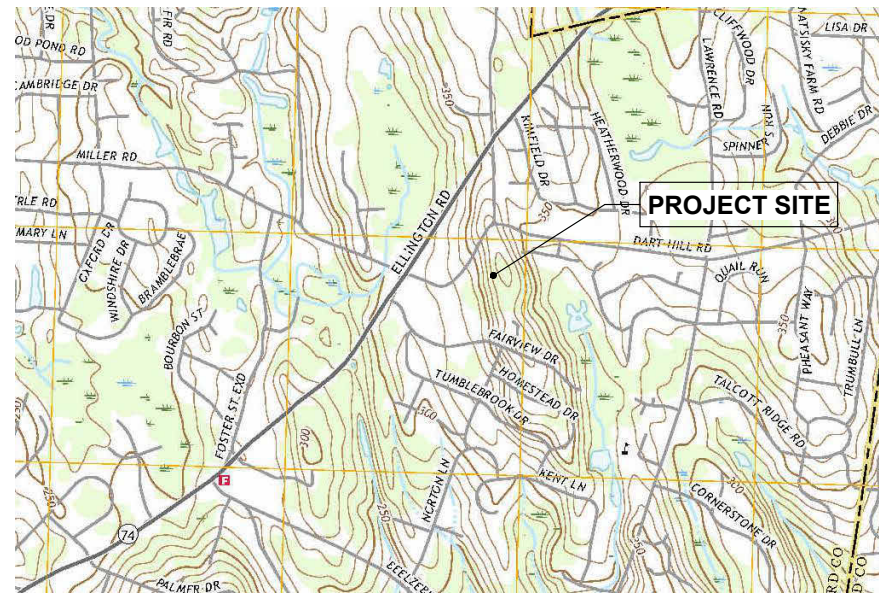


**USGS TOPOGRAPHIC MAP**



**WIRELESS COMMUNICATIONS FACILITY**

**CT1207 SOUTH WINDSOR  
99 DART HILL ROAD  
SOUTH WINDSOR, CT 06074**

CONNECTICUT SITING COUNCIL DOCKET



Site Number:  
**CT1207**  
Site Name:  
**SOUTH WINDSOR**

99 DART HILL ROAD  
SOUTH WINDSOR, CT 06074

Prepared For:  
**TARPON TOWERS III**  
8916 77TH TERRACE EAST  
SUITE 103  
LAKEWOOD RANCH, FL 34202

Project No: 2022.17  
**DOUGLAS J. ROBERTS - ARCHITECT**  
110 Washington Avenue  
Fourth Floor  
North Haven, CT 06473  
Tel: 203.234.6368  
Email: droberts - architect@outlook.com



**VICINITY MAP**



**PROJECT SUMMARY**

PROJECT NAME: CT1207 SOUTH WINDSOR  
SITE ADDRESS: 99 DART HILL ROAD  
SOUTH WINDSOR, CT 06074  
PARCEL ID: 104-21-1  
TARPON TOWERS CONTACT: KEITH COPPINS  
110 WASHINGTON AVENUE  
FOURTH FLOOR  
NORTH HAVEN, CT 06473  
203.623.3287  
LEGAL/REGULATORY COUNSEL: COHEN AND WOLF, P.C.  
1115 BROAD STREET  
BRIDGEPORT, CT 06604  
203.337.4134  
LAND LORD CONTACT: JUDITH ECKHOUSE.  
ARCHITECT: DOUGLAS J. ROBERTS - ARCHITECT  
110 WASHINGTON AVENUE  
FOURTH FLOOR  
NORTH HAVEN, CT 06473  
SURVEYOR: KCI INDUSTRIES, INC  
712 BROOK STREET  
SUITE 103  
ROCKY HILL, CT 06067  
LATITUDE: N 41° - 50' - 49.55"  
LONGITUDE: W 72° - 31' - 12.67"  
GRADE (PROPOSED): 375' - 0" +/- AMSL

**CODE REFERENCES**

- 2022 Connecticut State Building Code
- 2021 International Building Code
- 2021 International Existing Building Code
- 2021 International Plumbing Code
- 2021 International Mechanical Code
- 2021 International Residential Code
- 2021 International Energy Conservation Code
- 2020 National Electrical Code (NFPA 70)
- 2017 ICC A117.1 Accessible and Usable Buildings & Facilities

SHEET INDEX			
SHEET NUMBER	SHEET NAME	CURRENT REVISION	CURRENT REVISION DATE
T - 001	TITLE SHEET	3	Nov. 24, 2023
SURVEY	SURVEY SHEET		
C - 101	ABUTTERS PLAN	3	Nov. 24, 2023
C - 102	SITE PLAN	3	Nov. 24, 2023
C - 103	COMPOUND PLAN AND ELEVATION	3	Nov. 24, 2023
C - 104	SITE DETAILS	3	Nov. 24, 2023
C - 105	SEDIMENTATION AND EROSION CONTROL DETAILS	3	Nov. 24, 2023

**SCOPE OF WORK**

- TARPON TOWERS IS PROPOSING TO INSTALL THE FOLLOWING IMPROVEMENTS ON PROPOSED TELECOMMUNICATION SITE:
- 60' x 60' FENCED COMPOUND WITHIN A 75' X 75' LEASE AREA AND THE REMOVAL OF 46 TREES
  - A 12 FOOT WIDE ACCESS ROAD FROM DART HILL ROAD TO THE COMPOUND, APPROXIMATELY 250' WILL BE OVER AN EXISTING EVERSOURCE ACCESS ROAD
  - 165' MONOPOLE FOR FOUR CARRIER PLATFORMS WITH ANTENNAS AND ANCILLARY EQUIPMENT AND TOWN ANTENNAS.
  - POWER AND TELCO SERVICES WILL BE ROUTED UNDERGROUND FROM EXISTING OVERHEAD UTILITIES ON DART HILL ROAD (SNET POLE 5159) TO PROPOSED ELECTRICAL METER AND UTILITY BOX ON PROPOSED H-FRAME.
- AT&T IS PROPOSING TO INSTALL THE FOLLOWING IMPROVEMENT ON THE PROPOSED TELECOMMUNICATION SITE:
- A WALK IN EQUIPMENT SHELTER ON A CONCRETE SLAB
  - BACK UP DIESEL GENERATOR ON A CONCRETE SLAB
  - ANTENNAS AND ANCILLARY EQUIPMENT ON A 12' - 0" PLATFORM
- TOWN OF SOUTH WINDSOR
- TOWN ANTENNAS ON A 12' - 0" PLATFORM
  - TOWN EQUIPMENT ON A CONCRETE SLAB



Key Plan

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REVISION SCHEDULE		
REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

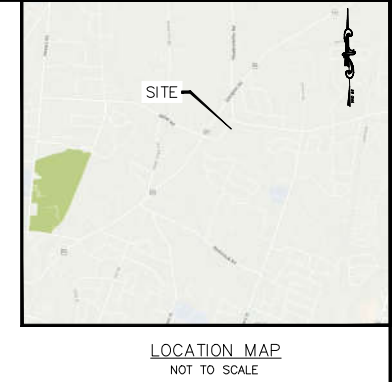
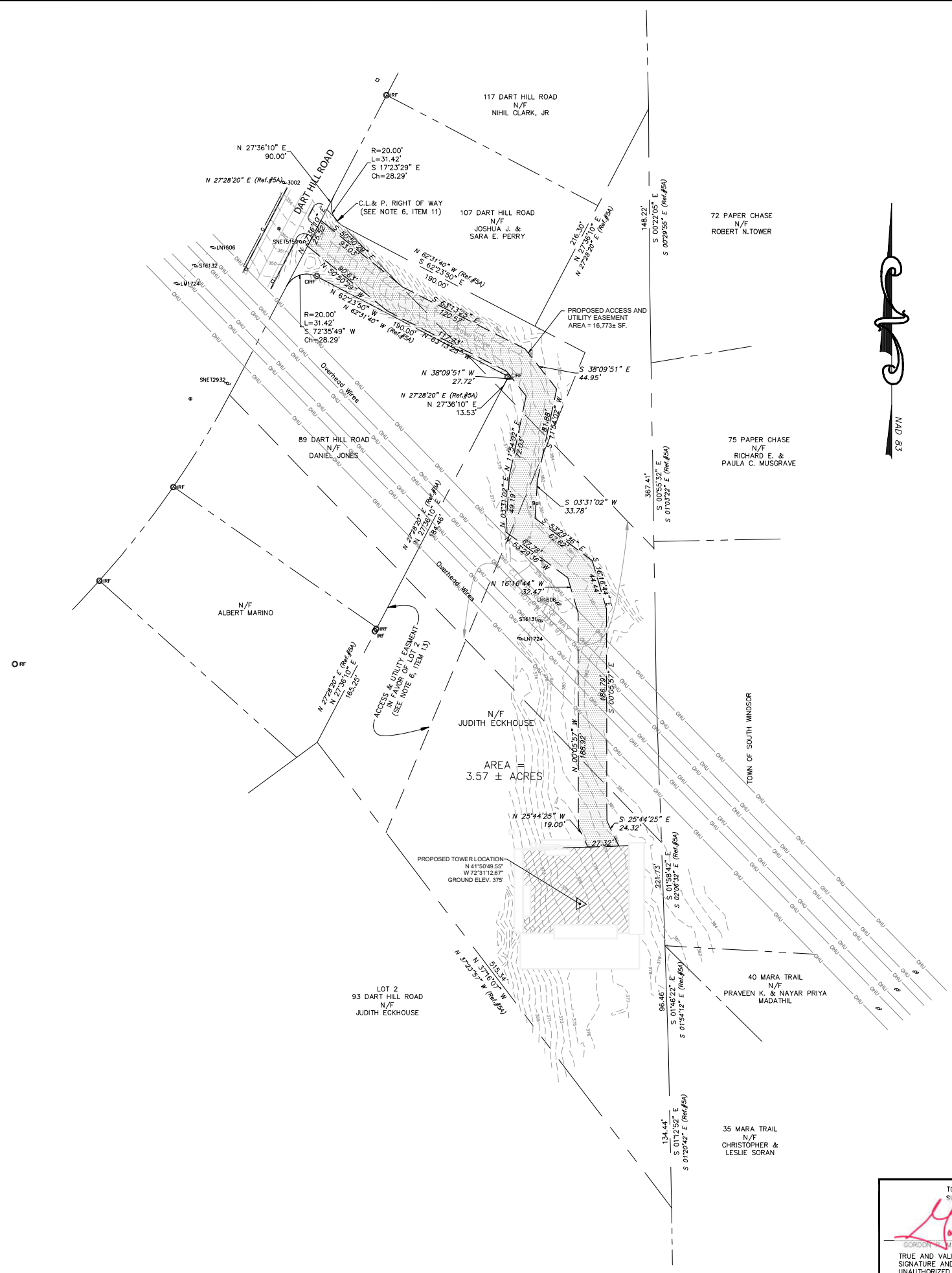
Drawing By: Zachary J. Roberts  
Drawing Date: JULY 10, 2023  
Reviewed By: Niddrie Rowe  
Project No: 2022.17  
Scale:

Sheet Title:  
**TITLE SHEET**

Original drawing is ANSI - D.  
Do not scale contents of this drawing.

Sheet Number: T - 001 Revision: 3

LEGEND	
	EDGE OF WOODS
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUB/BUSH
	SIGN
	UTILITY POLE
	LIGHT POLE
	HYDRANT
	WATER SHUTOFF
	GAS VALVE
	WATER VALVE
	MONUMENT
	CAPPED IRON PIPE FOUND
	IRON PIPE FOUND
	IRON ROD FOUND
	IRON ROD SET
	HANDICAP SPACE
	HAND HOLE
	ELEC. METER
	GAS METER
	GRANITE
	CONCRETE
	BITUMINOUS
	PROPERTY LINE
	EASEMENT
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	CHAIN LINK FENCE
	WOOD FENCE
	FENCE
	STONEWALL
	ST - STORM SEWER LINE
	S - SANITARY SEWER LINE
	W - WATER LINE
	G - GAS LINE
	SG - SIGNAL WIRE LINE
	C - CABLE LINE
	FO - FIBER OPTIC LINE
	LPS - LOW PRESSURE SEWER LINE
	E - ELECTRIC LINE
	OHU - OVER-HEAD UTILITIES
	T - TELEPHONE LINE
	SMH - SANITARY MANHOLE (SMH)
	DMH - DRAINAGE MANHOLE (DMH)
	CB - CATCHBASIN (CB)
	BOL - METAL POST/BOLLARD (BOL)
	MHE - ELECTRIC MANHOLE (MHE)
	UM - UNKNOWN MANHOLE
	MHT - TELEPHONE MANHOLE (MHT)
	VP - VENT PIPE
	CNO - COULD NOT OPEN
	FD - FLOW DIRECTION
	MAG NAIL - MAGNETIC CONCRETE NAIL
	WLF #7081 - WETLAND FLAG (DELIMITED BY OTHERS)
	WET - WETLAND LINE (DELIMITED BY OTHERS)
	EW - EDGE OF WATER (BY AERIAL IMAGE)
	P - ELECTRIC PEDESTAL
	OW - OUT WIRE
	FF=317.78' - FINISHED FLOOR ELEVATION
	x 318.5' - SPOT ELEVATION
	MB - MAILBOX
	CO - CLEANOUT
	MW - MONITORING WELL
	W/F - WOOD FRAMED
	N/F - NOW OR FORMERLY

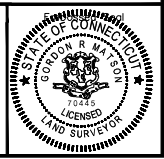


- NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THRU 20-300b-20 AS AMENDED, AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THE TYPE OF SURVEY IS A PROPERTY SURVEY AND A T-2 TOPOGRAPHIC SURVEY. THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY. THE SURVEY CONFORMS TO A-2 HORIZONTAL ACCURACY, T-2 TOPOGRAPHIC ACCURACY AND V-3 VERTICAL ACCURACY.
  - SURVEY PERFORMED BY KCI TECHNOLOGIES, INC. IN AUGUST 2022.
  - BEARINGS REFER TO THE CONNECTICUT COORDINATE SYSTEM (NAD 83) AS DERIVED USING GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) SURVEY METHODS IN AUGUST 2022.
  - ELEVATIONS REFER TO THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD 88) AS DERIVED USING GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) SURVEY METHODS IN AUGUST 2022.
  - REFERENCE IS MADE TO THE FOLLOWING MAP:
    - SUBDIVISION PLAN HIDDEN WOODS SUBDIVISION PREPARED FOR LAWRENCE A. FIANO, SOUTH WINDSOR, CONN. BY AESCHLIMAN LAND SURVEYING, PC DATED 8-7-97 AND LAST REVISED 7-7-09.
    - REFERENCE IS MADE TO A TITLE COMMITMENT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED January 2, 2016, FILE No. 22171056.
  - SCHEDULE B - PART II SURVEY RELATED ITEMS
    - Plat recorded in Plat Map No. 3669.
    - Easement in favor of The Connecticut Light and Power Company, set forth in instrument recorded on 12/20/1956 in Deed Book 54, Page 11.
    - Zoning Regulations to allow the Construction of a One Family Home recorded on 09/21/1994 in Deed Book 812, Page 223.
    - Permanent Easement recorded on 03/02/1998 in Deed Book 991, Page 10.
    - Declaration of Easement for Driveway and Utilities recorded on 06/10/2004 in Deed Book 1618, Page 39.
    - Terms, provisions, covenants, conditions, restrictions, reservations, easements, charges, assessments and liens provided in a Deed of Covenants, Conditions and Restrictions recorded in Deed Book 1618, Page 39, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.
  - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO KCI TECHNOLOGIES. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

*Gordon R. Watson* 9/29/22  
 GORDON WATSON, PLS LICENSE NO. 70445

TRUE AND VALID COPIES OF THIS MAP OR PLAN MUST BEAR THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR. UNAUTHORIZED REPRODUCTION OR ALTERATION IS FORBIDDEN.



NO.	DATE	REVISION

OWNER/DEVELOPER

**KCI TECHNOLOGIES, INC.**  
 BUSINESS - PLANNERS SURVEYORS  
 712 BROOK ST. - SUITE 103 - ROCKY HILL, CT 06067  
 PHONE: (110) 318-7885 Website: www.kci.com

SCALE - PLAN: 1"=50'

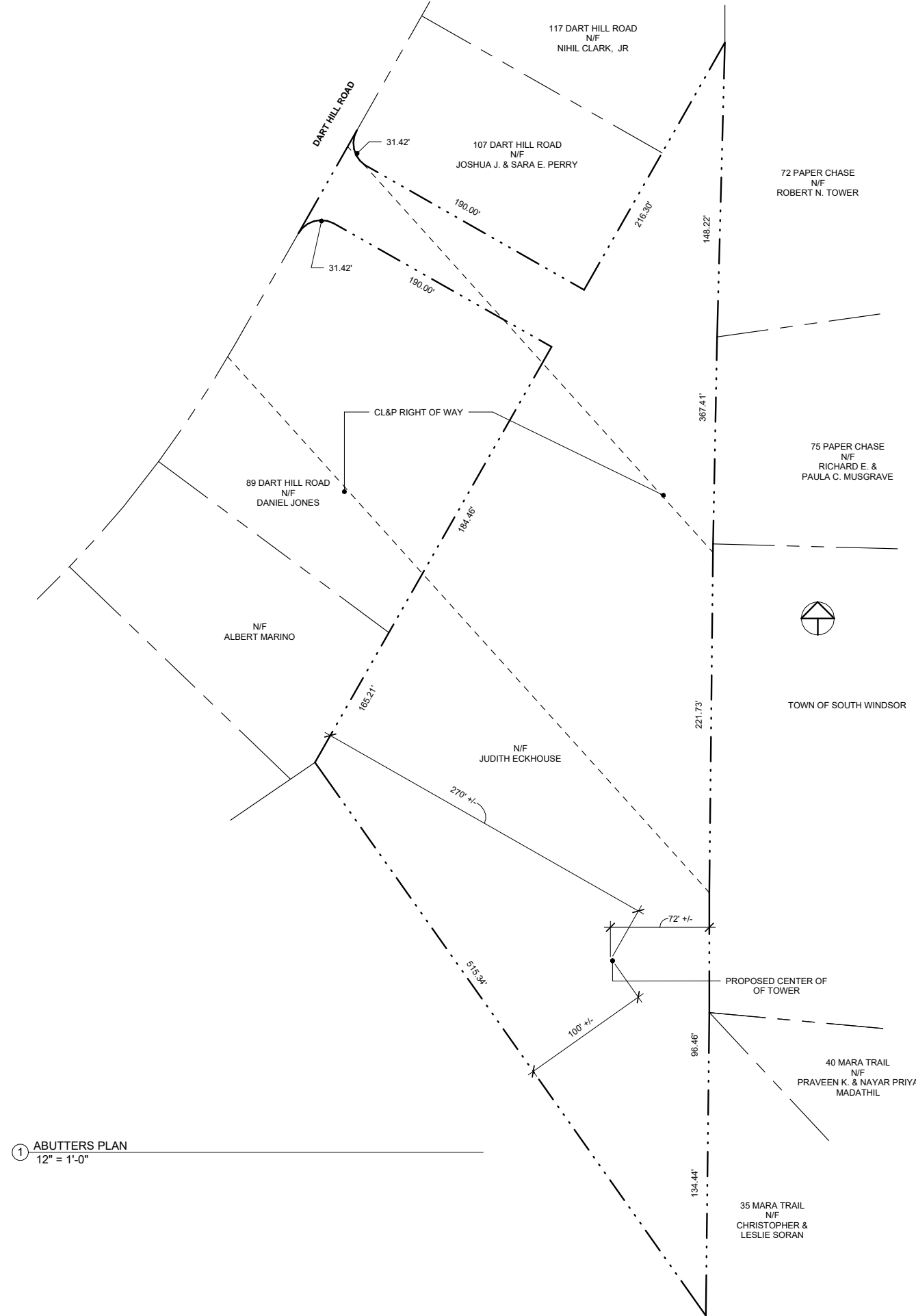
50 0 50 100

PROPERTY AND TOPOGRAPHIC SURVEY  
 PROPOSED TOWER SITE CT1207  
 99 DART HILL ROAD  
 HARTFORD COUNTY  
 TOWN OF SOUTH WINDSOR

CONNECTICUT

SCALE: 1"=50'  
 DATE: SEPTEMBER 2022  
 KCI JOB #: 292200877.06  
 SHEET: 1

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① ABUTTERS PLAN  
12" = 1'-0"

CONNECTICUT SITING COUNCIL DOCKET



Site Number:  
**CT1207**  
Site Name:  
**SOUTH WINDSOR**

99 DART HILL ROAD  
SOUTH WINDSOR, CT 06074

Prepared For:  
**TARPON TOWERS III**  
8916 77TH TERRACE EAST  
SUITE 103  
LAKEWOOD RANCH, FL 34202

Project No: 2022.17  
**DOUGLAS J. ROBERTS - ARCHITECT**  
110 Washington Avenue  
Fourth Floor  
North Haven, CT 06473  
Tel: 203.234.6368  
Email: droberts - architect@outlook.com



Key Plan

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1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

Drawing By: Zachary J. Roberts  
Drawing Date: JULY 10, 2023  
Reviewed By: Niddrie Rowe  
Project No: 2022.17  
Scale: 12" = 1'-0"

Sheet Title:  
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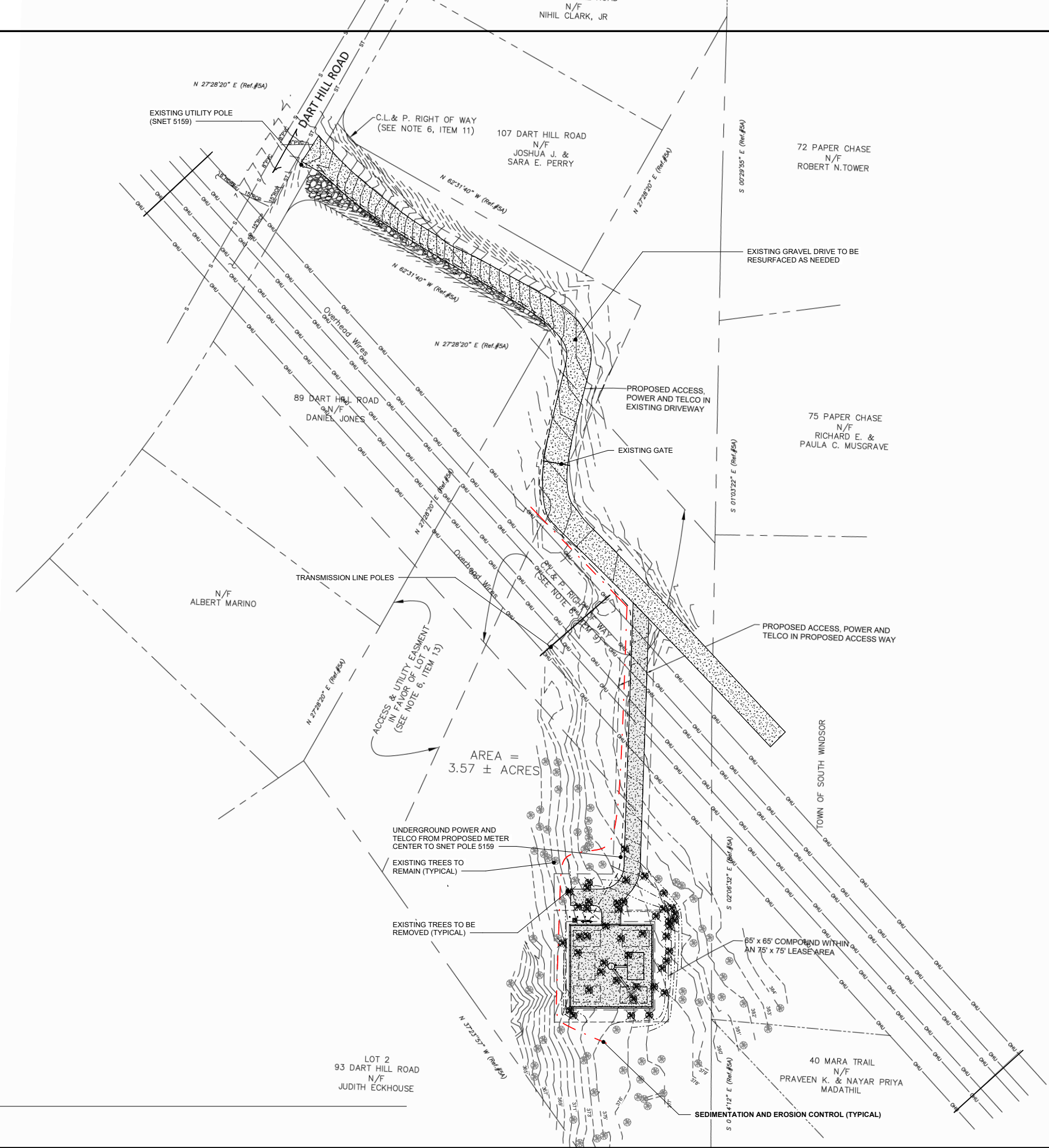
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① SITE PLAN  
1" = 40'-0"

CONNECTICUT SITING COUNCIL DOCKET



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Reviewed By: Niddrie Rowe  
Project No: 2022.17  
Scale: 1" = 40'-0"

Sheet Title:  
**SITE PLAN**

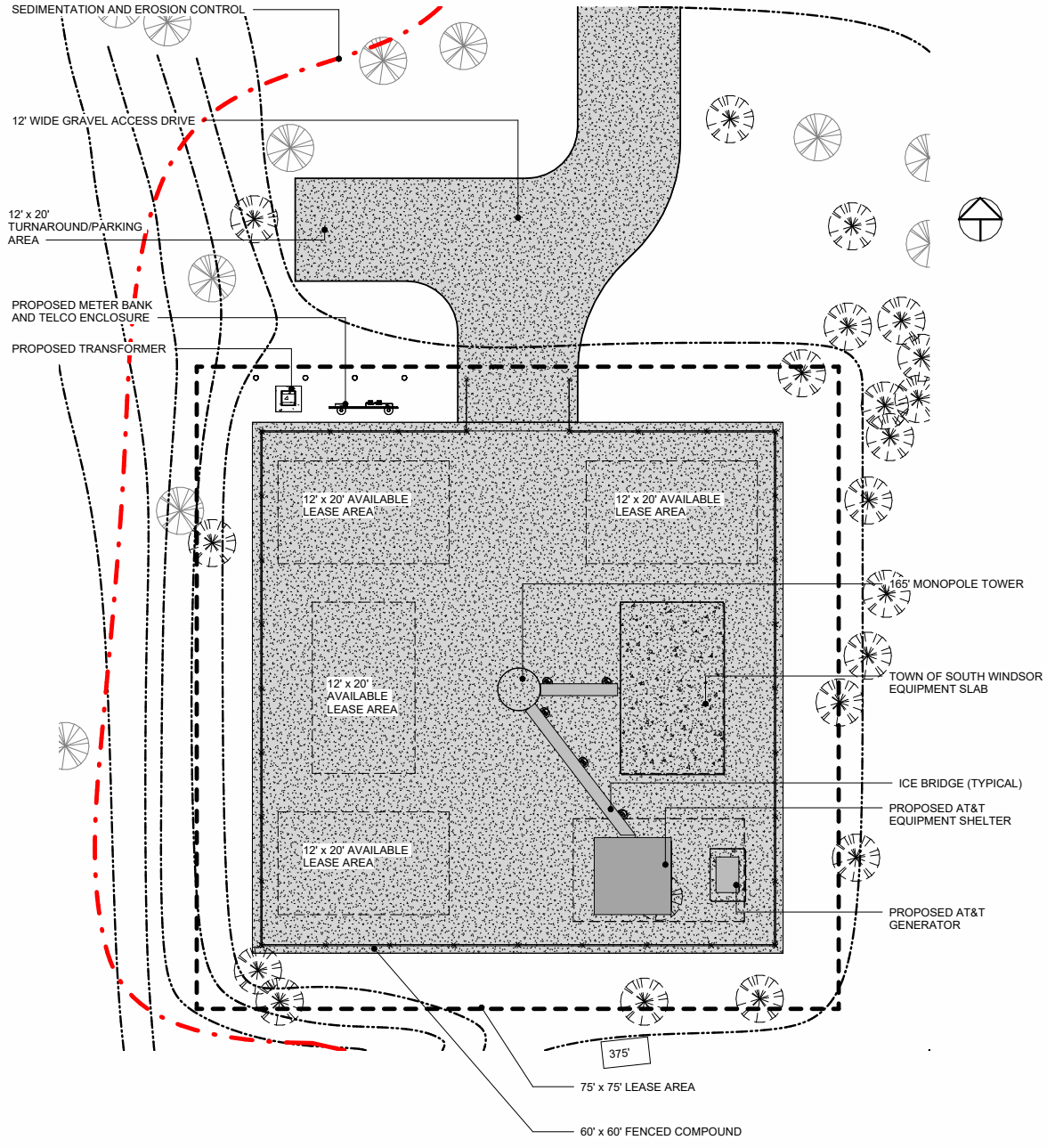
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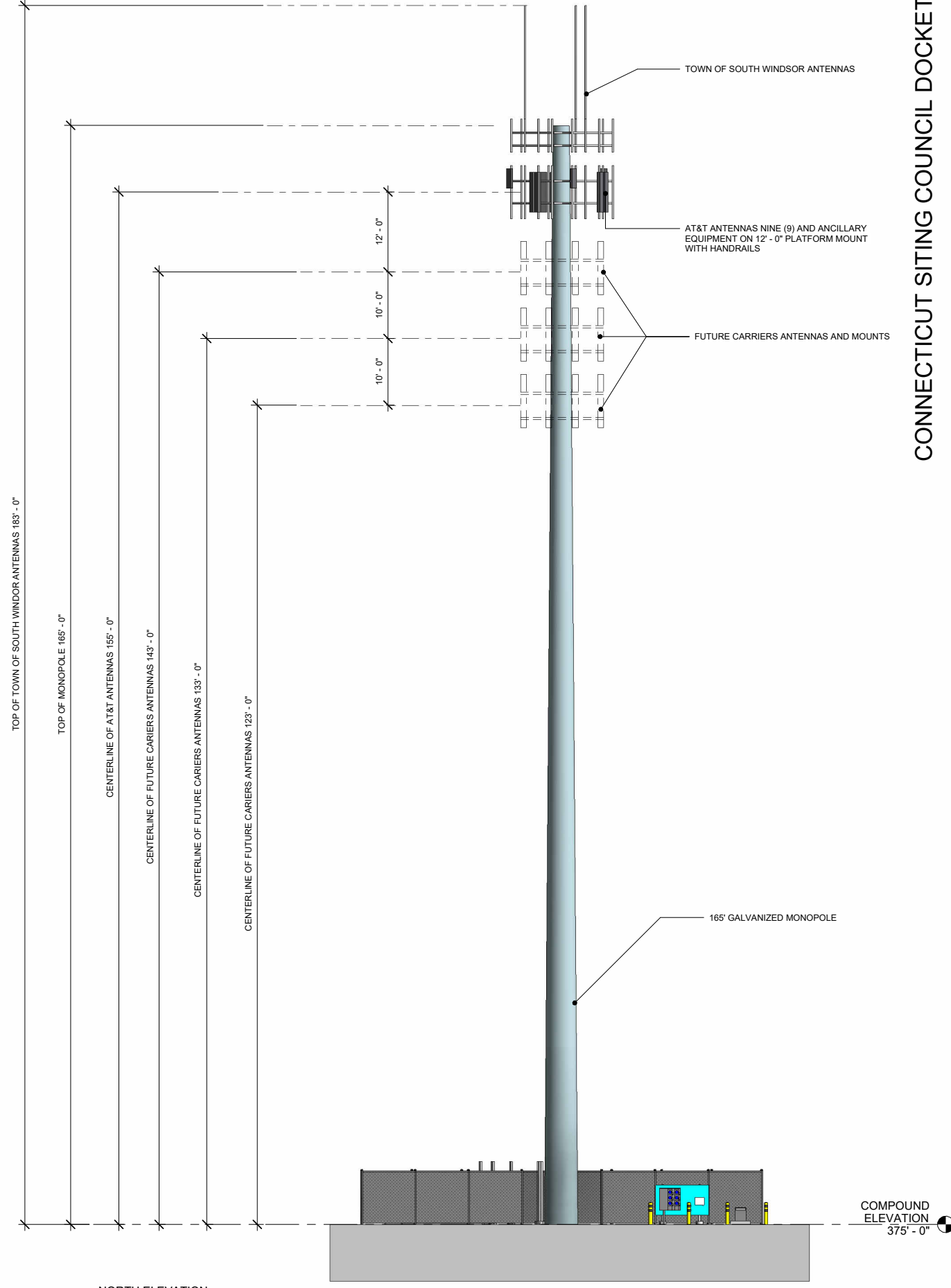
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1 COMPOUND PLAN  
1" = 10'-0"



2 NORTH ELEVATION  
1" = 10'-0"

CONNECTICUT SITING COUNCIL DOCKET



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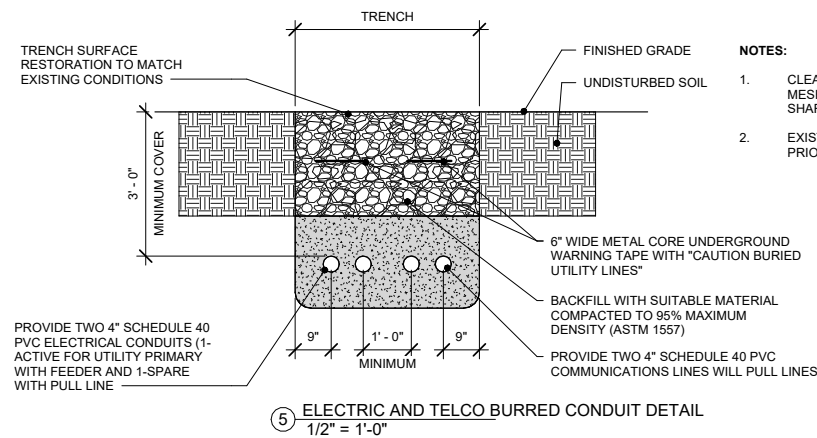
Drawing By: Zachary J. Roberts  
Drawing Date: JULY 10, 2023  
Reviewed By: Niddrie Rowe  
Project No: 2022.17  
Scale: 1" = 10'-0"

Sheet Title:  
**COMPOUND PLAN AND ELEVATION**

Original drawing is ANSI - D.  
Do not scale contents of this drawing.  
Sheet Number: Revision:

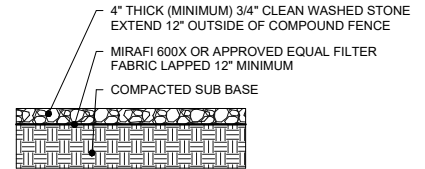
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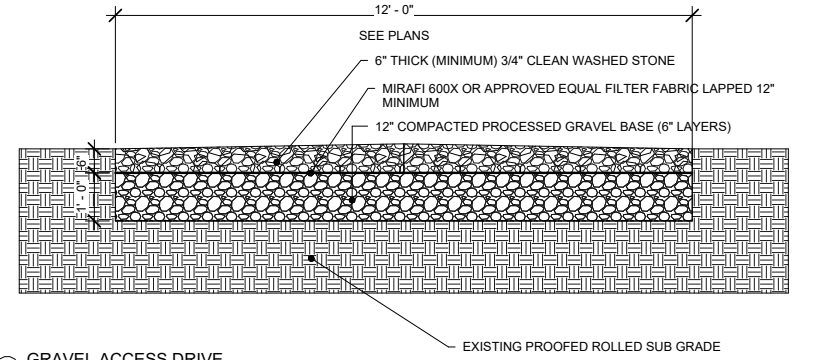


5 ELECTRIC AND TELCO BURIED CONDUIT DETAIL  
1/2" = 1'-0"

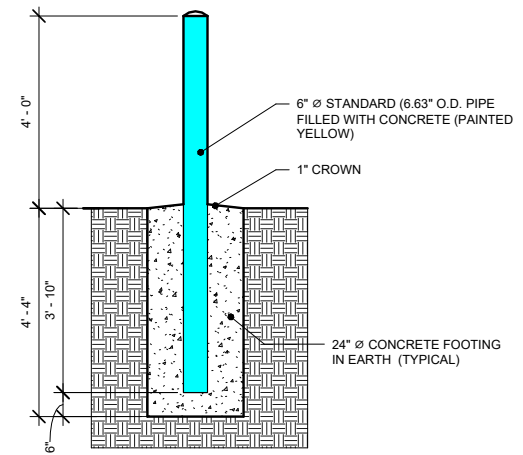
- NOTES:**
- CLEAN FILL SHALL PASS THROUGH A 3/8" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES
  - EXISTING PAVEMENT SHALL BE SAW-CUT PRIOR TO TRENCH EXCAVATION



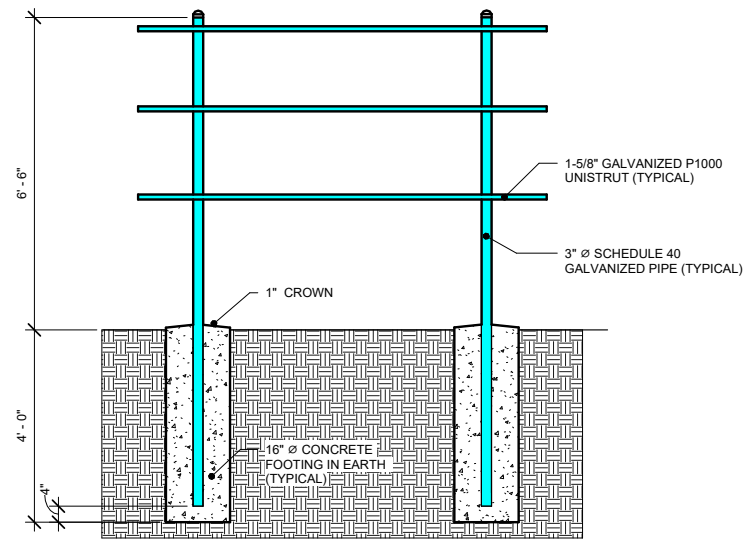
6 COMPOUND SURFACE DETAIL  
1/2" = 1'-0"



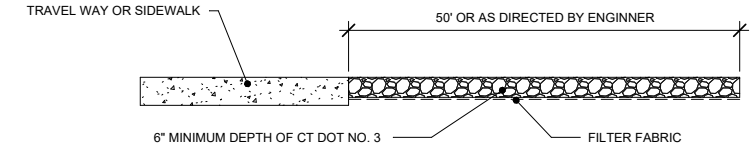
7 GRAVEL ACCESS DRIVE  
1/2" = 1'-0"



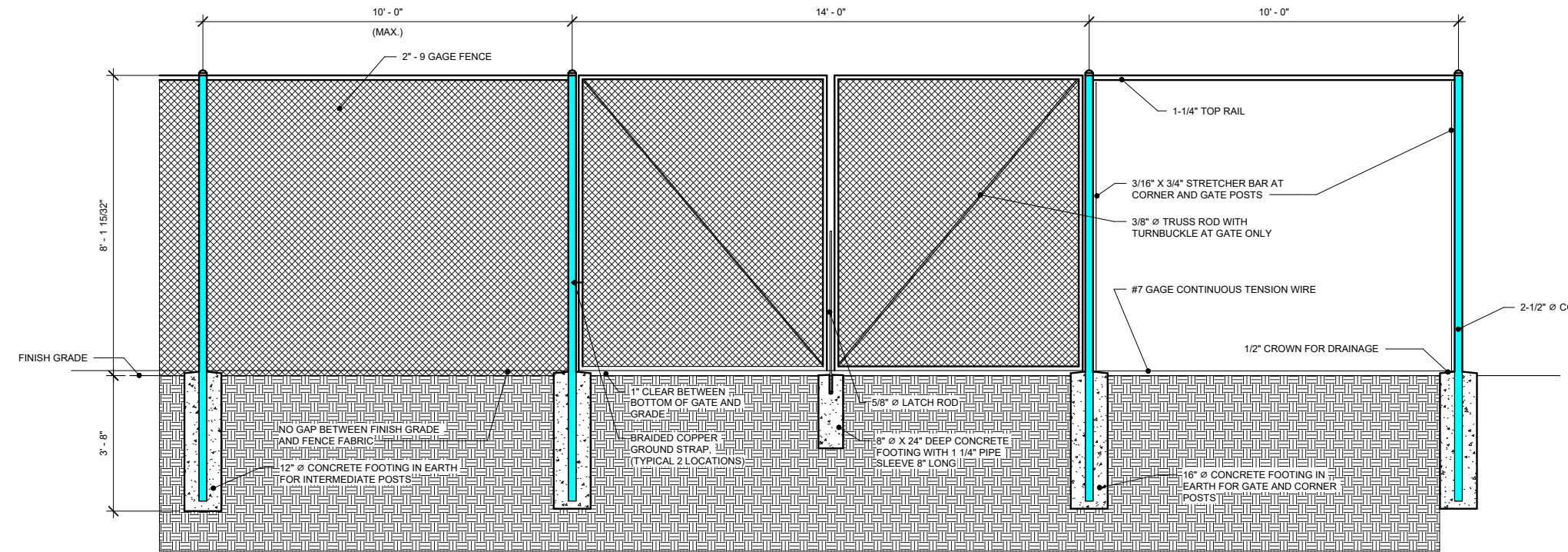
2 CONCRETE FILLED BOLLARD  
1/2" = 1'-0"



3 TYPICAL H - FRAME DETAIL  
1/2" = 1'-0"



4 CONSTRUCTION ENTRANCE ANTI TRACKING PAD DETAIL  
1/2" = 1'-0"



1 CHAINLINK FENCE DETAIL  
1/2" = 1'-0"

**FENCE NOTES**

- POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF LEDGE IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
- ATTACH EACH GATE WITH 1-1/2 PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.

CONNECTICUT SITING COUNCIL DOCKET



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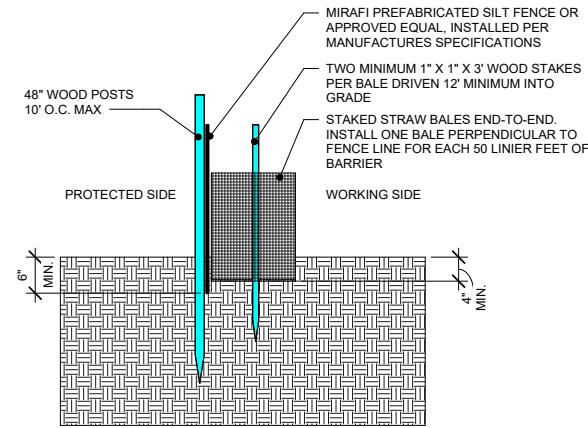
Drawing By: Zachary J. Roberts  
Drawing Date: JULY 10, 2023  
Reviewed By: Niddrie Rowe  
Project No: 2022.17  
Scale: As indicated

Sheet Title:  
**SITE DETAILS**

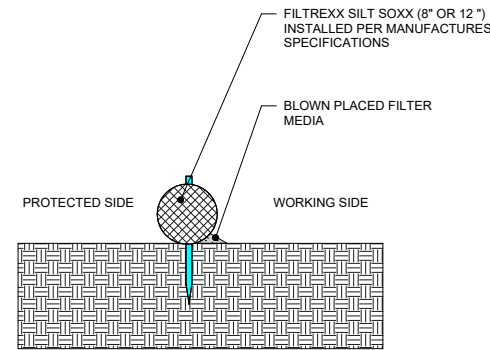
Original drawing is ANSI - D.  
Do not scale contents of this drawing.  
Sheet Number: Revision:

**C - 104 3**

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1 EROSION CONTROL BARRIER HAY BALE  
3/4" = 1'-0"



2 EROSION CONTROL BARRIER SILT SOXX  
3/4" = 1'-0"

### SILT SOXX NOTES

- 1 USE SILT SOXX WHERE CONDITIONS DO NOT ALLOW STAKES TO BE DRIVEN.
- 2 STRAW BALES TO BE TIED WITH BIODEGRADABLE TWINE
- 3 SILT SOXX FILL TO MEET FILTER SPECIFICATIONS AND APPLICATION REQUIREMENTS
- 4 SILT SOXX COMPOSE MATERIAL TO BE DISPERSED ON SITE OR AS DETERMINED BY THE ARCHITECT

### EROSION CONTROL MEASURE NOTES

- 1 DISTURBED AREAS SHALL BE KEPT TO THE MINIMUM AREA NECESSARY TO CONSTRUCT THE ROADWAYS AND ASSOCIATED DRAINAGE FACILITIES.
- 2 HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3 BALED HAY AND MULCH SHALL BE MOWING'S OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4 FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5 STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6 ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREAS.
- 7 APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED.
- 8 AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 9 PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 10 ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
- 11 ALL STORM DRAINAGE OUTLETS WILL BE STABILIZE AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12 ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 13 NO DISCHARGE SHALL BE DIRECTED TOWARDS ANY PROPOSED DITCHES, SWALES, OR PONDS UNTIL THEY HAVE BEEN PROPERLY STABILIZED.

CONNECTICUT SITING COUNCIL DOCKET



Site Number:  
**CT1207**  
Site Name:  
**SOUTH WINDSOR**

99 DART HILL ROAD  
SOUTH WINDSOR, CT 06074

Prepared For:  
**TARPON TOWERS III**  
8916 77TH TERRACE EAST  
SUITE 103  
LAKEWOOD RANCH, FL 34202

Project No: 2022.17

**DOUGLAS J. ROBERTS - ARCHITECT**  
110 Washington Avenue  
Fourth Floor  
North Haven, CT 06473

Tel: 203.234.6368  
Email: droberts - architect@outlook.com



Key Plan

Do not scale dimensions from drawings.  
Site verify all dimensions prior to construction.  
Report all discrepancies to Architect immediately.  
This drawing is to be read in conjunction with all relevant documents and drawings.

#### REVISION SCHEDULE

REVISION	DESCRIPTION	DATE
1	Revision 1	JULY 16, 2023
2	Revision 2	August 5, 2023
3	Revision 3	Nov. 24, 2023

Drawing By: Zachary J. Roberts  
Drawing Date: JULY 10, 2023  
Reviewed By: Niddrie Rowe  
Project No: 2022.17  
Scale: As indicated

Sheet Title:  
**SEDIMENTATION  
AND EROSION  
CONTROL DETAILS**

Original drawing is ANSI - D.  
Do not scale contents of this drawing.

Sheet Number: Revision:

**C - 105 3**