

DAVID A. BALL

Please Reply To Bridgeport
E-Mail: dball@cohenandwolf.com

December 6, 2023

Via E-Mail and FedEx

Attorney Melanie Bachman
Executive Director
Connecticut Siting Council
Ten Franklin Square
New Britain, CT 06051

Re: Docket No. 518 - Tarpon Towers III, LLC and New Cingular Wireless PCS, LLC application for a Certificate of Environmental Compatibility and Public Need for the construction, maintenance, and operation of a telecommunications facility located at 99 Dart Hill Road, South Windsor, Connecticut

Dear Attorney Bachman:

On behalf of the applicants, Tarpon Towers III, LLC and New Cingular Wireless PCS, LLC , I've enclosed an original and fifteen (15) copies of the following:

1. Pre-Hearing Submission, together with a pdf copy of the updated Site Project Plans revised as of November 24, 2023.

Very truly yours,



David A. Ball

Enclosures

cc: Service List

**STATE OF CONNECTICUT
CONNECTICUT SITING COUNCIL**

IN RE:

NEW CINGULAR WIRELESS PCS, LLC D/B/A
AT&T AND TARPON TOWERS III, LLC
APPLICATION FOR A CERTIFICATE OF
ENVIRONMENTAL COMPATIBILITY AND
PUBLIC NEED FOR THE CONSTRUCTION,
MAINTENANCE AND OPERATION OF A
TELECOMMUNICATIONS FACILITY
LOCATED AT 99 DART HILL ROAD, SOUTH
WINDSOR, CONNECTICUT

DOCKET NO. 518

December 6, 2023

**NEW CINGULAR WIRELESS PCS, LLC D/B/A AT&T
AND TARPON TOWERS III, LLC
PRE-HEARING SUBMISSION**

Applicants New Cingular Wireless PCS, LLC d/b/a AT&T and Tarpon Towers III, LLC respectfully submit this pre-hearing information regarding the above-referenced Application.

A. List of Witnesses

1. Martin Lavin, Radio Frequency Engineer, C Squared Systems, LLC, on behalf of AT&T
2. Harry Carey, Director, External Affairs, AT&T
3. Keith Coppins, CEO of ARX Wireless Infrastructure LLC, on behalf of Tarpon Towers, III, LLC
4. Douglas Roberts, on behalf of Tarpon Towers, III, LLC
5. David Archambault, Vice President, Visual Site Simulations, LLC

B. Exhibits to be Offered

1. Application for a Certificate of Environmental Compatibility and Public Need dated August 22, 2023, including Exhibits A through S to the Application
2. Bulk Filing exhibits, including:
 - a. Town of South Windsor Zoning Regulations and Subdivision Regulations as revised
 - b. Town of South Windsor Plan of Conservation and Development dated September 21, 2014
 - c. Town of South Windsor Inland Wetland/Watercourse and Conservation Regulations dated February 1, 2023
 - d. Technical Report dated March 22, 2023
3. Affidavit of Publication of the Legal Notice published in the Manchester Journal Inquirer on August 17, 2023 and August 18, 2023
4. Sign Posting Affidavit dated December 4, 2023
5. Applicants' Responses to Connecticut Siting Council Pre-Hearing Interrogatories dated November 29, 2023

The applicants reserve the right to offer additional exhibits, testimony, witnesses and administratively noticed materials as may be necessary during the course of the hearing.

C. Remote Public Comment Session Presentation

Keith Coppins and Douglas Roberts are the designated presenters for the 6:30 p.m. remote public comment session.

The presentation drawings include the Site Project Plans attached to the Application as Exhibit G and last revised November 24, 2023, Sheets T-001, C-101, C-102, C-103, C-104 and C-105. Electronic copies of plan sheets T-001, C-101, C-102, C-103, C-104 and C-105 are attached to this filing.

RESPECTFULLY SUBMITTED,

TARPON TOWERS III, LLC

By: 

David A. Ball, Esq.
Philip C. Pires, Esq.
Cohen and Wolf, P.C.
1115 Broad Street
Bridgeport, CT 06604
Tel. No. (203) 368-0211
E-Mail: dball@cohenandwolf.com
E-Mail: ppires@cohenandwolf.com
Juris No. 010032

NEW CINGULAR WIRELESS PCS, LLC



By: _____

Lucia Chiochio, Esq.
Daniel Patrick, Esq.
Cuddy & Feder LLP
445 Hamilton Avenue, 14th Floor
White Plains, NY 10601
Tel. No. (914) 761-1300
E-Mail: lchiochio@cuddyfeder.com
E-Mail: dpatrick@cuddyfeder.com
Juris No. 434865

CERTIFICATION OF SERVICE

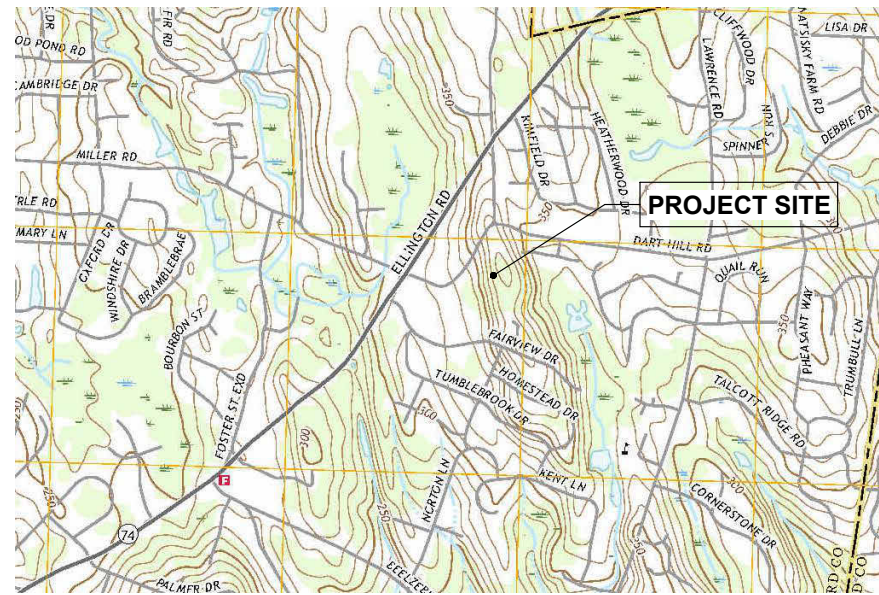
I hereby certify that a copy of the foregoing was sent via electronic mail on this 6th day of December, 2023, to the following:

Lucia Chiocchio, Esq.
Cuddy & Feder LLP
445 Hamilton Avenue, 14th Floor
White Plains, NY 10601
lchiocchio@cuddyfeder.com



David A. Ball

USGS TOPOGRAPHIC MAP



WIRELESS COMMUNICATIONS FACILITY

**CT1207 SOUTH WINDSOR
99 DART HILL ROAD
SOUTH WINDSOR, CT 06074**

CONNECTICUT SITING COUNCIL DOCKET

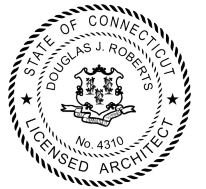


Site Number:
CT1207
Site Name:
SOUTH WINDSOR

99 DART HILL ROAD
SOUTH WINDSOR, CT 06074

Prepared For:
TARPON TOWERS III
8916 77TH TERRACE EAST
SUITE 103
LAKEWOOD RANCH, FL 34202

Project No: 2022.17
DOUGLAS J. ROBERTS - ARCHITECT
110 Washington Avenue
Fourth Floor
North Haven, CT 06473
Tel: 203.234.6368
Email: droberts - architect@outlook.com



VICINITY MAP



PROJECT SUMMARY

PROJECT NAME: CT1207 SOUTH WINDSOR
SITE ADDRESS: 99 DART HILL ROAD
SOUTH WINDSOR, CT 06074
PARCEL ID: 104-21-1
TARPON TOWERS CONTACT: KEITH COPPINS
110 WASHINGTON AVENUE
FOURTH FLOOR
NORTH HAVEN, CT 06473
203.623.3287
LEGAL/REGULATORY COUNSEL: COHEN AND WOLF, P.C.
1115 BROAD STREET
BRIDGEPORT, CT 06604
203.337.4134
LAND LORD CONTACT: JUDITH ECKHOUSE.
ARCHITECT: DOUGLAS J. ROBERTS - ARCHITECT
110 WASHINGTON AVENUE
FOURTH FLOOR
NORTH HAVEN, CT 06473
SURVEYOR: KCI INDUSTRIES, INC
712 BROOK STREET
SUITE 103
ROCKY HILL, CT 06067
LATITUDE: N 41° - 50' - 49.55"
LONGITUDE: W 72° - 31' - 12.67"
GRADE (PROPOSED): 375' - 0" +/- AMSL

CODE REFERENCES

- 2022 Connecticut State Building Code
- 2021 International Building Code
- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2021 International Residential Code
- 2021 International Energy Conservation Code
- 2020 National Electrical Code (NFPA 70)
- 2017 ICC A117.1 Accessible and Usable Buildings & Facilities

SHEET INDEX

SHEET NUMBER	SHEET NAME	CURRENT REVISION	CURRENT REVISION DATE
T - 001	TITLE SHEET	3	Nov. 24, 2023
SURVEY	SURVEY SHEET		
C - 101	ABUTTERS PLAN	3	Nov. 24, 2023
C - 102	SITE PLAN	3	Nov. 24, 2023
C - 103	COMPOUND PLAN AND ELEVATION	3	Nov. 24, 2023
C - 104	SITE DETAILS	3	Nov. 24, 2023
C - 105	SEDIMENTATION AND EROSION CONTROL DETAILS	3	Nov. 24, 2023

SCOPE OF WORK

- TARPON TOWERS IS PROPOSING TO INSTALL THE FOLLOWING IMPROVEMENTS ON PROPOSED TELECOMMUNICATION SITE:
- 60' x 60' FENCED COMPOUND WITHIN A 75' X 75' LEASE AREA AND THE REMOVAL OF 46 TREES
 - A 12 FOOT WIDE ACCESS ROAD FROM DART HILL ROAD TO THE COMPOUND, APPROXIMATELY 250' WILL BE OVER AN EXISTING EVERSOURCE ACCESS ROAD
 - 165' MONOPOLE FOR FOUR CARRIER PLATFORMS WITH ANTENNAS AND ANCILLARY EQUIPMENT AND TOWN ANTENNAS.
 - POWER AND TELCO SERVICES WILL BE ROUTED UNDERGROUND FROM EXISTING OVERHEAD UTILITIES ON DART HILL ROAD (SNET POLE 5159) TO PROPOSED ELECTRICAL METER AND UTILITY BOX ON PROPOSED H-FRAME.
- AT&T IS PROPOSING TO INSTALL THE FOLLOWING IMPROVEMENT ON THE PROPOSED TELECOMMUNICATION SITE:
- A WALK IN EQUIPMENT SHELTER ON A CONCRETE SLAB
 - BACK UP DIESEL GENERATOR ON A CONCRETE SLAB
 - ANTENNAS AND ANCILLARY EQUIPMENT ON A 12' - 0" PLATFORM
- TOWN OF SOUTH WINDSOR
- TOWN ANTENNAS ON A 12' - 0" PLATFORM
 - TOWN EQUIPMENT ON A CONCRETE SLAB



Key Plan

Do not scale dimensions from drawings.
Site verify all dimensions prior to construction.
Report all discrepancies to Architect immediately.
This drawing is to be read in conjunction with all relevant documents and drawings.

REVISION SCHEDULE

REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

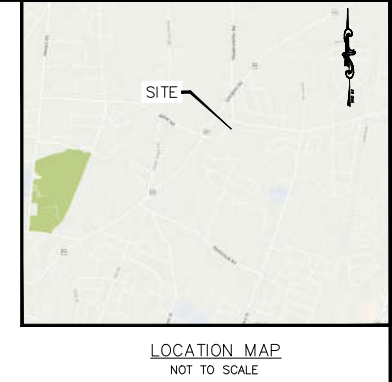
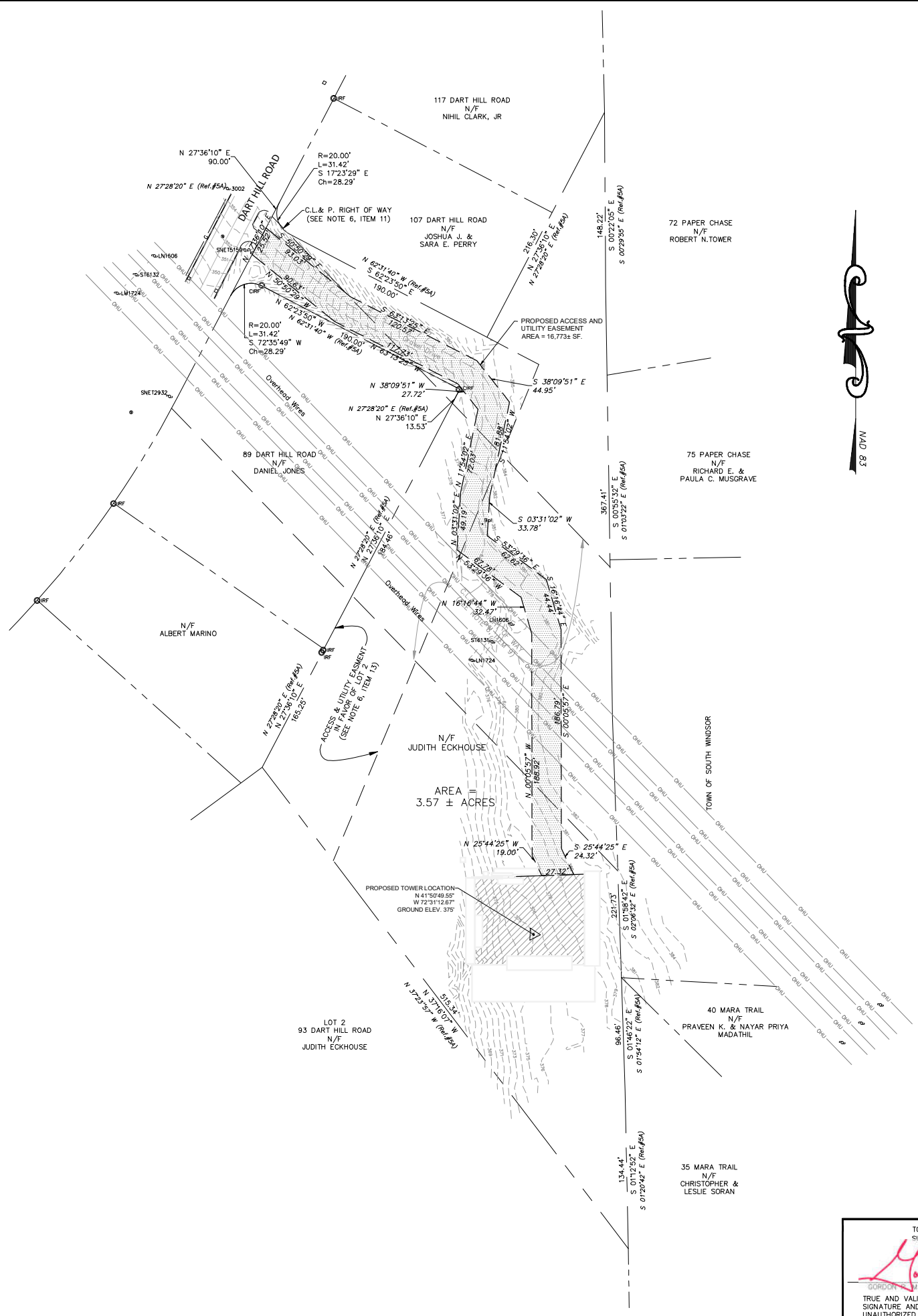
Drawing By: Zachary J. Roberts
Drawing Date: JULY 10, 2023
Reviewed By: Niddrie Rowe
Project No: 2022.17
Scale:

Sheet Title:
TITLE SHEET

Original drawing is ANSI - D.
Do not scale contents of this drawing.

Sheet Number: T - 001 Revision: 3

LEGEND	
	EDGE OF WOODS
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB/BUSH
	SIGN
	UTILITY POLE
	LIGHT POLE
	HYDRANT
	WATER SHUTOFF
	GAS VALVE
	WATER VALVE
	MONUMENT
	CAPPED IRON PIPE FOUND
	IRON PIPE FOUND
	IRON ROD FOUND
	IRON ROD SET
	HANDICAP SPACE
	HAND HOLE
	ELEC. METER
	GAS METER
	GRANITE
	CONCRETE
	BITUMINOUS
	PROPERTY LINE
	EASEMENT
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	CHAIN LINK FENCE
	WOOD FENCE
	FENCE
	STONEWALL
	ST - STORM SEWER LINE
	S - SANITARY SEWER LINE
	W - WATER LINE
	G - GAS LINE
	SG - SIGNAL WIRE LINE
	C - CABLE LINE
	FO - FIBER OPTIC LINE
	LPS - LOW PRESSURE SEWER LINE
	E - ELECTRIC LINE
	OHU - OVER-HEAD UTILITIES
	T - TELEPHONE LINE
	SMH - SANITARY MANHOLE (SMH)
	DMH - DRAINAGE MANHOLE (DMH)
	CB - CATCHBASIN (CB)
	BOL - METAL POST/BOLLARD (BOL)
	MHE - ELECTRIC MANHOLE (MHE)
	UMH - UNKNOWN MANHOLE
	MHT - TELEPHONE MANHOLE (MHT)
	VP - VENT PIPE
	CNO - COULD NOT OPEN
	FD - FLOW DIRECTION
	MAG NAIL - MAGNETIC CONCRETE NAIL
	WLF #7081 - WETLAND FLAG (DELIMITED BY OTHERS)
	WET - WETLAND LINE (DELIMITED BY OTHERS)
	EW - EDGE OF WATER (BY AERIAL IMAGE)
	P - ELECTRIC PEDESTAL
	OW - OUT WIRE
	FF=311.72' - FINISHED FLOOR ELEVATION
	x 318.5' - SPOT ELEVATION
	MB - MAILBOX
	CO - CLEANOUT
	MW - MONITORING WELL
	W/F - WOOD FRAMED
	N/F - NOW OR FORMERLY

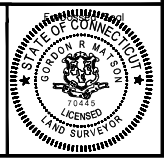


- NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THRU 20-300b-20 AS AMENDED, AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS A PROPERTY SURVEY AND A T-2 TOPOGRAPHIC SURVEY. THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY. THE SURVEY CONFORMS TO A-2 HORIZONTAL ACCURACY, T-2 TOPOGRAPHIC ACCURACY AND V-3 VERTICAL ACCURACY.
 - SURVEY PERFORMED BY KCI TECHNOLOGIES, INC. IN AUGUST 2022.
 - BEARINGS REFER TO THE CONNECTICUT COORDINATE SYSTEM (NAD 83) AS DERIVED USING GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) SURVEY METHODS IN AUGUST 2022.
 - ELEVATIONS REFER TO THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD 88) AS DERIVED USING GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) SURVEY METHODS IN AUGUST 2022.
 - REFERENCE IS MADE TO THE FOLLOWING MAP:
 - SUBDIVISION PLAN HIDDEN WOODS SUBDIVISION PREPARED FOR LAWRENCE A. FIANO, SOUTH WINDSOR, CONN. BY AESCHLIMAN LAND SURVEYING, PC DATED 8-7-97 AND LAST REVISED 7-7-09.
 - REFERENCE IS MADE TO A TITLE COMMITMENT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED January 2, 2016, FILE NO. 22171056.
 - SCHEDULE B - PART II SURVEY RELATED ITEMS
 - Plat recorded in Plat Map No. 3669.
 - Easement in favor of The Connecticut Light and Power Company, set forth in instrument recorded on 12/20/1956 in Deed Book 54, Page 11.
 - Zoning Regulations to allow the Construction of a One Family Home recorded on 09/21/1994 in Deed Book 812, Page 223.
 - Permanent Easement recorded on 03/02/1998 in Deed Book 991, Page 10.
 - Declaration of Easement for Driveway and Utilities recorded on 06/10/2004 in Deed Book 1618, Page 39.
 - Terms, provisions, covenants, conditions, restrictions, reservations, easements, charges, assessments and liens provided in a Deed of Covenants, Conditions and Restrictions recorded in Deed Book 1618, Page 39, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO KCI TECHNOLOGIES. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

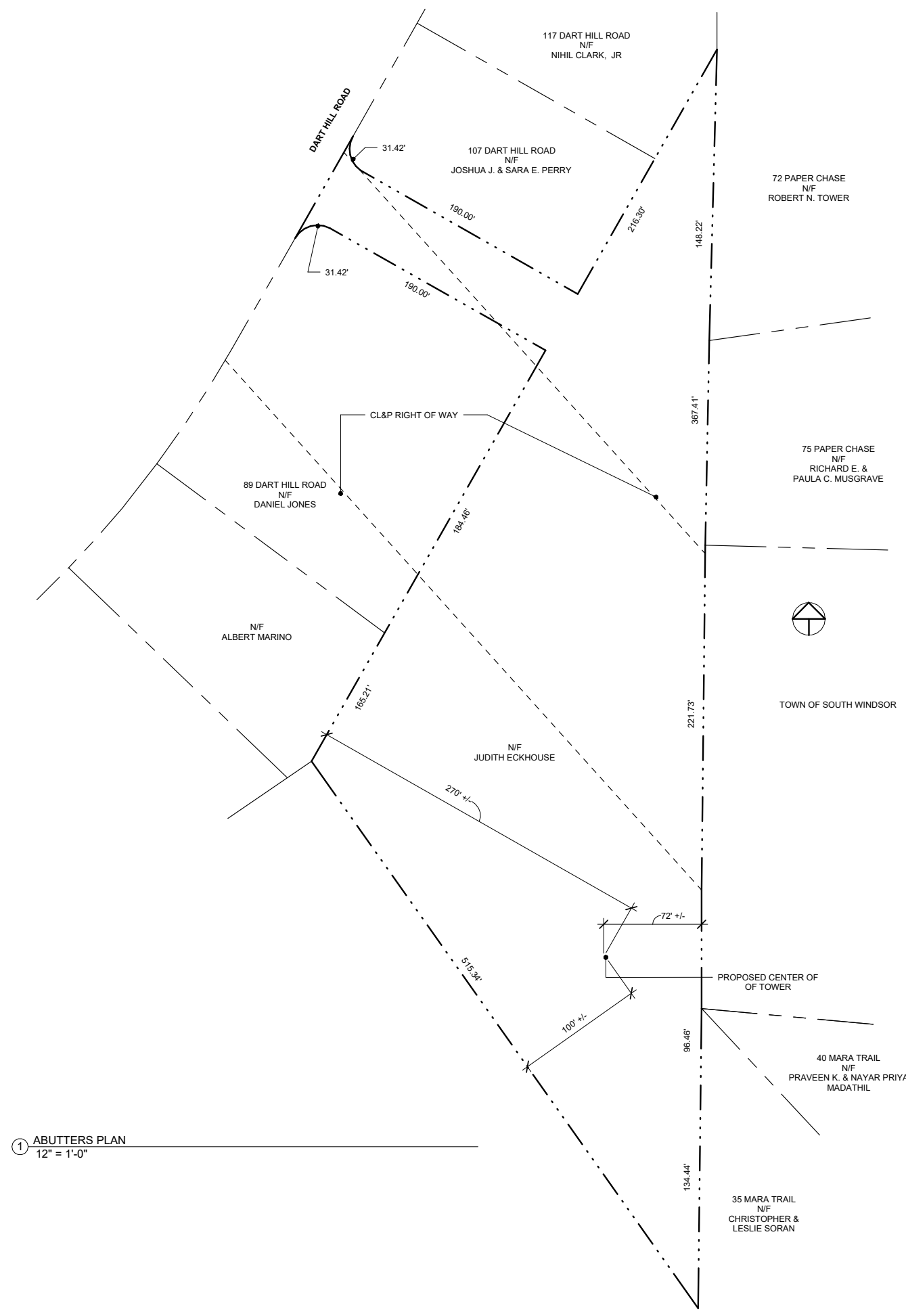
Gordon R. Watson 9/29/22
 GORDON R. WATSON, PLS LICENSE NO. 70445

TRUE AND VALID COPIES OF THIS MAP OR PLAN MUST BEAR THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR. UNAUTHORIZED REPRODUCTION OR ALTERATION IS FORBIDDEN.



OWNER/DEVELOPER	TARPOIN TOWERS
SCALE - PLAN: 1"=50'	SCALE: 1"=50'
KCI TECHNOLOGIES, INC.	KCI TECHNOLOGIES, INC.
REGISTERED PROFESSIONAL LAND SURVEYORS	REGISTERED PROFESSIONAL LAND SURVEYORS
712 BROOK ST. - SUITE 103 - ROCKY HILL, CT 06067	712 BROOK ST. - SUITE 103 - ROCKY HILL, CT 06067
PHONE: (110) 318-7885	PHONE: (110) 318-7885
WEBSITE: www.kci.com	WEBSITE: www.kci.com
PROPERTY AND TOPOGRAPHIC SURVEY	CONNECTICUT
PROPOSED TOWER SITE CT1207	
99 DART HILL ROAD	
HARTFORD COUNTY	
TOWN OF SOUTH WINDSOR	
DATE: SEPTEMBER 2022	DATE: SEPTEMBER 2022
KCI JOB #: 292200877.06	KCI JOB #: 292200877.06
SHEET: 1	SHEET: 1

11/26/2023 3:20:09 PM E:\PROJECTS\TARPON TOWERS\C\TCT1207 SOUTH WINDSOR 99 Dart Hill Road South Windsor1 - TARPON TOWERS - DOCUMENTS\3 - CONNECTICUT SITING COUNCIL\2 - DOCKET C\TCT1207 SOUTH WINDSOR CSC REV.3 11082023.rvt



① ABUTTERS PLAN
12" = 1'-0"

CONNECTICUT SITING COUNCIL DOCKET



Site Number:
CT1207
Site Name:
SOUTH WINDSOR

99 DART HILL ROAD
SOUTH WINDSOR, CT 06074

Prepared For:
TARPON TOWERS III
8916 77TH TERRACE EAST
SUITE 103
LAKEWOOD RANCH, FL 34202

Project No: 2022.17
DOUGLAS J. ROBERTS - ARCHITECT
110 Washington Avenue
Fourth Floor
North Haven, CT 06473
Tel: 203.234.6368
Email: droberts - architect@outlook.com



Key Plan

Do not scale dimensions from drawings.
Site verify all dimensions prior to construction.
Report all discrepancies to Architect immediately.
This drawing is to be read in conjunction with all relevant documents and drawings.

REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

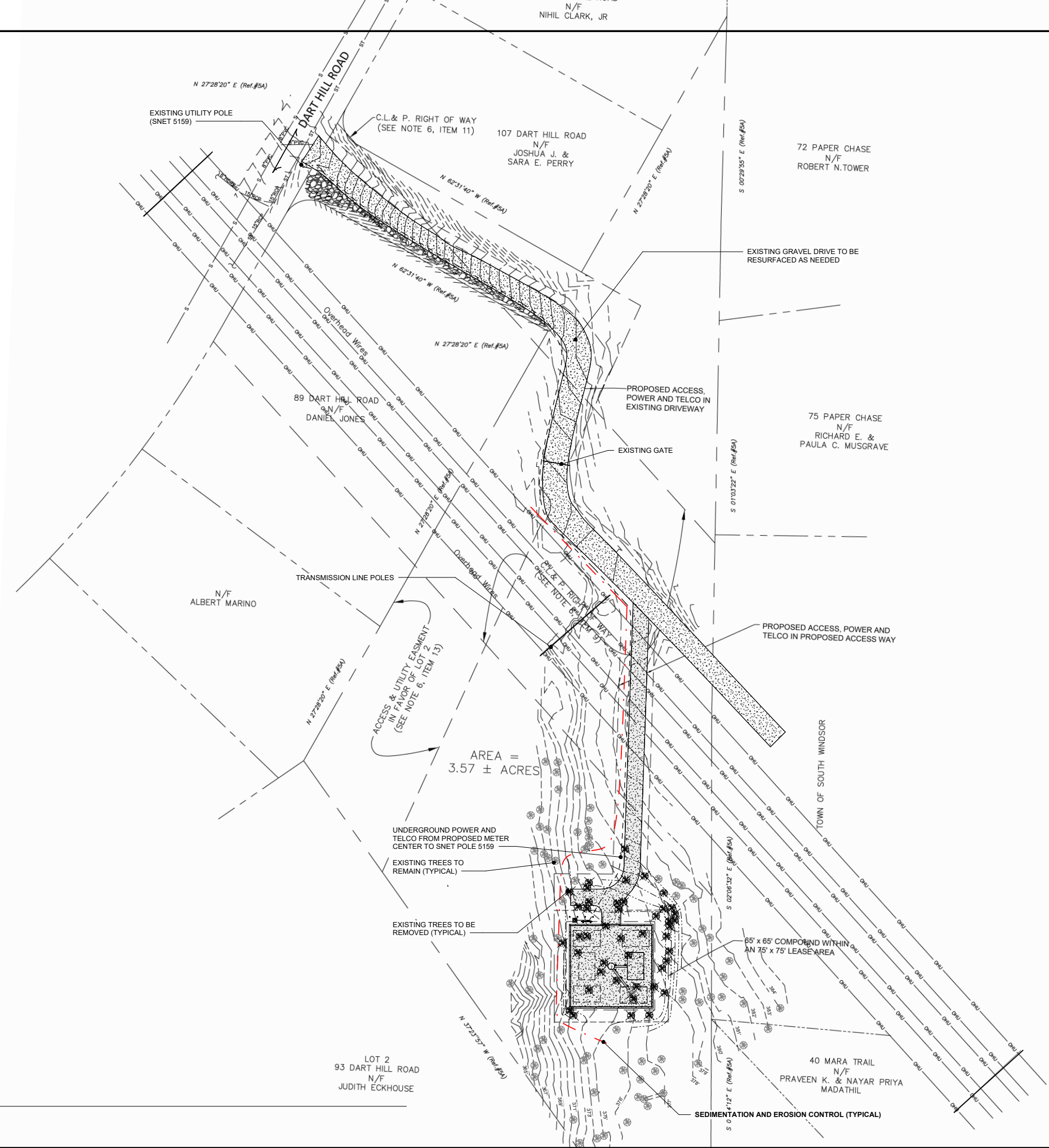
Drawing By: Zachary J. Roberts
Drawing Date: JULY 10, 2023
Reviewed By: Niddrie Rowe
Project No: 2022.17
Scale: 12" = 1'-0"

Sheet Title:
ABUTTERS PLAN

Original drawing is ANSI - D.
Do not scale contents of this drawing.
Sheet Number: Revision:

C - 101 3

11/26/2023 3:20:24 PM E:\PROJECTS\TARPON TOWERS\CT1207 SOUTH WINDSOR - DOCUMENTS\3 - CONNECTICUT SITING COUNCIL\2 - DOCKET CSO\CT1207 SOUTH WINDSOR CSC REV.3 11082023.rvt



① SITE PLAN
1" = 40'-0"

CONNECTICUT SITING COUNCIL DOCKET



Site Number:
CT1207
Site Name:
SOUTH WINDSOR

99 DART HILL ROAD
SOUTH WINDSOR, CT 06074

Prepared For:
TARPON TOWERS III
8916 77TH TERRACE EAST
SUITE 103
LAKEWOOD RANCH, FL 34202

Project No: 2022.17
DOUGLAS J. ROBERTS - ARCHITECT
110 Washington Avenue
Fourth Floor
North Haven, CT 06473
Tel: 203.234.6368
Email: droberts - architect@outlook.com



Key Plan

Do not scale dimensions from drawings.
Site verify all dimensions prior to construction.
Report all discrepancies to Architect immediately.
This drawing is to be read in conjunction with all relevant documents and drawings.

REVISION SCHEDULE		
REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

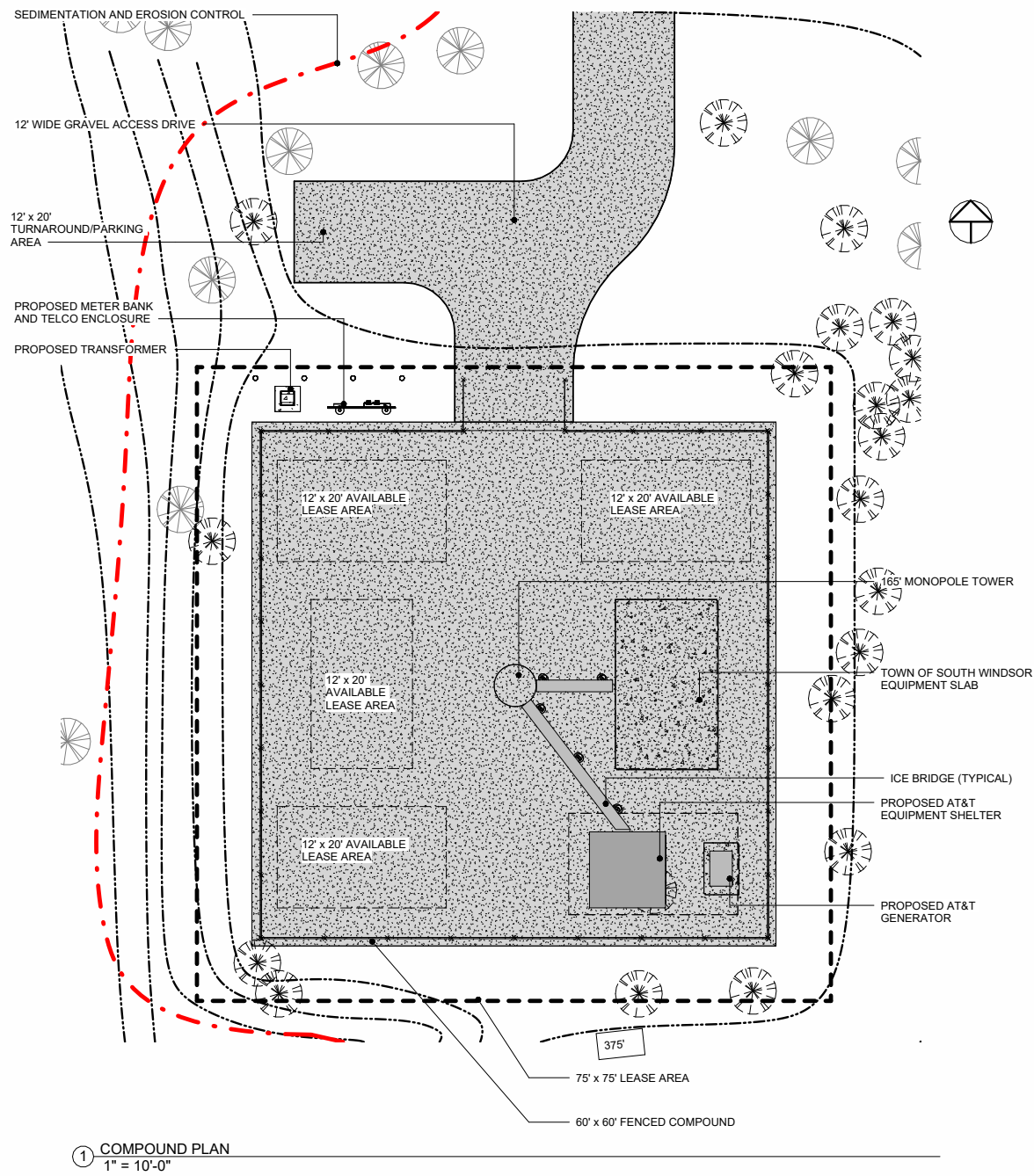
Drawing By: Zachary J. Roberts
Drawing Date: JULY 10, 2023
Reviewed By: Niddrie Rowe
Project No: 2022.17
Scale: 1" = 40'-0"

Sheet Title:
SITE PLAN

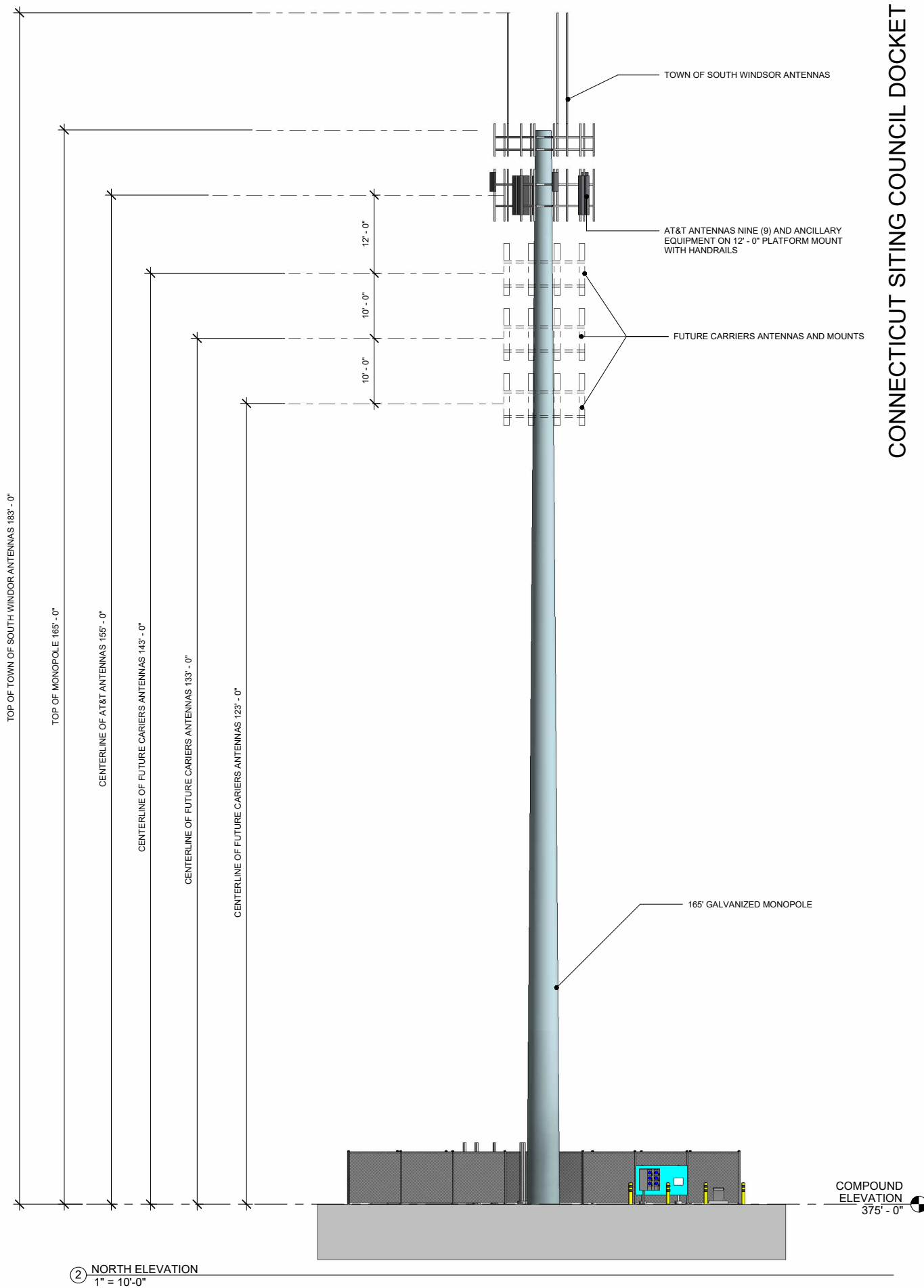
Original drawing is ANSI - D.
Do not scale contents of this drawing.

Sheet Number: Revision:

C - 102 3



1 COMPOUND PLAN
1" = 10'-0"



2 NORTH ELEVATION
1" = 10'-0"

CONNECTICUT SITING COUNCIL DOCKET



Site Number:
CT1207
Site Name:
SOUTH WINDSOR

99 DART HILL ROAD
SOUTH WINDSOR, CT 06074

Prepared For:
TARPON TOWERS III
8916 77TH TERRACE EAST
SUITE 103
LAKEWOOD RANCH, FL 34202

Project No: 2022.17
DOUGLAS J. ROBERTS - ARCHITECT
110 Washington Avenue
Fourth Floor
North Haven, CT 06473
Tel: 203.234.6368
Email: droberts - architect@outlook.com



Key Plan

Do not scale dimensions from drawings.
Site verify all dimensions prior to construction.
Report all discrepancies to Architect immediately.
This drawing is to be read in conjunction with all relevant documents and drawings.

REVISION SCHEDULE

REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

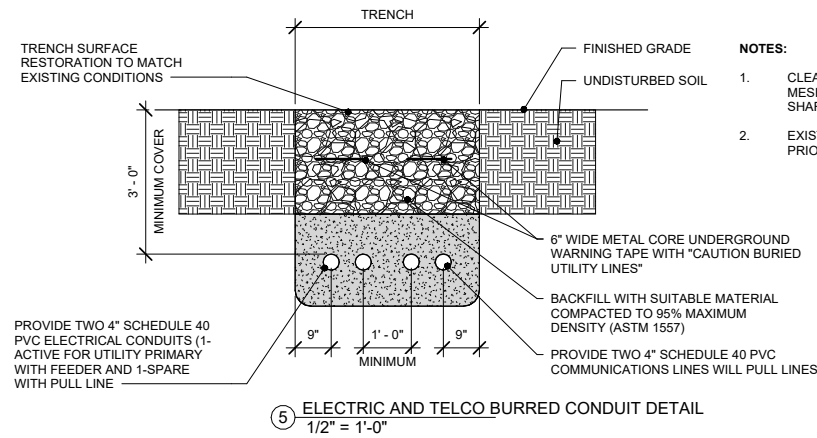
Drawing By: Zachary J. Roberts
Drawing Date: JULY 10, 2023
Reviewed By: Niddrie Rowe
Project No: 2022.17
Scale: 1" = 10'-0"

Sheet Title:
COMPOUND PLAN AND ELEVATION

Original drawing is ANSI - D.
Do not scale contents of this drawing.

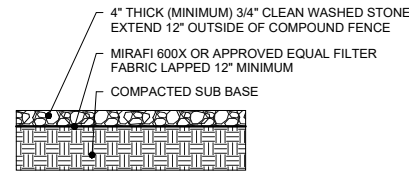
Sheet Number: Revision:

C - 103 3

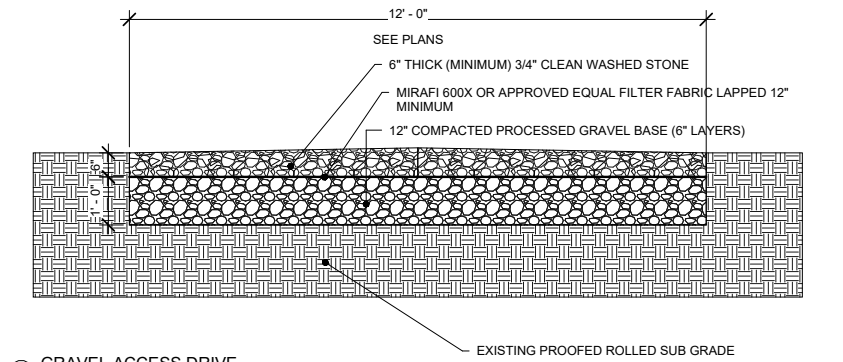


5 ELECTRIC AND TELCO BURIED CONDUIT DETAIL
1/2" = 1'-0"

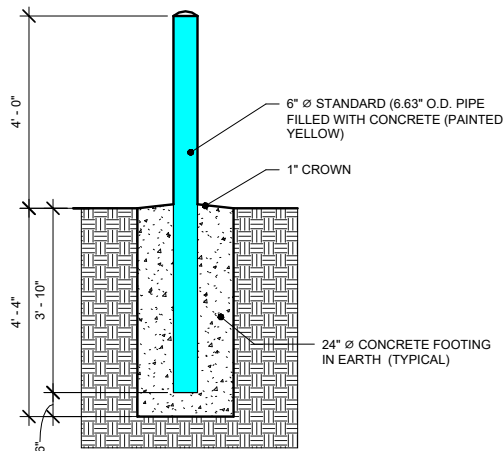
- NOTES:**
- CLEAN FILL SHALL PASS THROUGH A 3/8" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES
 - EXISTING PAVEMENT SHALL BE SAW-CUT PRIOR TO TRENCH EXCAVATION



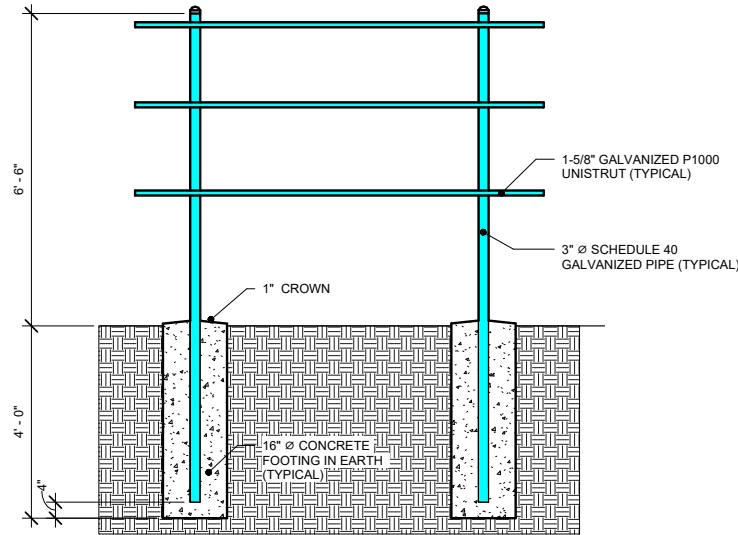
6 COMPOUND SURFACE DETAIL
1/2" = 1'-0"



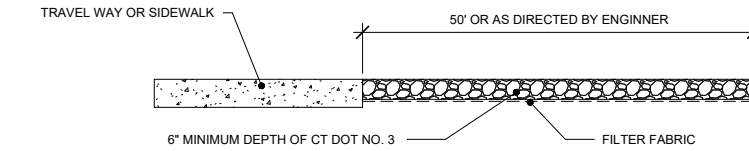
7 GRAVEL ACCESS DRIVE
1/2" = 1'-0"



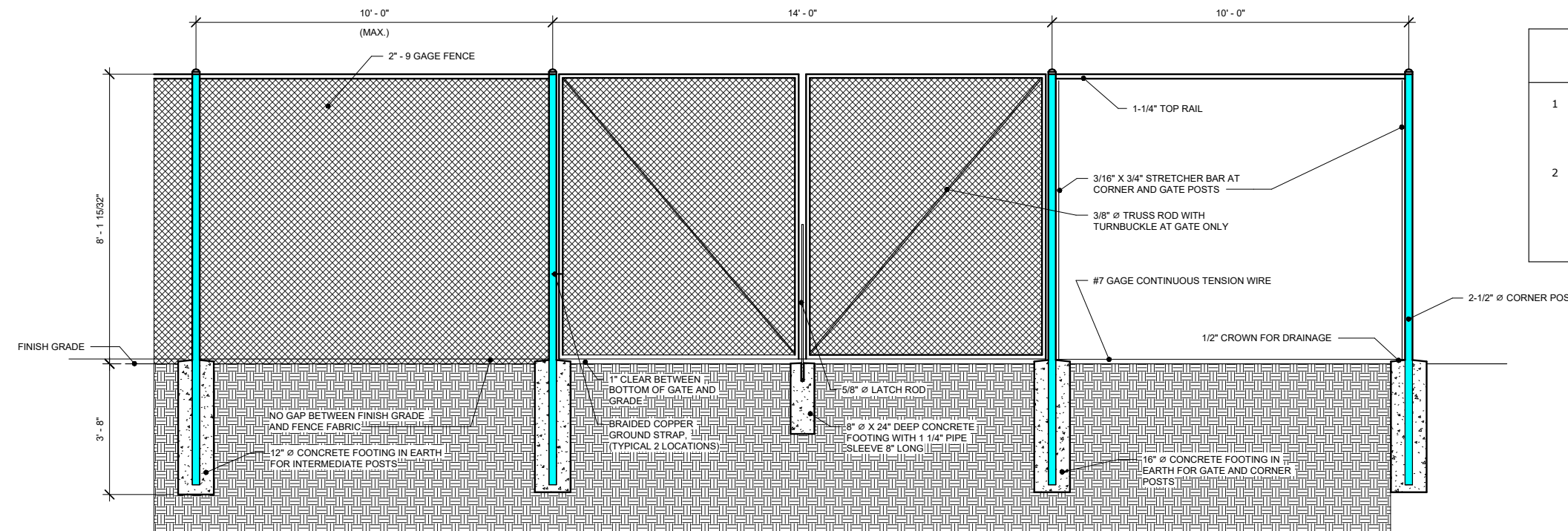
2 CONCRETE FILLED BOLLARD
1/2" = 1'-0"



3 TYPICAL H - FRAME DETAIL
1/2" = 1'-0"



4 CONSTRUCTION ENTRANCE ANTI TRACKING PAD DETAIL
1/2" = 1'-0"



1 CHAINLINK FENCE DETAIL
1/2" = 1'-0"

FENCE NOTES

- POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF LEDGE IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
- ATTACH EACH GATE WITH 1-1/2 PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.

Key Plan

Do not scale dimensions from drawings.
Site verify all dimensions prior to construction.
Report all discrepancies to Architect immediately.
This drawing is to be read in conjunction with all relevant documents and drawings.

REVISION SCHEDULE

REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

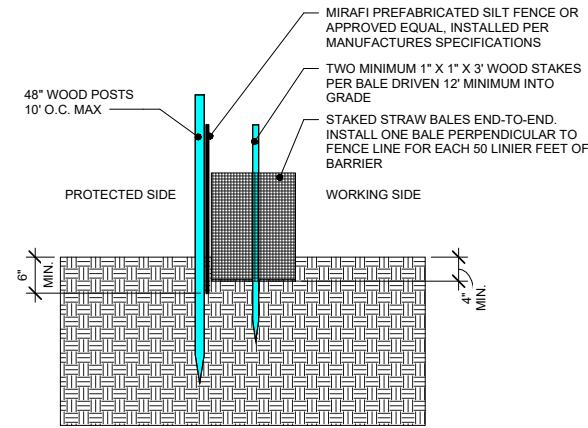
Drawing By: Zachary J. Roberts
Drawing Date: JULY 10, 2023
Reviewed By: Niddrie Rowe
Project No: 2022.17
Scale: As indicated

Sheet Title:
SITE DETAILS

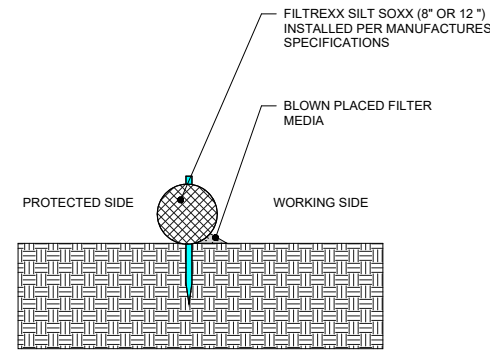
Original drawing is ANSI - D.
Do not scale contents of this drawing.

Sheet Number: Revision:

11/26/2023 3:20:26 PM E:\PROJECTS\TARPON TOWERS\CT1207 SOUTH WINDSOR - DOCUMENTS\3 - CONNECTICUT SITING COUNCIL\2 - DOCKET CSOICT1207 SOUTH WINDSOR CSC REV.3 11082023.rvt



① EROSION CONTROL BARRIER HAY BALE
3/4" = 1'-0"



② EROSION CONTROL BARRIER SILT SOXX
3/4" = 1'-0"

SILT SOXX NOTES

- 1 USE SILT SOXX WHERE CONDITIONS DO NOT ALLOW STAKES TO BE DRIVEN.
- 2 STRAW BALES TO BE TIED WITH BIODEGRADABLE TWINE
- 3 SILT SOXX FILL TO MEET FILTER SPECIFICATIONS AND APPLICATION REQUIREMENTS
- 4 SILT SOXX COMPOSE MATERIAL TO BE DISPERSED ON SITE OR AS DETERMINED BY THE ARCHITECT

EROSION CONTROL MEASURE NOTES

- 1 DISTURBED AREAS SHALL BE KEPT TO THE MINIMUM AREA NECESSARY TO CONSTRUCT THE ROADWAYS AND ASSOCIATED DRAINAGE FACILITIES.
- 2 HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3 BALED HAY AND MULCH SHALL BE MOWING'S OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4 FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5 STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6 ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREAS.
- 7 APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED.
- 8 AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 9 PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 10 ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
- 11 ALL STORM DRAINAGE OUTLETS WILL BE STABILIZE AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12 ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 13 NO DISCHARGE SHALL BE DIRECTED TOWARDS ANY PROPOSED DITCHES, SWALES, OR PONDS UNTIL THEY HAVE BEEN PROPERLY STABILIZED.

CONNECTICUT SITING COUNCIL DOCKET



Site Number:
CT1207
Site Name:
SOUTH WINDSOR

99 DART HILL ROAD
SOUTH WINDSOR, CT 06074

Prepared For:
TARPON TOWERS III
8916 77TH TERRACE EAST
SUITE 103
LAKEWOOD RANCH, FL 34202

Project No: 2022.17

DOUGLAS J. ROBERTS - ARCHITECT
110 Washington Avenue
Fourth Floor
North Haven, CT 06473

Tel: 203.234.6368
Email: droberts - architect@outlook.com



Key Plan

Do not scale dimensions from drawings.
Site verify all dimensions prior to construction.
Report all discrepancies to Architect immediately.
This drawing is to be read in conjunction with all relevant documents and drawings.

REVISION SCHEDULE

REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

Drawing By: Zachary J. Roberts
Drawing Date: JULY 10, 2023
Reviewed By: Niddrie Rowe
Project No: 2022.17
Scale: As indicated

Sheet Title:
**SEDIMENTATION
AND EROSION
CONTROL DETAILS**

Original drawing is ANSI - D.
Do not scale contents of this drawing.

Sheet Number: Revision:

C - 105 3