

December 11, 2023

Via Federal Express

Sean M. Kimball, Town Manager
Town of Cheshire
84 South Main Street
Cheshire, CT 06410

Re: **Submission of Technical Information Concerning a Proposal to Construct a Wireless Telecommunications Facility at 1021-1041 South Main Street, Cheshire, Connecticut**

Dear Mr. Kimball:

This firm represents Tarpon Towers III, LLC (“Tarpon”) and Cellco Partnership d/b/a Verizon Wireless (“Cellco”), in a proposal to construct a new wireless telecommunications facility in the western (rear) portion of a 6.71-acre parcel at 1021-1041 South Main Street in south-central Cheshire, Connecticut (the “Property”). The Property is owned by Cheshire Station LLC and is used for commercial/retail purposes. Cellco identifies the proposed telecommunications facility as its “Cheshire DT Facility”.

Factual Background

This Technical Report is submitted pursuant to Connecticut General Statutes (“Conn. Gen. Stat.”) § 16-50(g), which establishes local input requirements for the siting of a wireless telecommunications facility under the exclusive jurisdiction of the Connecticut Siting Council (the “Council”). This statutory provision requires the submission of technical information to officials in the municipality where the proposed facility will be located and any municipality within 2,500 feet of the proposed facility location. There are no other municipalities within 2,500 feet of the proposed facility.

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Correspondence and/or communications regarding the information contained in this report should be addressed to:

Brett Buggeln, President
Tarpon Towers III, LLC
8916 77th Terrace East, Suite 103
Lakewood Ranch, FL 34202

A copy of all such correspondence or communications should also be sent to Tarpon's attorneys:

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103-3597

Tarpon and Cellco intend to submit an application to the Council for a Certificate of Environmental Compatibility and Public Need ("Certificate") for the construction, maintenance, and operation of a new wireless telecommunications facility at the Property. The Cheshire DT Facility will provide improved wireless service to residential and commercial uses in the area around the Property and will interact with Cellco's existing cell sites in Cheshire, Hamden and Wallingford. For orientation purposes, a Site Vicinity Map and a Site Schematic are included in Attachment 1.

Included in Attachment 2 are coverage plots for each of Cellco's operating frequencies (700 MHz; 850 MHz; 1900 MHz; and 2100 MHz) that Cellco intends to deploy at the Cheshire DT Facility. These plots show Cellco's "existing" wireless service in the south-central Cheshire with and without the "proposed" Cheshire DT Facility. These plots help to illustrate the coverage benefits of the proposed Cheshire DT Facility. The Cheshire DT Facility will also provide Cellco customers with significant capacity relief to each of Cellco's surrounding cell sites, particularly Cellco's existing Cheshire Facility to the northwest. The Beta Sector antennas at the existing Cheshire Facility are currently operating beyond their existing capacity limits affecting the reliability of Cellco's service in the area.

Proposed Cell Site Information

Cellco proposes to construct a 94-foot-tall monopole tower within a 20' x 86' fenced facility compound within the limits of the existing commercial parking lot, in the westerly portion of the Property. The facility compound will not impact existing traffic flow or the use of

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the existing loading docks on the Property.

Cellco would install antennas and remote radio heads on an antenna platform at the top of the tower. Equipment and battery cabinets and a 50-kW diesel-fueled backup generator would be located on a 10-foot x 20-foot concrete pad near the base of the tower within a fenced compound. Vehicular and construction access to the Cheshire DT Facility would extend from South Main Street over existing access driveways and parking areas to the tower site. Utility and fiber optic service to the tower site would extend from existing service along King Street to an existing utility pole near the northwest corner of the Property. Included in Attachment 3 is a set of project plans for the proposed Cheshire DT Facility.

Connecticut Siting Council Jurisdiction

Municipal jurisdiction over the siting of the proposed telecommunications facility described in this report is pre-empted by provisions of the Public Utilities Environmental Standards Act (“PUESA”), Conn. Gen. Stat. § 16-50g *et seq.* The PUESA gives exclusive jurisdiction over the location, type and modification of telecommunications towers, to the Council (Conn. Gen. Stat. § 16-50x(a); 16-50i(a)(6)). Accordingly, the telecommunications facility described in this report is exempt from the Town’s land use (zoning and inland wetlands) regulations.

Upon receipt of an application, the Council will assign a docket number and, following a completeness review, set the schedule for the docket, including a hearing date. At that time, the Town of Cheshire may choose to become an intervenor or party in the proceeding. Other procedures followed by the Council include serving the applicant and other participants with interrogatories, holding a pre-hearing conference, and conducting a public hearing. Following the public hearing, the Council will issue findings of fact, an opinion and a decision and order. Prior to construction, the Council will also require the Applicant to submit a development and management plan (“D&M Plan”) which is, in essence, a final site development plan showing the details of the facility, incorporating any conditions imposed by the Council. These procedures are also outside the scope of the Town’s jurisdiction and are governed by the Connecticut General Statutes, the Regulations of Connecticut State Agencies, and the Council’s Rules of Practice. If the Council approves the cell site described in this report, Cellco will submit to the Building Official an application for approval of a local building permit. Under Section 16-50x of the General Statutes, which provides for the exclusive jurisdiction of the Council, the building official must honor the Council’s decision.

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Municipal Consultation Process

Pursuant to Section 16-50*l* of the General Statutes, Town officials are entitled to receive technical information regarding the proposed telecommunications facility at least ninety (90) days prior to the filing of an application with the Council. This Technical Report is provided to the Town of Cheshire in accordance with these provisions and includes information on the need for improved reliable wireless service in the area; the location of existing wireless facilities in and around the area; details of the proposed facility; the location of alternative sites considered and rejected; the location of schools and commercial day care facilities in the area and the aesthetic impacts of the facility on those schools and day care facilities, if any; a description of the site selection process; and a discussion of potential environmental effects associated with the proposed facility.

Not later than sixty (60) days after the initial consultation meeting, the municipality may, in cooperation with Cellco, hold a public information hearing on the facility proposal. If such a hearing is held, the Applicant must notify all abutting landowners and publish notice of the hearing in a newspaper of general circulation in the municipality, at least fifteen (15) days prior to the hearing.

Not later than thirty (30) days after the initial consultation meeting, the municipality may present the prospective applicant with alternative sites, including municipal parcels, for its consideration. If not previously considered, these alternatives will be evaluated and discussed in its application to the Council.

Pursuant to Section 16-50*l*(e) of the General Statutes, Cellco must provide a summary of any comments and/or recommendations received to the Council within fifteen (15) days of the filing of an application.

Need for the Proposed Wireless Facility

The Cheshire DT Facility is needed so that Cellco can provide enhanced wireless service (coverage) in south-central portions of Cheshire. The proposed Cheshire DT Facility will interact with Cellco's existing macro cell and small cell facilities identified on the coverage plots including the existing Cheshire CT, Cheshire NE CT, Cheshire East CT, Oakdale, Hamden North 2 CT, Cheshire SC02 CT and Cheshire CT SC1. (See Attachment 2). The proposed Cheshire DT Facility also provides significant capacity relief to Cellco's existing Cheshire Facility (Beta Sector antennas) which are currently operating beyond their existing capacity limits impacting network reliability.

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Environmental Effects

In our experience, the primary impact of a wireless facility such as the proposed Cheshire DT Facility is visual. The visual impact of the proposed Cheshire DT Facility tower will vary from place to place around the site location, depending upon factors such as vegetation, topography, distance from the tower, and the location of buildings or other structures (utility infrastructure) in the sightline of the cell site.

To assess the visual impact of the Cheshire DT Facility more fully, All-Points Technology Corporation (“APT”) has prepared a Preliminary Visual Assessment for the proposed tower location. This preliminary assessment indicates that most of the year-round visibility of the proposed tower (above the tree line) would be limited to an approximately 5-acre area all within one-half-mile of the proposed tower site. The proposed tower may also be visible, through existing vegetation (so-called “seasonal views”) from 199 acres around the Property. (*See Attachment 4*). A more detailed visual assessment, including photo simulations of the proposed tower, is being prepared and will be included in Cellco’s Certificate application to the Council.

Pursuant to the provisions of Conn. Gen. Stat. § 16-50p(a)(3)(G), new telecommunications facilities must be located at least 250 feet from buildings containing schools (defined in C.G.S. §10-154a) and commercial day care facilities (defined in C.G.S. §19a-77(a)(1)) unless the location selected is acceptable to the Town’s chief elected official or the Council finds that the facility will not have a substantial adverse effect on the aesthetics or scenic quality of the neighborhood where the school or commercial day care use is located. The proposed Cheshire DT Facility is not located within 250 feet of a building containing a school or commercial day care facility.

Based on field surveys, Cellco has determined that the construction of the Cheshire DT Facility will have no direct impact on inland wetlands or watercourses, near the tower compound. Cellco anticipates that all other physical environmental effects associated with the proposed facility would be minimal.

Radio Frequency Emissions

The Federal Communications Commission (“FCC”) has adopted a standard (the “Standard”) for exposure of radio frequency (“RF”) emissions from telecommunications base stations like the Cheshire DT Facility. To ensure compliance with the Standard, Cellco has prepared a Far Field RF emissions calculation for the proposed facility according to the methodology described in FCC Office of Science and Technology Bulletin No. 65 (“OST

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Bulletin 65”). The calculated Far Field RF emissions level for the proposed 94-foot tower would be, at its highest level, 2.8% of the FCC Standard. (*See Attachment 5*).

Scenic Natural Historic or Recreational Impacts

To further assess the environmental impacts of the proposed facility, Cellco will be working with its consultant team to prepare a National Environmental Policy Act (“NEPA”) Environmental Screening Checklist (the “NEPA Checklist”) and other related environmental reviews to determine if the facility will have any significant adverse environmental effects. The NEPA Checklist will include information from the Environmental and Geographic Information Center of the Connecticut Department of Energy and Environmental Protection (“DEEP”), the U.S. Fish and Wildlife Service (“USFWS”) and the State Historic Preservation Officer (“SHPO”). Copies of the DEEP, USFWS and the SHPO determinations will also be submitted as a part of the Council’s Certificate Application.

Site Search Process

Cellco conducted a search for suitable cell site locations in south-central Cheshire and identified the Property as a site that would satisfy its wireless service objectives in the area. In addition to the proposed location, Cellco identified and investigated seven (7) additional alternative parcels in the area. A complete list of alternative parcels investigated is included in Attachment 6.

Tower Sharing

As stated above, Cellco intends to build a tower that can support its antennas and those of other wireless telecommunications providers, the Town of Cheshire, and emergency service providers, if a need exists. The provision to share the tower is consistent with the intent of the General Assembly when it adopted Conn. Gen. Stat. § 16-50aa and with Council policy. The availability of space on the proposed tower may reduce, if not eliminate, the need for additional towers in the area for the foreseeable future.

Conclusion

This Technical Report is submitted in accordance with Conn. Gen. Stat. § 16-50i which requires Cellco to supply the Town of Cheshire with information regarding its proposed Cheshire DT Facility. This report includes information regarding the site selection process, public need, and the potential environmental impacts of the facility. Cellco submits that its proposed Cheshire DT Facility would not have any significant adverse environmental effects. Moreover,

Robinson+Cole

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Cellco submits that the public need for high quality wireless service, and a competitive framework for providing such service has been determined by the FCC to be in the public interest and that such public need far outweighs any perceived environmental effects of the proposed facility.

Please contact me if you have any additional questions regarding the proposed facility.

Sincerely,



Kenneth C. Baldwin

Enclosures

Copy to:

Peter Talbot, Chair At Large, Cheshire Town Council
Earl Kurtz, Chair, Planning & Zoning Commission and Inland Wetlands and
Watercourses Commission
Michael Glidden, Town Planner
Brett Bruggeln, Tarpon Towers III, LLC
Shiva Gadasu, Verizon Wireless

ATTACHMENT 1

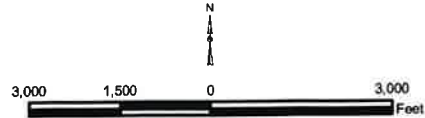


Legend

- ✕ Proposed Verizon Wireless Facility
- Surrounding Verizon Wireless Facilities
- Municipal Boundary

Site Vicinity Map

Proposed Wireless Telecommunications Facility
 Cheshire DT CT
 1021-1041 South Main Street
 Cheshire, Connecticut

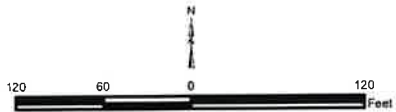




Legend

- Proposed Verizon Wireless Lease Area
- Proposed Verizon Wireless Equipment Compound
- Proposed Verizon Wireless Equipment
- Proposed Verizon Wireless Utility Easement
- Proposed Verizon Wireless Overhead Utilities
- Proposed Verizon Wireless Conduit
- Existing Utility Pole (By Others)
- Subject Property
- Approximate Parcel Boundary

Map Notes:
 Base Map Source: 2019 CT ECO Imagery
 Map Scale: 1 inch = 125 feet
 Map Date: October 2023



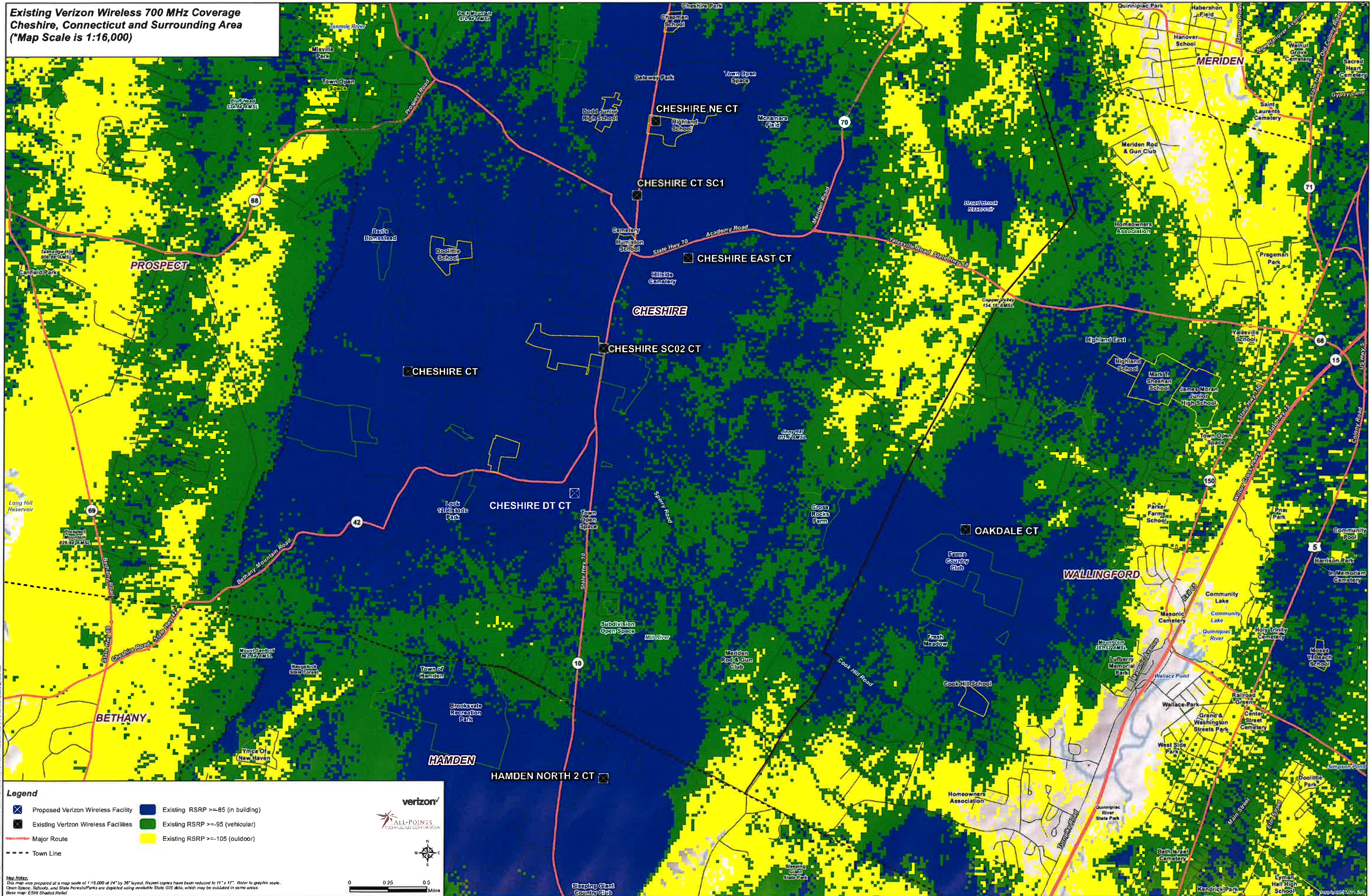
Site Schematic

Proposed Wireless Telecommunications Facility
 Cheshire DT CT
 1021-1041 South Main Street
 Cheshire, Connecticut



ATTACHMENT 2

**Existing Verizon Wireless 700 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**



Legend

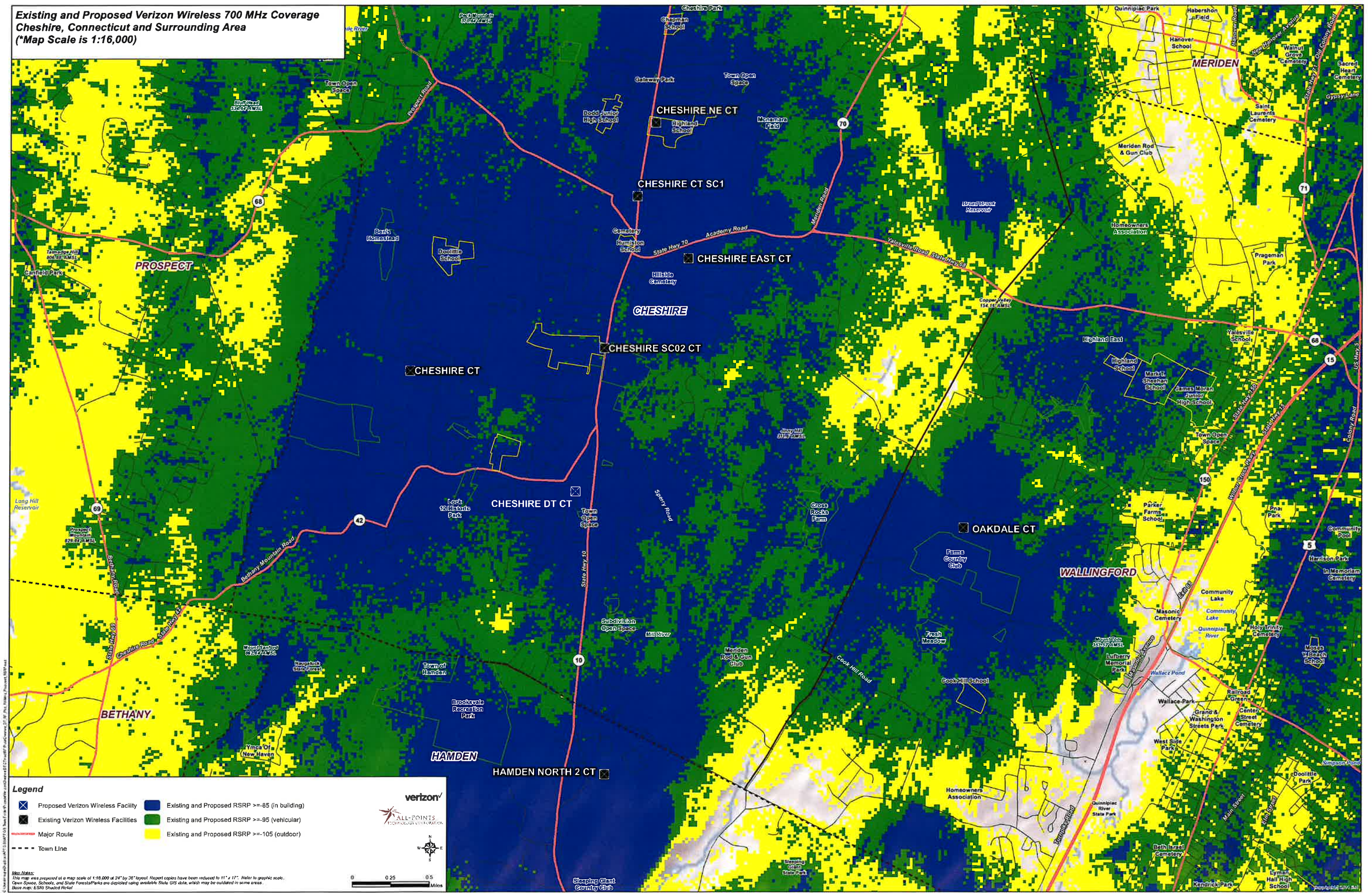
- Proposed Verizon Wireless Facility
- Existing Verizon Wireless Facilities
- Major Route
- - - - Town Line
- Existing RSRP >=85 (in building)
- Existing RSRP >=95 (vehicular)
- Existing RSRP >=105 (outdoor)

Map Notes:
 This map was prepared at a map scale of 1:16,000 at 24" by 36" layout. Recent copies have been reduced to 11" x 17". Refer to graphic scale.
 Open Spaces, Schools, and State Forests/Parks are depicted using available State GIS data, which may be outdated in some areas.
 Base map: ESN Shaded Relief

Scale: 0 0.25 0.5 Miles

Logos: Verizon, ALL-POINTS TECHNOLOGY CORPORATION

**Existing and Proposed Verizon Wireless 700 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**



Legend

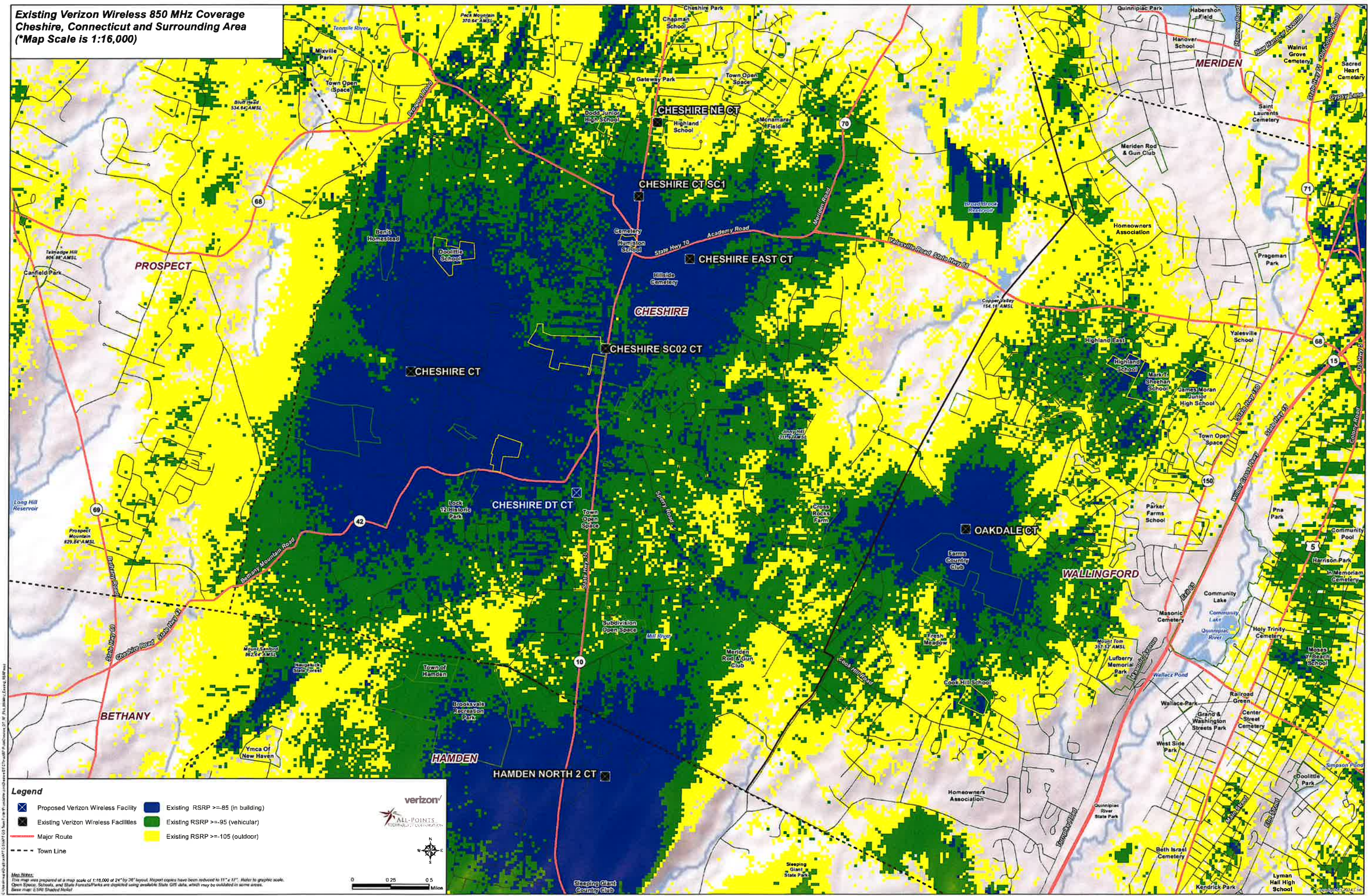
- Proposed Verizon Wireless Facility
- Existing Verizon Wireless Facilities
- Major Route
- Town Line
- Existing and Proposed RSRP >= 85 (in building)
- Existing and Proposed RSRP >= 95 (vehicular)
- Existing and Proposed RSRP >= 105 (outdoor)

verizon
ALL-POINTS
TECHNOLOGY CORPORATION

Map Notes:
This map was prepared at a map scale of 1:16,000 at 24" by 36" layout. Report copies have been reduced to 11" x 17". Refer to graphic scale.
Open Space, Schools, and State Forests/Parks are depicted using available State GIS data, which may be outdated in some areas.
Base map: ESRI Shaded Relief

0 0.25 0.5 Miles

**Existing Verizon Wireless 850 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**



Legend

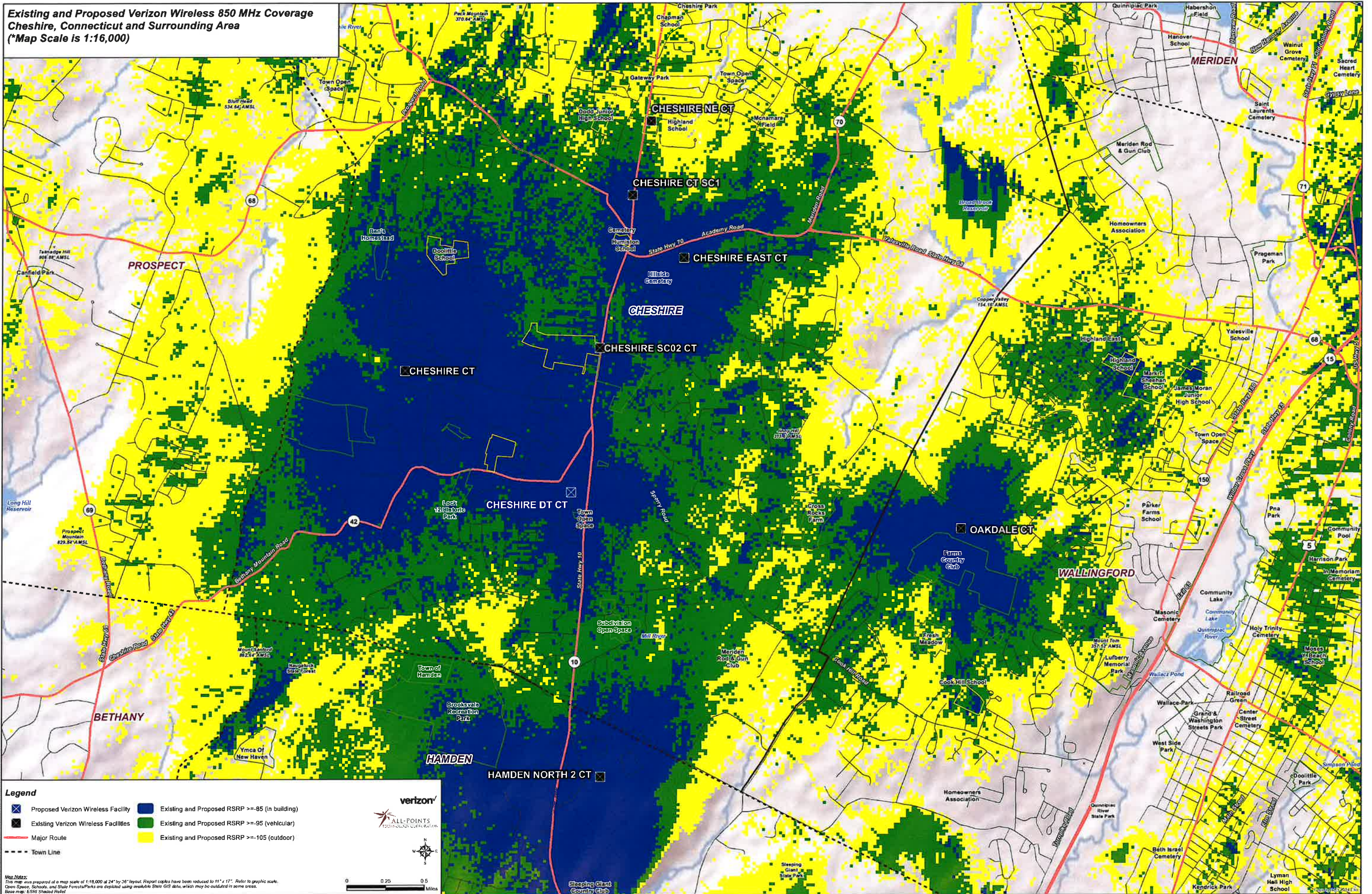
- Proposed Verizon Wireless Facility
- Existing RSRP >=85 (in building)
- Existing Verizon Wireless Facilities
- Existing RSRP >=95 (vehicular)
- Major Route
- Existing RSRP >=105 (outdoor)
- Town Line

Map Notes:
This map was prepared at a map scale of 1:16,000 or 24" by 36" layout. Report copies have been reduced to 11" x 17". Refer to graphic scale.
Open Space, Schools, and State Forests/Parks are depicted using available State GIS data, which may be updated in some areas.
Base map: ESRI Shaded Relief

Scale: 0 0.25 0.5 Miles

Logos: verizon, ALL-POINTS COMMUNICATIONS

**Existing and Proposed Verizon Wireless 850 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**



Legend

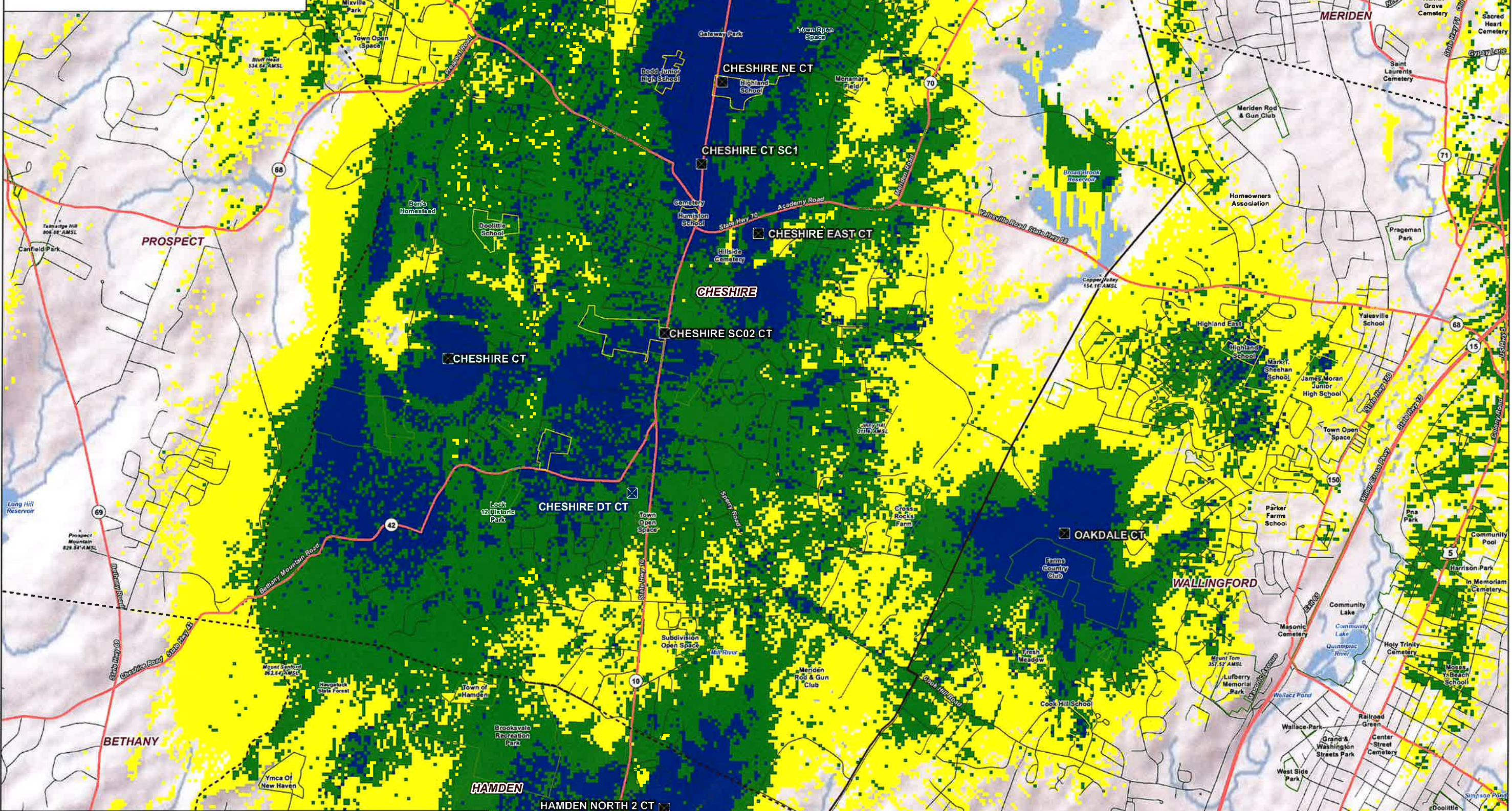
- Proposed Verizon Wireless Facility
- Existing and Proposed RSRP >= -85 (in building)
- Existing and Proposed RSRP >= -95 (vehicular)
- Existing and Proposed RSRP >= -105 (outdoor)
- Major Route
- Town Line

Map Notes:
This map was prepared at a map scale of 1:16,000 at 24" by 36" layout. Report copies have been reduced to 11" x 17". Refer to graphic scale.
Open Spaces, Schools, and State Forests/Parks are depicted using available State GIS data, which may be outdated in some areas.
Base map: ESRI Shaded Relief

verizon
ALL-POINTS
2010-2011

0 0.25 0.5 Miles

**Existing Verizon Wireless 1900 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**



Legend

- Proposed Verizon Wireless Facility
- Existing Verizon Wireless Facilities
- Existing RSRP >=-85 (in building)
- Existing RSRP >=-95 (vehicular)
- Existing RSRP >=-105 (outdoor)
- Major Route
- - - Town Line

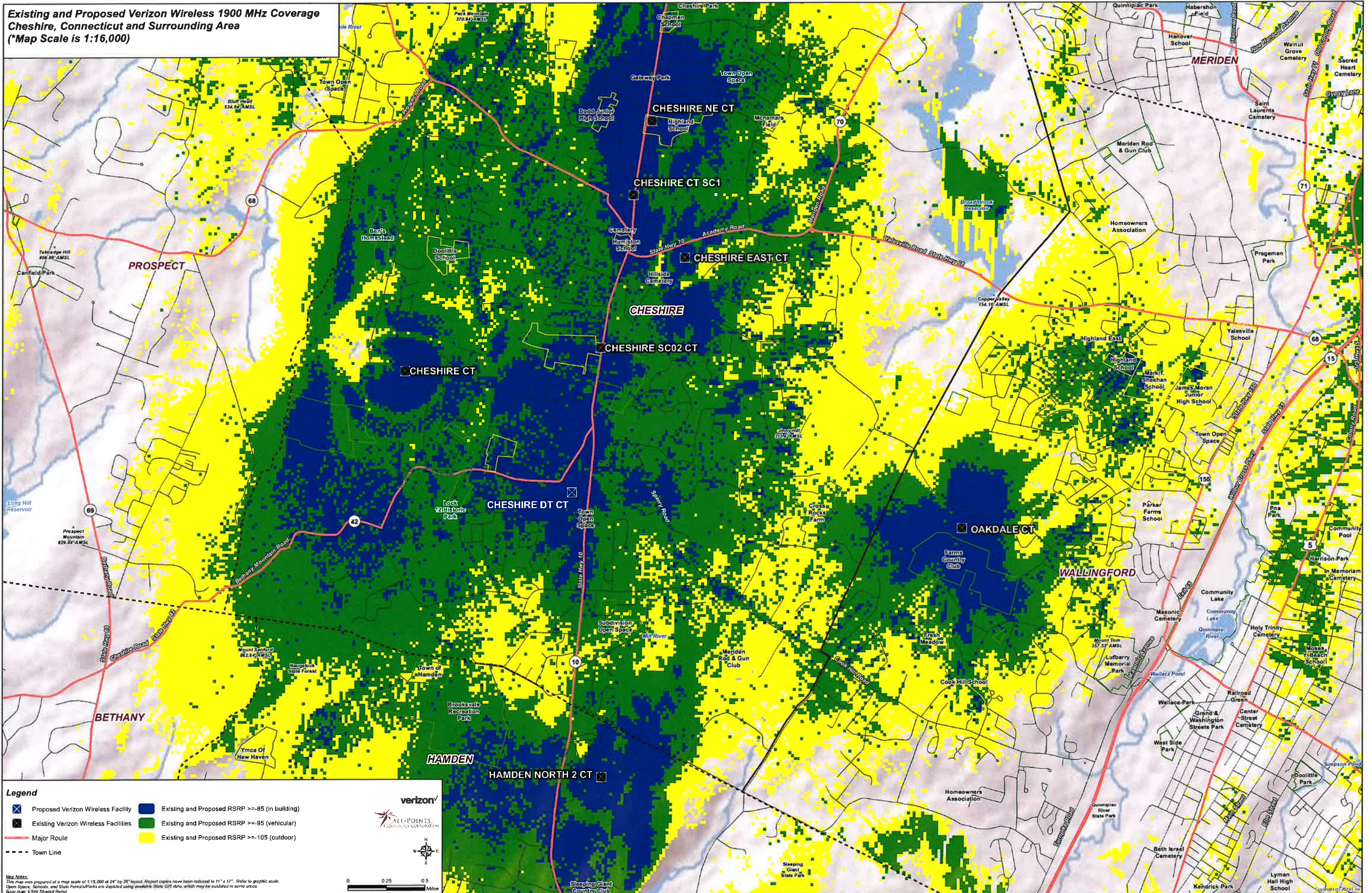
Map Notes:
This map was prepared at a map scale of 1:16,000 at 24" by 36" layout. Report copies have been reduced to 11" x 17". Refer to graphic scale.
Open Space, Schools, and State Forests/Parks are depicted using available State GIS data, which may be outdated in some areas.
Base map: ESRI Shaded Relief

Verizon
ALL-POINTS
Coverage

0 0.25 0.5 Miles

Copyright © 2012 Verizon Wireless. All rights reserved. This map is a service mark of Verizon Wireless.

**Existing and Proposed Verizon Wireless 1900 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**



Legend

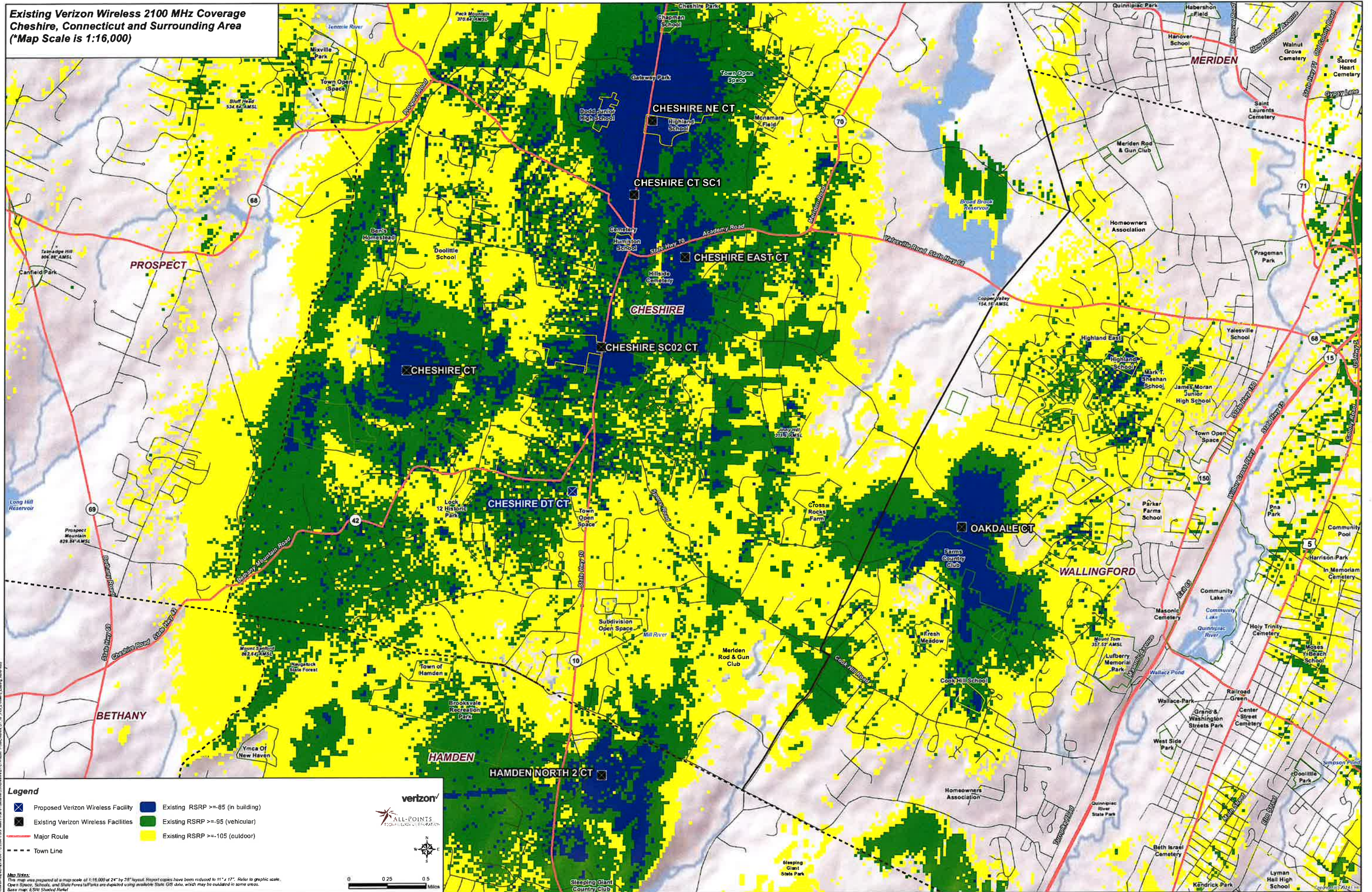
- Proposed Verizon Wireless Facility
- Existing Verizon Wireless Facilities
- Major Route
- Town Line
- Existing and Proposed RSRP >= -85 (in building)
- Existing and Proposed RSRP >= -95 (vehicular)
- Existing and Proposed RSRP >= -105 (outdoor)

Map Notes:
 This map was prepared at a map scale of 1:16,000 at 24" by 36" layout. Request copies have been reduced to 11" x 17". Refer to graphic scale.
 Open Spaces, Schools, and State Parks are depicted using available State GIS data, which may be outdated in some areas.
 Base map: ESRI Shaded Relief

Verizon
 ALL-POINTS
 TECHNOLOGY CORPORATION

0 0.25 0.5 Miles

**Existing Verizon Wireless 2100 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**

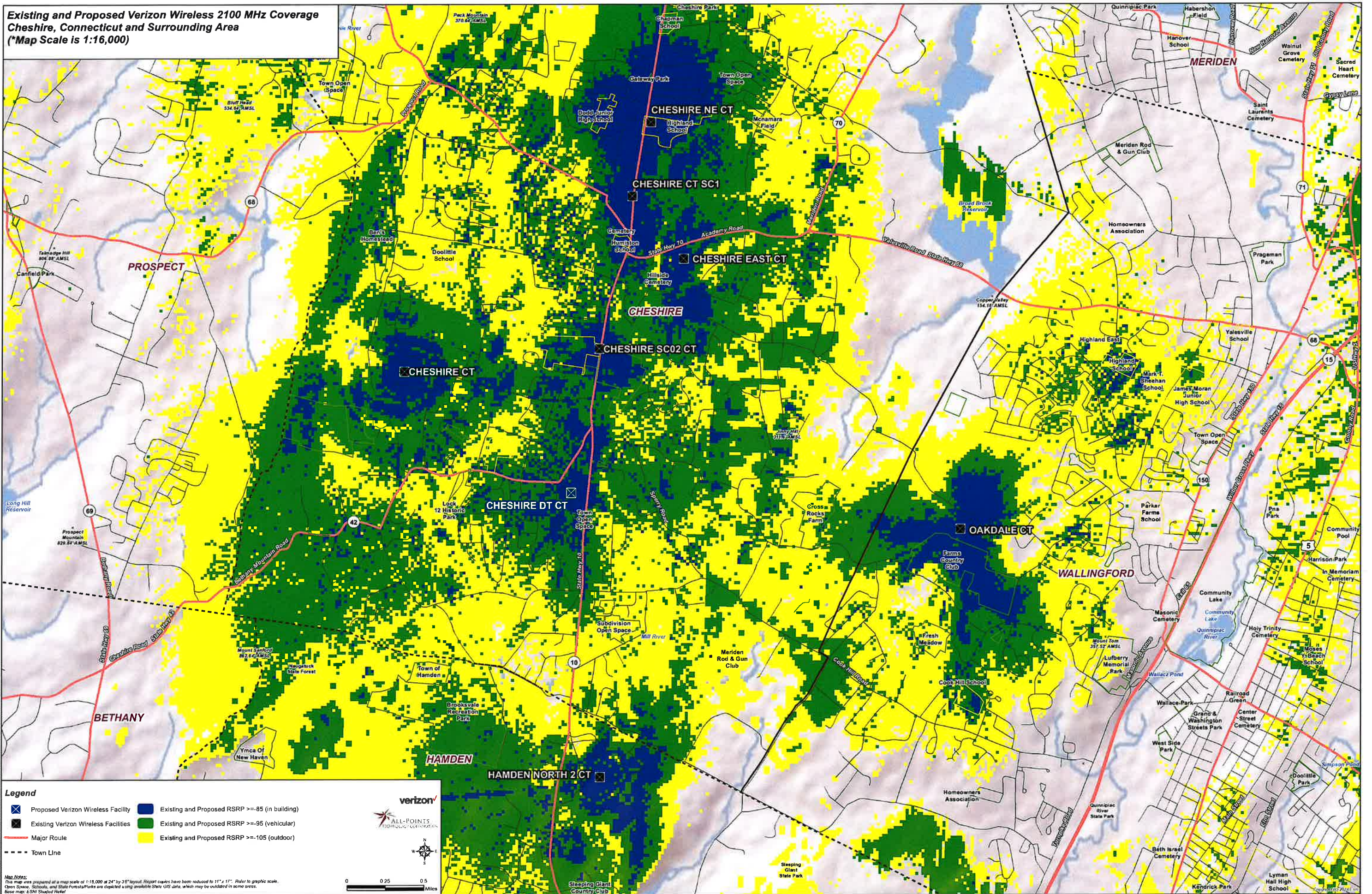


- Legend**
- Proposed Verizon Wireless Facility
 - Existing Verizon Wireless Facilities
 - Existing RSRP >= 85 (in building)
 - Existing RSRP >= 95 (vehicular)
 - Existing RSRP >= 105 (outdoor)
 - Major Route
 - - - Town Line



Map Notes:
This map was prepared at a map scale of 1:16,000 at 24" by 36" format. If any errors have been reduced to 11" x 17". Refer to graphic scale.
Open Space, Schools, and State Parks are depicted using available State GIS data, which may be outdated in some areas.
Base map: ESRI Shaded Relief

**Existing and Proposed Verizon Wireless 2100 MHz Coverage
Cheshire, Connecticut and Surrounding Area
(*Map Scale is 1:16,000)**



- Legend**
- Proposed Verizon Wireless Facility
 - Existing and Proposed RSRP >= 85 (in building)
 - Existing Verizon Wireless Facilities
 - Existing and Proposed RSRP >= 95 (vehicular)
 - Major Route
 - Existing and Proposed RSRP >= 105 (outdoor)
 - Town Line

Map Notes:
This map was prepared at a map scale of 1:16,000 at 24" by 36" format. Report copies have been reduced to 11" x 17". Refer to graphic scale.
Open Spaces, Schools, and State Forests/Parks are depicted using available State GIS data, which may be outdated in some areas.
Base map: ESRI Shaded Relief



ATTACHMENT 3

verizon

WIRELESS COMMUNICATIONS FACILITY

**CHESHIRE DT CT
1021-1041 SOUTH MAIN ST.
CHESHIRE, CT 06410**

DRAWING INDEX

T-1 TITLE SHEET

1 OF 1 TOPOGRAPHIC SURVEY LAND OF CHESHIRE STATION LLC

SP-1 ABUTTERS & MUNICIPALITY NOTIFICATION MAP

CP-1 COMPOUND PLAN & ELEVATION

C-1 EQUIPMENT & SITE DETAILS

SITE DIRECTIONS

**START: 20 ALEXANDER DRIVE
WALLINGFORD, CONNECTICUT 06492**

**END: 1021-1041 SOUTH MAIN ST.
CHESHIRE, CT 06410**

- | | |
|---|--------|
| 1. HEAD NORTH ON ALEXANDER DRIVE | 30 FT |
| 2. TURN RIGHT ONTO BARNES INDUSTRIAL ROAD S | 0.3 MI |
| 3. TURN LEFT ONTO BARNES RD. (CT-68 W) | 600 FT |
| 4. TURN LEFT ONTO S. MERIDEN RD. | 4.4 MI |
| 5. TURN LEFT ONTO S. MAIN ST., DESTINATION IS ON YOUR RIGHT | 1.2 MI |



LOCATION MAP
SCALE: 1" = 2000'-0"

VZ SITE NAME: CHESHIRE DT CT
VZ PROJECT CODE: 20171645495
VZ LOCATION CODE: 469929
LOCATION: 1021-1041 SOUTH MAIN ST.
CHESHIRE, CT 06410

PROJECT SCOPE: RAWLAND SITE W/ GROUND EQUIPMENT WITHIN A 1720± S.F.
TELECOMMUNICATIONS EQUIPMENT COMPOUND W/ PROP. 94± AGL
MONOPOLE.

ASSESSORS TAX I.D: 78-95

ZONING DISTRICT: C-3 "COMMERCIAL DISTRICT"

LATITUDE: 41°28'34.182155"N (41.476162°N)

LONGITUDE: 72°54'30.076888"W (72.908354°W)

GROUND ELEVATION: 161'± AMSL

PROPERTY OWNER: CHESHIRE STATION LLC
11501 NORTHLAKE DRIVE
CINCINNATI, OH 45249

APPLICANT: CELCO PARTNERSHIP
d/b/a VERIZON WIRELESS
20 ALEXANDER DRIVE
WALLINGFORD, CT 06492

LEGAL/REGULATORY COUNSEL: ROBINSON & COLE, LLP
KENNETH C. BALDWIN, ESQ.
280 TRUMBULL STREET
HARTFORD, CT 06103

ENGINEER CONTACT: ALL-POINTS TECHNOLOGY CORPORATION, P.C.
567 VAUXHALL STREET EXT., - SUITE 311
WATERFORD, CT 06385
(860) 663-1697

Cellco Partnership d/b/a

verizon

20 ALEXANDER DRIVE
WALLINGFORD, CT 06492

**ALL-POINTS
TECHNOLOGY CORPORATION**

567 VAUXHALL STREET EXTENSION - SUITE 311
WATERFORD, CT 06385 PHONE: (860)-663-1697
WWW.ALLPOINTSTECH.COM FAX: (860)-663-0935

PERMITTING DOCUMENTS		
NO	DATE	REVISION
0	12/11/23	FOR REVIEW: RCB
1		
2		
3		
4		
5		
6		

DESIGN PROFESSIONALS OF RECORD

PROF: ROBERT C. BURNS, P.E.
COMP: ALL-POINTS TECHNOLOGY
CORPORATION, P.C.
ADD: 567 VAUXHALL STREET EXT.
SUITE 311
WATERFORD, CT 06385

OWNER: CHESHIRE STATION LLC
ADDRESS: 11501 NORTHLAKE DRIVE
CINCINNATI, OH 45249

CHESHIRE DT CT

SITE 1021-1041 SOUTH MAIN ST.
ADDRESS: CHESHIRE, CT 06410

APT FILING NUMBER: CT141_13390

DRAWN BY: ELZ

DATE: 12/11/23 CHECKED BY: RCB

VZW PROJECT CODE: 20171645495

VZW LOCATION CODE: 469929

VZW FUZE ID: 2223597

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1



- LEGEND:
- IRON PIN (FOUND)
 - Rebar/Drill Hole (To Be Set)
 - MONUMENT (FOUND)
 - MANHOLE
 - DRAINAGE MANHOLE
 - SANITARY MANHOLE
 - ELEC. MANHOLE
 - TELE. MANHOLE
 - "C" CATCH BASIN
 - "C-L" CATCH BASIN
 - DECIDUOUS TREES
 - EVERGREEN TREES
 - SHRUB/BUSH
 - FLAG POLE
 - TRAFFIC CONTROL BOX
 - ▲ SIGN
 - POST
 - LIGHT POLE
 - GUY ANCHOR
 - UTILITY POLE
 - WATER GATE
 - WATER METER
 - GAS VALVE
 - GAS METER
 - TRANSFORMER
 - ELEC. METER
 - MAIL BOX
 - HAND HOLE
 - BUTTON BOX
 - A.C. UNIT
 - TRAFFIC LIGHT POLE

- BOUNDARY LINE
- GUARD RAIL
- UNDERGROUND PIPING (San., Strm.)
- U/G GAS LINE
- U/G ELEC. LINE
- WATER LINE
- OVERHEAD UTILITIES
- U/G TELE. LINE
- CHAIN LINK FENCE
- TREE LINE

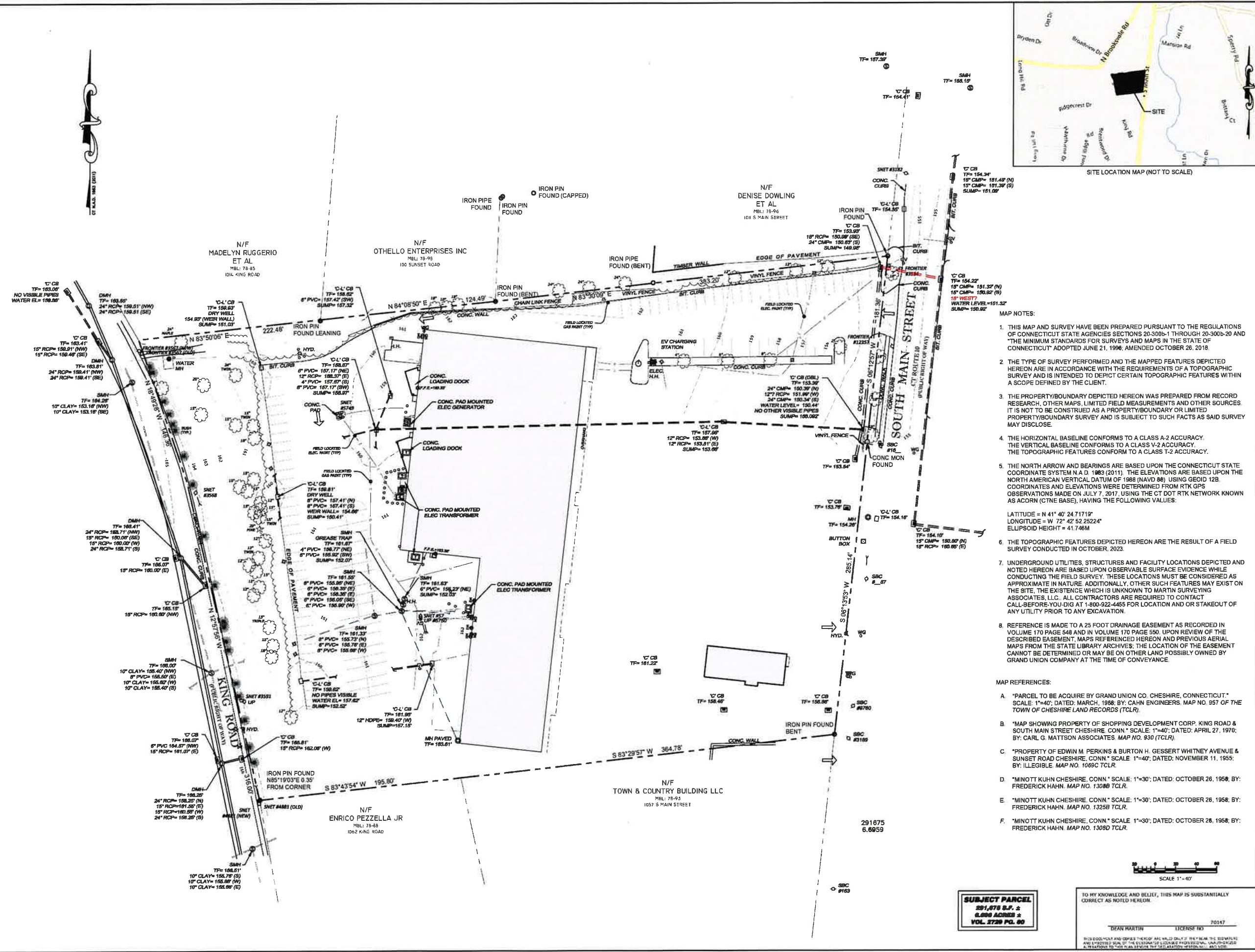


REVISIONS:

**TOPOGRAPHIC SURVEY
LAND OF
CHESHIRE STATION LLC
MAP: 78 LOT: 95
1021 SOUTH MAIN STREET
CT ROUTE 10
CHESHIRE, CONNECTICUT**

MSA PROJECT NO: 23-079
SCALE: 1"=40'
DATE: 2023-10-31
DRAWN BY: G.S.D.
CHECKED BY: D.G.M.

SHEET:
1 OF 1



MAP NOTES:

1. THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED JUNE 21, 1996; AMENDED OCTOBER 26, 2018.
2. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT CERTAIN TOPOGRAPHIC FEATURES WITHIN A SCOPE DEFINED BY THE CLIENT.
3. THE PROPERTY/BOUNDARY DEPICTED HEREON WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEY MAY DISCLOSE.
4. THE HORIZONTAL BASELINE CONFORMS TO A CLASS A-2 ACCURACY. THE VERTICAL BASELINE CONFORMS TO A CLASS V-2 ACCURACY. THE TOPOGRAPHIC FEATURES CONFORM TO A CLASS T-2 ACCURACY.
5. THE NORTH ARROW AND BEARINGS ARE BASED UPON THE CONNECTICUT STATE COORDINATE SYSTEM N A D 1983 (2011). THE ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING GEOID 12B. COORDINATES AND ELEVATIONS WERE DETERMINED FROM RTK GPS OBSERVATIONS MADE ON JULY 7, 2017, USING THE CT DOT RTK NETWORK KNOWN AS ACORN (CTN BASE), HAVING THE FOLLOWING VALUES:
LATITUDE = N 41° 40' 24.71719"
LONGITUDE = W 72° 42' 52.25224"
ELLIPSOID HEIGHT = 41.746M
6. THE TOPOGRAPHIC FEATURES DEPICTED HEREON ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN OCTOBER, 2023.
7. UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON ARE BASED UPON OBSERVABLE SURFACE EVIDENCE WHILE CONDUCTING THE FIELD SURVEY. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE WHICH IS UNKNOWN TO MARTIN SURVEYING ASSOCIATES, LLC. ALL CONTRACTORS ARE REQUIRED TO CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR LOCATION AND OR STAKEDOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.
8. REFERENCE IS MADE TO A 25 FOOT DRAINAGE EASEMENT AS RECORDED IN VOLUME 170 PAGE 548 AND IN VOLUME 170 PAGE 550. UPON REVIEW OF THE DESCRIBED EASEMENT, MAPS REFERENCED HEREON AND PREVIOUS AERIAL MAPS FROM THE STATE LIBRARY ARCHIVES; THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED OR MAY BE ON OTHER LAND POSSIBLY OWNED BY GRAND UNION COMPANY AT THE TIME OF CONVEYANCE.

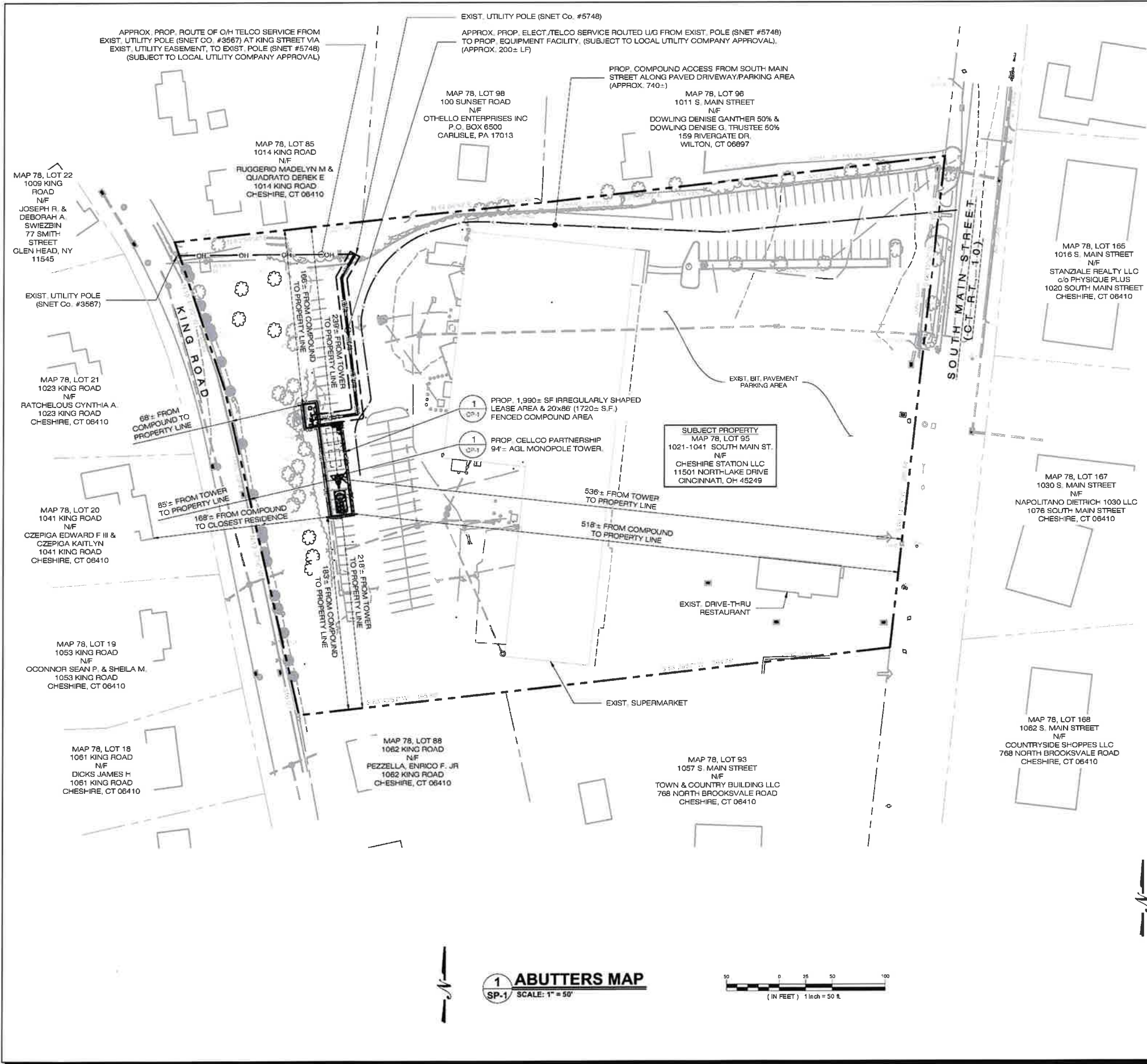
MAP REFERENCES:

- A. "PARCEL TO BE ACQUIRED BY GRAND UNION CO. CHESHIRE, CONNECTICUT." SCALE: 1"=40'; DATED: MARCH, 1968; BY: CAHN ENGINEERS. MAP NO. 957 OF THE TOWN OF CHESHIRE LAND RECORDS (TCLR).
- B. "MAP SHOWING PROPERTY OF SHOPPING DEVELOPMENT CORP. KING ROAD & SOUTH MAIN STREET CHESHIRE, CONN." SCALE: 1"=40'; DATED: APRIL 27, 1970; BY: CARL G. MATTSO ASSOCIATES. MAP NO. 930 (TCLR).
- C. "PROPERTY OF EDWIN M. PERKINS & BURTON H. GESSERT WHITNEY AVENUE & SUNSET ROAD CHESHIRE, CONN." SCALE: 1"=40'; DATED: NOVEMBER 11, 1955; BY: ILLEGIBLE. MAP NO. 1069C TCLR.
- D. "MINOTT KUHN CHESHIRE, CONN." SCALE: 1"=30'; DATED: OCTOBER 26, 1958; BY: FREDERICK HAHN. MAP NO. 1308B TCLR.
- E. "MINOTT KUHN CHESHIRE, CONN." SCALE: 1"=30'; DATED: OCTOBER 26, 1958; BY: FREDERICK HAHN. MAP NO. 1325B TCLR.
- F. "MINOTT KUHN CHESHIRE, CONN." SCALE: 1"=30'; DATED: OCTOBER 26, 1958; BY: FREDERICK HAHN. MAP NO. 1308D TCLR.

SUBJECT PARCEL
291,978 S.F. ±
6.688 ACRES ±
VOL. 3729 P.G. 80

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
DEAN HARTSH LICENSE NO. 70147





MAP REFERENCE:

1. "TOPOGRAPHIC SURVEY LAND OF CHESHIRE STATION LLC; MAP: 78 LOT: 95 1021 SOUTH MAIN STREET (CT ROUTE 10), CHESHIRE, CONNECTICUT; PREPARED BY: MARTIN SURVEYING ASSOCIATES, LLC; DATED: 2023-10-31
2. BASE MAPPING SUPPLEMENTED W/ FIELD MEASUREMENTS OBTAINED BY ALL-POINTS TECHNOLOGY CORPORATION ON 05/05/22 & 05/18/22.
3. "ALTA/ASCM LAND TITLE SURVEY"; 1021-1041 SOUTH MAIN STREET, CHESHIRE, CT; PREPARED BY KRATZERT, JONES & ASSOCIATES, INC.; DATED: 12/29/15.

SITE AREAS & VOLUMES OF EARTHWORK

SITEWORK ENTAILS APPROXIMATELY 100 CUBIC YARDS OF EXCAVATION. THE COMPOUND WILL IMPORT APPROXIMATELY 50 CUBIC YARDS OF CLEAN BROKEN STONE. THE UTILITY TRENCH FROM THE EXIST. UTILITY POLE TO THE COMPOUND WILL EXCAVATE APPROXIMATELY 90 CUBIC YARDS OF MATERIAL THAT WILL BE USED TO BACKFILL THE TRENCH.

COMPOUND AREA SLOPES:
 EXISTING - 2.0%
 PROPOSED - 2.0%

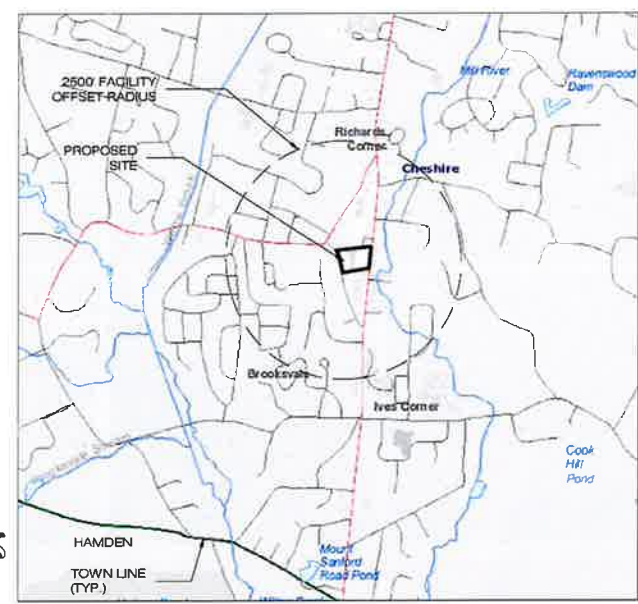
TOTAL AREA OF DISTURBANCE = 3,000± SF

STORMWATER VELOCITY:
 PRIOR TO GROUND COVER < 3.0 FT/SEC
 FOLLOWING GROUND COVER < 3.0 FT/SEC

STORMWATER VOLUME:
 PROPOSED IMPERVIOUS AREA = 1,720 SF
 WATER QUALITY STD VOLUME (1") = 75 CF
 STORAGE VOLUME (6" DEPTH, 40% VOIDS) = 345 CF

GROUND COVER TO BE ESTABLISHED AS FOLLOWS (I.O.N.):
 - WHITE CLOVER @ 0.20#/- SF
 - TALL FESCUE @ 0.45#/- SF
 - RYEGRASS @ 0.10#/- SF

NOTE:
 NO TREES WILL NEED TO BE REMOVED IN CONSTRUCTION OF THE FACILITY.



2 MUNICIPALITY NOTIFICATION LIMIT MAP
 SP-1 SCALE: 1" = 2000'

1 ABUTTERS MAP
 SP-1 SCALE: 1" = 50'

Cellco Partnership d/b/a
verizon
 20 ALEXANDER DRIVE
 WALLINGFORD, CT 06492

ALL-POINTS TECHNOLOGY CORPORATION
 567 VAUXHALL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06355 PHONE: (860)-663-1697
 WWW.ALLPOINTSTECH.COM FAX: (860)-663-0935

PERMITTING DOCUMENTS	
NO.	DATE REVISION
0	12/11/23 FOR REVIEW: RCB
1	
2	
3	
4	
5	
6	

DESIGN PROFESSIONALS OF RECORD

PROF: ROBERT C. BURNS, P.E.
 COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.
 ADD: 567 VAUXHALL STREET EXT. SUITE 311 WATERFORD, CT 06355

OWNER: CHESHIRE STATION LLC
 ADDRESS: 11501 NORTHLAKE DRIVE CINCINNATI, OH 45249

CHESHIRE DT CT

SITE 1021-1041 SOUTH MAIN ST.
 ADDRESS: CHESHIRE, CT 06410

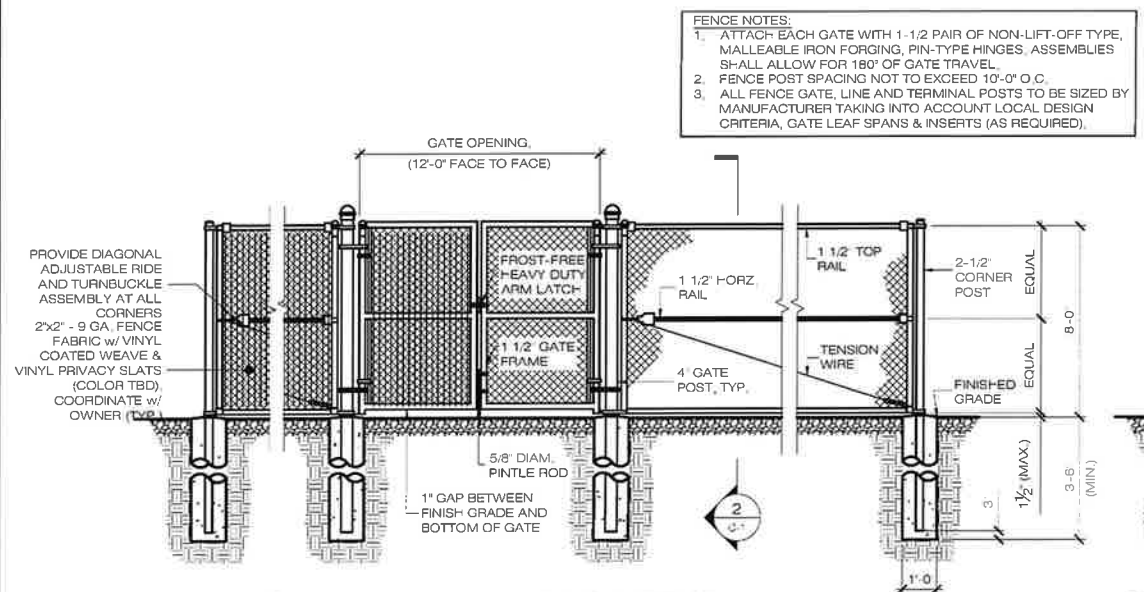
APT FILING NUMBER: CT141_13390

DRAWN BY: ELZ
 DATE: 12/11/23 CHECKED BY: RCB

VZW PROJECT CODE: 20171645495
 VZW LOCATION CODE: 469929
 VZW FUZE ID: 2223597

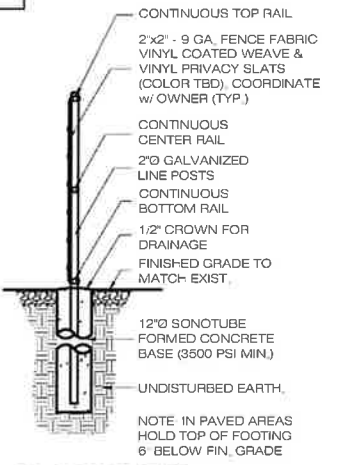
SHEET TITLE:
ABUTTERS & MUNICIPALITY NOTIFICATION MAP

SHEET NUMBER:
SP-1

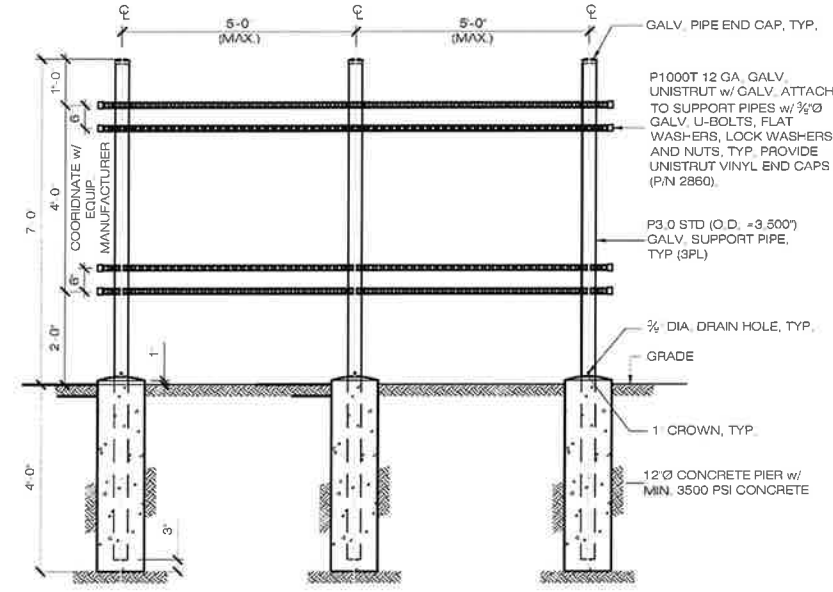


1 CHAIN-LINK FENCING DETAIL
C-1 SCALE: N.T.S.

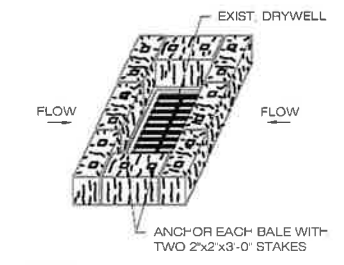
FENCE NOTES:
 1. ATTACH EACH GATE WITH 1-1/2 PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON FORGING, PIN-TYPE HINGES, ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.
 2. FENCE POST SPACING NOT TO EXCEED 10'-0" O.C.
 3. ALL FENCE GATE, LINE AND TERMINAL POSTS TO BE SIZED BY MANUFACTURER TAKING INTO ACCOUNT LOCAL DESIGN CRITERIA, GATE LEAF SPANS & INSERTS (AS REQUIRED).



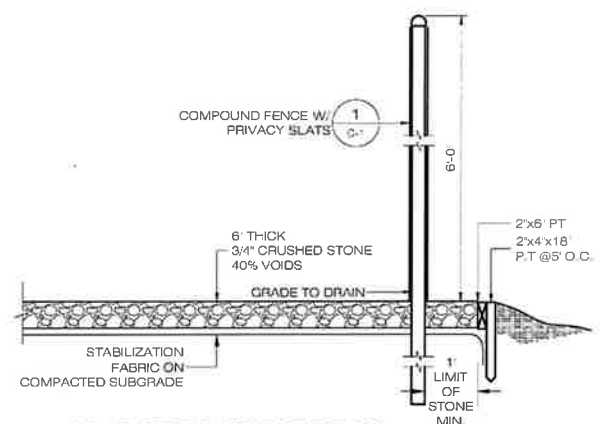
2 SECTION
C-1 SCALE: N.T.S.



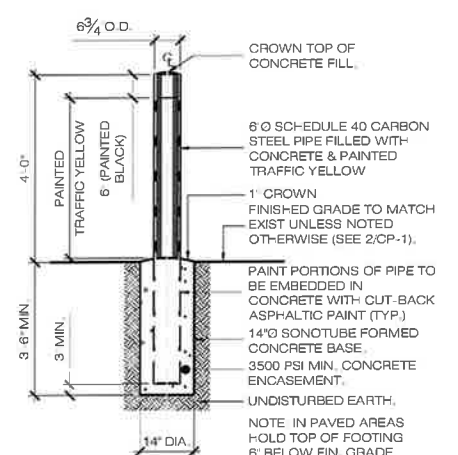
3 UTILITY SERVICE FRAME DETAIL
C-1 SCALE: 1/2" = 10"



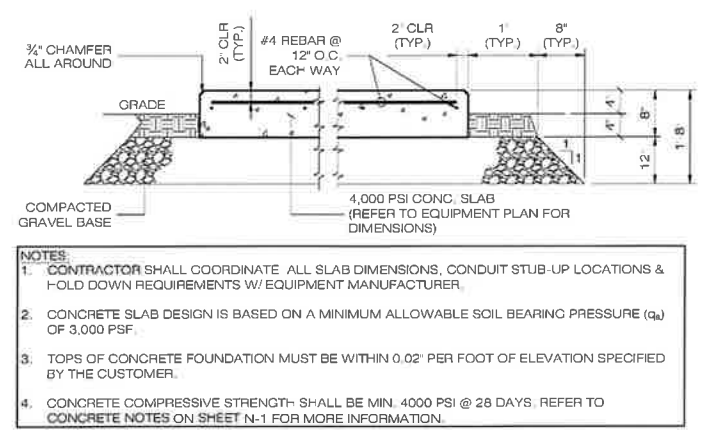
4 HAYBALES AT CATCH BASINS
C-1 SCALE: N.T.S.



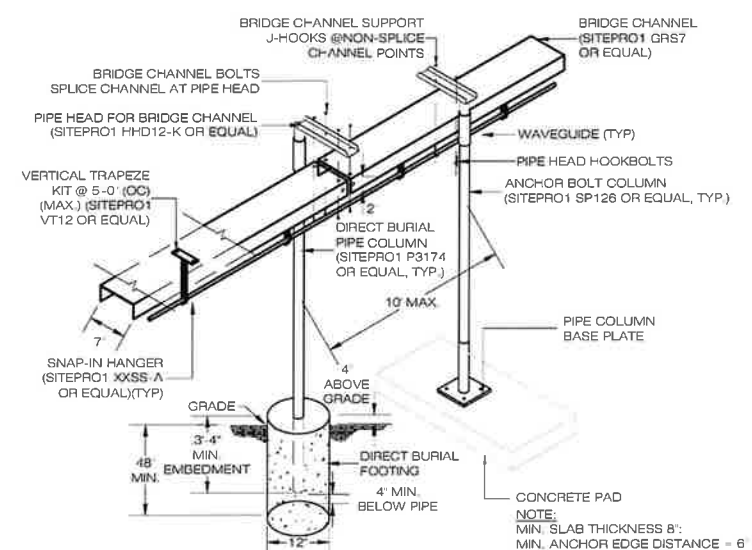
5 COMPOUND DETAIL
C-1 SCALE: N.T.S.



6 BOLLARD DETAIL
C-1 SCALE: N.T.S.



7 TYPICAL CONCRETE PAD DETAIL
C-1 SCALE: N.T.S.



8 CABLE BRIDGE & COAX HANGER DETAIL
C-1 SCALE: N.T.S.

Cellco Partnership d/b/a
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 20 ALEXANDER DRIVE
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 WATERFORD, CT 06385 PHONE: (860)-663-1697
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PERMITTING DOCUMENTS

NO	DATE	REVISION
0	12/11/23	FOR REVIEW: RCB
1		
2		
3		
4		
5		
6		

DESIGN PROFESSIONALS OF RECORD
 PROF: ROBERT C. BURNS, P.E.
 COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.
 ADD: 567 VAUXHALL STREET EXT. SUITE 311 WATERFORD, CT 06385
 OWNER: CHESHIRE STATION LLC
 ADDRESS: 11501 NORTHLAKE DRIVE CINCINNATI, OH 45249

CHESHIRE DT CT
 SITE: 1021-1041 SOUTH MAIN ST.
 ADDRESS: CHESHIRE, CT 06410
 APT FILING NUMBER: CT141_13390
 DRAWN BY: ELZ
 DATE: 12/11/23 CHECKED BY: RCB
 VZW PROJECT CODE: 20171645495
 VZW LOCATION CODE: 489929
 VZW FUZE ID: 2223597

SHEET TITLE:
EQUIPMENT & SITE DETAILS
 SHEET NUMBER:
C-1

ATTACHMENT 4



PRELIMINARY VISUAL ASSESSMENT

Date: July 28, 2023

To: Verizon Wireless
20 Alexander Drive
Wallingford, CT 06492

From: Brian Gaudet, Project Manager

Re: Proposed Telecommunications Facility
1021 South Main Street
Cheshire, Connecticut

Cellco Partnership, d/b/a Verizon Wireless ("Verizon Wireless") has identified a proposed location for development of a wireless telecommunications facility (the "Facility") at 1021 South Main Street in the Town of Cheshire, Connecticut (the "Host Property"). The proposed Facility would include a 94-foot-tall steel monopole and associated ground equipment located within a fenced compound.

The Host Property is a ±6.71-acre commercial parcel developed with a shopping center and associated parking lot. The Facility would be located within an approximately 20-foot by 86-foot fenced gravel compound located in the eastern portion of the Host Property (the "Site"). Land use in the immediate vicinity consists of commercial development extending north and south of the Host Property along South Main Street and residential development to the east and west.

At the request of Verizon Wireless, All-Points Technology Corporation, P.C. ("APT") has prepared initial viewshed maps to evaluate the extent of visibility associated with the proposed Facility. To conduct this preliminary assessment, a predictive computer model was developed specifically for this project using ESRI's ArcMap Geographic Information System ("GIS")¹ software and available GIS data. The predictive model provides an initial estimate of potential visibility throughout a pre-defined Study Area, in this case a two-mile radius surrounding the proposed Facility location. The predictive model incorporates Project and Study Area-specific data, including the Facility location, its ground elevation and the proposed Facility height, as well as the surrounding topography, existing vegetation, and structures (the primary features that can block direct lines of sight). The Study Area covers the Town of Cheshire, the Town of Hamden to the south, and extends to the municipal borders of Prospect and Wallingford, to the west and east, respectively.

¹ ArcMap is a Geographic Information System desktop application developed by the Environmental Systems Research Institute for creating maps, performing spatial analysis, and managing geographic data.

A digital surface model ("DSM"), capturing both the natural and built features on the Earth's surface, was generated for the extent of the Study Area utilizing State of Connecticut 2016 LiDAR² LAS³ data points. LiDAR is a remote-sensing technology that develops elevation data by measuring the time it takes for laser light to return from the surface to the instrument's sensors. The varying reflectivity of objects also means that the "returns" can be classified based on the characteristics of the reflected light, normally into categories such as "bare earth," "vegetation," "road," or "building". Derived from the 2016 LiDAR data, the LAS datasets contain the corresponding elevation point data and return classification values. The Study Area DSM incorporates the first return LAS dataset values that are associated with the highest feature in the landscape, typically a treetop, top of a building, and/or the highest point of other tall structures.

Once the DSM was generated, ESRI's Viewshed Tool was utilized to identify locations within the Study Area where the proposed Facility may be visible. ESRI's Viewshed Tool predicts visibility by identifying those cells⁴ within the DSM that can be seen from an observer location. Cells where visibility was indicated were extracted and converted from a raster dataset to a polygon feature which was then overlaid onto an aerial photograph and topographic base map. Since the DSM includes the highest relative feature in the landscape, isolated "visible" cells are often indicated within heavily forested areas (e.g., from the top of the highest tree) or on building rooftops during the initial processing. It is recognized that these areas do not represent typical viewer locations and overstate visibility. As such, the resulting polygon feature is further refined by extracting those areas.

The results of the preliminary analysis are intended to provide a representation of those areas where portions of the Facility may potentially be visible to the human eye without the aid of magnification, based on a viewer eye-height of five (5) feet above the ground and the combination of intervening topography, trees and other vegetation, and structures. However, the Facility may not necessarily be visible from all locations within those areas identified by the predictive model, which has limitations. For instance, it is important to note that the computer model cannot account for mass density, tree diameters and branching variability of trees, or the degradation of views that occurs with distance. As a result, some areas depicted on the viewshed maps as theoretically offering potential visibility of the Facility may be over-predicted because the quality of those views is not sufficient for the human eye to recognize the Facility or discriminate it from other surrounding or intervening objects.

Preliminary viewshed mapping results indicate that predicted year-round visibility associated with the proposed Facility could include up to approximately 5 acres from locations within approximately 0.5 mile of the Site. Predicted seasonal visibility, when leaves are off the deciduous trees, could include up to an additional 199 acres.

Collectively, year-round and seasonal visibility is predicted to occur over a small portion of the 8,042-acre Study Area ($\pm 2.54\%$). The initial results presented herein will be verified via a field-test to supplement and fine tune the results of the preliminary computer modeling. The in-field activities will consist of raising either a brightly-colored helium-filled balloon, or a crane with a brightly colored flag, to the proposed monopole height of 94 feet at the Site. Once the balloon or crane is raised into position, APT will perform a Study Area reconnaissance by driving publicly accessible roads and inventorying those locations where the balloon/flag can be seen above/through the trees. Visual observations from publicly accessible locations will be used to

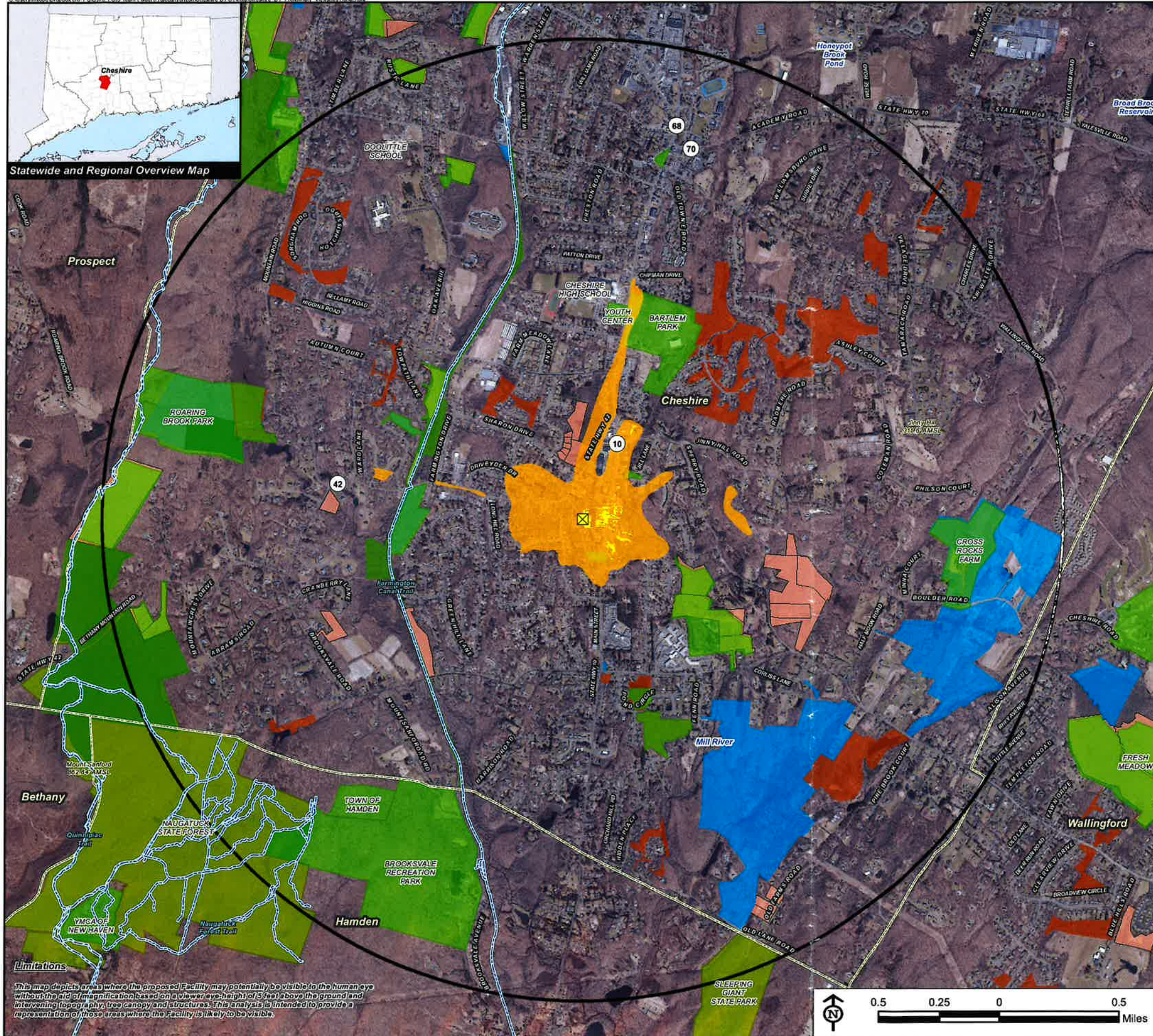
² Light Detection and Ranging

³ An LAS file is an industry-standard binary format for storing airborne LiDAR data.

⁴ Each DSM cell size is 1 square meter.

evaluate the results of the preliminary viewshed mapping and identify any discrepancies in the initial modeling. APT also photo-documents areas where the balloon/flag can be seen (as well as locations where it is not visible) and will prepare photographic simulations from several vantage points to depict scaled renderings of the proposed Facility. This information will be included in Verizon Wireless's application to the Connecticut Siting Council for a Certificate of Environmental Compatibility and Public Need, a copy of which will be provided to the Town of Cheshire.

ATTACHMENTS



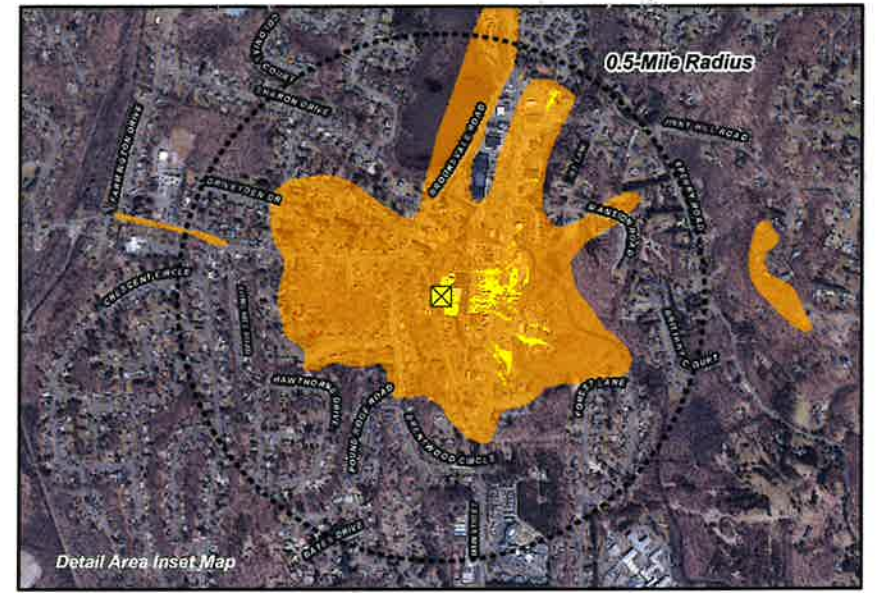
Statewide and Regional Overview Map

Prospect

Bethany

Hamden

Limitations
 This map depicts areas where the proposed Facility may potentially be visible to the human eye without the aid of magnification based on a viewer eye height of 5 feet above the ground and intervening topography, tree canopy and structures. This analysis is intended to provide a representation of those areas where the Facility is likely to be visible.



Preliminary Viewshed Analysis Map

Proposed Wireless Telecommunications Facility
 Cheshire DT CT
 1021-1041 South Main Street
 Cheshire, Connecticut

Proposed facility height is 94 feet AGL.
 Forest canopy height is derived from LiDAR data.
 Study area encompasses a two-mile radius and includes 8,042 acres.
 Information provided on this map has not been field verified
 Base Map Source: 2019 Aerial Photograph (CTECO)
 Map Date: June 2023

Legend

- Proposed Site
- Study Area (2-Mile Radius)
- Predicted Year-Round Visibility (5 Acres)
- Areas of Potential Seasonal Visibility (199 Acres)
- Municipal Boundary
- Trail
- Scenic Highway
- DEEP Boat Launches
- Municipal and Private Open Space Property
- State Forest/Park
- Protected Open Space Property**
- Federal
- Land Trust
- Municipal
- Private
- State

Data Sources:

Physical Geography / Background Data
 A digital surface model (DSM) was created from the State of Connecticut 2016 LiDAR LAS data points. The DSM captures the natural and built features on the Earth's surface.

Municipal Open Space, State Recreation Areas, Trails, County Recreation Areas, and Town Boundary data obtained from CT DEEP. Scenic Roads: CTDOT State Scenic Highways (2015); Municipal Scenic Roads (compiled by APT)

Dedicated Open Space & Recreation Areas
 Connecticut Department of Energy and Environmental Protection (DEEP): DEEP Property (May 2007); Federal Open Space (1997); Municipal and Private Open Space (1997); DEEP Boat Launches (1994)

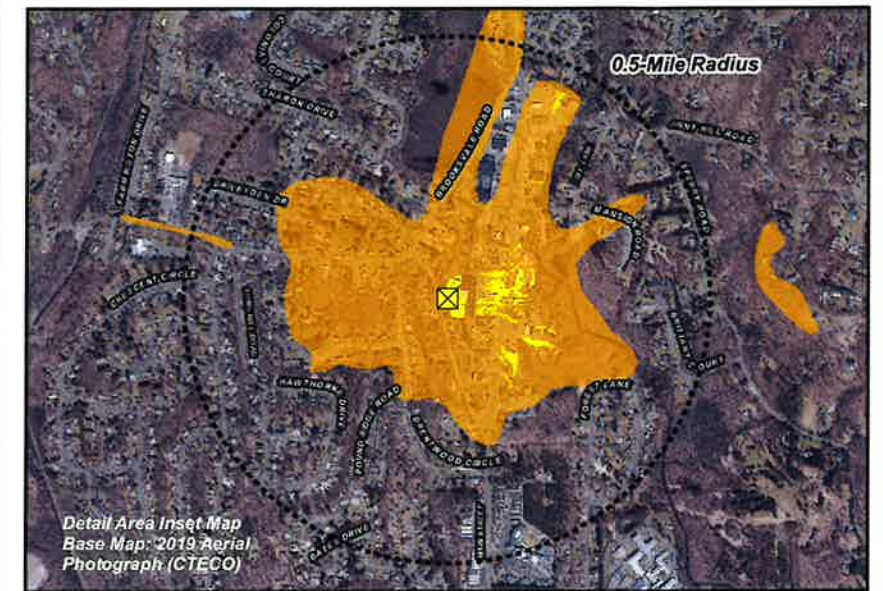
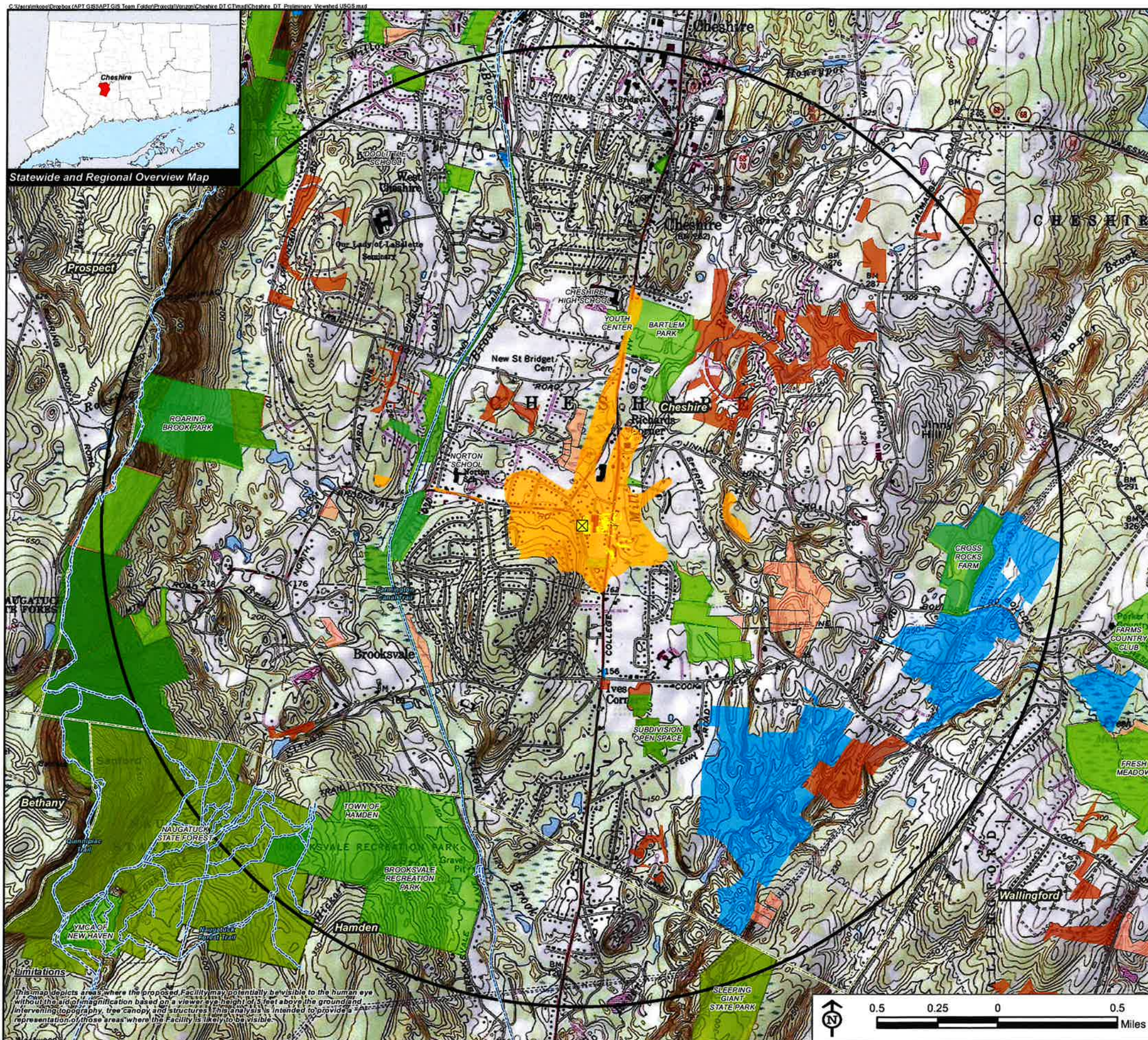
Connecticut Forest & Parks Association, Connecticut Walk Books East & West

Other
 CTDOT Scenic Strips (based on Department of Transportation data)

Notes

**Not all the sources listed above appear on the Viewshed Maps. Only those features within the scale of the graphic are shown.





Preliminary Viewshed Analysis Map

Proposed Wireless Telecommunications Facility
 Cheshire DT CT
 1021-1041 South Main Street
 Cheshire, Connecticut

Proposed facility height is 94 feet AGL.
 Forest canopy height is derived from LiDAR data.
 Study area encompasses a two-mile radius and includes 8,042 acres.
 Information provided on this map has not been field verified
 Base Map Source: USGS 7.5 Minute Topographic
 Quadrangle Map, Meriden, CT (1992), Mount Carmel, CT (1984),
 Southington, CT (1992), and Wallingford, CT (1984)
 Map Date: June 2023

Legend

- Proposed Site
- Study Area (2-Mile Radius)
- Predicted Year-Round Visibility (5 Acres)
- Areas of Potential Seasonal Visibility (199 Acres)
- Municipal Boundary
- Trail
- Scenic Highway
- DEEP Boat Launches
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- State Forest/Park
- Protected Open Space Property**
 - Federal
 - Land Trust
 - Municipal
 - Private
 - State

Data Sources:

Physical Geography / Background Data

A digital surface model (DSM) was created from the State of Connecticut 2016 LiDAR LAS data points. The DSM captures the natural and built features on the Earth's surface.

Municipal Open Space, State Recreation Areas, Trails, County Recreation Areas, and Town Boundary data obtained from CT DEEP. Scenic Roads: CTDOT State Scenic Highways (2015); Municipal Scenic Roads (compiled by APT)

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Connecticut Forest & Parks Association, Connecticut Walk Books East & West

Other

CTDOT Scenic Strips (based on Department of Transportation data)

Notes

**Not all the sources listed above appear on the Viewshed Maps. Only those features within the scale of the graphic are shown.

Limitations
 This map depicts areas where the proposed Facility may potentially be visible to the human eye without the aid of magnification based on a viewer eye height of 5 feet above the ground and intervening topography, tree canopy and structures. This analysis is intended to provide a representation of those areas where the Facility is likely to be visible.



ATTACHMENT 5

ATTACHMENT 6

**Cellco Partnership d/b/a Verizon Wireless
1021-1041 South Main Street
Cheshire, Connecticut**

Cheshire DT Facility

Site Search Summary

Section 16-50j-74(j) of the Regulations of Connecticut State Agencies requires the submission of a statement that describes “the narrowing process by which other possible sites were considered and eliminated.” In accordance with this requirement, descriptions of the general site search process, the identification of the applicable search area and the alternative locations considered for development of the proposed Cheshire DT Facility are provided below.

Site Search Process

To initiate its site selection process in an area where wireless service problems have been identified, Cellco first establishes a “site search ring” or “site search area”. In any search ring or search area, Cellco seeks to avoid the unnecessary proliferation of towers and to reduce the potential adverse environmental effects of the cell site, while at the same time maximizing the quality of service provided from a facility. These objectives are achieved by initially locating existing towers and other sufficiently tall structures within and near the site search area. If any are found, they are evaluated to determine whether they can support Cellco’s telecommunications antennas and related equipment at a location and elevation that satisfies its technical requirements.

The list of available locations may be further reduced if, after preliminary discussions, the property owners withdraw a site from consideration. From among the remaining locations, the proposed sites are selected by eliminating those that have greater potential for adverse environmental effects and fewer benefits to the public (i.e., those requiring taller towers; those with substantial adverse environmental impacts, or in densely populated residential areas; and those with limited ability to share space with other public or private telecommunications service providers). It should be noted that in any given site search, the weight afforded to factors considered in the selection process will vary depending upon the availability and nature of sites within the search area.

Need for the Facility

The Cheshire DT Facility is intended to significantly increase 700 MHz and 850 MHz capacity relief in the area which is currently covered by Cellco’s Cheshire CT beta sector antennas. Same coverage at the AWS/PCC and C-Band frequencies will be added as well.

Within approximately three (3) miles of the proposed Cheshire DT Facility, Cellco maintains five (5) macro-cell and two (2) small cell facilities. The locations of these existing

facilities are included on the attached Site Vicinity Map (Attachment 1) and Coverage Maps (Attachment 2).

Cellco's Cheshire CT macro-cell facility consists of antennas on a tower at 751 Higgins Road in Cheshire. Cellco's Cheshire NE CT macro-cell facility consists of antennas on a tower at 500 Highland Avenue in Cheshire. Cellco's Cheshire East CT macro-cell facility consists of antennas on the tower at 185 Academy Road in Cheshire. Cellco's Hamden North 2 macro-cell facility consists of antennas on the tower at 150 Willow Street in Hamden. Cellco's Oakdale macro-cell facility consists of antennas on a tower at 60 Gaylord Farm Road in Wallingford.

Cellco's existing small cell facilities consist of an antenna and related equipment attached to utility poles in the public rights of way near or adjacent to property at 199 Highland Avenue (Cheshire CT SC1) and 525 South Main Street (Cheshire SC02 CT) in Cheshire.

Sites Investigated

The Cheshire DT site search was initiated in March of 2020. Cellco identified and investigated a total of seven (7) sites in the area in addition to the Property. A listing of the sites investigated is provided below.

1. **1021-1041 South Main Street, Cheshire:** Cellco entered into a lease agreement with Cheshire Station LLC, the owner of this parcel, for the development of the Cheshire DT Facility.
2. **1263 South Main Street, Cheshire:** Cellco explored the development of a new tower on this parcel. The owner (Cheshire Nursery – 1317 South Main Street Associates LLC) was not interested in hosting a tower site.
3. **1125 South Main Street, Cheshire:** Cellco explored the development of a new tower on this parcel. The owner – Town of Cheshire (Fire Station No. 3) was not interested in hosting a tower site.
4. **1250 South Main Street and 1216 South Main Street, Cheshire:** Cellco explored the development of a new tower on this parcel. The owner (Regional Water Authority) does not allow towers in their properties.
5. **140 Cooke Hill Road, Cheshire:** Cellco explored the development of a new tower on this parcel at the suggestion of the Town. Cellco determined that the parcel was too far to the south to serve its objective. In addition, ground space at this site was limited and the building was not tall enough to consider a roof mounted tower.
6. **525 South Main Street, Cheshire:** Cellco explored the development of a new tower on this parcel. The parcel is owned by Cheshire Public Schools. The Director of Facilities informed Cellco that it was not interested in leasing space to construct a tower site on this parcel.

7. **945 South Main Street, Cheshire:** Cellco explored the development of a new tower on this commercial parcel. The owner was not interested in hosting a tower site.

8. **1011 South Main Street, Cheshire:** Cellco explored the development of a new tower on this parcel. The Dowling Ford Dealership property did not have enough ground space for a new tower site.

