^2}$$

Office of Engineering and Technology (OET) Bulletin 65, Edition 97-01, August 1997

Co-Location Total

Carrier	% of Standard
Verizon	0.0000 %
Cingular	0.0000 %
Sprint	0.0000 %
AT&T Wireless	0.0000 %
Nextel	0.0000 %
MetroPCS	
Other Antenna Systems	0.0000 %
Total Excluding T-Mobile	0.0000 %
T-Mobile	12.3359
Total % MPE for Site	12.3359%

*Preliminary Viewshed Analysis
Proposed T-Mobile Wireless
Telecommunications Facility
CTFF310
23 Stonybrook Road
Stratford, Connecticut*

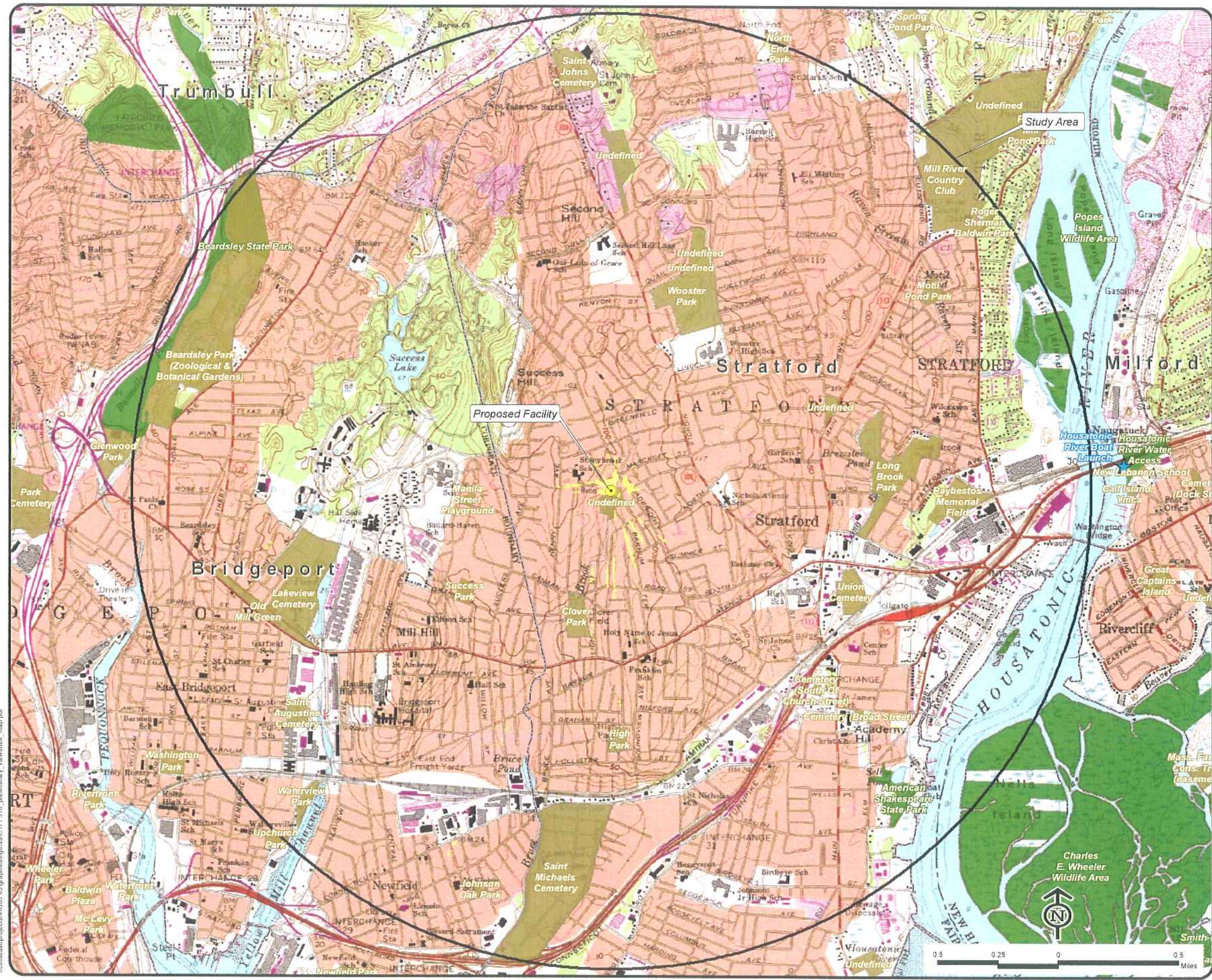
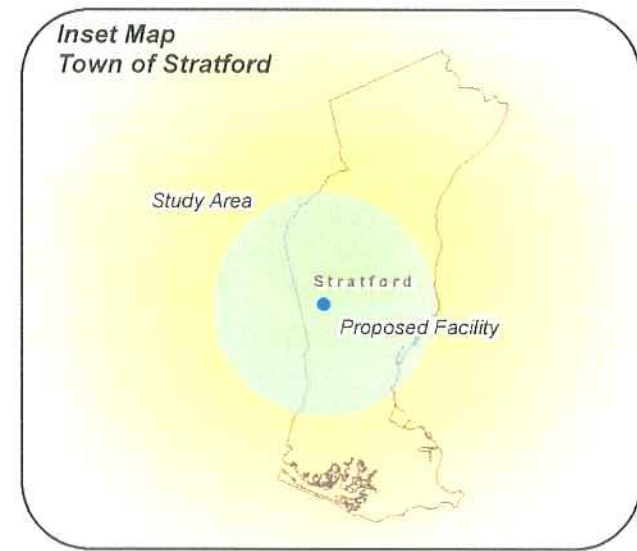
NOTE:
- Viewshed analysis conducted using ESRI's Spatial Analyst.
- Proposed Facility height is 100 feet.
- Existing tree canopy height estimated at 50 feet.
- Study Area is comprised of a two-mile radius surrounding the proposed facility and includes 8,042 acres of land.

DATA SOURCES:
- Digital elevation model (DEM) derived from Connecticut LiDAR-based Digital Elevation Data (collected in 2000) with a 10-foot spatial resolution produced by the University of Connecticut and the Center for Land Use Education and Research (CLEAR); 2007
- Forest areas derived from 2006 digital orthophotos with 1-foot pixel resolution; digitized by VHB, 2009
- Base map comprised of Bridgeport (1984) and Milford (1984) USGS Quadrangle Maps
- Protected municipal and private open space properties and federal protected properties and data layers provided by CT DEP, 1997
- Protected CT DEP properties data layer provided by CT DEP, May 2007
- CT DEP boat launches data layer provided by CT DEP, 1994
- Scenic Roads layer derived from available State and Local listings.

Map Compiled May, 2009

Legend

-  Tower Location
-  Year-Round Visibility (Approximately 12 acres)
-  Protected Municipal and Private Open Space Properties (1997)
-  Existing Preserved Open Space Recreation
-  CT DEP Boat Launches (1994)
-  Scenic Road (State and Local)
-  Town Line
-  CT DEP Protected Properties (2007)
-  State Forest
-  State Park
-  DEP Owned Waterbody
-  State Park Scenic Reserve
-  Historic Preserve
-  Natural Area Preserve
-  Fish Hatchery
-  Flood Control
-  Other
-  State Park Trail
-  Water Access
-  Wildlife Area
-  Wildlife Sanctuary
-  Federal Protected Properties (1997)



G:\chm\data\projects\41615 US\graphics\figures\CTFF310_preliminary_viewshed_map.pdf

May 27, 2009

Ms. Jamie Ford
Project Coordinator
HPC Development, LLC
53 Lake Ave Ext.
Danbury, CT 06811

Subject: National Environmental Policy Act (NEPA) - Letter of Low Potential Impact
23 Stonybrook Road / CTFF310
23 Stonybrook Road, Stratford, CT
EBI Project # 61091626

Dear Ms. Ford:

Attached please find our *National Environmental Policy Act (NEPA)* Letter of Low Potential Impact for the proposed telecommunications installation at the address noted above (the Subject Property). The purpose of this letter is to evaluate the above-referenced property for potential environmental and historical concerns specified by the Federal Communications Commission (FCC) in 47 CFR 1.1307.

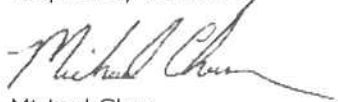
As of the date of this Report, T-Mobile USA proposes to construct a 100-foot (30.5m) unipole within a proposed 40-foot by 50-foot (12.2m by 15.2m) fenced compound on the southern portion of the Subject Property. Three antennas, one per sector, will be placed inside the unipole at a centerline height of 97 feet (29.6m) above ground level. Support equipment cabinets will be placed on a 10-foot by 20-foot (3.0m by 6.1m) concrete pad south of the tower. Coaxial cables will be connected to the unipole via a horizontal cable bridge, on which a GPS and GSM will be mounted. A CSC cabinet, transformer, and utility meter are proposed to be placed outside of the fenced compound, adjacent to the northwest access gate. T-Mobile USA proposes to route underground electrical and telecommunications service from the proposed meter center to the proposed equipment area. Utilities will be routed overhead from an existing electrical pole located on Stonybrook Road to the tower compound. T-Mobile USA proposes to utilize the existing parking lot as access to the Project Site.

Based upon the results of our preliminary NEPA screening, it appears that the proposed installation will not impact any of the criteria as outlined in 1.1307(a) items (1) through (8) and preparation of an Environmental Assessment (EA) is not required. However, our Section 106 and Native American Indian consultation required under Section 1.1307(a) (4) & (5) of the FCC Rules is incomplete. Of importance, based on our Section 106 submission to the Connecticut State Historic Preservation Officer, our determination is that there are no historic resources with the area of potential effects and the proposed undertaking is not sensitive for the presence of significant prehistoric or historic archaeological resources.

Based on our preliminary review and archaeological assessment, there is a low potential that the proposed undertaking will impact Native American religious sites.

Thank you for the opportunity to prepare this Report, and assist you with this project. Please call us if you have any questions or if we may be of further assistance.

Respectfully Submitted,



Michael Chun
Program Director
Direct# (646) 789-9206