

LITCHFIELD SE

**Mason Hill Road
Litchfield, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
20 Alexander Drive
Wallingford, CT 06492

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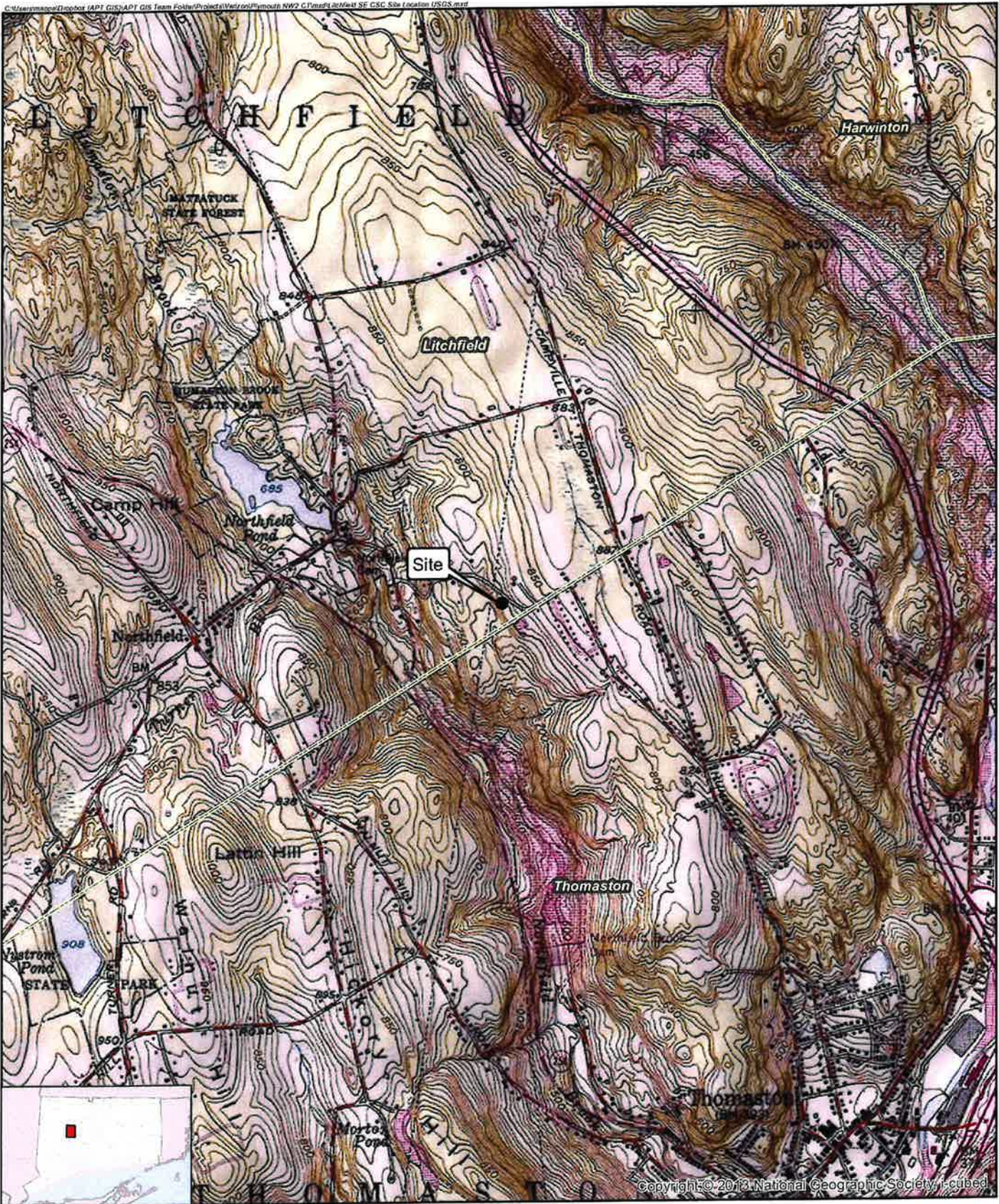
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SITE NAME: LITCHFIELD SE – MASON HILL ROAD, LITCHFIELD, CT

GENERAL CELL SITE DESCRIPTION

The proposed Litchfield SE cell site would be located in the southeast portion of an approximately 8.17-acre parcel owned by Joyce S. Williams. The facility would consist of a 110-foot telecommunications tower and associated equipment located within a 50' x 50' fenced compound and 100' x 100' leased area. Cellco will install radio equipment, a battery cabinet and a propane fueled generator and 500-gallon propane tank within the facility compound, near the base of the tower.

Cellco would attach up to twelve (12) antennas and twelve (12) remote radio heads to an antenna platform at a centerline height of 105 feet above ground level (AGL). The top of Cellco's antennas will not extend above the top of the tower. Vehicular access to the facility would extend from Mason Hill Road along an existing gravel access driveway to the cell site. Utilities would extend from existing service along Mason Hill Road.



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Legend

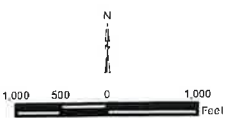
- Site
- Municipal Boundary

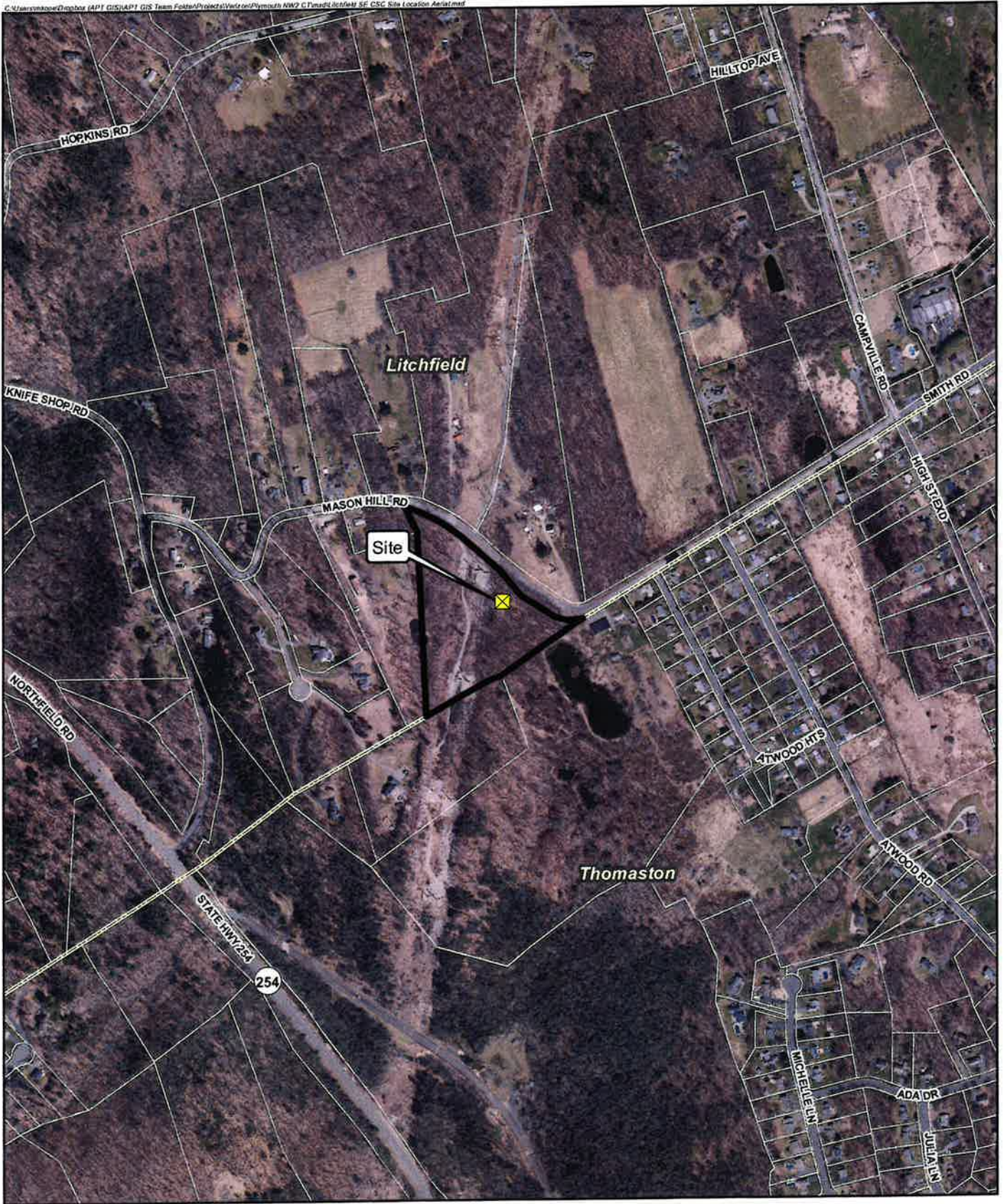
Site Location Map

Proposed Wireless
Telecommunications Facility
Litchfield SE CT
Mason Hill Road
Northfield, Connecticut







Map Notes
 Base Map Source: USGS 7.5 Minute Topographic
 Quadrangle Map, Thomaston, CT (1976)
 Map Scale: 1:24,000
 Map Date: November 2022





Legend

-  Site
-  Municipal Boundary
-  Subject Property
-  Approximate Parcel Boundary

Map Notes:
 Base Map Source: CT ECO 2019 Imagery
 Map Scale: 1 inch = 600 feet
 Map Date: November 2022



Site Location Map

Proposed Wireless
 Telecommunications Facility
 Litchfield SE CT
 Mason Hill Road
 Northfield, Connecticut



SITE EVALUATION REPORT

SITE NAME: LITCHFIELD SE – MASON HILL ROAD, LITCHFIELD, CT

I. TOWER LOCATION

- A. COORDINATES: 41°-41'- 44.33" N 73°-05'-36.64" W
- B. GROUND ELEVATION: Approximately 792± feet AMSL
- C. U.S.G.S. QUADRANGLE MAPS: Thomaston CT
- D. SITE ADDRESS: Mason Hill Road, Litchfield, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within ¼ mile of the cell site is zoned Rural Residential ("RR").

II. DESCRIPTION

- A. SITE SIZE: 50' x 50' Fenced Compound
100' x 100' Leased Parcel
- B. LESSOR'S PARCEL: Approximately 8.17 acres
- C. TOWER TYPE/HEIGHT: 110' Monopole Tower
- D. SITE TOPOGRAPHY AND SURFACE: Topography in the area generally flat. Cellco proposes upgrades to an existing gravel access driveway from Mason Hill Road to the cell site. Clearing and minimal grading will be required to construct the cell site compound. A total of seven (7) trees will need to be removed within the compound area.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower would be located in the southeast portion of an approximately 8.17-acre industrial parcel. The proposed facility compound would be approximately 54 +/- feet west of the nearest wetland boundary.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The 8.17-acre subject parcel is surrounded by residential and undeveloped land. (See Site Location Map and U.S.G.S. Topographic Map at pp. 2 and 3).

III. FACILITIES

- A. POWER COMPANY: Eversource
- B. POWER PROXIMITY TO SITE: Approximately **120** feet to the north along Mason Hill Road.
- C. TELEPHONE COMPANY: Frontier Communications
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Mason Hill Road over an improved new gravel access driveway.
- F. CLEARING AND FILL REQUIRED: Seven trees will be removed, and minimal site grading would be required to construct the facility compound and access driveway. Detailed construction plans would be developed if this location is approved by the Siting Council.

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: Joyce S. Williams
- C. ADDRESS: 420 Michelle Lane South, Thomaston, CT 06787
DEED ON FILE AT: Town of Litchfield, CT Land Records
(Vol. 251 Page 1006)

FACILITIES AND EQUIPMENT SPECIFICATION
(NEW TOWER & EQUIPMENT)

SITE NAME: LITCHFIELD SE – MASON HILL ROAD, LITCHFIELD, CT

I. TOWER SPECIFICATIONS:

A. MANUFACTURER: To be determined

B. TYPE: Self-supporting monopole

C. TOWER HEIGHT: 110'

TOWER DIMENSIONS: Approx. 50" base
 Approx. 24" top

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

1. Panel Antennas – Four (4) Model JMA MX06FRO860-03 antennas; Two (2) JMA MX06FRO840-02 antennas; and three (3) MT6407-77A antennas

2. Remote Radio Heads (RRH)
Three (3) Samsung RF4440d-13A RRH
Three (3) Samsung RF4439d-25A RRH

3. GPS Antenna: Attached to the equipment canopy

4. Transmission Lines:
Two (2) Model: RFS 12x24 hybrid antenna cables

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The towers will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-H "Structural Standards for Steel Antenna Towers and Antenna Support Structures." The foundation designs would be based on soil conditions at the site. Details for the towers and foundation designs will be provided as a part of the final D&M Plan.

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: LITCHFIELD SE – MASON HILL ROAD, LITCHFIELD, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the tower or related facility compound improvements. The closest wetland area is located approximately 54 feet to the west of the facility compound. (See also Attachment 11).

B. AIR QUALITY

Under ordinary operating conditions, Cellco's equipment at the Litchfield SE Facility would generate no air emissions. During power outages and periodically for maintenance purposes, Cellco would utilize a natural gas-fueled generator to provide emergency back-up power to the facility. Cellco's back-up generator will be managed to comply with the "permit by rule" criteria established by the Connecticut Department of Energy and Environmental Protection ("DEEP") Bureau of Air Management, pursuant to R.C.S.A. § 22a-174-3b.

C. LAND

Seven (7) trees will need to be cleared and only minimal grading will be required to construct the facility compound. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for the occasional operation of the back-up generator which would only run when power to the facility is interrupted and periodically for maintenance purposes. Some noise is anticipated during cell site construction.

E. POWER DENSITY

Far field analysis for Cellco's 700 MHz, 850 MHz, 1900 MHz, 2100 MHz and C-Band (3700MHz) antennas at the Litchfield SE Facility would be 10.5% of the FCC Safety Standard. (See Attachment 15).

F. VISIBILITY

See Visibility Report included as Attachment 9.



WIRELESS COMMUNICATIONS FACILITY

LITCHFIELD SE CT

MASON HILL ROAD

NORTHFIELD, CT 06778

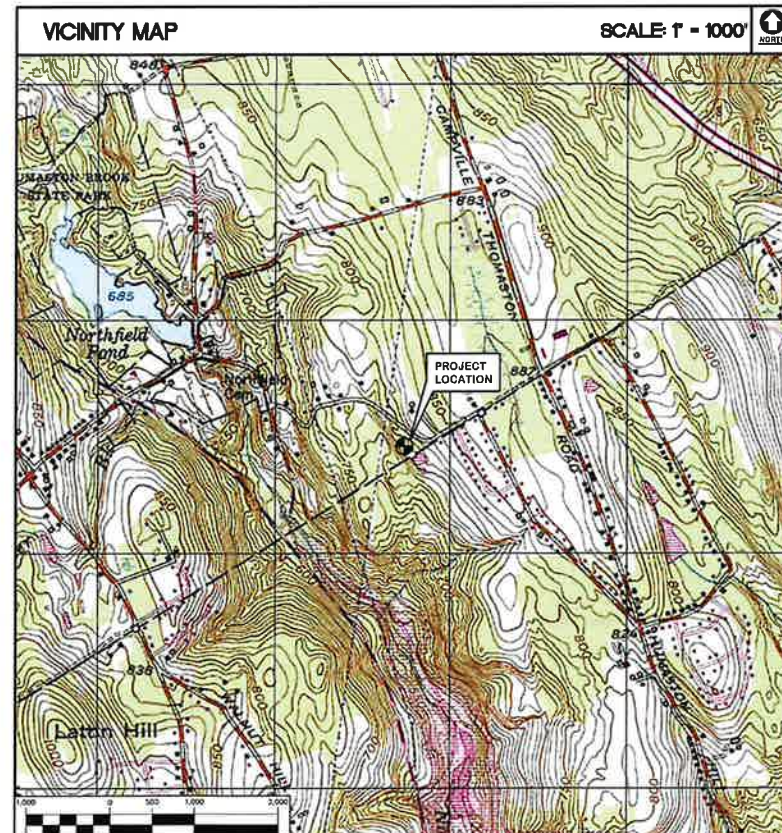
SITE DIRECTIONS

FROM:	TO:
20 ALEXANDER DRIVE, WALLINGFORD, CT	PROPOSED TOWER SITE ENTRANCE ON MASON HILL ROAD, NORTHFIELD, CT

- START OUT NORTH ON ALEXANDER DR TOWARD BARNES INDUSTRIAL PARK RD. 0.2 MI.
- TURN RIGHT ONTO BARNES INDUSTRIAL PARK RD. 0.1 MI.
- TAKE FIRST LEFT ONTO CT-88. 0.4 MI.
- TURN RIGHT ONTO RAMP. 0.2 MI.
- TURN RIGHT ONTO N COLONY RD/US-5 N. 0.3 MI.
- MERGE ONTO CT-15 N TOWARD HARTFORD. 3.9 MI.
- MERGE ONTO I-891 W VIA EXIT 68W TOWARD MERIDEN/WATERBURY. 7.8 MI.
- TAKE THE I-84 W EXIT, EXIT 1, ON THE LEFT TOWARD DANBURY WATERBURY. 0.4 MI.
- STAY STRAIGHT TO GO ON I-84 W. 8.2 MI.
- MERGE ONTO CT-8 N VIA EXIT 20 TOWARD TORRINGTON. 0.2 MI.
- TAKE THE CT-254 EXIT, EXIT 3B, TOWARD THOMASTON/US-6 W/CT-109. 0.1 MI.
- KEEP LEFT TO TAKE THE WATERBURY ROAD RAMP TOWARD THOMASTON. 1.1 MI.
- TURN LEFT ONTO WATERBURY ROAD/CT-254. CONTINUE TO FOLLOW CT-254. 2.1 MI.
- TURN LEFT ONTO NORTHFIELD ROAD/CT-254. 0.3 MI.
- TURN RIGHT ONTO KNIFE SHOP ROAD. 0.1 MI.
- TAKE FIRST RIGHT ONTO MASON HILL ROAD. 0.1 MI.
- TAKE THE FIRST LEFT TO STAY ON MASON HILL ROAD. 0.2 MI.
- THE ENTRANCE TO THE PROPOSED TOWER FACILITY IS ON THE RIGHT.

SITE INFORMATION

- THE SCOPE OF WORK SHALL GENERALLY INCLUDE:
- CONSTRUCTION OF A ±50' x 50' FENCED COMMUNICATIONS FACILITY COMPOUND WITHIN A PROPOSED 100' x 100' CELCO PARTNERSHIP LEASE AREA.
 - THE PROPOSED ±110' TALL STEEL MONOPOLE COMMUNICATIONS TOWER TO BE LOCATED WITHIN THE PROPOSED FENCED COMPOUND.
 - THE PROPOSED CELCO PARTNERSHIP GROUND EQUIPMENT INSTALLATION TO CONSIST OF (2) EQUIPMENT CABINETS AND A PROPANE FUELED BACKUP POWER GENERATOR LOCATED ON A PROPOSED 10' x 16' CONCRETE PAD WITHIN THE FENCED COMPOUND AREA.
 - A 500 GALLON ABOVE-GROUND PROPANE TANK IS PROPOSED WITHIN THE COMPOUND FENCE FOR FUEL SUPPLY TO THE PROPOSED BACKUP POWER GENERATOR.
 - FACILITY ACCESS WILL BE VIA AN EXISTING CURB CUT ON MASON HILL ROAD. CELCO PARTNERSHIP SHALL UTILIZE APPROXIMATELY 300' OF THE EXISTING DIRT/GRAVEL DRIVE WITH AN ADDITIONAL ±130' OF PROPOSED GRAVEL ACCESS DRIVE ROUTED TO THE PROPOSED FACILITY.
 - THE PROPOSED TOWER RF INSTALLATION TO CONSIST OF A TOTAL OF A TOTAL OF (9) PANEL ANTENNAS, (5) REMOTE RADIO UNITS (RRUs), (1) SURGE ARRESTOR AND (1) HYBRID CABLE AND ASSOCIATED JUMPER CABLES.
 - FINAL DESIGN FOR TOWER AND TOWER FOUNDATION SHALL BE INCLUDED IN THE D&M PLANS.
 - THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2022 CONNECTICUT SUPPLEMENT, INCLUDING THE IBC/IEA-222 REVISION "H" STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND SUPPORTING STRUCTURES, 2022 CONNECTICUT FIRE SAFETY CODE, NATIONAL ELECTRICAL CODE, AND LOCAL CODES.
 - THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
 - THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.



PROJECT SUMMARY

SITE NAME:	LITCHFIELD SE CT
SITE ADDRESS:	MASON HILL ROAD NORTHFIELD, CT 06778
PROPERTY OWNER:	WILLIAMS JOYCE S 420 MICHELLE LANE THOMASTON, CT 06787
LESSEE/TENANT:	CELCO PARTNERSHIP d.b.a. VERIZON WIRELESS 20 ALEXANDER DRIVE WALLINGFORD, CT 06492
VERIZON SITE ACQUISITION CONTACT:	CHUCK BRUTOMOSSO AIROSMITH DEVELOPMENT (860) 306-8355
LEGAL/REGULATORY COUNSEL:	KENNETH C. BALDWIN, ESQ. ROBINSON & COLE (860) 275-8345
PROPOSED TOWER COORDINATES:	LATITUDE: 41°-41'-44.33" LONGITUDE: 73°-05'-36.84" GROUND ELEVATION: 792± A.M.S.L.

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PROFESSIONAL ENGINEER SEAL

verizon

CENTEK engineering
1203 4th Street
452 North Broad Road
Branford, CT 06405
www.CentekEng.com

Celco Partnership d/b/a Verizon Wireless
LITCHFIELD SE CT
MASON HILL ROAD
NORTHFIELD, CT 06778

DATE: 07/11/22
SCALE: AS NOTED
JOB NO. 21058.07

TITLE SHEET

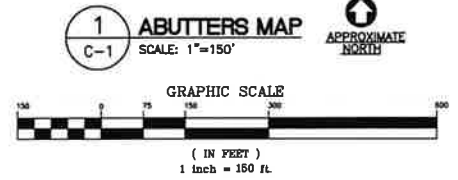
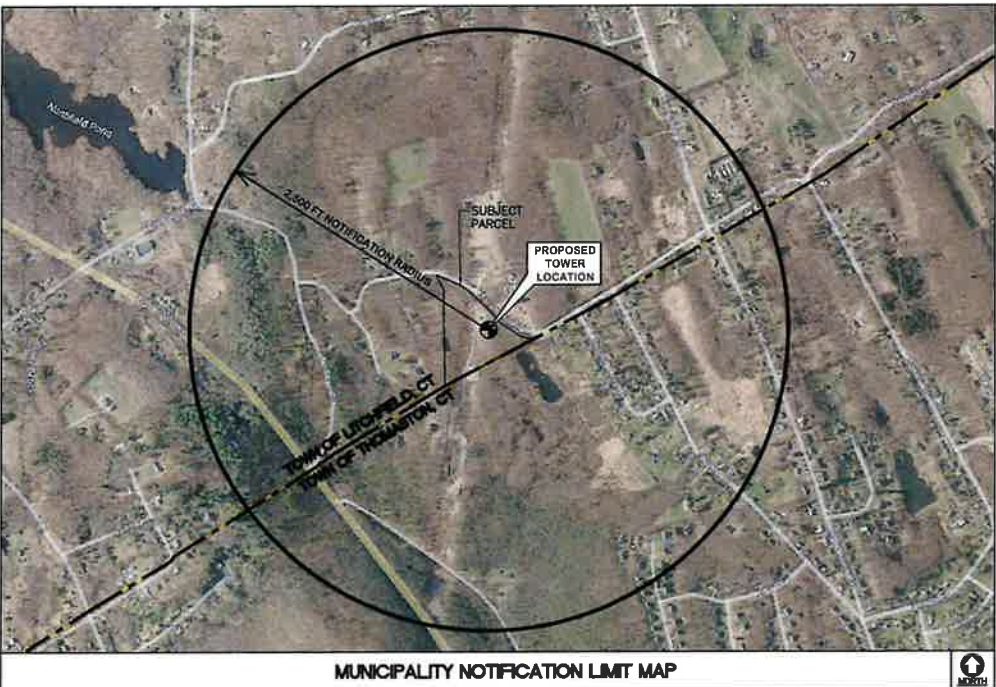
T-1
Sheet No. 1 of 8

REV.	DATE	DESCRIPTION
1	08/18/23	FULL CT SITING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
2	07/18/23	FULL CT SITING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
3	11/17/22	FULL CT SITING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
4	11/19/22	FULL CT SITING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
5	11/19/22	FULL CT SITING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
6	11/01/22	FULL CT SITING COUNCIL DRAWINGS - ISSUED FOR WETLAND REVIEW
7	10/27/22	FULL CT SITING COUNCIL DRAWINGS - SITUATION/COMPOST DETAIL REVISION
8	10/06/22	FULL CT SITING COUNCIL DRAWINGS - SITE RELOCATED FOR WETLAND BUFFER
9	07/15/22	FULL CT SITING COUNCIL DRAWINGS - ISSUED FOR CLIENT REVIEW



ABUTTERS MAP REFERENCE NOTE
 PROPERTY LINES AND PARCEL INFORMATION SHOWN HEREIN ARE REFERENCED FROM TOWN OF LITCHFIELD, CT & TOWN OF THOMASTON, CT ON-LINE GIS DATABASES.

ABUTTERS LIST			
PARCEL ID	ADDRESS	OWNER	OWNER ADDRESS
258-10C-003	471 MASON HILL RD	LATOUF RICHARD J	471 MASON HILL RD, NORTHFIELD, CT 06778
258-10C-002	445 MASON HILL RD	SIMONE FRANK J & LISA M	445 MASON HILL RD, NORTHFIELD, CT 06778
258-10-012	408 MASON HILL RD	SOLIDAY MARTHA J	408 MASON HILL RD, NORTHFIELD, CT 06778
258-10-013A	352 MASON HILL RD	VOLUCKAS MARK	352 MASON HILL RD, NORTHFIELD, CT 06778
258-10-013	282 MASON HILL RD	VOLUCKAS DONALD A & DIANNE G	282 MASON HILL RD, NORTHFIELD, CT 06778
258-10-014	170 MASON HILL RD	JOSEPH D. MASI + MARGARET RAYMOND	33 PLEASANTVIEW STREET, OAKVILLE, CT 06779
09-01-23	76 MASON HILL RD	WILLIAMS JOYCE S	420 MICHELLE LANE SOUTH, THOMASTON, CT 06787
09-01-22	125 ATWOOD HEIGHTS	HANNON RONDA M	125 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-21	115 ATWOOD HEIGHTS	WATERS MARCUS & MCCLARY SHANNON	115 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-20	103 ATWOOD HEIGHTS	HULTS MICHAEL	103 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-19	95 ATWOOD HEIGHTS	CURTISS MARCIA R	95 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-18	85 ATWOOD HEIGHTS	DISTASI ANGELINO	85 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-17	75 ATWOOD HEIGHTS	TYRIAN JOSEPH & BRIAN	75 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-16	65 ATWOOD HEIGHTS	SAVOY ROBERT T	65 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-15	57 ATWOOD HEIGHTS	GRENIER JAMES F	57 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-14	47 ATWOOD HEIGHTS	BALDWIN DAVID H & CYNTHIA B AND BALDWIN FAMILY REVOCABLE TRUST	47 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-13	35 ATWOOD HEIGHTS	LEVESQUE DAVID & LISE	35 ATWOOD HEIGHTS, THOMASTON, CT 06787
09-01-25	195 ATWOOD RD	HOPKINS RUTH P	195 ATWOOD RD, THOMASTON, CT 06787
22-01-01	511 LITCHFIELD ST	UNITED STATES OF AMERICA	350 BRANCH RD, THOMASTON, CT 06787
08-01-02	52 PENFIELD DR	DOBOS GREGORY J & ELIZABETH	52 PENFIELD DR, THOMASTON, CT 06787
08-01-01	49 PENFIELD DR	VERDOSCI RONALD JR	49 PENFIELD DR, THOMASTON, CT 06787



PROFESSIONAL ENGINEER SEAL

verizon

CENTEK engineering
 General of Record
 1201 48-066 Epy
 432 North Branford Road
 Branford, CT 06405
 www.CentekEng.com

Cellco Partnership d/b/a Verizon Wireless
LITCHFIELD SE CT
 MASON HILL ROAD
 NORTHFIELD, CT 06778

DATE: 07/11/22
 SCALE: AS NOTED
 JOB NO. 21058.07

ABUTTERS MAP AND LIST

C-1
 Sheet No. 2 of 8

SURVEY NOTES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1998. IT IS A DATA ACCUMULATION PLAN AND IS BASED UPON LIMITED FIELD DATA AND REFERENCE MAPS CONFORMING TO A HORIZONTAL ACCURACY CLASS D AND IS INTENDED TO BE USED TO DEPICT A PROPOSED WIRELESS COMMUNICATIONS FACILITY.

THE PROPERTY/BOUNDARY LINES (IF ANY) DEPICTED HEREON ARE COMPILED FROM OTHER MAPS, DEEDS, AND LIMITED FIELD SURVEY. THESE LINES ARE NOT TO BE CONSTRUED AS A BOUNDARY OPINION AND ARE SUBJECT TO A CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. PROPERTY MAY BE SUBJECT TO ENCUMBRANCES, EASEMENTS, RIGHTS OF WAY AS A TITLE SEARCH REPORT MAY DISCLOSE.

HORIZONTAL DATUM IS NAD 83 VERTICAL DATUM IN NAVD 88.

PARCEL OWNER OF RECORD: JOYCE S. WILLIAMS
MASON HILL ROAD
LITCHFIELD, CT 06778
MA: 420 MICHELLE LN
THOMASTON, CT 06787
DEED REFERENCES: VOL 251 P. 1006

PARCEL AREA = ± 8.17

PARCEL IS IN "RR-RURAL RESIDENCE" ZONING DISTRICT

PARCEL ID: MAP 258 BLOCK 10C LOT 001 LITCHFIELD ASSESSOR'S OFFICE

UTILITIES SHOWN AS MARKED IN FIELD, NO SUBSURFACE INVESTIGATION WAS PERFORMED.

NOT ALL IMPROVEMENTS SHOWN.

MAP REFERENCES

- 1) MAP ENTITLED "MAP PREPARED FOR RUTH M. PIERPONT, MASON HILL ROAD, TOWN OF LITCHFIELD, COUNTY OF LITCHFIELD, STATE OF CONNECTICUT" SCALE: 1"= 40'. DATED AUGUST, 1971 ON FILE IN THE LITCHFIELD TOWN CLERKS OFFICE.
- 2) MAP ENTITLED "PLAN OF PROPERTY OWNED BY HENRY MUSCH, VILLAGE OF NORTHFIELD, LITCHFIELD CONN." SCALE: 1"= 100'. DATED DEC. 1945 ON FILE IN THE LITCHFIELD TOWN CLERKS OFFICE.

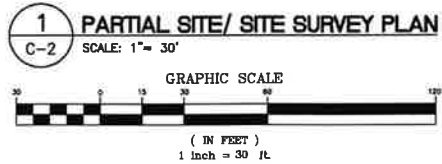
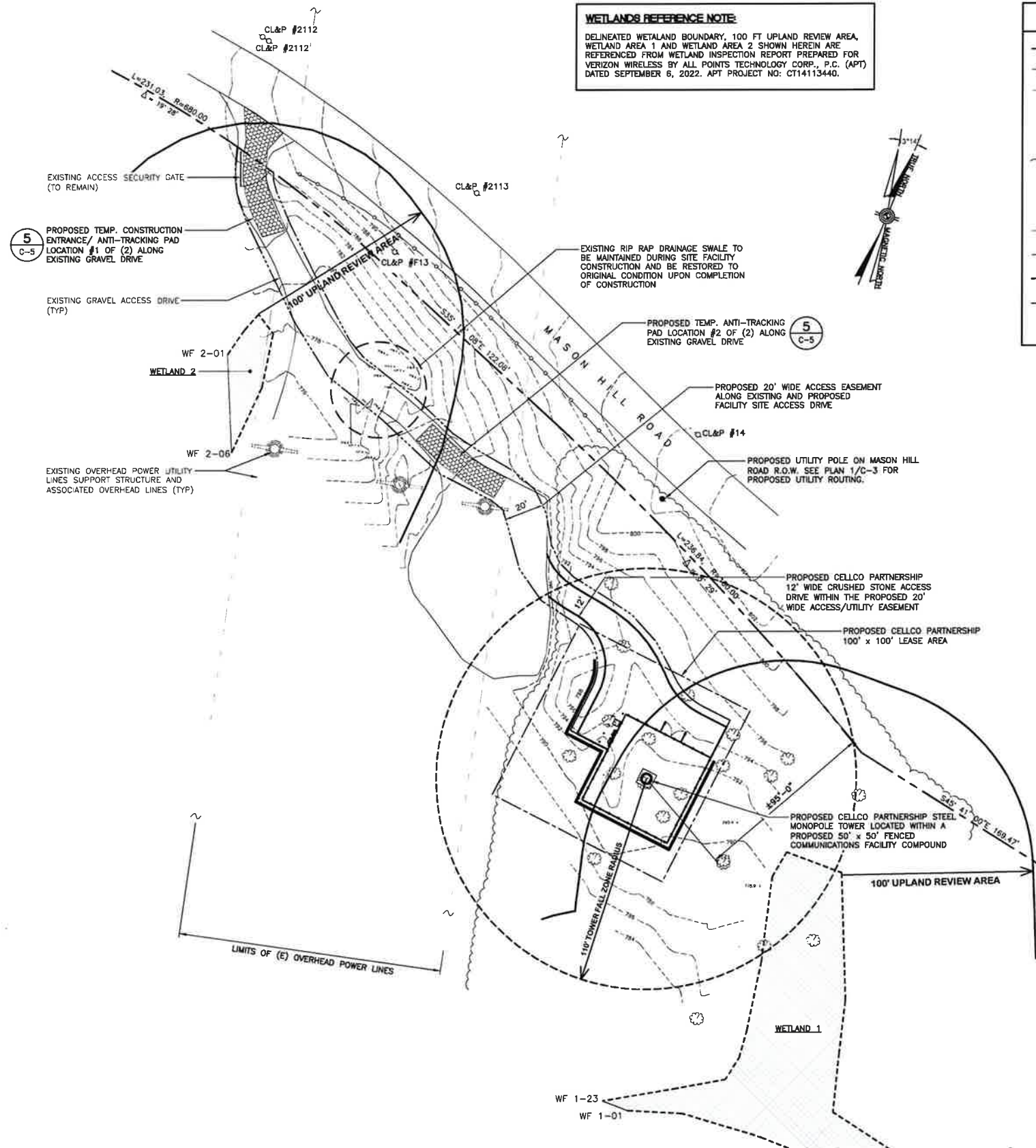
TO MY KNOWLEDGE AND BELIEF, THIS MAP/ PLAN IS SUBSTANTIALLY COMPLETE AS NOTED HEREON. THIS MAP/ PLAN IS NOT VALID UNLESS IT BEARS THE EMBOSSED TYPE SEAL OVER A LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND LICENSE NUMBER APPEARS ON THIS MAP/ PLAN.

DERRICK R. SCHULL P.E., L.S. #15566 DATE

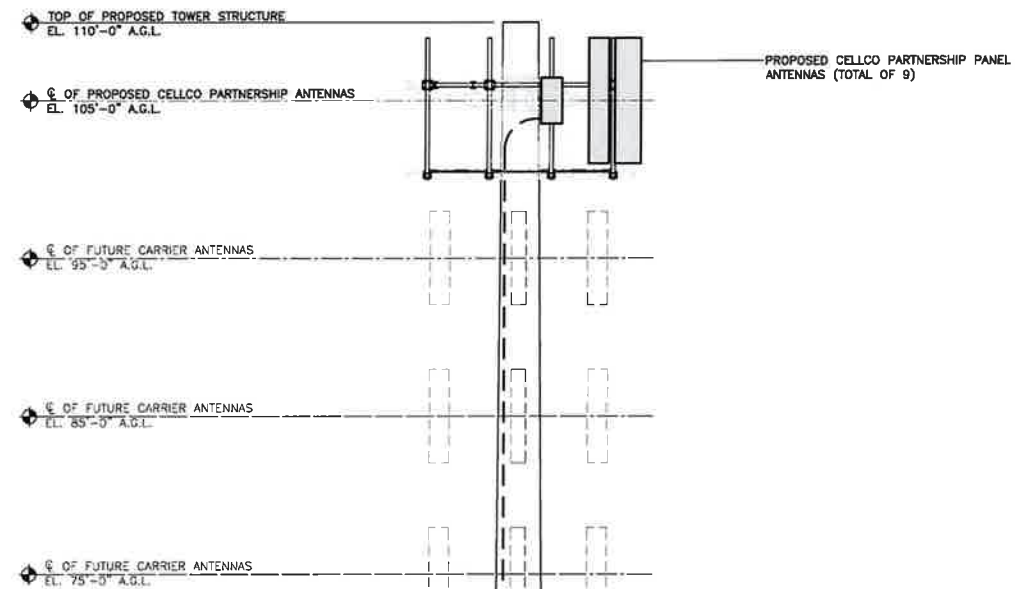
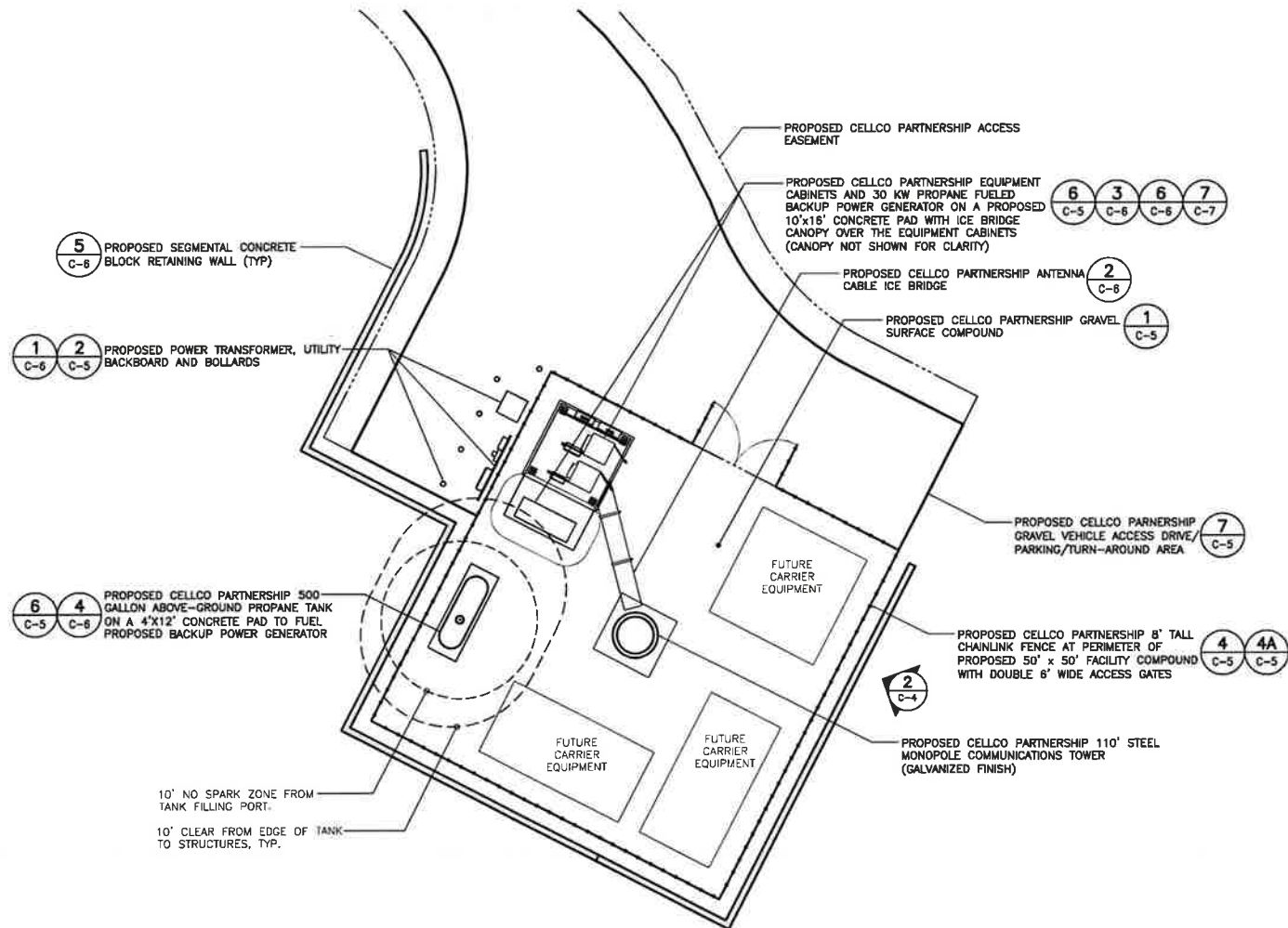
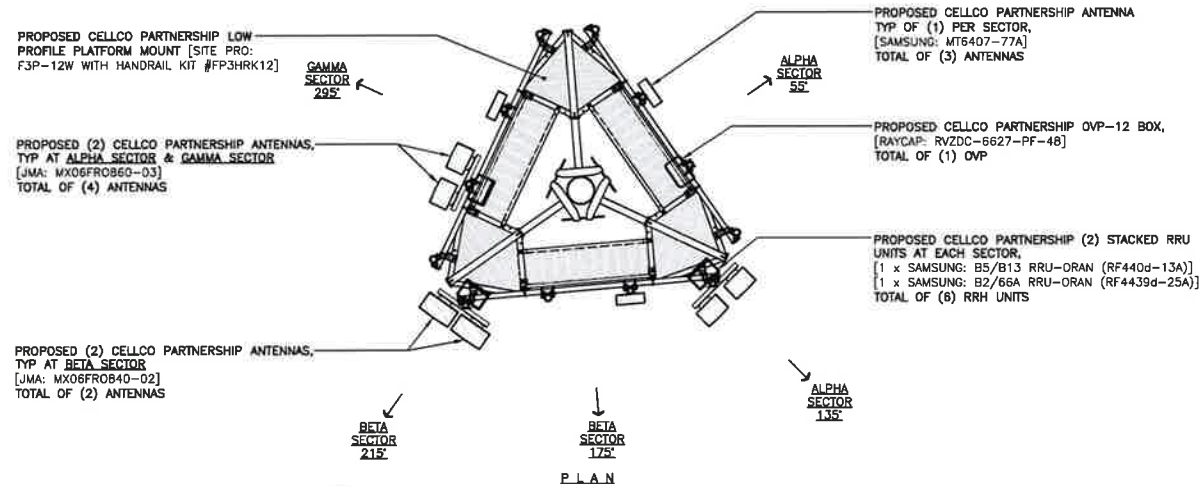
WETLANDS REFERENCE NOTE:
DELINEATED WETLAND BOUNDARY, 100 FT UPLAND REVIEW AREA, WETLAND AREA 1 AND WETLAND AREA 2 SHOWN HEREIN ARE REFERENCED FROM WETLAND INSPECTION REPORT PREPARED FOR VERIZON WIRELESS BY ALL POINTS TECHNOLOGY CORP., P.C. (APT) DATED SEPTEMBER 6, 2022. APT PROJECT NO: CT14113440.

SITE/SURVEY PLAN SYMBOLS LEGEND

	PROPERTY LINE
	TIMBER GUARD RAIL (EXISTING)
	ACCESS DRIVE (EXISTING)
	UTILITY POLE (EXISTING)
	UTILITY POLE (PROPOSED)
	TREELINE (EXISTING)
	OVERHEAD WIRES (EXISTING)
	TREE >6" (EXISTING)
	2' CONTOUR LINE
	10' CONTOUR LINE
	GRAVEL ACCESS DRIVE (PROPOSED)
	ACCESS EASEMENT (PROPOSED)
WF 1-13	WETLAND FLAG LOCATION/SERIES DESIGNATION



PROFESSIONAL ENGINEER SEAL	
<p>Cellco Partnership d/b/a Verizon Wireless LITCHFIELD SE CT MASON HILL ROAD NORTHFIELD, CT 06778</p>	<p>DATE: 07/11/22 SCALE: AS NOTED JOB NO. 21058.07</p>
<p>C-2</p>	<p>PARTIAL SITE/ SITE SURVEY PLAN</p>
<p>Sheet No. 3 of 8</p>	



TOWER NOTE:
 TOWER AND TOWER FOUNDATION DESIGN TO BE COMPLETED DURING THE D&M PHASE OF THE PROJECT AND AFTER GEOTECHNICAL EVALUATION OF EXISTING SOILS AND SUBSURFACE CONDITIONS.

REV.	DATE	CHK'D BY	DESCRIPTION
1	05/18/23	URS	FULL CT SPRING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
2	07/11/23	URS	FULL CT SPRING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
3	11/17/23	URS	FULL CT SPRING COUNCIL DRAWINGS - REVISED PER CLIENT COMMENTS
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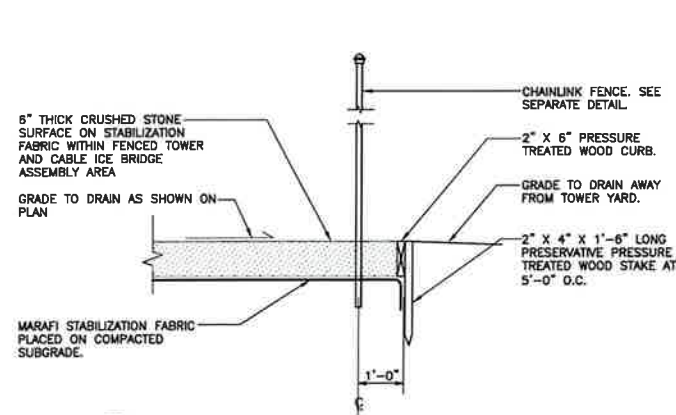
PROFESSIONAL ENGINEER SEAL
verizon
CENTEX engineering
 (203) 488-0580 Fax
 432 North Branch Road
 Branford, CT 06405
 www.CentexEng.com

Cellco Partnership d/b/a Verizon Wireless
LITCHFIELD SE CT
 MASON HILL ROAD
 NORTHFIELD, CT 06778

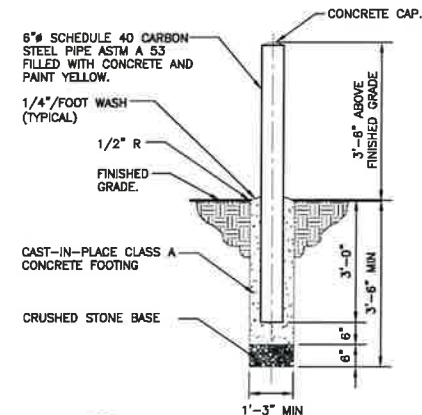
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FACILITY ELEVATION AND ANTENNA MOUNTING CONFIG.

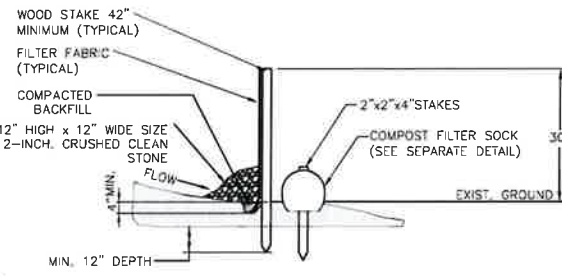
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 Sheet No. 5 of 8



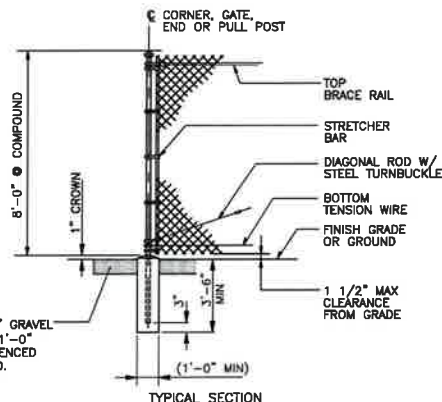
1 COMPOUND SURFACING DETAIL
C-5 NOT TO SCALE



2 BOLLARD DETAIL
C-5 NOT TO SCALE



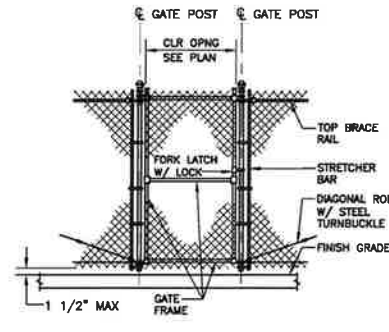
3 TYP. SILTATION FENCE/COMPOST FILTER SOCK EROSION CONTROL DETAIL
C-5 NOT TO SCALE



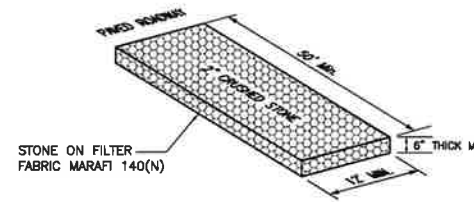
4 WOVEN WIRE FENCE DETAIL
C-5 NOT TO SCALE

WOVEN WIRE FENCE NOTES:

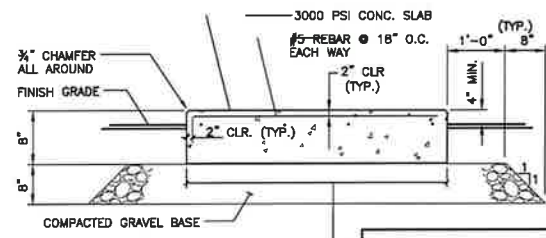
1. GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2" SCHEDULE 40 PIPE FOR GATE WIDTHS UP THRU 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2" SCHEDULE 40 PIPE PER ASTM-F1083.
3. GATE FRAME: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
4. TOP RAIL & BRACE RAIL: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
5. FABRIC: 12 GA. CORE WIRE SIZE 1 1/2" MESH, CONFORMING TO ASTM-A392.
6. TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS. A SINGLE WRAP OF FABRIC TIE AND TENSION WIRE BY HOG RINGS SPACED 24" INTERVALS.
7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
8. GATE LATCH: DROP DOWN LOCKABLE FORK HATCH AND LOCK, KEYED TO OWNER'S REQUIREMENTS.
9. HEIGHT = 8' VERTICAL.



4A WOVEN WIRE SINGLE SWING GATE
C-5 NOT TO SCALE

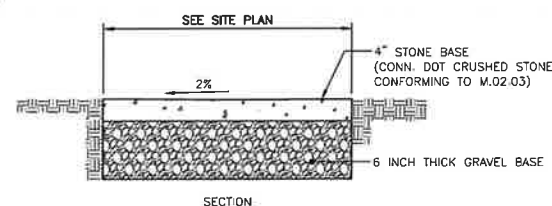


5 CONSTRUCTION ENTRANCE ANTI-TRACKING PAD
C-5 NOT TO SCALE

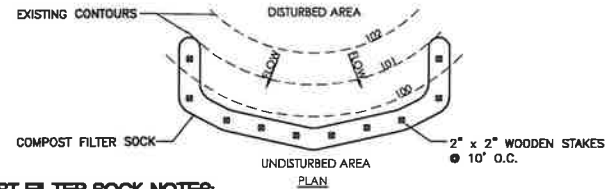


- NOTES:**
1. TOP OF SLAB TOLERANCE IS 1/4".
 2. PROVIDE PVC SLEEVES FOR UTILITY CONDUIT PASSAGE THROUGH PAD OR CAST CONDUITS IN PLACE AS APPLICABLE. COORDINATE SLEEVE/CONDUIT LOCATIONS WITH CONSTRUCTION MANAGER.
 3. REFER TO NOTES ON SHEET N-1 FOR ADDITIONAL REQUIREMENTS.
 4. COORDINATE EQUIPMENT/TANK HOLD-DOWN HARDWARE WITH RESPECTIVE MANUFACTURERS.
- EQUIPMENT/GEN. PAD SIZE: 10'-0" x 16'-0"
PROPANE TANK PAD SIZE: 4'-0" x 12'-0"

6 CONCRETE EQUIPMENT/TANK PAD DETAIL
C-5 NOT TO SCALE



7 GRAVEL SURFACE ACCESS DRIVE PARKING AREA
C-5 NOT TO SCALE



COMPOST FILTER SOCK NOTES:

1. SOCK FABRIC SHALL MEET REGULATORY STANDARDS. COMPOST SHALL MEET REGULATORY STANDARDS.
2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED REGULATORY STANDARDS.
3. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
4. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
5. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DEEMED APPROPRIATE BY THE SITE OWNER'S ENVIRONMENTAL CONSULTANT.
6. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED AS INSTRUCTED/COORDINATED WITH CONSTRUCTION MANAGER AND PROPERTY OWNER. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

8 COMPOST FILTER SOCK EROSION CONTROL DETAIL
C-5 NOT TO SCALE

GENERAL CONSTRUCTION SEQUENCE

- THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.
1. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
 2. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
 3. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
 4. PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
 5. INSTALL UNDERGROUND UTILITIES.
 6. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
 7. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
 8. BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
 9. FINISH ALL ROADWAYS, DRIVES, AND PARKING AREAS.
 10. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 11. NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
 12. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

SOIL EROSION AND SEDIMENT CONTROL SEQUENCE

1. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS CONSTRUCTION ENTRANCE / ANTI TRACKING PAD, SILTATION FENCE, AND SILTATION FENCE / HAY BALE SHALL BE IN PLACE PRIOR TO ANY GRADING ACTIVITY. INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR AREA IS STABILIZED.
2. THE ENTRANCE TO THE PROJECT SITE IS TO BE PROTECTED BY STONE ANTI TRACKING PAD OF ASTM C-33, SIZE NO. 2 OR 3, OR D.O.T. 2" CRUSHED GRAVEL. THE STONE ANTI TRACKING PAD IS TO BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
3. LAND DISTURBANCE WILL BE KEPT TO A MINIMUM AND RESTABILIZATIONS WILL BE SCHEDULED AS SOON AS PRACTICAL.
4. ALL SOIL EROSION AND SEDIMENT CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL INCLUDING THE LATEST DATE FROM THE COUNCIL ON SOIL AND WATER CONSERVATION.
5. ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL DEEMED NECESSARY BY TOWN STAFF DURING CONSTRUCTION SHALL BE INSTALLED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN STAFF.
6. IN ALL AREAS, REMOVAL OF TREES, BUSHES AND OTHER VEGETATION AS WELL AS DISTURBANCE OF THE SOIL IS TO BE KEPT TO AN ABSOLUTE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE. DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.
7. SILTATION FENCE SHALL BE PLACED AS INDICATED BEFORE A CUT SLOPE HAS BEEN CREATED. SEDIMENT DEPOSITS SHOULD BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDES OF SILTATION FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. SILTATION FENCE IS TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE FENCE IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE EROSION CHECKS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
8. SWALE DISCHARGE AREA WILL BE PROTECTED WITH RIP RAP SPLASH PAD/ ENERGY DISSIPATER.
9. ALL FILL AREAS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
10. THE SOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SOODING OR SEEDING.
11. AFTER CONSTRUCTION IS COMPLETE AND GROUND IS STABLE, REMOVE SILTS IN THE RIP RAP ENERGY DISSIPATERS. REMOVE OTHER EROSION AND SEDIMENT DEVICES.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
6. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
7. MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

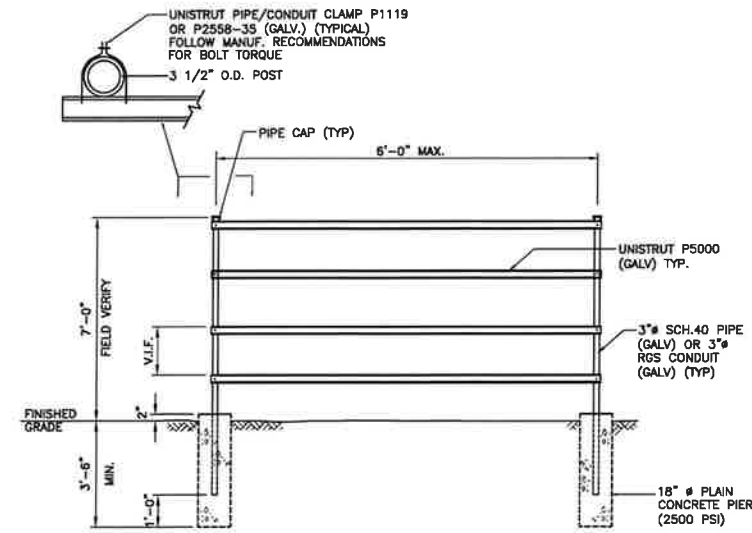
MAINTENANCE - SILT FENCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

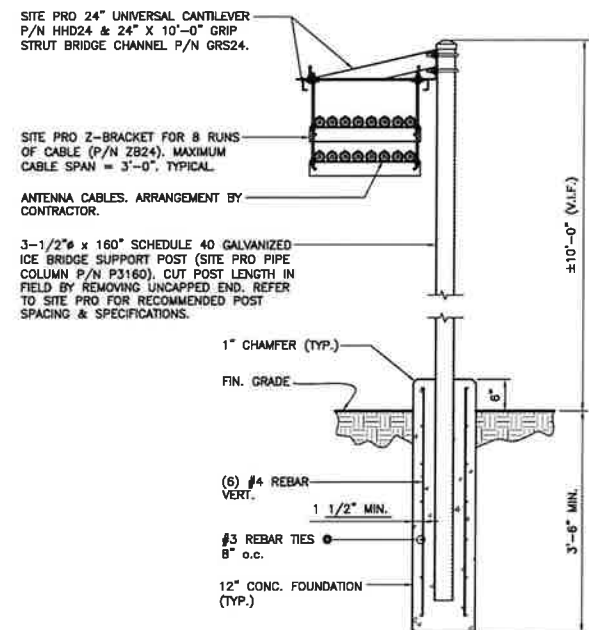
PROFESSIONAL ENGINEER SEAL	DATE	07/11/22
	SCALE	AS NOTED
	JOB NO.	21058.07
	SITE DETAILS AND NOTES	
C-5		SHEET NO. 6 OF 8

Centex Engineering
 2031 488 0500
 2031 488 8987 Fax
 63-2 North Branford Road
 Branford, CT 06405
 www.CentexEng.com

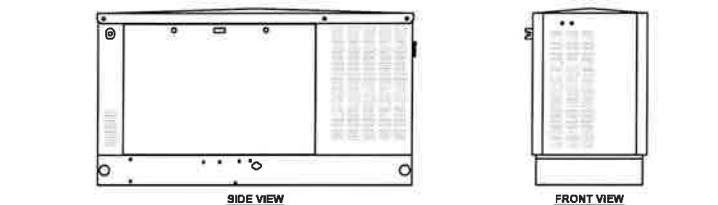
Cellco Partnership d/b/a Verizon Wireless
LITCHFIELD SE CT
MASON HILL ROAD
NORTHFIELD, CT 06778



1 UTILITY BACKBOARD FRAME CONSTRUCTION DETAIL (TYP)
C-6 NOT TO SCALE

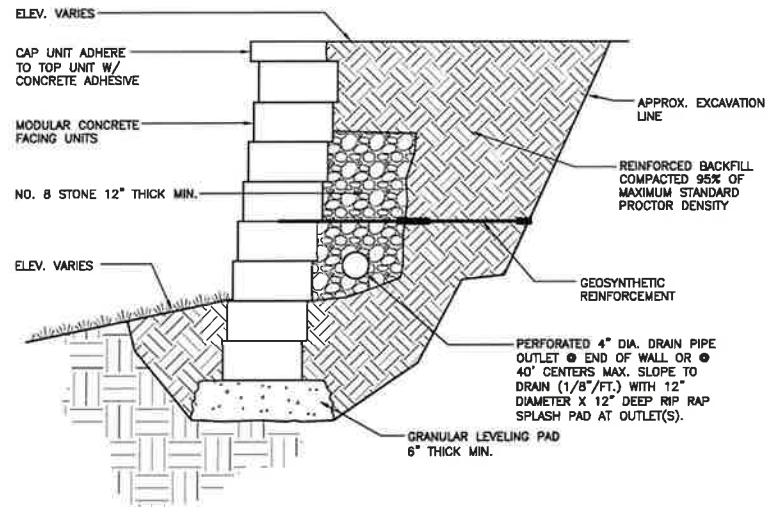


2 ANTENNA CABLE ICE BRIDGE DETAIL
C-6 NOT TO SCALE



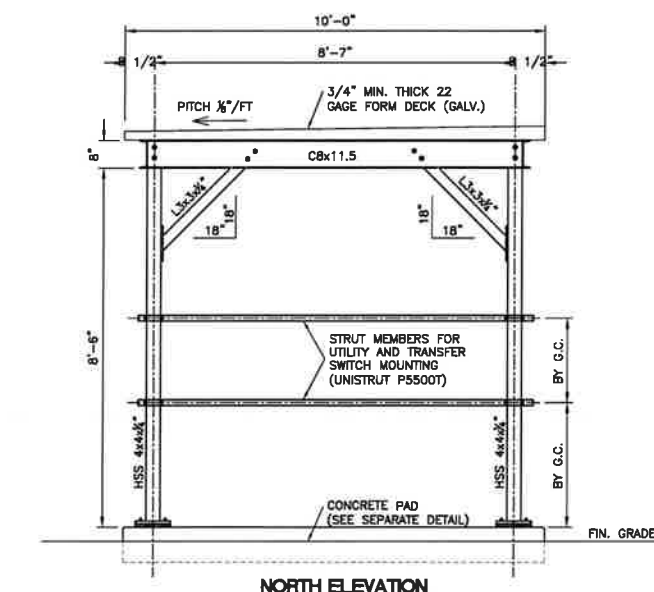
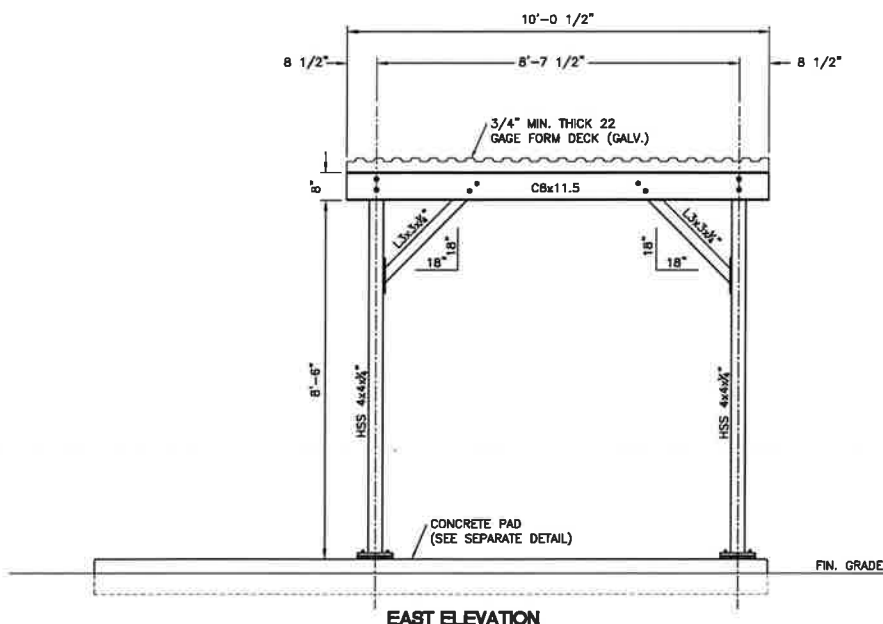
BACKUP POWER GENERATOR				
EQUIPMENT	POWER GENERATED	FUEL	ENCLOSURE	DIMENSIONS
MAKE: KOHLER MODEL: 30CCL	30 KW, AC	PROPANE	ALUMINUM SOUND-ATTENUATED ENCLOSURE WITH QUIET OPERATION OF 57 dBA @ 23 FT	88.8"L x 32.7"W x 50.5"H

3 BACK-UP POWER GENERATOR
C-6 NOT TO SCALE

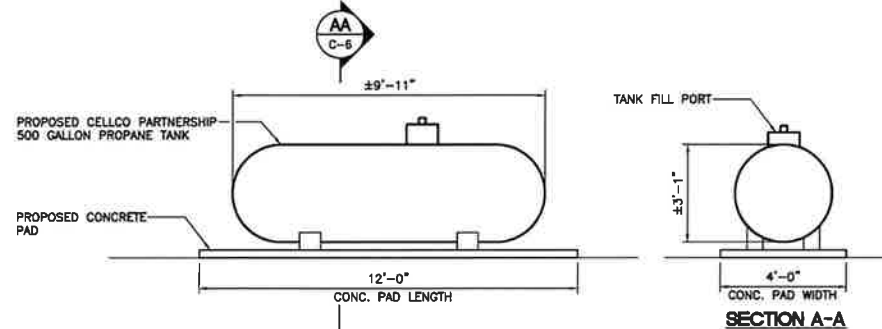


- SEGMENTAL RETAINING WALL NOTES:**
1. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
 2. BENCH CUT ALL EXCAVATED SLOPES.
 3. DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOIL.
 4. SITE SOIL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS.
 5. BASE SHALL CONSIST OF COMPACTED GRAVEL, 6" THICK MINIMUM.
 6. CONTRACTOR MAY OPT FOR A LEAN CONCRETE PAD. CONCRETE PAD SHALL BE UNREINFORCED, 4" THICK.
 7. MINIMUM EMBEDMENT OF WALL BELOW FINISHED GRADE SHALL BE (2) COURSES OF BLOCK.
 8. FOLLOW APPLICABLE PROVISIONS OF THE WALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 9. NUMBER 8 CRUSHED STONE SHALL BE INSTALLED BEHIND THE WALL UP TO 18" FROM THE TOP OF THE WALL. CRUSHED STONE SHALL NOT EXTEND BELOW FINISHED GRADE IN FRONT OF THE WALL.
 10. WHERE DRAIN PIPE IS USED, PROVIDE OUTLETS @ MAXIMUM 40 FT O.C.
 11. FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME BACKFILL BEHIND UNITS IS COMPACTED.
 12. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE ENGINEER.
 13. COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY. (ASTM D-698)
 14. REFER TO MANUFACTURER SHOP DRAWINGS FOR GEOSYNTHETIC TYPE, LENGTH AND LOCATION REQUIRED. PULL GEOSYNTHETIC TIGHT PRIOR TO BACKFILLING. GEOSYNTHETIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL. FOLLOW GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
 15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING THE COMPLETE WALL SYSTEM AND ALL DETAILS BASED ON THE ACTUAL SOILS IN THE FIELD. THE SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT.
 16. IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.

5 SEGMENTAL RETAINING WALL DETAIL
C-6 NOT TO SCALE



6 EQUIPMENT ICE BRIDGE CANOPY ELEVATIONS
C-6 NOT TO SCALE



4 ABOVE-GROUND PROPANE TANK
C-6 NOT TO SCALE

PROFESSIONAL ENGINEER SEAL

verizon

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Cellco Partnership d/b/a Verizon Wireless

LITCHFIELD SE CT

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SCALE: AS NOTED
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MISCELLANEOUS DETAILS

C-6

Sheet No. 7 of 8

