

STATE OF CONNECTICUT  
CONNECTICUT SITING COUNCIL

IN RE:

APPLICATION OF HOMELAND TOWERS, LLC  
AND NEW CINGULAR WIRELESS PCS, LLC d/b/a  
AT&T FOR A CERTIFICATE OF  
ENVIRONMENTAL COMPATIBILITY AND  
PUBLIC NEED FOR THE CONSTRUCTION,  
MAINTENANCE, AND OPERATION OF A  
TELECOMMUNICATIONS FACILITY AT  
1837 PONUS RIDGE ROAD, TOWN OF  
NEW CANAAN, CONNECTICUT

DOCKET NO. 509

August 31, 2022

**HOMELAND TOWERS, LLC and NEW CINGULAR WIRELESS PCS, LLC (AT&T)**  
**SUPPLEMENTAL SUBMISSION IN RESPONSE TO**  
**CONNECTICUT SITING COUNCIL 8/16/22 HEARING REQUEST**

The Council requested that the Applicants submit the Invasive Species Control Plan.

*Sheet N-1, Environmental Notes, of the attached drawings includes the Invasive Species Control Plan. The attached drawings also depict the alternative location consisting of a rotation of the compound 90 degrees along with a shift of the proposed Facility (proposed monopine and compound) to the northwest to gain additional distance from the property line with 359 Dan's Highway (Buschmann) – approximately 43', as discussed in the Applicants' Exhibit 11 dated July 7, 2022. As noted previously, given that the elevation of this alternative location is similar to the elevation of the current location, the Proposed Facility height will not change. This alternative location is acceptable to the property owner.*

*The table below includes a comparison of some details between the current location (as depicted on the June 23, 2022 revised drawings) and Alternate Site #1 (attached drawings).*

	<u>Current Location</u>	<u>Alternate Site #1</u>
<i>Limits of Disturbance</i>	<i>37,000 sf</i>	<i>37,000 sf</i>
<i>Trees removed</i>	<i>103<sup>1</sup></i>	<i>103</i>
<i>Elevation at Tower</i>	<i>399.5'</i>	<i>396.5'</i>
<i>Distance from Tower to W property line</i>	<i>357'</i>	<i>315'</i>
<i>Distance from Tower to N property line</i>	<i>144'</i>	<i>134'</i>
<i>Distance from Tower to NE property line</i>	<i>130'</i>	<i>167'</i>
<i>Distance from Tower to E property line</i>	<i>110'</i>	<i>153'</i>
<i>(359 Dan's Highway)</i>		
<i>Distance from Tower to SW property line</i>	<i>248'</i>	<i>226'</i>

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<sup>1</sup> The June 23, 2022 revision of the Site Drawings contained an error in the total number of trees proposed to be removed. Those drawings identified 94 trees to be removed, however there were in fact 103 trees proposed to be removed. Therefore, Alternate Site #1 will not result in an increase to the proposed number of trees to be removed.

**CERTIFICATE OF SERVICE**

I hereby certify that on this day the foregoing was sent electronically and one (1) original and fifteen (15) hard copies were sent overnight mail to the Connecticut Siting Council and sent electronically to the parties on the service list as noted below.

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New Canaan, CT 06840  
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Dated: August 31, 2022



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Kristen Motel, Esq.  
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445 Hamilton Ave, 14<sup>th</sup> Floor  
White Plains, NY 10601  
(914)-761-1300

cc: Homeland  
AT&T  
APT  
Smartlink  
C Squared



HOMELAND TOWERS, LLC

# WIRELESS TELECOMMUNICATIONS FACILITY

**NEW CANAAN NORTHWEST  
1837 PONUS RIDGE ROAD  
NEW CANAAN, CT 06840**

**H**  
HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2nd FLOOR  
DANBURY, CT 06810  
(203) 297-6345

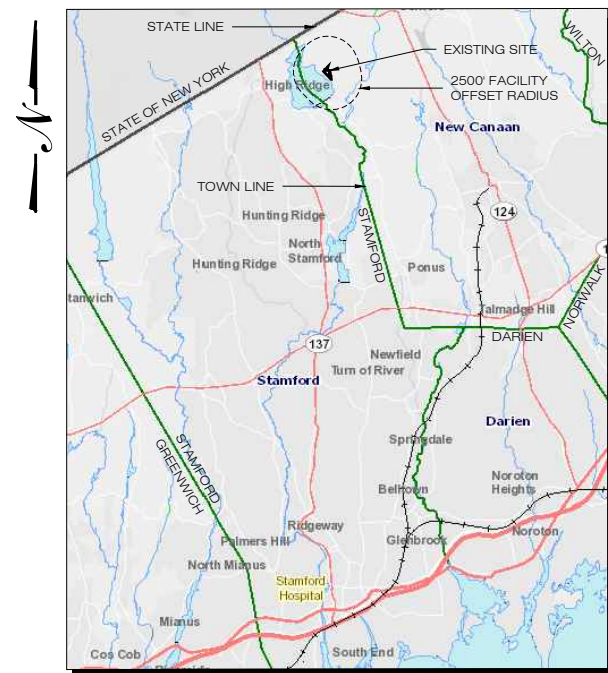
**at&t**  
340 MOUNT KEMBLE AVENUE  
MORRISTOWN, NEW JERSEY 07960

**ALL-POINTS**  
TECHNOLOGY CORPORATION

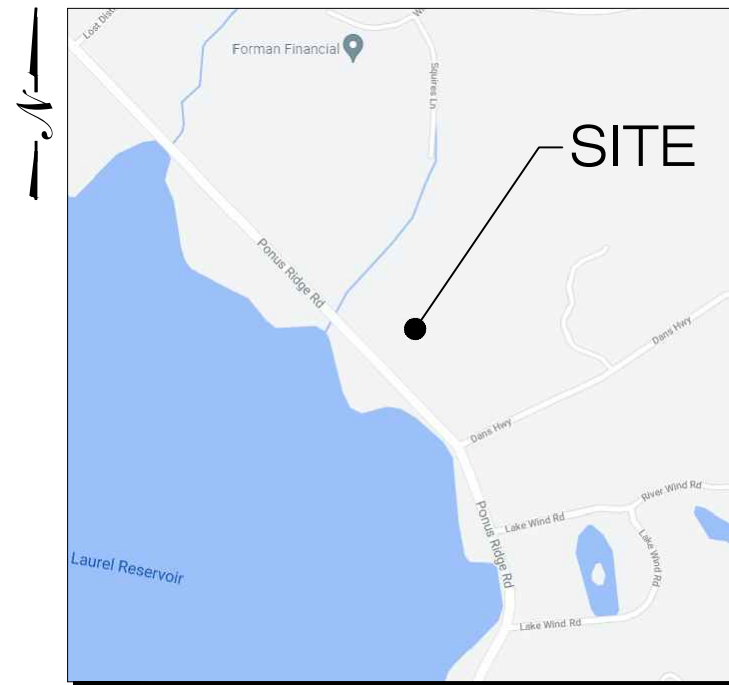
567 VAUXHALL STREET EXTENSION - SUITE 311  
WATERFORD, CT 06385 PH: (860)-663-1697  
WWW.ALLPOINTS TECH.COM FAX: (860)-663-0935

**PERMITTING DOCUMENTS**

NO	DATE	REVISION
0	12/07/21	FOR REVIEW: RCB
1	12/10/21	FOR REVIEW: RCB
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6		
7		
8		



**MUNICIPAL NOTIFICATION LIMIT MAP**  
SCALE: 1" = 1.5 Miles



**VICINITY MAP**  
SCALE: 1" = 500'

DRAWING INDEX

- T-1 TITLE SHEET
- EX-1 SITE SURVEY
- EX-2 TREE SURVEY TABLE
- SP-1 SITE PLAN & ABUTTERS MAP
- SP-2 PARTIAL SITE PLAN
- SP-3 ACCESS DRIVEWAY PROFILE
- CP-1 COMPOUND PLAN & TOWER ELEVATION
- C-1 SITE DETAILS
- C-2 SITE DETAILS
- C-3 EROSION CONTROL DETAILS
- C-4 AT&T EQUIPMENT PLAN & DETAILS
- N-1 ENVIRONMENTAL NOTES
- N-2 ENVIRONMENTAL NOTES & CONST. SEQUENCE

SITE INFORMATION

PROJECT LOCATION: 1837 PONUS RIDGE ROAD  
NEW CANAAN, CT 06840

PROJECT DESCRIPTION: RAWLAND SITE W/ GROUND  
EQUIPMENT WITHIN 3,515± SF  
TELECOMMUNICATIONS  
EQUIPMENT COMPOUND W/  
PROP. 110± AGL MONOPINE.

PROPERTY DEVELOPER: HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

DEVELOPER CONTACT: RAY VERGATI  
(203) 297-6345

ENGINEER CONTACT: ROBERT C. BURNS, P.E.  
(860) 552-2036

LATITUDE: 41° 10' 18.89"N (41.171914)  
LONGITUDE: 73° 32' 36.90"W (-73.543583)  
ELEVATION: 394± AMSL

MAP: 23  
BLOCK: 27  
LOT: 57  
ZONE: 4 ACRE RESIDENCE ZONE

**DESIGN PROFESSIONALS OF RECORD**

PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY  
CORPORATION, P.C.  
ADD: 567 VAUXHALL STREET  
EXTENSION - SUITE311  
WATERFORD, CT 06385

DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

**HOMELAND TOWERS  
NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**

OWNER: 1837 LLC  
C/O RUCCI LAW GROUP  
19 OLD KINGS HIGHWAY SOUTH  
DARIEN, CT 06820

APPLICANTS: HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810  
RAY VERGATI  
(203) 297-6345

AT&T  
340 MOUNT KEMBLE AVE.  
MORRISTOWN, NJ 07960

HOMELAND PROJECT ATTORNEY: CUDDY & FEDER, LLP  
445 HAMILTON AVENUE  
14 FLOOR  
WHITE PLAINS, NY 10601  
(914) 761-1300

POWER PROVIDER: EVERSOURCE: (800) 286-2000

TELCO PROVIDER: FRONTIER (800) 921-8102

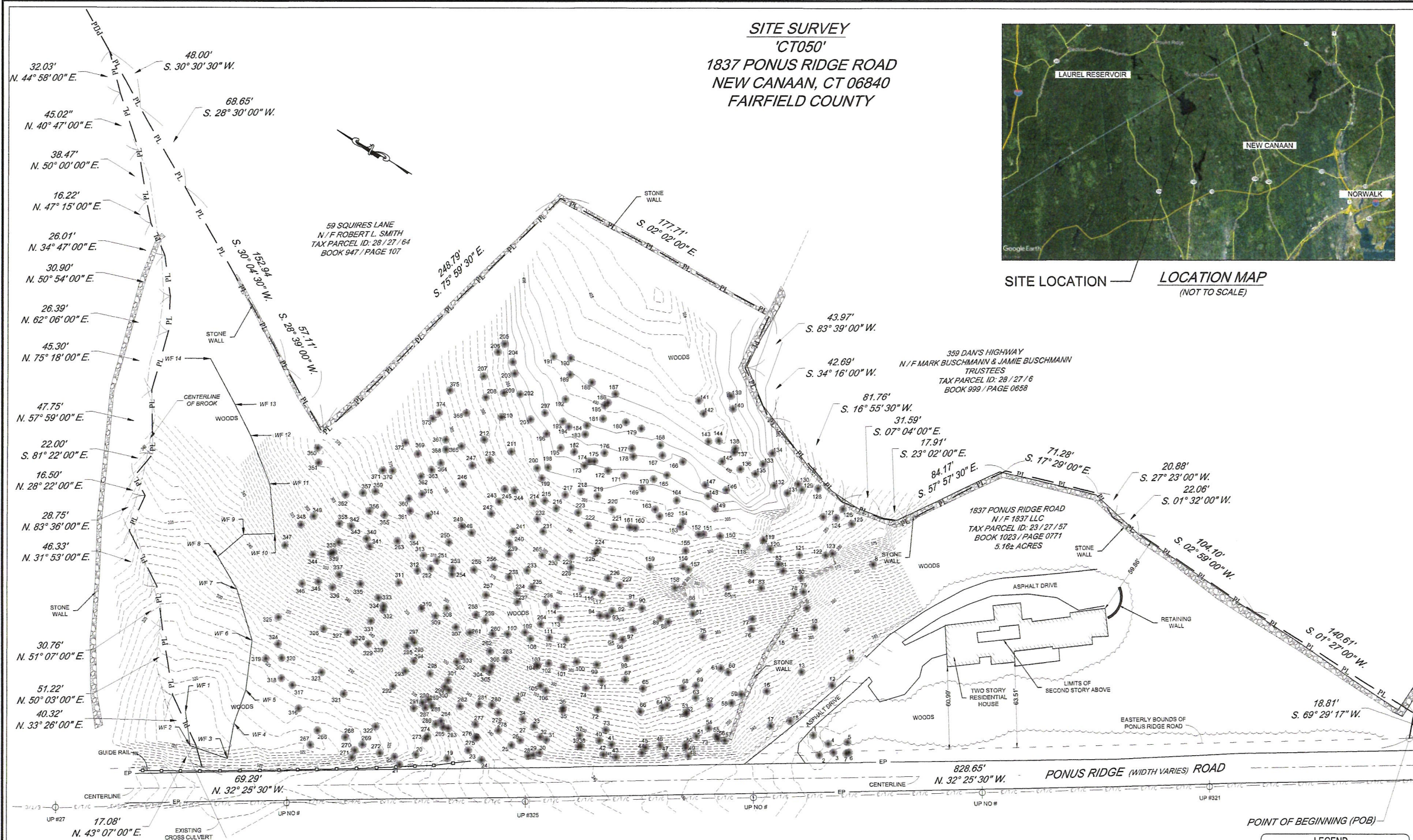
CALL BEFORE YOU DIG: (800) 922-4455

GOVERNING CODES: CONNECTICUT STATE BUILDING CODE, LATEST EDITION  
NATIONAL ELECTRIC CODE, LATEST EDITION  
TIA-222-H

**SITE SURVEY**  
**'CT050'**  
**1837 PONUS RIDGE ROAD**  
**NEW CANAAN, CT 06840**  
**FAIRFIELD COUNTY**



**SITE LOCATION**      **LOCATION MAP**  
 (NOT TO SCALE)



- GENERAL NOTES:**
- SUBSURFACE UTILITIES WERE NOT LOCATED OR SURVEYED BY NORTHEAST TOWER SURVEYING, INC. AS PART OF THIS SURVEY. PERSONS DEPENDING ON THIS DOCUMENT SHOULD CONTACT THE LOCAL UNDERGROUND UTILITY LOCATING AGENCY PRIOR TO COMMENCING ANY EARTH MOVING OPERATIONS OR OTHER NEW CONSTRUCTION ACTIVITIES OR CALL 811 OR 1-800-922-4455.
  - VERTICAL DATUM IS NAVD 1988 AND ESTABLISHED BY GPS OBSERVATIONS REFERENCED TO THE NGS CORS NETWORK. PERMANENT SITE CONTROL HAS BEEN ESTABLISHED ON SITE.
  - HORIZONTAL DATUM IS NAD 83, STATE PLANE COORDINATES OF CONNECTICUT AND ESTABLISHED GPS OBSERVATIONS REFERENCED TO THE NGS CORS NETWORK. DEED BEARINGS ARE SHOWN HEREON AND NOT RELATED TO CURRENT HORIZONTAL CONTROL.
  - SURVEY MAY BE SUBJECT TO EASEMENTS AND RIGHT-OF-WAYS OF RECORD, BOTH RECORDED AND UNRECORDED.
  - ONLY COPIES FROM THE ORIGINAL SURVEY MAP EMBOSSED WITH AN ORIGINAL OF THE LAND SURVEYOR'S STAMP AND SIGNATURE SHALL BE CONSIDERED TO BE TRUE AND VALID COPIES.
  - SURVEY NOT INTENDED FOR THE CONVEYANCE OF THE REAL PROPERTY. SURVEY ONLY PROVIDED IN CONJUNCTION WITH PLANNING, ZONING AND PERMITTING REQUIREMENTS. USE OF THIS SURVEY BY ANYONE OTHER THAN HOMELAND TOWER, LLC IS STRICTLY PROHIBITED.
  - PROPERTY LINES ESTABLISHED USING A COMBINATION OF EXISTING FIELD MONUMENTATION, PARENT PARCEL DEED AND OTHER RECORD DOCUMENTATION.
  - TOPOGRAPHIC FEATURES SHOWN HEREON ARE BASED UPON ACTUAL FIELD DATA COLLECTED ON APRIL 12-15, 2021.
  - ADDITIONAL BOUNDARY INFORMATION SHOWN HEREON IS BASED ON THE TOWN OF NEW CANAAN GIS DATA AS OF MAY 7, 2021 AND IS NOT INTENDED TO BE CONSIDERED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD BOUNDARY SURVEY.
  - FOR REFERENCE, SEE MAP NUMBER 5245 FILED IN THE TOWN OF NEW CANAAN CLERK'S OFFICE AND IS ENTITLED "MAP SHOWING SUBDIVISION OF PROPERTY OWNED BY THE STAMFORD WATER COMPANY, NEW CANAAN, CONNECTICUT."

**LEGEND**

MH	MANHOLE
GM	GAS METER
LP	LIGHT STANDARD
DS	DRAINAGE STRUCT.
HYD.	FIRE HYDRANT
ICV	VALVE / IRRIGATION CONTROL VALVE
I.P. MON.	EXISTING IRON PIPE
UP	UTILITY POLE
PL	PROPERTY LINE
---	EASEMENT LINE
---	CENTERLINE
---	SUBLOT LINE
---	GUIDE RAIL
---	ROW LINE
---	FENCE
---	TREE
---	EDGE OF WOODS
---	BRUSH LINE
---	OVERHEAD UTILITIES



PLANS PREPARED FOR:

**HOMELAND TOWERS**  
 9 Harmony Street  
 Danbury, Connecticut 06810

SURVEY LICENSE

EARLE C. NEWMAN P.L.S. - NO. LSX15616

CONSULTANT:  
**Northeast Tower Surveying, Inc.**  
 140 West Maplemead Road    Williamsville, New York 14221  
 (716) 548-2894  
 Northeast Tower Surveying, Inc. Project #21-025

DRAWING NOTICE:  
 THESE DOCUMENTS ARE CONFIDENTIAL AND ARE THE SOLE PROPERTY OF HOMELAND TOWERS AND MAY NOT BE REPRODUCED, DISSEMINATED OR REDISTRIBUTED WITHOUT THE EXPRESS WRITTEN CONSENT OF HOMELAND TOWERS

REVISIONS:

DESCRIPTION	DATE	BY	REV
ISSUED FINAL	11/30/21	DSA	ECN
ISSUED DRAFT	05/07/21	DSA	ECN

SITE NAME:  
**NEW CANAAN NORTHWEST**

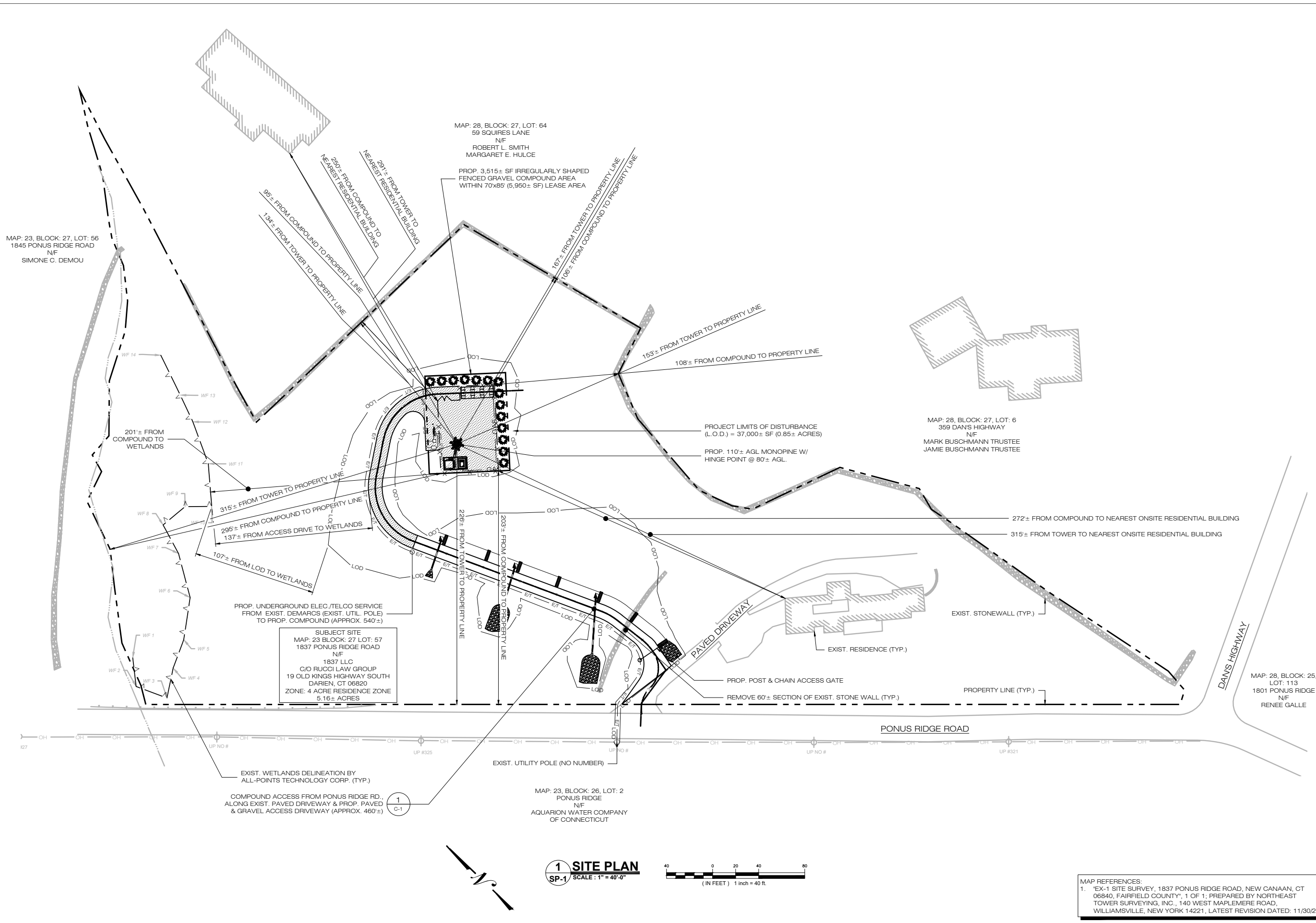
SITE NUMBER:  
**CT050**

SITE ADDRESS:  
**1837 PONUS RIDGE ROAD**  
**NEW CANAAN, CT 06840**  
**FAIRFIELD COUNTY**

SHEET DESCRIPTION:  
**SITE SURVEY**

SHEET NUMBER:  
**EX-1**





MAP: 23, BLOCK: 27, LOT: 56  
1845 PONUS RIDGE ROAD  
N/F  
SIMONE C. DEMOU

MAP: 28, BLOCK: 27, LOT: 64  
59 SQUIRES LANE  
N/F  
ROBERT L. SMITH  
MARGARET E. HULCE

PROP. 3,515± SF IRREGULARLY SHAPED  
FENCED GRAVEL COMPOUND AREA  
WITHIN 70'x85' (5,950± SF) LEASE AREA

MAP: 28, BLOCK: 27, LOT: 6  
359 DAN'S HIGHWAY  
N/F  
MARK BUSCHMANN TRUSTEE  
JAMIE BUSCHMANN TRUSTEE

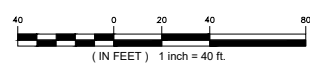
MAP: 28, BLOCK: 25,  
LOT: 113  
1801 PONUS RIDGE  
N/F  
RENEE GALLE

SUBJECT SITE  
MAP: 23 BLOCK: 27 LOT: 57  
1837 PONUS RIDGE ROAD  
N/F  
1837 LLC  
C/O RUCCI LAW GROUP  
19 OLD KINGS HIGHWAY SOUTH  
DARIEN, CT 06820  
ZONE: 4 ACRE RESIDENCE ZONE  
5.16± ACRES

COMPOUND ACCESS FROM PONUS RIDGE RD.  
ALONG EXIST. PAVED DRIVEWAY & PROP. PAVED  
& GRAVEL ACCESS DRIVEWAY (APPROX. 460'±)

MAP: 23, BLOCK: 26, LOT: 2  
PONUS RIDGE  
N/F  
AQUARIUM WATER COMPANY  
OF CONNECTICUT

**1 SITE PLAN**  
SP-1 SCALE: 1" = 40'-0"



MAP REFERENCES:  
1. "EX-1 SITE SURVEY, 1837 PONUS RIDGE ROAD, NEW CANAAN, CT 06840, FAIRFIELD COUNTY", 1 OF 1; PREPARED BY NORTHEAST TOWER SURVEYING, INC., 140 WEST MAPLEMERE ROAD, WILLIAMSVILLE, NEW YORK 14221, LATEST REVISION DATED: 11/30/21



HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2nd FLOOR  
DANBURY, CT 06810  
(203) 297-6345



340 MOUNT KEMBLE AVENUE  
MORRISTOWN, NEW JERSEY 07960



567 VAUXHALL STREET EXTENSION - SUITE 311  
WATERFORD, CT 06385 PH: (860)-663-1697  
WWW.ALLPOINTS TECH.COM FAX: (860)-663-0935

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4	06/23/22	CLIENT REVISIONS: RCB
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6		
7		
8		

**DESIGN PROFESSIONALS OF RECORD**

PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.  
ADD: 567 VAUXHALL STREET EXTENSION - SUITE311 WATERFORD, CT 06385

DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840

APT FILING NUMBER: CT283860

DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

SHEET TITLE:  
**SITE PLAN & ABUTTERS MAP**

SHEET NUMBER:  
**SP-1**

EXIST. STONEWALL (TYP.)

PROP. LANDSCAPE SCREENING (TYP. 14PL) - 8'-10" TALL EASTERN HEMLOCK @ 10' OC

PROJECT LIMITS OF DISTURBANCE = 37,000± SF (0.85± ACRES)

PROP. 12' WIDE GRAVEL ACCESS DRIVE (APPROX. 210± LF)

PROP. UNDERGROUND ELEC./TELCO SERVICE FROM EXIST. DEMARCS (EXIST. UTIL. POLE) TO PROP. COMPOUND (APPROX. 540±')

PROP. SILT FENCE/COMPOST FILTER SOCK (TYP.)

PROP. 'C'-L' CB TF = 369.75 INV. OUT = 366.75

PROP. STONE CHECK DAM (TYP. 7PL)

PROP. 'C'-L' CB TF = 379.50 INV. OUT = 374.50

END PAVED ACCESS DRIVE. BEGIN GRAVEL ACCESS DRIVE @ STA. 3+05±

PROP. 28 LF 12" HDPE S=17.86%

PROP. 12" HDPE FLARED END (FE-1) INV. OUT = 372.00

PROP. RIPRAP APRON

PROP. STRAW BALE CHECK DAM (TYP.)

PROP. 12' WIDE PAVED ACCESS DRIVE (APPROX. 250± LF)

PROP. RIPRAP STILLING BASIN (TYP.)

PROP. 12" HDPE FLARED END (FE-2) INV. OUT = 366.00

PROP. 35 LF 12" HDPE S=2.14%

PROP. 50 LF 12" HDPE S=1.50%

PROP. RIPRAP STILLING BASIN (TYP.)

PROP. 12" HDPE FLARED END (FE-3) INV. OUT = 351.00

PROPERTY LINE (TYP.)



### LEGEND

- PROPERTY LINE
- EXIST. WETLAND
- 100' WETLAND SETBACK
- LOD LIMIT OF DISTURBANCE
- X-X- PROP. WOOD SHADOWBOX FENCE
- E/T PROP. ELEC./TELCO LINE
- FS PROP. FILTER SOCK
- SF PROP. FILTER SOCK
- PROP. HAYBALE CHECK DAM
- EXIST. TREE TO REMAIN
- ⊗ EXIST. TREE TO BE REMOVED
- EXIST. TREE TO BE PROTECTED
- EROSION CONTROL BLANKET
- ☼ PROP. EASTERN HEMLOCK
- STONE CHECK DAM

1 CP-1 PROP. 3,515± SF IRREGULARLY SHAPED FENCED GRAVEL COMPOUND AREA WITHIN 70'x85' (5,950± SF) LEASE AREA

PROP. 110± AGL MONOPINE W/ HINGE POINT @ 80± AGL.

6 C-3 PROTECT EXIST. TREE (TYP. 12PL)

TREES TO BE REMOVED (TYP. 103PL)

3 C-3 PROP. COMPOST FILTER SOCK (TYP.)

5 C-3 PROP. EROSION CONTROL BLANKET ON ALL SLOPES 3:1 & GREATER (TYP.)

2 C-2 PROP. RIPRAP LINED SWALE W/ STONE CHECK DAMS (APPROX. 230±')

4 C-2 PROP. 'C'-L' CB TF = 354.75 INV. OUT = 351.75

REMOVE 60± SECTION OF EXIST. STONE WALL (TYP.)

1 C-3 PROP. CONSTRUCTION ENTRANCE

5 C-2 PROP. RIPRAP STILLING BASIN (TYP.)

NOTE:  
103 TREES WILL NEED TO BE REMOVED IN CONSTRUCTION OF THE FACILITY.

6'-10" DIA.	52 TREES
10'-14" DIA.	19 TREES
>14" DIA.	32 TREES
	103 TREES

#### SITE AREAS & VOLUMES OF EARTHWORK

SITWORK ENTAILS APPROXIMATELY 3,550 CUBIC YARDS OF EXCAVATION AND 1,500 CUBIC YARDS OF FILL. THE COMPOUND & ACCESS DRIVEWAY WILL IMPORT APPROXIMATELY 250 CUBIC YARDS OF CLEAN BROKEN STONE. THE UTILITY TRENCH FROM THE DEMARC TO THE COMPOUND WILL EXCAVATE APPROXIMATELY 340 CUBIC YARDS OF MATERIAL THAT WILL BE USED TO BACKFILL THE TRENCH.

COMPOUND AREA SLOPES:  
EXISTING - 6%-15%  
PROPOSED - 3%-5%

TOTAL AREA OF DISTURBANCE = 37,000± SF

STORMWATER VELOCITY:  
PRIOR TO GROUND COVER < 3.0 FT/SEC  
FOLLOWING GROUND COVER < 3.0 FT/SEC

STORMWATER VOLUME:  
PROPOSED IMPERVIOUS AREA = 4,880 SF  
WATER QUALITY STD VOLUME (1") = 407 CF  
STORAGE VOLUME (6" DEPTH, 40% VOIDS) = 600 CF

GROUND COVER TO BE ESTABLISHED AS FOLLOWS (U.O.N.):  
- WHITE CLOVER @ 0.20#/- SF  
- TALL FESCUE @ 0.45#/- SF  
- RYEGRASS @ 0.10#/- SF

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DANBURY, CT 06810  
(203) 297-6345

340 MOUNT KEMBLE AVENUE  
MORRISTOWN, NEW JERSEY 07960

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DESIGN PROFESSIONALS OF RECORD

PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.  
ADD: 567 VAUXHALL STREET EXTENSION - SUITE 311 WATERFORD, CT 06385

DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

HOMELAND TOWERS  
NEW CANAAN NORTHWEST

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840

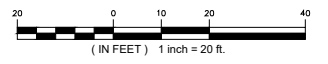
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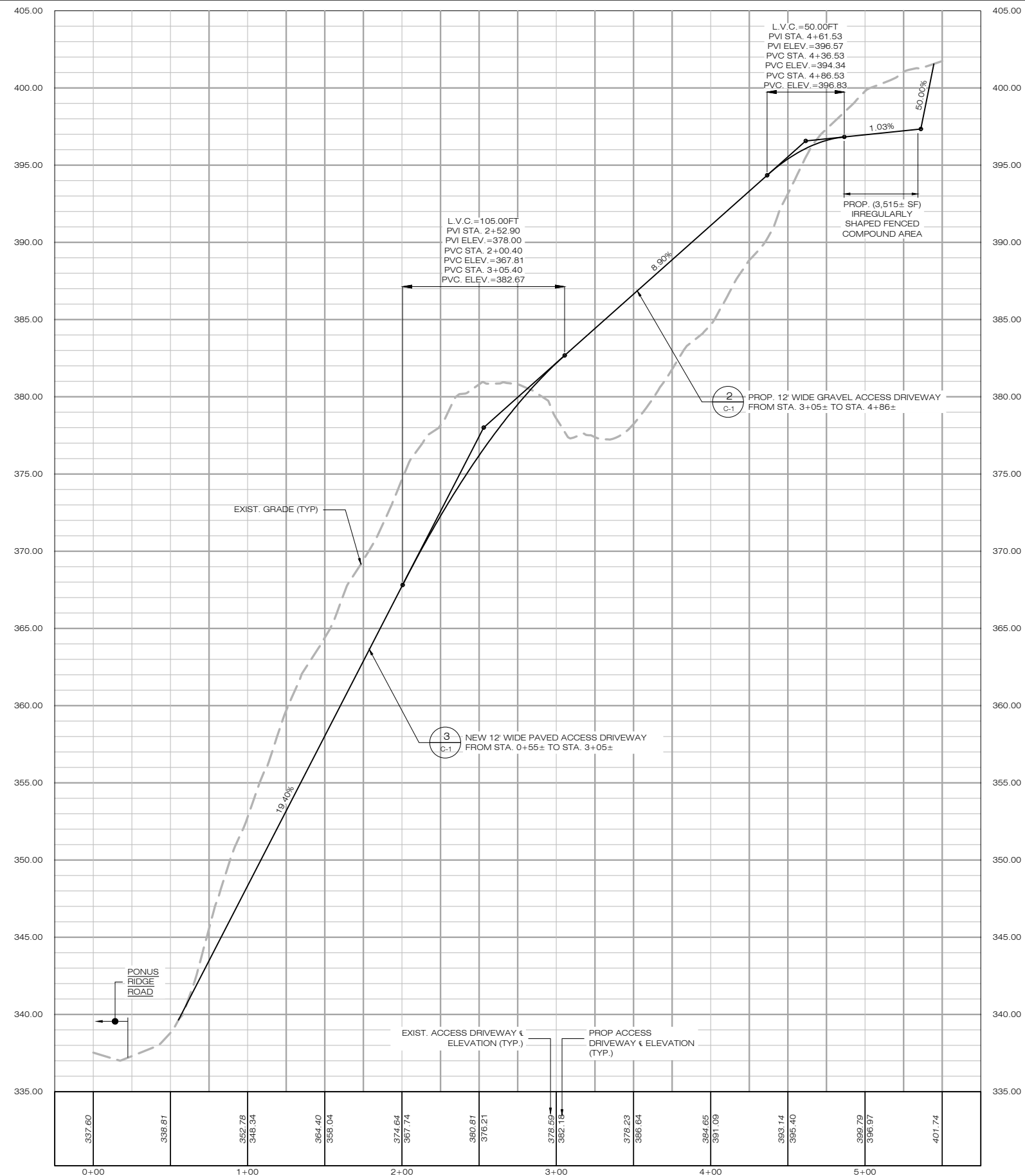
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

SHEET TITLE:  
**PARTIAL SITE PLAN**

SHEET NUMBER:  
**SP-2**

**1 PARTIAL SITE PLAN**  
SP-2 SCALE: 1" = 20'-0"





**1 ACCESS DRIVEWAY PROFILE**  
 SP-3 SCALE: HORIZONTAL: 1" = 40'-0"  
 VERTICAL: 1" = 4'-0"



**H**  
 HOMETOWN TOWERS, LLC  
 9 HARMONY STREET  
 2nd FLOOR  
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 2ND FLOOR  
 DANBURY, CT 06810

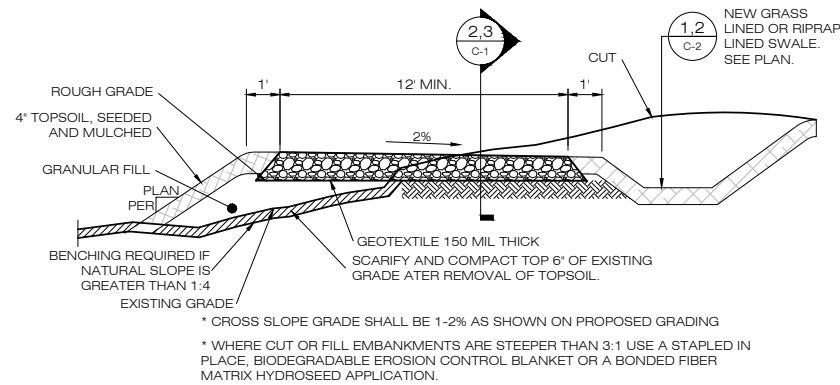
**HOMETOWN TOWERS**  
**NEW CANAAN NORTHWEST**  
 SITE 1837 PONUS RIDGE ROAD  
 ADDRESS: NEW CANAAN, CT 06840  
 APT FILING NUMBER: CT283860  
 DATE: 12/07/21 DRAWN BY: CSH  
 CHECKED BY: RCB

SHEET TITLE:  
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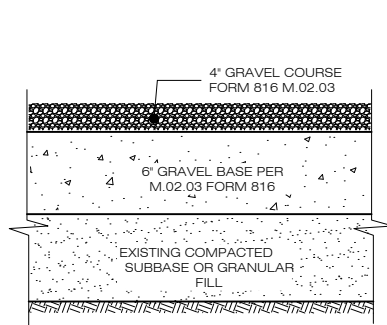
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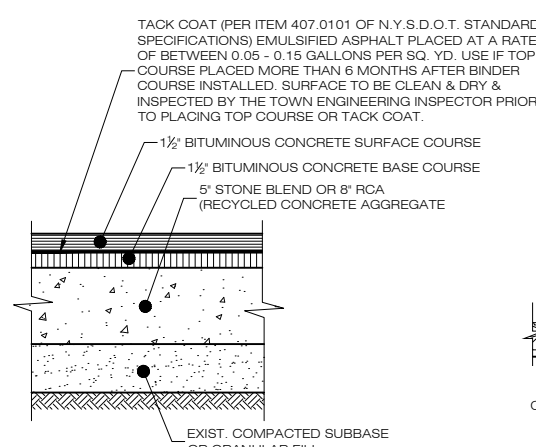




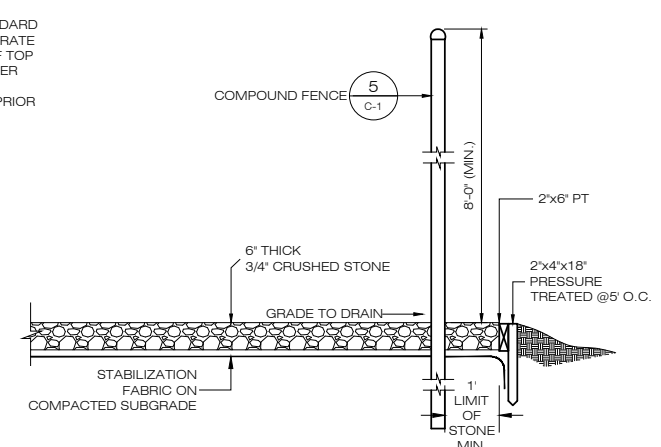
**1 TYPICAL ROAD CROSS SECTION**  
C-1 SCALE: N.T.S.



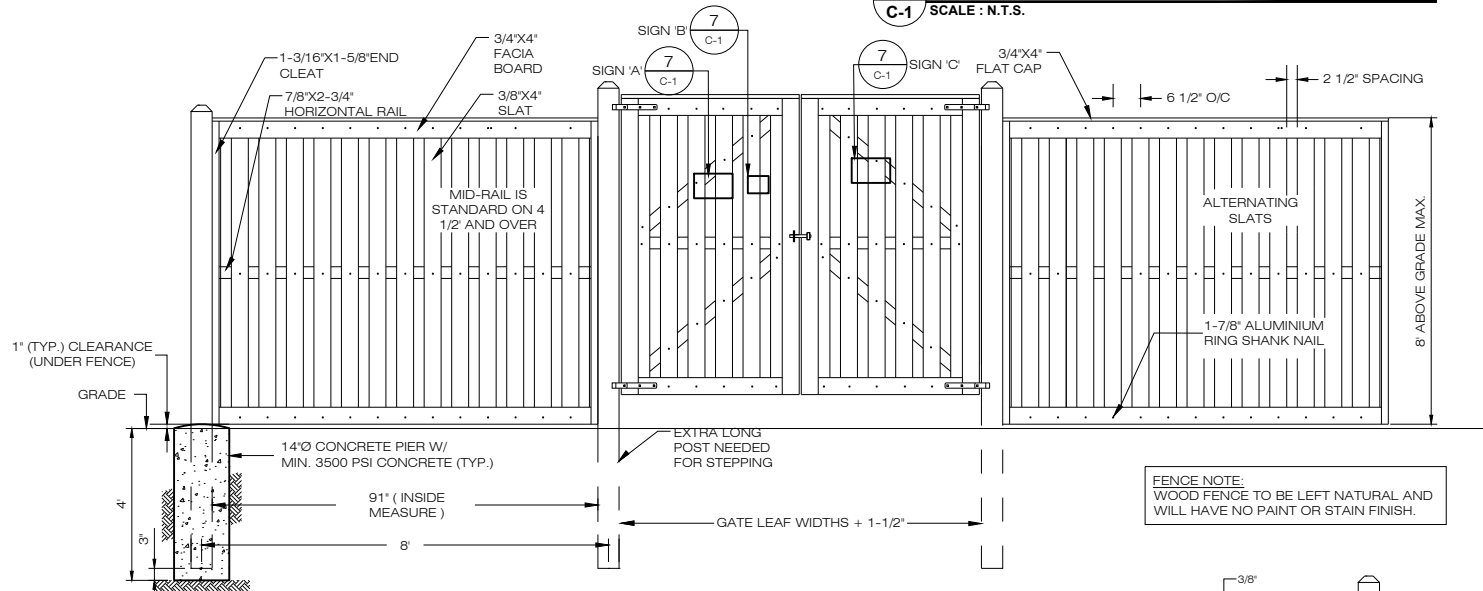
**2 GRAVEL ROAD/PARKING SECTION**  
C-1 SCALE: N.T.S.



**3 PAVED ROAD SECTION**  
C-1 SCALE: N.T.S.

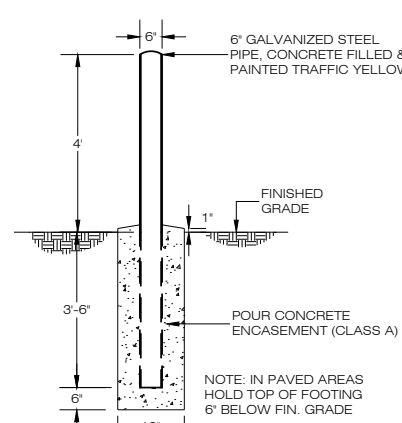


**4 COMPOUND DETAIL**  
C-1 SCALE: N.T.S.

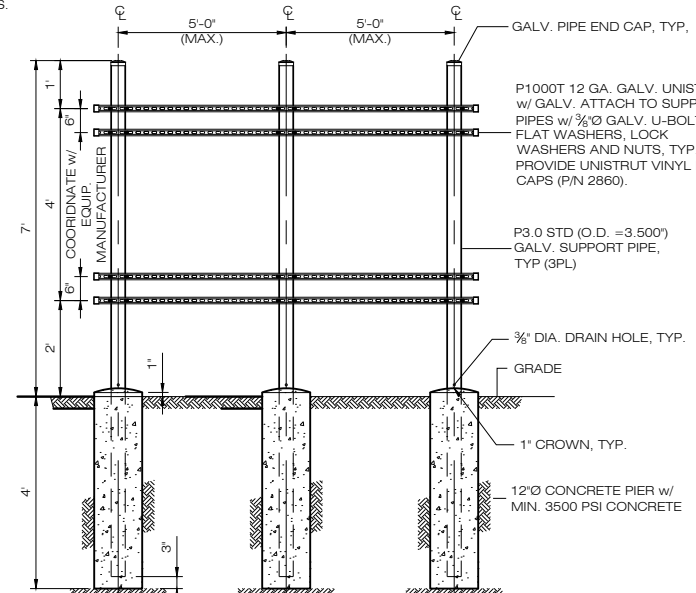


**SECTION-FRAME SIDE DOUBLE GATE FRAME SIDE**

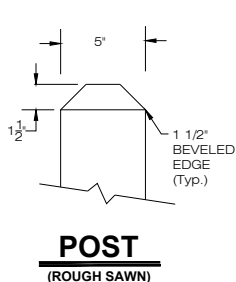
FENCE NOTE:  
WOOD FENCE TO BE LEFT NATURAL AND  
WILL HAVE NO PAINT OR STAIN FINISH.



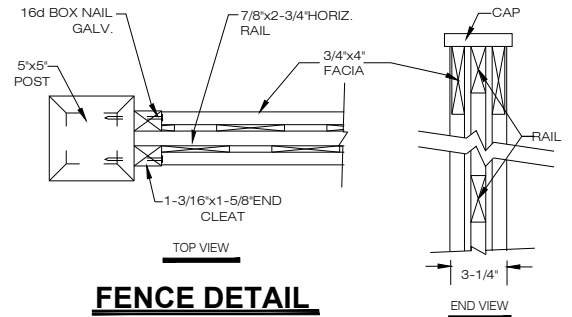
**6 BOLLARD DETAIL**  
C-1 SCALE: N.T.S.



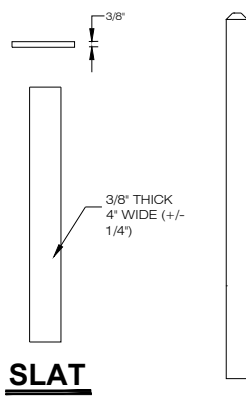
**9 UTILITY BACKBOARD FRAME DETAIL**  
C-1 SCALE: N.T.S.



**POST (ROUGH SAWN)**



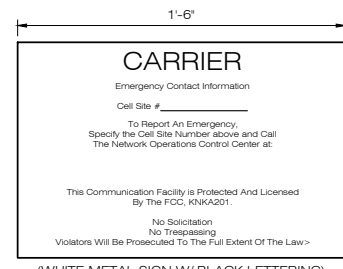
**FENCE DETAIL**



**SLAT**

**FENCE POST**

**5 SHADOWBOX FENCE**  
Typ. 8' Section Length - Northern White Cedar  
C-1 SCALE: N.T.S.



SIGN 'A'

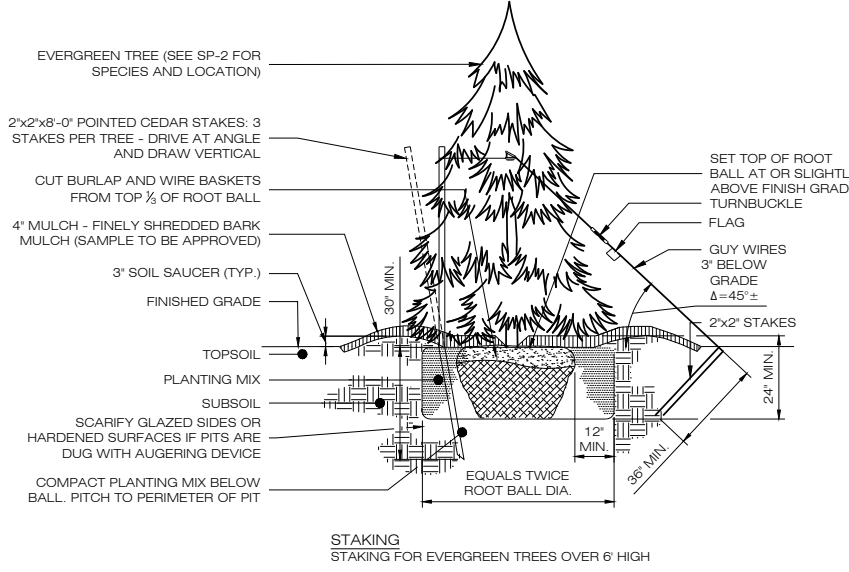


SIGN 'B'



SIGN 'C'

**7 TYPICAL SIGNAGE**  
C-1 SCALE: N.T.S.



**8 EVERGREEN TREE PLANTING**  
C-1 SCALE: N.T.S.

**HOMELAND TOWERS, LLC**  
9 HARMONY STREET  
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340 MOUNT KEMBLE AVENUE  
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PERMITTING DOCUMENTS		
NO	DATE	REVISION
0	12/07/21	FOR REVIEW: RCB
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4	06/23/22	CLIENT REVISIONS: RCB
5	09/01/22	CSC REVISIONS: RCB
6		
7		
8		

**DESIGN PROFESSIONALS OF RECORD**

PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.  
ADD: 567 VAUXHALL STREET EXTENSION - SUITE 311 WATERFORD, CT 06385

DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**

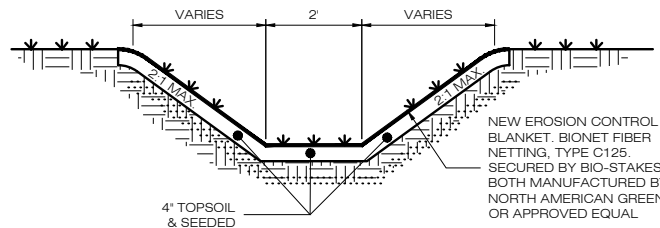
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840

APT FILING NUMBER: CT283860

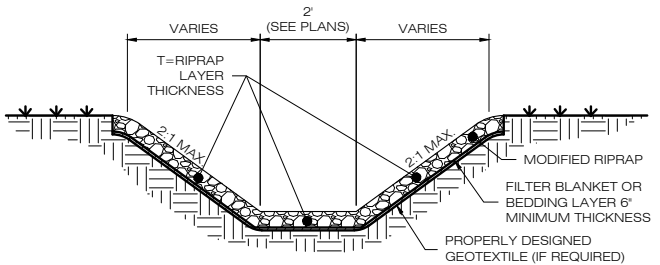
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

SHEET TITLE:  
**SITE DETAILS**

SHEET NUMBER:  
**C-1**

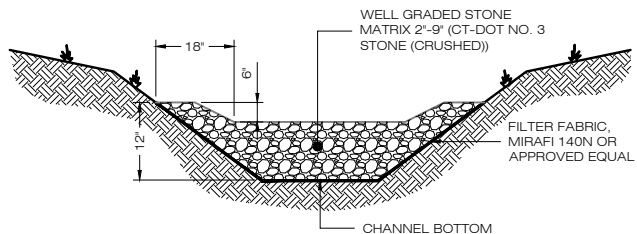


**1 GRASS LINED SWALE**  
SCALE : N.T.S.

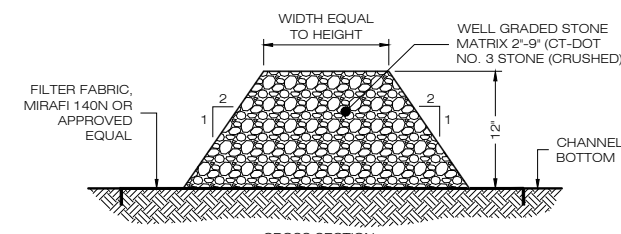


**2 RIPRAP LINED SWALE**  
SCALE : N.T.S.

- NOTES:
- T=1.5 TIMES THE MAXIMUM STONE SIZE BUT NOT LESS THAN 12 INCHES.
  - THE TOTAL HEIGHT OF THE LINING IS DEPENDENT UPON THE DESIGN DEPTH OF FLOW PLUS RUNUP DUE TO CHANNEL CURVATURE, PLUS FREEBOARD
  - IN CHANNELS WITH SIGNIFICANT BOTTOM WIDTHS LOW FLOW CHANNELS MAY BE INCORPORATED
  - SIDE SLOPES STEEPER THAN 2:1 OR SLOPES WITH UNSUITABLE MATERIAL WILL REQUIRE ADDITIONAL ANALYSIS.
  - STONE CHECK DAMS SHALL BE INSTALLED IN ALL SWALES

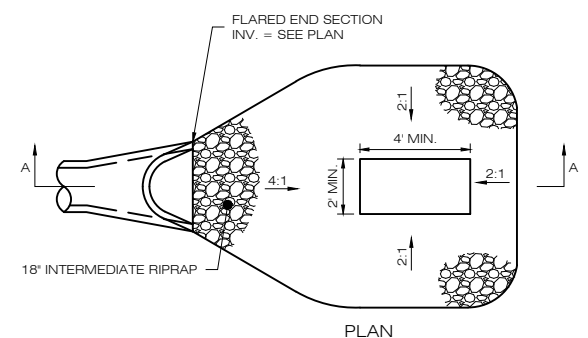


**3 STONE CHECK DAM**  
SCALE : N.T.S.

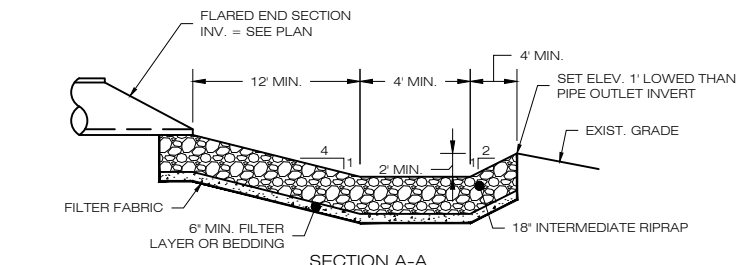


**4 TYPE 'C-L' CATCH BASIN WITH HOOD**  
SCALE : N.T.S.

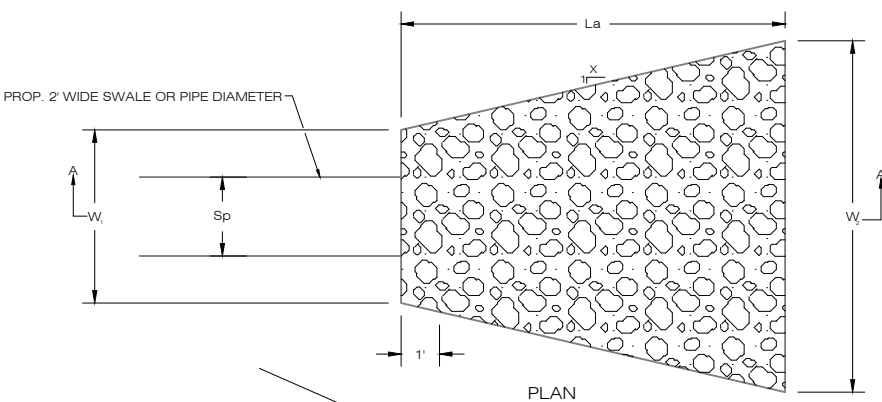
- NOTES:
- A THREE-INCH STRUCTURAL MASONRY BRICK CHIMNEY SHALL BE PLACED BENEATH EACH FRAME FOR FUTURE ADJUSTMENTS.
  - FRAMES SHALL BE SET ONE INCH BELOW FINISHED GRADE AS MEASURED AT A DISTANCE 1/2" IN EITHER DIRECTION ALONG THE GUTTER LINE.
  - THE CATCH BASINS SHALL BE PRECAST CONCRETE AS MANUFACTURED BY FORT MILLER CO., INC., OR APPROVED EQUAL. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF NYSDOT SPECIFICATIONS SECTION 555, STRUCTURAL CONCRETE.
  - PRECAST CONCRETE CATCH BASINS SHALL BE CAST WITH 4000 PSI CONCRETE (AT 28 DAYS), THE STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615-A497. AIR ENTRAINMENT SHALL BE A MINIMUM OF 5%. THE LOADING SHALL CONFORM TO AASHTO H-20 WITH 30% IMPACT & EQUIVALENT SOIL PRESSURE OF 130 POUNDS PER CUBIC FOOT.
  - ALL CATCH BASINS SHALL BE CONSTRUCTED WITH ALUMINUM STEPS AS MANUFACTURED BY ALCOA ALUMINUM, TYPE NO. 16207B OR APPROVED EQUAL. STEPS SHALL BE SET 12 INCHES ON CENTER.
  - ALL PIPE SHALL BE CUT FLUSH WITH THE INTERIOR WALLS OF THE CATCH BASINS.
  - ALL CATCH BASINS SHALL BE PLACED ON A 6" FOUNDATION OF 3/4" WASHED CRUSHED STONE.
  - THE CATCH BASIN FRAMES & GRATES SHALL BE CAST-IRON TYPE 2541 CAMPBELL FOUNDRY OR APPROVED EQUAL.
  - THE CAST-IRON FRAMES SHALL BE SET IN A BED OF MORTAR.
  - CATCH BASINS SHALL HAVE AN 18" SUMP.



**5 RIPRAP STILLING BASIN**  
SCALE : N.T.S.

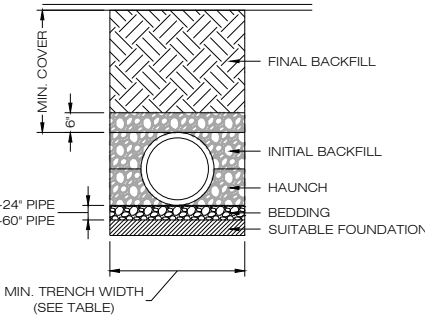


**6 RIPRAP APRON**  
SCALE : N.T.S.



OUTLET	SWALE WIDTH/ PIPE DIAMETER Sp (FT)	APRON LENGTH La (FT)	APRON INITIAL WIDTH W1 (FT)	APRON TERMINAL WIDTH W2 (FT)	RIPRAP SPECIFICATION
FE-1	1	5	3	6.5	MODIFIED

	X	W <sub>1</sub>	W <sub>2</sub>
TYPE A RIPRAP APRON	3	3Sp	3Sp + 0.7 La
TYPE B RIPRAP APRON	5	3Sp	3Sp + 0.4 La



PIPE DIA.	MIN. TRENCH WIDTH
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

- NOTES:
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, 'STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS', LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

**7 HDPE STORM DRAINAGE TRENCH DETAIL**  
SCALE : N.T.S.

**H**  
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PERMITTING DOCUMENTS

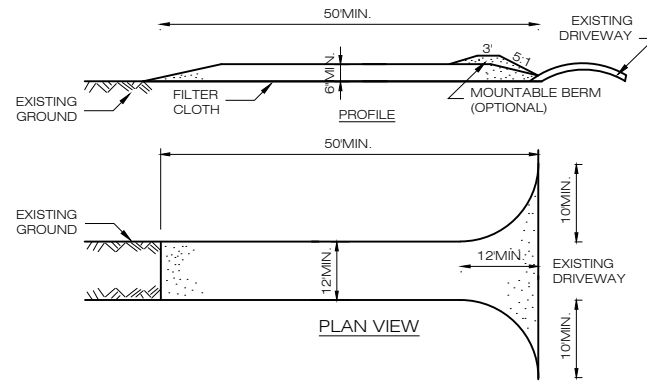
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DESIGN PROFESSIONALS OF RECORD  
PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.  
ADD: 567 VAUXHAUL STREET  
EXTENSION - SUITE311  
WATERFORD, CT 06385  
DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
DATE: 12/07/21 DRAWN BY: CSH  
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SHEET TITLE:  
**SITE DETAILS**

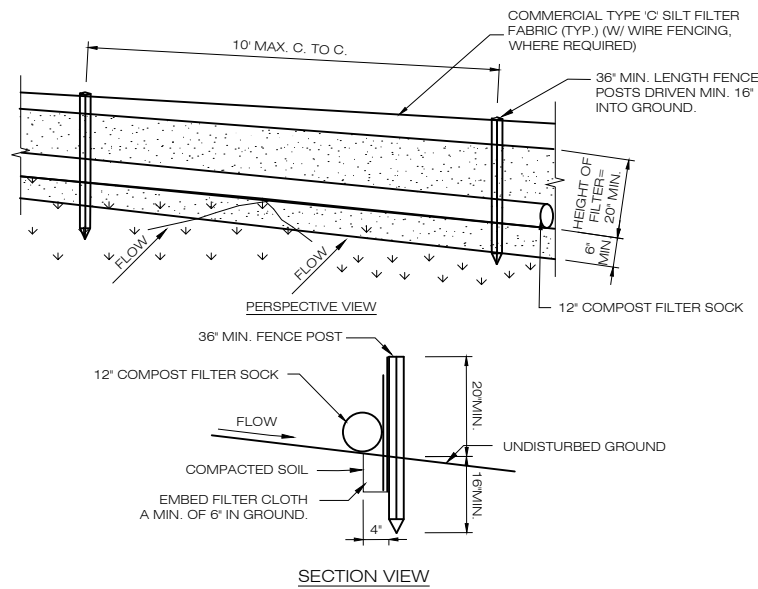
SHEET NUMBER:  
**C-2**



**CONSTRUCTION SPECIFICATIONS:**

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

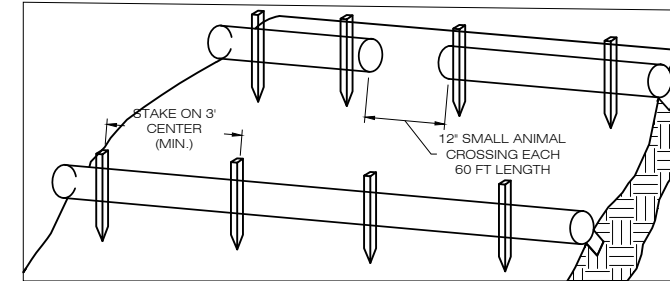
**1 (CE) CONSTRUCTION ENTRANCE DETAIL**  
C-3 SCALE: N.T.S.



**CONSTRUCTION SPECIFICATIONS**

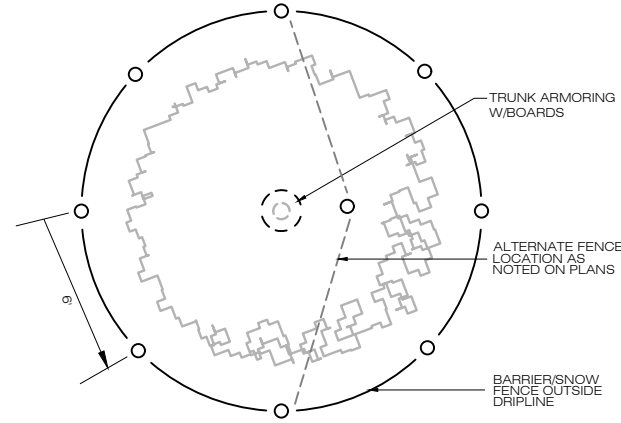
1. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**2 GEOTEXTILE SILT FENCE/FILTER SOCK DETAIL**  
C-3 SCALE: N.T.S.



1. BEGIN AT THE LOCATION WHERE THE SOCK IS TO BE INSTALLED BY EXCAVATING A 2'-3" (6-7.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE SOCK IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE SOCK ON THE UPHILL SIDE. SOCKS SHALL BE INSTALLED IN 60 FT CONTINUOUS LENGTHS WITH ADJACENT SOCKS TIGHTLY ABUT. EVERY 60 FT THE SOCK ROW SHALL BE SPACED 12 INCHES CLEAR, END TO END, FOR AMPHIBIAN AND REPTILE TRAVEL. THE OPEN SPACES SHALL BE STAGGERED MID LENGTH OF THE NEXT DOWN GRADIENT SOCK.
3. SECURE THE SOCK WITH 18-24" (45.7-61 CM) STAKES EVERY 3'-4" (0.9-1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2'-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE SOCK. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.

**3 COMPOST FILTER SOCK SEDIMENTATION CONTROL BARRIER**  
C-3 SCALE: N.T.S.

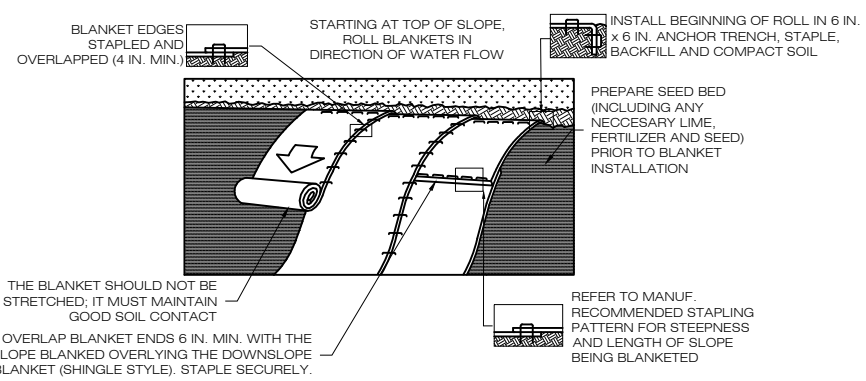


**EROSION CONTROL BLANKET INSTALLATION**

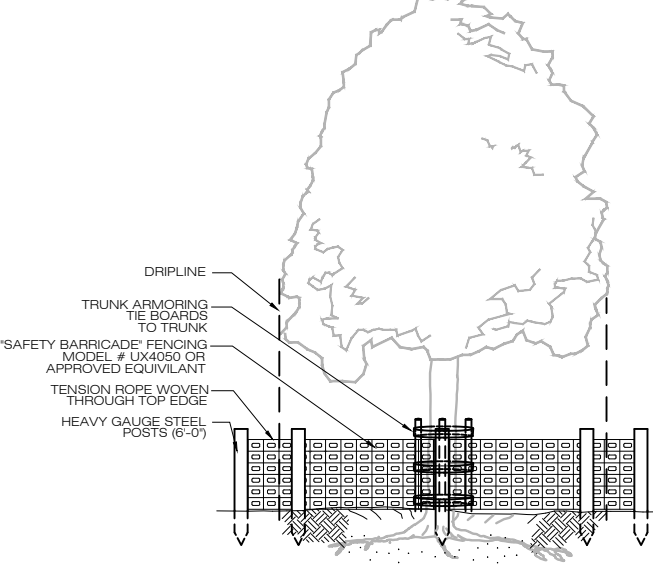
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12' OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12' APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12' PORTION OF RECPs BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12' APART ACROSS THE WIDTH OF THE RECPs.
3. ROLL THE RECPs DOWN HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2' - 5' OVERLAP DEPENDING ON THE RECP TYPE.
5. CONSECUTIVE RECPs SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3' OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12' APART ACROSS ENTIRE RECP WIDTH.

**NOTES:**

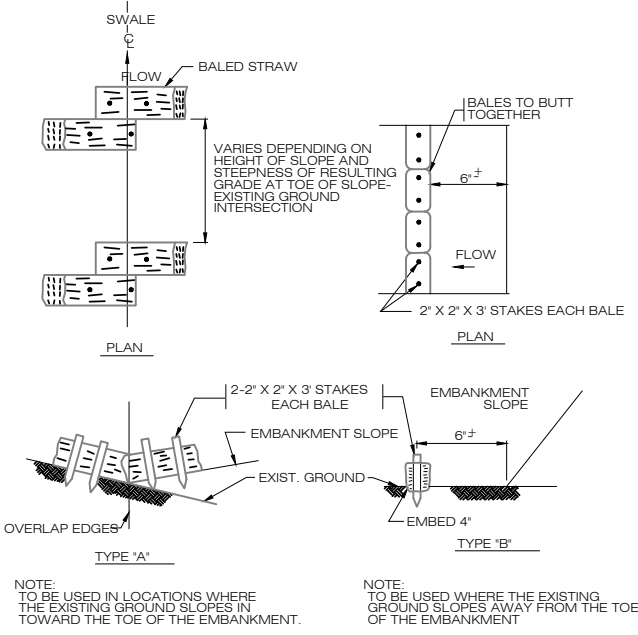
1. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
2. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
3. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
4. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
5. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



**5 EROSION CONTROL BLANKET STEEP SLOPES**  
C-3 SCALE: N.T.S.



**6 TREE PROTECTION**  
C-3 SCALE: N.T.S.



**4 STRAW BALE CHECK DAM SEDIMENTATION CONTROL BARRIER**  
C-3 SCALE: N.T.S.

**H**  
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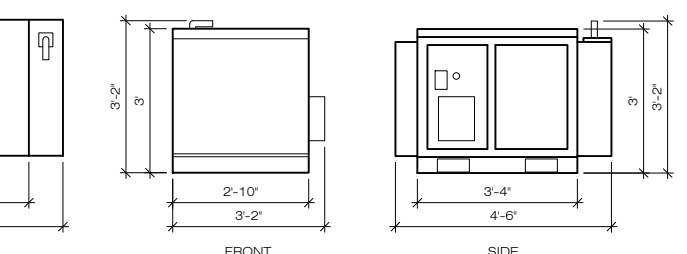
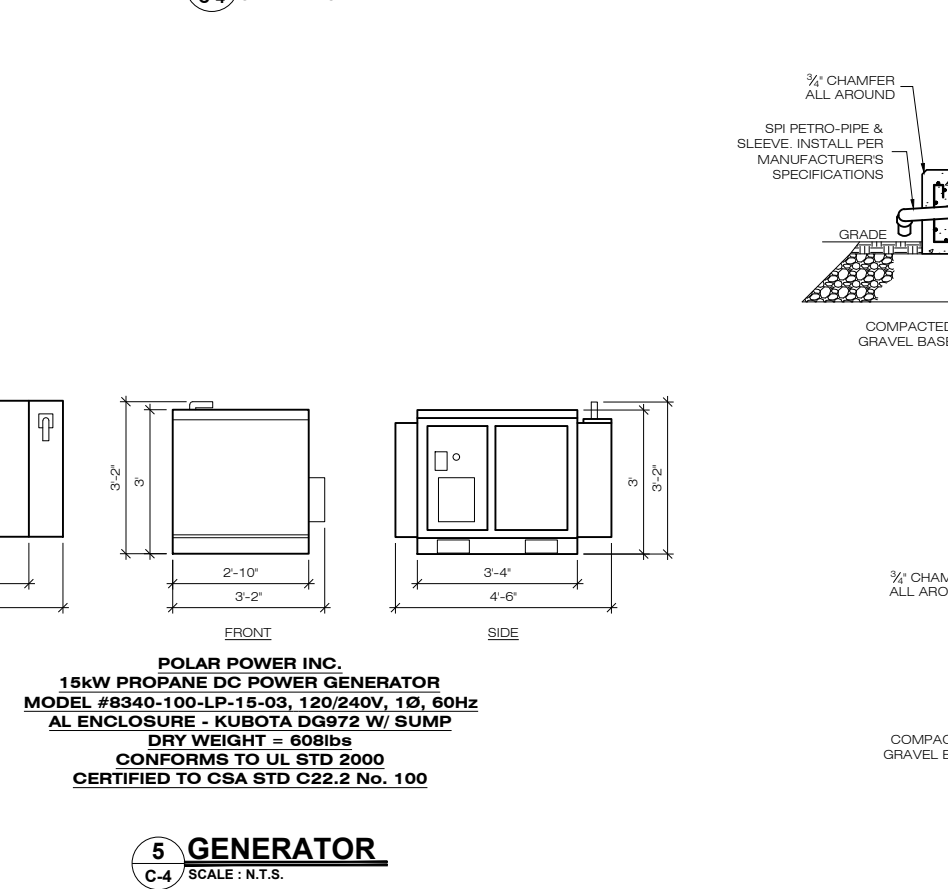
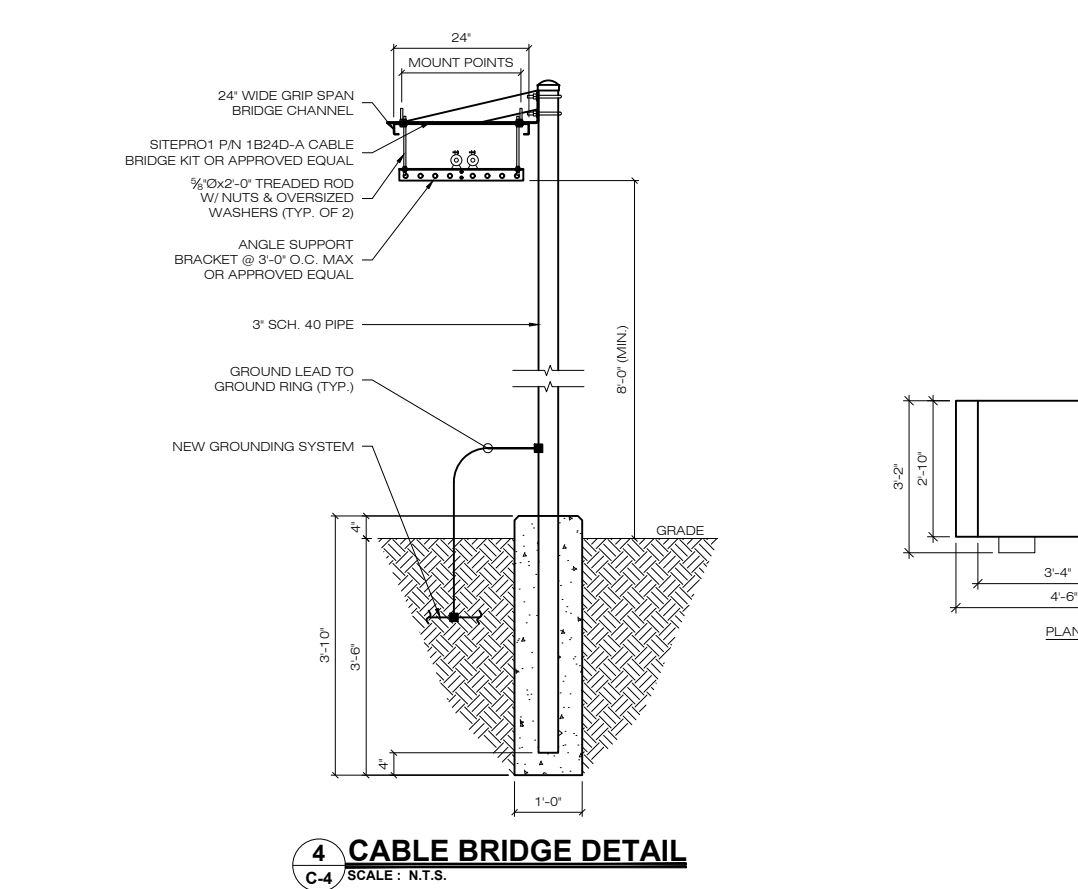
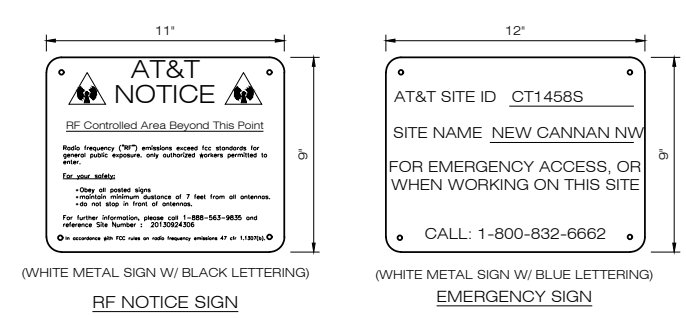
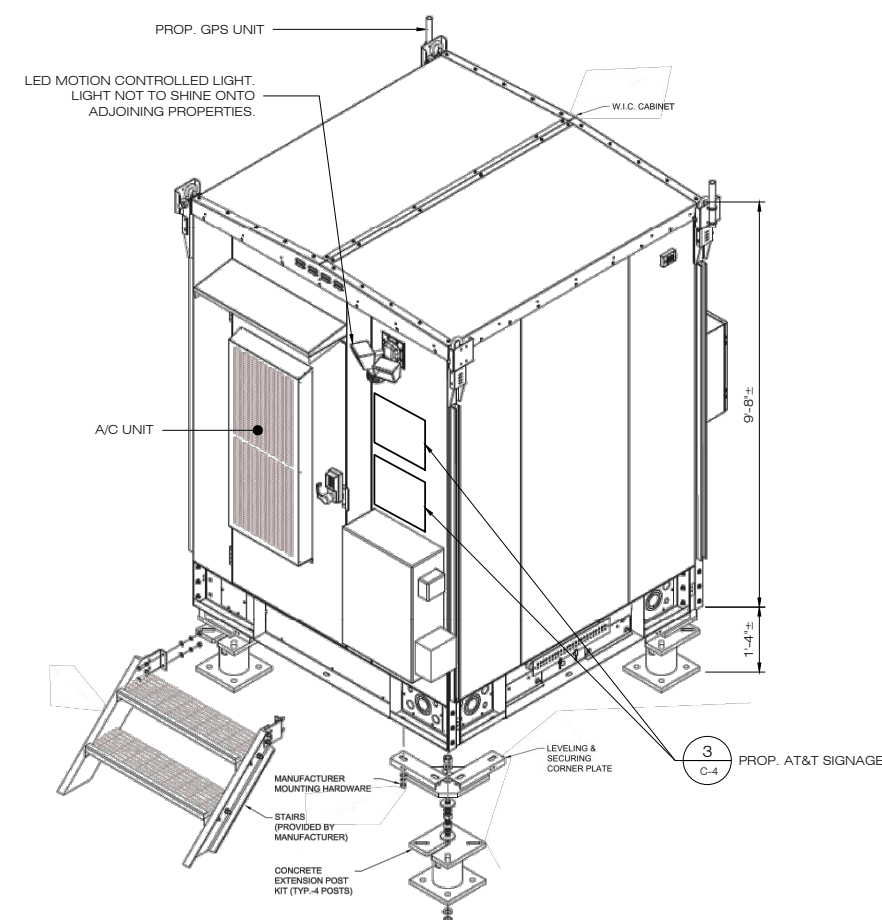
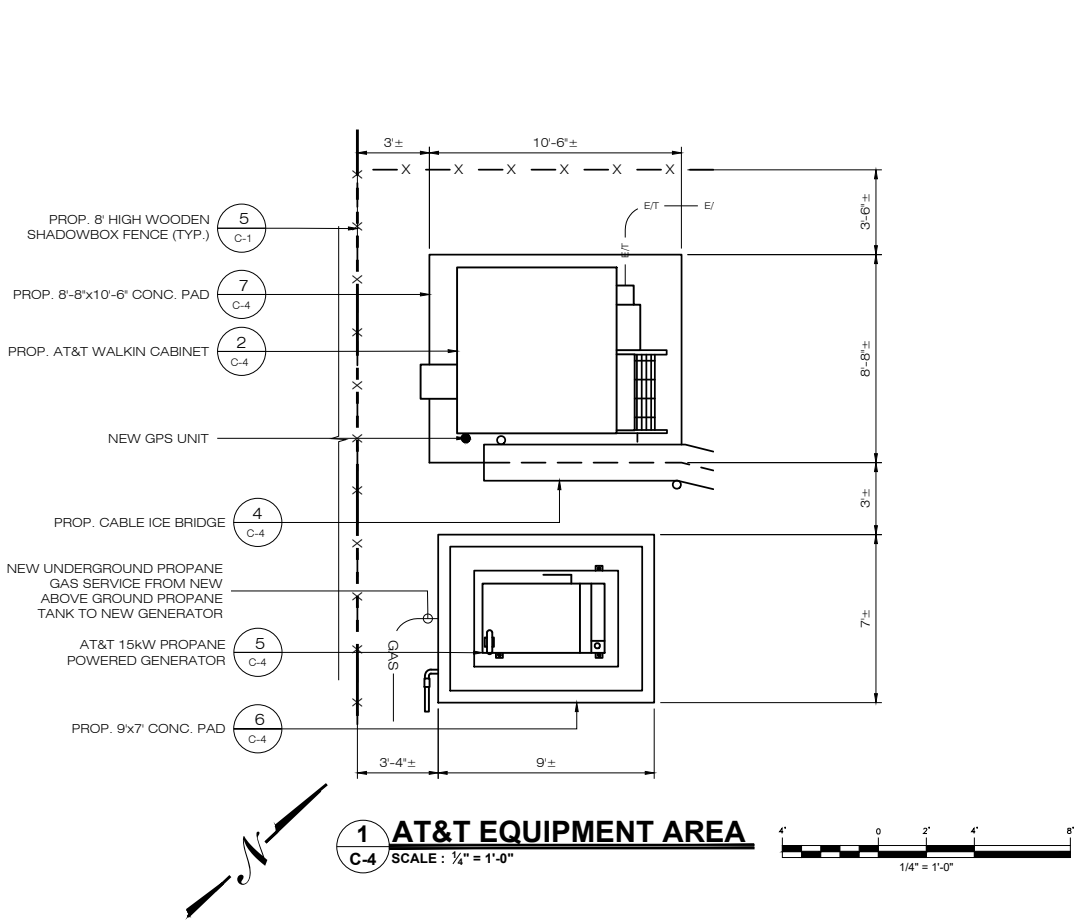
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NO	DATE	REVISION
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1	12/10/21	FOR REVIEW: RCB
2	03/29/22	FOR REVIEW: RCB
3	04/04/22	CLIENT REVISIONS: RCB
4	06/23/22	CLIENT REVISIONS: RCB
5	09/01/22	CSC REVISIONS: RCB
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**DESIGN PROFESSIONALS OF RECORD**  
PROF: ROBERT C. BURNS P.E.  
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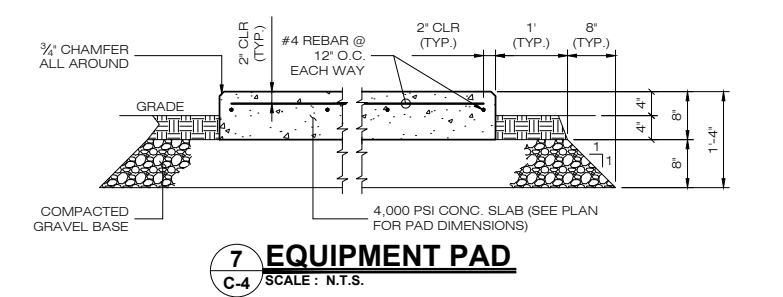
**HOMELAND TOWERS NEW CANAAN NORTHWEST**  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

SHEET TITLE:  
**EROSION CONTROL DETAILS**

SHEET NUMBER:  
**C-3**



**POLAR POWER INC.**  
 15kW PROPANE DC POWER GENERATOR  
 MODEL #8340-100-LP-15-03, 120/240V, 1Ø, 60Hz  
 AL ENCLOSURE - KUBOTA DG972 W/ SUMP  
 DRY WEIGHT = 608lbs  
 CONFORMS TO UL STD 2000  
 CERTIFIED TO CSA STD C22.2 No. 100



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 HOMETOWN TOWERS, LLC  
 9 HARMONY STREET  
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**PERMITTING DOCUMENTS**

NO	DATE	REVISION
0	12/07/21	FOR REVIEW: RCB
1	12/10/21	FOR REVIEW: RCB
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 ADD: 567 VAUXHALL STREET EXTENSION - SUITE311 WATERFORD, CT 06385  
 DEVELOPER: HOMETOWN TOWERS, LLC  
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**HOMETOWN TOWERS NEW CANAAN NORTHWEST**  
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 APT FILING NUMBER: CT283860  
 DATE: 12/07/21 DRAWN BY: CSH  
 CHECKED BY: RCB

**SHEET TITLE:**  
 AT&T EQUIPMENT PLAN & DETAILS

**SHEET NUMBER:**  
 C-4

**ENVIRONMENTAL NOTES - RESOURCES PROTECTION MEASURES (CONT'D ON DRAWING N-2)**

WETLAND, RARE SPECIES, INVASIVE SPECIES CONTROL PLAN, AND PUBLIC WATER SUPPLY WATERSHED PROTECTION PROGRAM

AS A RESULT OF THE PROJECT'S LOCATION IN THE VICINITY OF SENSITIVE WETLAND RESOURCES, RARE SPECIES HABITAT, AND WITHIN A PUBLIC WATER SUPPLY WATERSHED, THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED BY THE CONTRACTOR TO AVOID UNINTENTIONAL IMPACTS TO THESE RESOURCES DURING CONSTRUCTION ACTIVITIES. BMPs ASSOCIATED WITH THESE RESOURCES WILL BE IMPLEMENTED REGARDLESS OF THE TIME OF YEAR WHILE SOME OF THE RARE SPECIES PROTECTION MEASURES COINCIDE WITH SPECIES ACTIVITY/INACTIVITY DATES.

LITTLE BROWN BAT (*MYOTIS LUCIFUGUS*), RED BAT (*LASIURUS BOREALIS*), AND EASTERN BOX TURTLE (*TERRAPENE CAROLINA CAROLINA*), ALL STATE-LISTED RARE SPECIES AFFORDED PROTECTION UNDER THE CONNECTICUT ENDANGERED SPECIES ACT, MAY BE INFLUENCED BY ACTIVITIES WITHIN THE PROPOSED PROJECT AREA. THE RARE SPECIES PROTECTION MEASURES INCLUDED HEREIN SATISFY REQUIREMENTS FROM THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION ("DEEP") WILDLIFE DIVISION IN ACCORDANCE WITH THEIR NATURAL DIVERSITY DATA BASE ("NDDb") DETERMINATION LETTER (NO. 202112676) DATED JANUARY 7, 2022; THIS DETERMINATION IS VALID UNTIL JANUARY 7, 2024 PROVIDED THE SCOPE OF THE PROJECT HAS NOT CHANGED AND WORK HAS BEGUN ON THE PROJECT PRIOR TO THE EXPIRATION DATE. THE PROTECTION MEASURES RECOMMENDED HEREIN FOR PROTECTION OF LITTLE BROWN BAT AND RED BAT WOULD ALSO BE EQUALLY PROTECTIVE OF NORTHERN LONG-EARED BAT ("NLEB"; *MYOTIS SEPTENTRIONALIS*), A STATE ENDANGERED AND FEDERAL THREATENED SPECIES, ALTHOUGH NLEB WAS NOT IDENTIFIED IN THE NDDb DETERMINATION LETTER AS A SPECIES OF CONCERN FOR THIS PROJECT.

THE PUBLIC WATER SUPPLY WATERSHED PROTECTION MEASURES INCLUDED HEREIN SATISFY SOME OF THE CONCERNS AND RECOMMENDATIONS FROM THE DRINKING WATER SECTION OF THE DEPARTMENT OF PUBLIC HEALTH AS NOTED IN THEIR JUNE 1, 2022 LETTER TO THE CONNECTICUT SITING COUNCIL (DOCKET NO. 509). THIS PROJECT IS CONTAINED WITHIN THE PUBLIC WATER SUPPLY WATERSHED OF LAUREL RESERVOIR, AN ACTIVE SOURCE OF DRINKING WATER FOR AQUARIUM WATER COMPANY (PWSID CT1350011), WITH LAUREL RESERVOIR LOCATED ±70 FEET SOUTHWEST AND DOWNGRADIENT FROM THE PROPERTY LINE OF THE PROPOSED ACTIVITY.

IT IS OF THE UTMOST IMPORTANCE THAT THE CONTRACTOR COMPLIES WITH THE REQUIREMENT FOR THE INSTALLATION OF PROTECTIVE MEASURES AND THE EDUCATION OF ITS EMPLOYEES AND SUBCONTRACTORS PERFORMING WORK ON THE PROJECT SITE. ALL-POINTS TECHNOLOGY CORPORATION, P.C. ("APT") WILL SERVE AS THE ENVIRONMENTAL MONITOR FOR THIS PROJECT TO ENSURE THAT THESE PROTECTION MEASURES ARE IMPLEMENTED PROPERLY AND WILL PROVIDE AN EDUCATION SESSION ON THE PROJECT'S PROXIMITY TO SENSITIVE WETLAND RESOURCES, RARE SPECIES, AND THE SITE'S LOCATION WITHIN A PUBLIC WATER SUPPLY WATERSHED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONTACT DEAN GUSTAFSON, SENIOR WETLAND SCIENTIST AT APT, AT LEAST 5 BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. MR. GUSTAFSON CAN BE REACHED BY PHONE AT (860) 552-2033 OR VIA EMAIL AT DGUSTAFSON@ALLPOINTSTECH.COM.

THE AQUARIUM WATER COMPANY WILL BE CONTACTED AT LEAST 3 BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING WITH AN INVITATION TO ATTEND THE PRE-CONSTRUCTION MEETING. THE AQUARIUM WATER COMPANY PERSONNEL SHALL ALSO BE ALLOWED TO PERIODICALLY INSPECT THIS PROJECT DURING CONSTRUCTION TO ENSURE THAT DRINKING WATER QUALITY IS NOT BE ADVERSELY IMPACTED.

THIS RESOURCES PROTECTION PROGRAM CONSISTS OF SEVERAL COMPONENTS INCLUDING: EDUCATION OF ALL CONTRACTORS AND SUB-CONTRACTORS PRIOR TO INITIATION OF WORK ON THE SITE; INSTALLATION OF EROSION CONTROLS; PETROLEUM MATERIALS STORAGE AND SPILL PREVENTION; PROTECTIVE MEASURES; RARE SPECIES PROTECTION MEASURES; INVASIVE SPECIES CONTROL PLAN, HERBICIDE, PESTICIDE, AND SALT RESTRICTIONS; AND, REPORTING.

1. CONTRACTOR EDUCATION:

- a. PRIOR TO WORK ON SITE AND INITIAL DEPLOYMENT/MOBILIZATION OF EQUIPMENT AND MATERIALS, THE CONTRACTOR SHALL ATTEND AN EDUCATIONAL SESSION AT THE PRE-CONSTRUCTION MEETING WITH APT. THIS ORIENTATION AND EDUCATIONAL SESSION WILL CONSIST OF INFORMATION SUCH AS, BUT NOT LIMITED TO: IDENTIFICATION OF WETLAND RESOURCES PROXIMATE TO WORK AREAS, CONNECTICUT AND FEDERAL LISTING STATUS OF SPECIES THAT COULD BE ENCOUNTERED, TYPICAL SPECIES BEHAVIOR, AND PROPER PROCEDURES IF SPECIES ARE ENCOUNTERED, THE ENVIRONMENTALLY SENSITIVE NATURE OF THE DEVELOPMENT SITE, AND THE NEED TO FOLLOW THE WATERSHED PROTECTION MEASURES.
- b. THE CONTRACTOR WILL BE PROVIDED WITH PHONE (24 HOUR CONTACT) AND EMAIL FOR AQUARIUM WATER COMPANY PERSONNEL TO IMMEDIATELY REPORT ANY RELEASES OF SEDIMENT, FUEL OR HAZARDOUS MATERIALS.
- c. THE MEETING WILL FURTHER EMPHASIZE THE NON-AGGRESSIVE NATURE OF THE RARE SPECIES, THE ABSENCE OF NEED TO DESTROY SUCH ANIMALS AND THE NEED TO FOLLOW PROTECTIVE MEASURES AS DESCRIBED IN FOLLOWING SECTIONS. THE CONTRACTOR WILL DESIGNATE ONE OF ITS WORKERS AS THE "PROJECT MONITOR", WHO WILL RECEIVE MORE INTENSE TRAINING ON THE IDENTIFICATION AND PROTECTION OF POSSIBLE EASTERN BOX TURTLES THAN MAY BE ENCOUNTERED.
- d. THE CONTRACTOR WILL DESIGNATE A MEMBER OF ITS CREW AS THE PROJECT MONITOR TO BE RESPONSIBLE FOR THE PERIODIC "SWEEPS" FOR TURTLES (AND OTHER POSSIBLE WILDLIFE) WITHIN THE CONSTRUCTION ZONE EACH MORNING AND FOR ANY GROUND DISTURBANCE WORK. THIS INDIVIDUAL WILL RECEIVE MORE INTENSE TRAINING FROM APT ON THE IDENTIFICATION AND PROTECTION OF EASTERN BOX TURTLE IN ORDER TO PERFORM SWEEPS. ANY TURTLES (OR OTHER WILDLIFE) DISCOVERED WOULD BE TRANSLOCATED OUTSIDE THE WORK ZONE IN THE GENERAL DIRECTION THE ANIMAL WAS ORIENTED.
- e. THE CONTRACTORS PROJECT MONITOR WILL BE PROVIDED WITH CELL PHONE AND EMAIL CONTACTS FOR APT PERSONNEL TO IMMEDIATELY REPORT ANY ENCOUNTERS WITH TURTLES. EDUCATIONAL POSTER MATERIALS WILL BE PROVIDED BY APT AND DISPLAYED ON THE JOB SITE TO MAINTAIN WORKER AWARENESS AS THE PROJECT PROGRESSES.
- f. APT WILL ALSO POST CAUTION SIGNS THROUGHOUT THE PROJECT SITE FOR THE DURATION OF THE CONSTRUCTION PROJECT PROVIDING NOTICE OF THE ENVIRONMENTALLY SENSITIVE NATURE OF THE WORK AREA, THE POTENTIAL FOR ENCOUNTERING EASTERN BOX TURTLE AND PRECAUTIONS TO BE TAKEN TO AVOID INJURY TO OR MORTALITY OF THESE ANIMALS.

2. EROSION AND SEDIMENTATION CONTROLS/ISOLATION BARRIERS

- a. PLASTIC NETTING USED IN A VARIETY OF EROSION CONTROL PRODUCTS (I.E., EROSION CONTROL BLANKETS, FIBER ROLLS [WATTLES], REINFORCED SILT FENCE) HAS BEEN FOUND TO ENTANGLE WILDLIFE, INCLUDING REPTILES, AMPHIBIANS, BIRDS AND SMALL MAMMALS. NO PERMANENT EROSION CONTROL PRODUCTS OR REINFORCED SILT FENCE WILL BE USED ON THE PROJECT. TEMPORARY EROSION CONTROL PRODUCTS THAT WILL BE EXPOSED TO THE GROUND SURFACE AND REPRESENT A POTENTIAL FOR WILDLIFE ENTANGLEMENT WILL USE EITHER EROSION CONTROL BLANKETS AND FIBER ROLLS COMPOSED OF PROCESSED FIBERS MECHANICALLY BOUND TOGETHER TO FORM A CONTINUOUS MATRIX (NETLESS) OR NETTING COMPOSED OF PLANAR WOVEN NATURAL BIODEGRADABLE FIBER TO AVOID/MINIMIZE WILDLIFE ENTANGLEMENT.
- b. INSTALLATION OF EROSION AND SEDIMENTATION CONTROLS, REQUIRED FOR EROSION CONTROL COMPLIANCE AND CREATION OF A BARRIER TO POSSIBLE MIGRATING/DISPERSING WILDLIFE, SHALL BE PERFORMED BY THE CONTRACTOR IF ANY SOIL DISTURBANCE OCCURS OR HEAVY MACHINERY IS ANTICIPATED TO BE USED ON SLOPES. THE ENVIRONMENTAL MONITOR WILL INSPECT THE WORK ZONE AREA PRIOR TO AND FOLLOWING EROSION CONTROL BARRIER INSTALLATION. IN ADDITION, WORK ZONES WILL BE INSPECTED PRIOR TO AND FOLLOWING EROSION CONTROL BARRIER INSTALLATION TO ENSURE THE AREA IS FREE OF EASTERN BOX TURTLES AND OTHER WILDLIFE AND SATISFACTORILY INSTALLED. THE INTENT OF THE BARRIER IS TO SEGREGATE THE MAJORITY OF THE WORK ZONE FROM POSSIBLE TURTLES AND OTHER WILDLIFE SPECIES, IN ADDITION TO SERVING AS AN EROSION CONTROL DEVICE. OFTENTIMES COMPLETE ISOLATION OF A WORK ZONE IS NOT FEASIBLE DUE TO ACCESSIBILITY NEEDS AND LOCATIONS OF STAGING/MATERIAL STORAGE AREAS, ETC. IN THOSE CIRCUMSTANCES, THE BARRIERS WILL BE POSITIONED TO DEFLECT MIGRATING/DISPERSAL ROUTES AWAY FROM THE WORK ZONE TO MINIMIZE POTENTIAL ENCOUNTERS WITH TURTLES/WILDLIFE AT THE DISCRETION OF THE ENVIRONMENTAL MONITOR.
- c. THE CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTIONS OF THE SEDIMENTATION AND EROSION CONTROLS FOR TEARS OR BREECHES AND ACCUMULATION LEVELS OF SEDIMENT, PARTICULARLY FOLLOWING STORM EVENTS THAT GENERATE A DISCHARGE, AS DEFINED BY AND IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE APT ENVIRONMENTAL MONITOR WITHIN 24 HOURS OF ANY BREECHES OF THE SEDIMENTATION AND EROSION CONTROLS AND ANY SEDIMENT RELEASES BEYOND THE PERIMETER CONTROLS THAT IMPACT LAUREL RESERVOIR, WETLANDS OR AREAS WITHIN 100 FEET OF WETLANDS. THE APT ENVIRONMENTAL MONITOR WILL PROVIDE PERIODIC INSPECTIONS OF THE SEDIMENTATION AND EROSION CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES ONLY AS IT PERTAINS TO THEIR FUNCTION TO PROTECT NEARBY WETLANDS. SUCH INSPECTIONS WILL GENERALLY OCCUR ONCE PER MONTH. THE FREQUENCY OF MONITORING MAY INCREASE DEPENDING UPON SITE CONDITIONS, LEVEL OF CONSTRUCTION ACTIVITIES IN PROXIMITY TO SENSITIVE RECEPTORS, OR AT THE REQUEST OF REGULATORY AGENCIES. IF THE ENVIRONMENTAL MONITOR IS NOTIFIED BY THE CONTRACTOR OF A SEDIMENT RELEASE, AN INSPECTION WILL BE SCHEDULED SPECIFICALLY TO INVESTIGATE AND EVALUATE POSSIBLE IMPACTS TO WETLAND RESOURCES.
- d. THIRD PARTY MONITORING OF SEDIMENTATION AND EROSION CONTROLS WILL BE PERFORMED BY OTHER PARTIES, AS NECESSARY, UNDER APPLICABLE LOCAL, STATE AND/OR FEDERAL REGULATIONS AND PERMIT CONDITIONS.
- e. THE EXTENT OF THE EROSION CONTROLS WILL BE AS SHOWN ON THE SITE PLANS. THE CONTRACTOR SHALL HAVE ADDITIONAL EROSION CONTROL MATERIALS SHOULD FIELD CONDITIONS WARRANT EXTENDING THE FENCING AS DIRECTED BY THE ENVIRONMENTAL MONITOR.
- f. NO EQUIPMENT, VEHICLES OR CONSTRUCTION MATERIALS SHALL BE STORED WITHIN 100 FEET OF LAUREL RESERVOIR OR WETLAND RESOURCES.
- g. ALL SILT FENCING AND OTHER EROSION CONTROL DEVICES SHALL BE REMOVED WITHIN 30 DAYS OF COMPLETION OF WORK AND PERMANENT STABILIZATION OF SITE SOILS. IF FIBER ROLLS/WATTLES, STRAW BALES, OR OTHER NATURAL MATERIAL EROSION CONTROL PRODUCTS ARE USED, SUCH DEVICES WILL NOT BE LEFT IN PLACE TO BIODEGRADE AND SHALL BE PROMPTLY REMOVED AFTER SOILS ARE STABLE SO AS NOT TO CREATE A BARRIER TO WILDLIFE MOVEMENT. SEED FROM SEEDING OF SOILS SHOULD NOT SPREAD OVER FIBER ROLLS/WATTLES AS IT MAKES THEM HARDER TO REMOVE ONCE SOILS ARE STABILIZED BY VEGETATION.

3. PETROLEUM MATERIALS STORAGE AND SPILL PREVENTION

- a. CERTAIN PRECAUTIONS ARE NECESSARY TO STORE PETROLEUM MATERIALS, REFUEL AND CONTAIN AND PROPERLY CLEAN UP ANY INADVERTENT FUEL OR PETROLEUM (I.E., OIL, HYDRAULIC FLUID, ETC.) SPILL DUE TO THE PROJECT'S LOCATION WITHIN A PUBLIC WATER SUPPLY WATERSHED AND IN PROXIMITY TO WETLAND RESOURCES AND RARE SPECIES HABITAT.

b. A SPILL CONTAINMENT KIT CONSISTING OF A SUFFICIENT SUPPLY OF ABSORBENT PADS AND ABSORBENT MATERIAL WILL BE MAINTAINED BY THE CONTRACTOR AT THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT. IN ADDITION, A WASTE DRUM WILL BE KEPT ON SITE TO CONTAIN ANY USED ABSORBENT PADS/MATERIAL FOR PROPER AND TIMELY DISPOSAL OFF SITE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL LAWS.

c. SERVICING OF MACHINERY SHALL ONLY BE COMPLETED OUTSIDE OF THE PUBLIC WATER SUPPLY WATERSHED PROTECTION ZONE.

d. AT A MINIMUM, THE FOLLOWING PETROLEUM AND HAZARDOUS MATERIALS STORAGE AND REFUELING RESTRICTIONS AND SPILL RESPONSE PROCEDURES WILL BE ADHERED TO BY THE CONTRACTOR.

- i. PETROLEUM AND HAZARDOUS MATERIALS STORAGE AND REFUELING
  - 1. REFUELING OF VEHICLES OR MACHINERY SHALL OCCUR A MINIMUM OF 100 FEET FROM WETLANDS AND LAUREL RESERVOIR AND SHALL TAKE PLACE ON AN IMPERVIOUS PAD WITH SECONDARY CONTAINMENT DESIGNED TO CONTAIN FUELS.
  - 2. FUEL AND OTHER HAZARDOUS MATERIALS SHALL NOT BE STORED WITHIN THE PUBLIC WATER SUPPLY WATERSHED, WHICH ENCOMPASSES THE ENTIRE SUBJECT PROPERTY, DURING NON-WORKING HOURS.
  - 3. ANY FUEL OR HAZARDOUS MATERIALS THAT MUST BE KEPT ON SITE DURING WORKING HOURS SHALL BE STORED ON AN IMPERVIOUS SURFACE UTILIZING SECONDARY CONTAINMENT A MINIMUM OF 100 FEET FROM WETLANDS AND LAUREL RESERVOIR.

- ii. INITIAL SPILL RESPONSE PROCEDURES
  - 1. STOP OPERATIONS AND SHUT OFF EQUIPMENT.
  - 2. REMOVE ANY SOURCES OF SPARK OR FLAME.
  - 3. CONTAIN THE SOURCE OF THE SPILL.
  - 4. DETERMINE THE APPROXIMATE VOLUME OF THE SPILL.
  - 5. IDENTIFY THE LOCATION OF NATURAL FLOW PATHS TO PREVENT THE RELEASE OF THE SPILL TO SENSITIVE NEARBY LAUREL RESERVOIR, WATERWAYS, AND WETLANDS.
  - 6. ENSURE THAT FELLOW WORKERS ARE NOTIFIED OF THE SPILL.

- iii. SPILL CLEAN UP & CONTAINMENT
  - 1. OBTAIN SPILL RESPONSE MATERIALS FROM THE ON-SITE SPILL RESPONSE KIT. PLACE ABSORBENT MATERIALS DIRECTLY ON THE RELEASE AREA.
  - 2. LIMIT THE SPREAD OF THE SPILL BY PLACING ABSORBENT MATERIALS AROUND THE PERIMETER OF THE SPILL.
  - 3. ISOLATE AND ELIMINATE THE SPILL SOURCE.
  - 4. CONTACT THE AQUARIUM WATER COMPANY ALONG WITH APPROPRIATE LOCAL, STATE AND/OR FEDERAL AGENCIES, AS NECESSARY.
  - 5. CONTACT A DISPOSAL COMPANY TO PROPERLY DISPOSE OF CONTAMINATED MATERIALS.

- iv. REPORTING
  - 1. COMPLETE AN INCIDENT REPORT.
  - 2. SUBMIT A COMPLETED INCIDENT REPORT TO LOCAL, STATE AND FEDERAL AGENCIES, AS NECESSARY, INCLUDING THE AQUARIUM WATER COMPANY AND THE CONNECTICUT SITING COUNCIL.

4. WETLAND PROTECTIVE MEASURES

a. A THOROUGH COVER SEARCH OF THE CONSTRUCTION AREA WILL BE PERFORMED BY APT'S ENVIRONMENTAL MONITOR PRIOR TO AND FOLLOWING INSTALLATION OF THE SILT FENCING BARRIER TO REMOVE ANY WILDLIFE FROM THE WORK ZONE PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES. ANY WILDLIFE DISCOVERED WOULD BE TRANSLOCATED OUTSIDE THE WORK ZONE IN THE GENERAL DIRECTION THE ANIMAL WAS ORIENTED. PERIODIC INSPECTIONS WILL BE PERFORMED BY APT'S ENVIRONMENTAL MONITOR THROUGHOUT THE DURATION OF THE CONSTRUCTION, GENERALLY ON A MONTHLY BASIS.

b. ALTHOUGH NO VERNAL POOL HABITAT IS KNOWN TO OCCUR ON OR ADJACENT TO THE SUBJECT PROPERTY, AS A PRECAUTION ANY STORMWATER MANAGEMENT FEATURES, RUTS OR ARTIFICIAL DEPRESSIONS THAT COULD HOLD WATER CREATED INTENTIONALLY OR UNINTENTIONALLY BY SITE CLEARING/CONSTRUCTION ACTIVITIES WILL BE PROPERLY FILLED IN AND PERMANENTLY STABILIZED WITH VEGETATION TO AVOID THE CREATION OF "DECOY POOLS" THAT COULD INTERCEPT AMPHIBIANS POTENTIALLY MOVING THROUGH THE PROJECT AREA. STORMWATER MANAGEMENT FEATURES SUCH AS LEVEL SPREADERS WILL BE CAREFULLY REVIEWED IN THE FIELD TO ENSURE THAT STANDING WATER DOES NOT ENDURE FOR MORE THAN A 24-HOUR PERIOD TO AVOID CREATION OF DECOY POOLS AND MAY BE SUBJECT TO FIELD DESIGN CHANGES. ANY SUCH PROPOSED DESIGN CHANGES WILL BE REVIEWED BY THE DESIGN ENGINEER TO ENSURE STORMWATER MANAGEMENT FUNCTIONS ARE MAINTAINED.

c. EROSION CONTROL MEASURES WILL BE REMOVED NO LATER THAN 30 DAYS FOLLOWING FINAL SITE STABILIZATION SO AS NOT TO IMPEDE WILDLIFE MOVEMENTS.

5. RARE BATS SITE MANAGEMENT MEASURES (TREE CLEARING RESTRICTION)

a. TREE CLEARING IS RESTRICTED TO OCCUR ONLY BETWEEN NOVEMBER 1ST THROUGH MARCH 30TH, DURING THE BATS NON-ROOSTING PERIOD, WHEN BATS WOULD NOT BE PRESENT ON THE SITE.

b. SINCE TREE CLEARING RESTRICTIONS REQUIRE REMOVAL OUTSIDE OF THE GROWING SEASON AND SOIL STABILIZATION IS A CONCERN FOR THIS SITE DUE TO ITS LOCATION WITHIN A PUBLIC WATER SUPPLY WATERSHED AND PROXIMITY TO A PUBLIC DRINKING WATER SUPPLY RESERVOIR, NO STUMPING OR GRUBBING SHOULD OCCUR WITH THE TREE REMOVAL OPERATION AND SOIL DISTURBANCE SHOULD BE KEPT TO A MINIMUM. TREES SHOULD BE CUT NEAR GROUND LEVEL WITH STUMPS LEFT IN PLACE UNTIL THE GROWING SEASON AT WHICH TIME VEGETATIVE SOIL STABILIZATION TECHNIQUES COULD BE EMPLOYED IN ACCORDANCE WITH THE EROSION CONTROL AND CONSTRUCTION SEQUENCE PLAN.

6. TURTLE PROTECTION MEASURES

a. PRIOR TO CONSTRUCTION AND FOLLOWING INSTALLATION OF ISOLATION BARRIERS, THE CONSTRUCTION AREA WILL BE SWEEPED BY APT AND ANY TURTLES OCCURRING WITHIN THE WORK AREA WILL BE RELOCATED TO SUITABLE HABITAT OUTSIDE OF THE ISOLATION BARRIERS.

b. PRIOR TO THE START OF CONSTRUCTION EACH DAY, THE CONTRACTOR SHALL SEARCH THE ENTIRE WORK AREA FOR TURTLES.

c. IF A TURTLE IS FOUND, IT SHALL BE IMMEDIATELY MOVED, UNHARMED, BY BEING CAREFULLY GRASPED IN BOTH HANDS, ONE ON EACH SIDE OF THE SHELL, BETWEEN THE TURTLE'S FORELIMBS AND THE HIND LIMBS, AND PLACED JUST OUTSIDE OF THE ISOLATION BARRIER IN THE SAME APPROXIMATE DIRECTION IT WAS HEADING. EASTERN BOX TURTLES ARE PROTECTED BY LAW AND NO TURTLES SHOULD BE RELOCATED FROM THE PROPERTY.

d. SPECIAL CARE SHALL BE TAKEN BY THE CONTRACTOR DURING EARLY MORNING AND EVENING HOURS SO THAT POSSIBLE BASKING OR FORAGING TURTLES ARE NOT HARMED BY CONSTRUCTION ACTIVITIES.

e. THE CONTRACTOR SHALL BE PARTICULARLY DILIGENT DURING THE MONTHS OF MAY AND JUNE WHEN TURTLES ARE ACTIVELY SELECTING NESTING SITES WHICH RESULTS IN AN INCREASE IN TURTLE MOVEMENT ACTIVITY.

7. INVASIVE SPECIES CONTROL PLAN

THE SETTING FOR THE PROPOSED FACILITY CONSISTS PRIMARILY OF A MATURE FOREST WITH NATIVE TREES, SHRUBS AND FORBS THAT CONTAINS MINIMAL INVASIVE PLANT SPECIES, PARTICULARLY WITHIN THE INTERIOR OF THE SUBJECT PROPERTY WHERE THE PROPOSED FACILITY AND ACCESS ARE PROPOSED. AS SUCH, CERTAIN PRECAUTIONS ARE RECOMMENDED DURING CONSTRUCTION IN ORDER TO AVOID/MINIMIZE THE IMPORTATION OF INVASIVE PLANT SEEDS/MATERIAL THAT COULD COLONIZE THE INTERIOR OF THIS FOREST COMMUNITY AND DIMINISH ITS WILDLIFE HABITAT VALUE. PROPOSED SOIL DISTURBANCES DURING CONSTRUCTION PROVIDE AN OPPORTUNITY FOR INVASIVE PLANTS TO GAIN A FOOTHOLD AND SPREAD INTO THE SURROUNDING FORESTED HABITAT. THIS CAN OCCUR THROUGH THE IMPORTATION OF SOIL THAT CONTAINS INVASIVE PLANT SEED STOCK OR CARRIED BY CONSTRUCTION EQUIPMENT THAT HAS PICKED UP SOIL WITH INVASIVE SEED STOCK. THE INVASIVE SPECIES PLAN INCLUDES THE FOLLOWING:

- a. THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING TO REVIEW THE REQUIREMENTS OF THE INVASIVE SPECIES CONTROL PLAN PRIOR TO MOBILIZATION OF EQUIPMENT, VEHICLES, MATERIALS, ETC. ONTO THE PROPERTY.
- b. PRIOR TO ENTRY ONTO THE PROPERTY, ALL EQUIPMENT AND VEHICLES SHALL BE PRESSURE WASHED BY THE CONTRACTOR AT ITS STORAGE YARD IN ORDER TO REMOVE ANY LOOSE SOIL THAT MAY BE CARRYING INVASIVE PLANT SEEDS.
- c. IMPORTATION OF TOPSOIL ONTO THE PROPERTY SHALL BE MINIMIZED. ANY TOPSOIL IMPORTED SHALL BE FREE OF INVASIVE PLANT SEEDS.
- d. ANY CLEAN FILL MATERIAL IMPORTED ONTO THE PROPERTY SHALL BE FREE OF INVASIVE PLANT SEEDS.
- e. USE OF HAYBALES IS PROHIBITED ON THIS PROJECT. NATURAL EROSION CONTROL MATERIALS SHALL BE EITHER STRAW BALES OR STRAW- OR COMPOST-FILLED SOCKS/WATTLES.
- f. TOPSOIL REMOVED FROM THE PROPOSED ACCESS DRIVE AND FACILITY COMPOUND SHALL BE RETAINED AND TEMPORARILY STOCKPILED ON THE PROPERTY TO RESTORE AND PERMANENTLY STABILIZE DISTURBED AREAS. TEMPORARILY STOCKPILED TOPSOIL SHALL BE IMMEDIATELY SEEDED WITH EITHER ANNUAL RYE OR WINTER RYE IF IT WILL NOT BE USED WITHIN ONE (1) WEEK.
- g. ALL RESTORED AREAS WILL BE INSPECTED DURING THE GROWING SEASON FOR TWO (2) YEARS FOLLOWING ESTABLISHMENT OF PERMANENT VEGETATION TO MONITOR FOR POSSIBLE COLONIZATION BY INVASIVE PLANTS SPECIES. INVASIVE PLANTS ARE THOSE LISTED AS NON-NATIVE INVASIVE WOODY PLANTS BY THE CONNECTICUT INVASIVE PLANT WORKING GROUP.
- h. PERFORMANCE STANDARD: IF INVASIVE WOODY PLANTS ARE IDENTIFIED TO HAVE MORE THAN 10% AERIAL COVERAGE IN THE RESTORED AREAS, A CONTROL PLAN FOR REMOVAL OF THE INVASIVE WOODY PLANTS WILL BE IMPLEMENTED.



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WATERFORD, CT 06385 PH: (860)-663-1697  
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PERMITTING DOCUMENTS		
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0	12/07/21	FOR REVIEW: RCB
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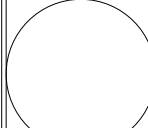
DESIGN PROFESSIONALS OF RECORD		
PROF: ROBERT C. BURNS P.E. COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C. ADD: 567 VAUXHALL STREET EXTENSION - SUITE311 WATERFORD, CT 06385		
DEVELOPER: HOMELAND TOWERS, LLC ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810		

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HOMELAND TOWERS NEW CANAAN NORTHWEST		
SITE: 1837 PONUS RIDGE ROAD ADDRESS: NEW CANAAN, CT 06840		
APT FILING NUMBER: CT283860		
DATE: 12/07/21	DRAWN BY: CSH	
	CHECKED BY: RCB	

SHEET TITLE:		
<b>ENVIRONMENTAL NOTES</b>		

SHEET NUMBER:	
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**ENVIRONMENTAL NOTES - RESOURCES PROTECTION MEASURES (CONT'D FROM DRAWING N-1)**

8. HERBICIDE, PESTICIDE, AND SALT RESTRICTIONS

a. THE USE OF HERBICIDES AND PESTICIDES AT THE FACILITY SHALL BE AVOIDED WHEN POSSIBLE. IN THE EVENT HERBICIDES AND/OR PESTICIDES ARE REQUIRED AT THE FACILITY, THEIR USE WILL BE USED IN ACCORDANCE WITH CURRENT INTEGRATED PEST MANAGEMENT ("IPM") PRINCIPLES WITH PARTICULAR ATTENTION TO AVOID APPLICATIONS WITHIN 100 FEET OF WETLAND AND WATERCOURSE RESOURCES AND LAUREL RESERVOIR.

b. MAINTENANCE OF THE FACILITY DURING THE WINTER MONTHS SHALL NOT INCLUDE THE APPLICATION OF SALT OR SIMILAR PRODUCTS FOR MELTING SNOW OR ICE.

9. ACID ROCK DRAINAGE

a. ACID ROCK DRAINAGE ("ARD") IS CAUSED BY THE PRESENCE OF BEDROCK CONTAINING HIGH LEVELS OF IRON SULFIDE, PARTICULARLY WHEN SUCH ROCK IS FRESHLY EXPOSED OR CRUSHED AND SUBJECTED TO PRECIPITATION. UNDER THESE CONDITIONS, THERE IS AN ELEVATED RISK FOR MOBILIZING NATURALLY-OCCURRING IRON, MANGANESE, AND SULFUR, WHICH MAY ADVERSELY AFFECT GROUNDWATER AND DRINKING WATER QUALITY. THE FOLLOWING RECOMMENDATIONS FOLLOW GUIDANCE PROVIDED IN DEEP'S GUIDANCE DOCUMENT FOR EVALUATING POTENTIAL HYDROGEOLOGIC IMPACTS ASSOCIATED WITH BLASTING & DEVELOPMENT ACTIVITIES, DATED DECEMBER 2019 (REV. 12-12-19).

b. THE GEOTECHNICAL INVESTIGATION TO BE PERFORMED AT THE SITE WILL INCLUDE AN EVALUATION OF THE UNDERLYING BEDROCK IN TERMS OF ITS POTENTIAL TO CAUSE ARD. A QUALIFIED ENVIRONMENTAL PROFESSIONAL WILL EVALUATE THE POTENTIAL IMPACTS OF ARD THROUGH TESTING THE MINERALOGY AND CHEMISTRY OF THE BEDROCK MATERIAL UNDERLYING THE SITE.

c. BASED ON THE RESULTS OF THIS ANALYSIS, THE ENVIRONMENTAL PROFESSIONAL WILL PROVIDE AN OPINION ON THE POTENTIAL FOR ARD IMPACTING GROUNDWATER AND DRINKING WATER QUALITY AND MAKE RECOMMENDATIONS TO ALLOW ON SITE USE OF REMOVED BEDROCK INCORPORATED INTO THE FILL OR IF REMOVAL AND OFFSITE DISPOSAL IS NECESSARY.

10. REPORTING

a. COMPLIANCE MONITORING REPORTS (BRIEF NARRATIVE AND APPLICABLE PHOTOS) DOCUMENTING EACH APT INSPECTION WILL BE SUBMITTED BY APT TO HOMELAND TOWERS FOR COMPLIANCE VERIFICATION WITH RESPECT TO THE RARE SPECIES, WETLAND, AND PUBLIC WATER SUPPLY WATERSHED PROTECTION PROVISIONS NOTED IN THESE ENVIRONMENTAL NOTES. ANY OBSERVATIONS OF EASTERN BOX TURTLES (OR OTHER WILDLIFE), IMPACTS, OR CORRECTIVE ACTIONS WILL BE INCLUDED IN THE REPORTS.

b. FOLLOWING COMPLETION OF THE CONSTRUCTION PROJECT, APT WILL PROVIDE A FINAL COMPLIANCE MONITORING REPORT TO HOMELAND TOWERS DOCUMENTING IMPLEMENTATION OF THE RESOURCES PROTECTION PROGRAM AND MONITORING OBSERVATIONS. HOMELAND TOWERS WILL PROVIDE A COPY OF THE COMPLIANCE MONITORING SUMMARY REPORT TO THE CONNECTICUT SITING COUNCIL FOR COMPLIANCE VERIFICATION.

c. ANY OBSERVATIONS OF RARE SPECIES WILL BE REPORTED TO CTDEEP BY APT, WITH PHOTO-DOCUMENTATION (IF POSSIBLE) AND WITH SPECIFIC INFORMATION ON THE LOCATION AND DISPOSITION OF THE ANIMAL.

d. AN ANNUAL REPORT WILL BE PREPARED FOR EACH OF THE TWO YEARS OF POST-CONSTRUCTION MONITORING ASSOCIATED WITH THE INVASIVE SPECIES CONTROL PLAN. THIS REPORT WILL DOCUMENT THE CONDITION OF THE SITE POST CONSTRUCTION STARTING THE GROWING SEASON FOLLOWING COMPLETION OF CONSTRUCTION, NOTING THE PRESENCE OF ANY WOODY INVASIVE PLANTS THAT MAY HAVE BEEN INTRODUCED DURING CONSTRUCTION ACTIVITIES. THE REPORT WILL BE ISSUED TO HOMELAND TOWERS AT THE END OF EACH GROWING SEASON DOCUMENTING THE PRESENCE/ABSENCE OF WOODY INVASIVE PLANTS AND IF CORRECTIVE ACTIONS WERE NECESSARY TO ACHIEVE THE PERFORMANCE STANDARD. HOMELAND TOWERS WILL PROVIDE A COPY OF THE REPORTS TO THE CONNECTICUT SITING COUNCIL FOR COMPLIANCE VERIFICATION.

**SUGGESTED CONSTRUCTION SEQUENCE**

THE FOLLOWING SUGGESTED SEQUENCE OF CONSTRUCTION ACTIVITIES IS PROJECTED BASED UPON ENGINEERING JUDGEMENT AND BEST MANAGEMENT PRACTICES. THE CONTRACTOR MAY ELECT TO ALTER THE SEQUENCING TO BEST MEET THE CONSTRUCTION SCHEDULE, THE EXISTING SITE ACTIVITIES AND WEATHER CONDITIONS. THE CONTRACTOR SHALL SUBMIT THE FINAL CONSTRUCTION SCHEDULE TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING TO THE SITE AND INITIATING CONSTRUCTION ACTIVITIES. THE CONSTRUCTION SEQUENCE IS ALSO SUBJECT TO REQUIREMENTS AS NOTED IN THE RESOURCE PROTECTION MEASURES.

1. CONTACT THE OWNER TO SCHEDULE A PRE-CONSTRUCTION MEETING. PHYSICALLY FLAG THE TREES TO BE REMOVED IN THE FIELD AS NECESSARY TO FACILITATE THE PRE-CONSTRUCTION MEETING.

2. CONDUCT A PRE-CONSTRUCTION MEETING TO DISCUSS THE PROPOSED WORK AND EROSION AND SEDIMENTATION CONTROL MEASURES. THE MEETING SHOULD BE ATTENDED BY THE OWNER, THE OWNER REPRESENTATIVES, THE GENERAL CONTRACTOR, DESIGNATED SUB-CONTRACTORS AND THE PERSON, OR PERSONS, RESPONSIBLE FOR THE IMPLEMENTATION, OPERATION, MONITORING AND MAINTENANCE OF THE EROSION AND SEDIMENTATION MEASURES. THE CONSTRUCTION PROCEDURES FOR THE ENTIRE PROJECT SHALL BE REVIEWED AT THIS MEETING.

3. NOTIFY THE OWNER AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT. NOTIFY CALL BEFORE YOU DIG CONNECTICUT AT (800) 922-4455.

4. CLEAR AND GRUB AS REQUIRED, TO INSTALL THE PERIMETER EROSION AND SEDIMENTATION CONTROL MEASURES AND, IF APPLICABLE, TREE PROTECTION.

5. INSTALL CONSTRUCTION ENTRANCE.

6. PERFORM THE REMAINING CLEARING AND GRUBBING AS NECESSARY. REMOVE CUT WOOD AND STUMPS, CHIP BRUSH AND STOCKPILE FOR FUTURE USE OR REMOVE OFF-SITE. REMOVE AND DISPOSE OF DEMOLITION DEBRIS OFF-SITE.

7. TEMPORARILY SEED DISTURBED AREAS NOT UNDER CONSTRUCTION FOR THIRTY (30) DAYS OR MORE.

8. EXCAVATE AND ROUGH GRADE NEW ACCESS DRIVE, DRAINAGE SWALES, RIPRAP STILLING BASINS, RIPRAP APRONS, DRAINAGE STRUCTURES & PIPING.

9. AS ACCESS DRIVEWAY IS CONSTRUCTED, CONSTRUCT ADJACENT DRAINAGE FEATURES IN SEQUENCE TO CONTROL AND TREAT STORMWATER RUNOFF AS SITE CONSTRUCTION PROGRESSES TOWARDS THE TOWER LOCATION.

10. INSTALL ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AS DICTATED BY SITE CONDITIONS IN ORDER TO PROPERLY CONTROL AND TREAT RUNOFF.

11. INSTALL UTILITY CONDUITS.

12. EXCAVATE, GRADE AND INSTALL RIPRAP STILLING BASINS.

13. EXCAVATE AND ROUGH GRADE EQUIPMENT COMPOUND.

14. EXCAVATE FOR TOWER FOUNDATION & EQUIPMENT PADS.

15. FINALIZE ACCESS ROAD AND DRAINAGE SWALE GRADES.

16. PAVE PORTION OF ACCESS DRIVE AND INSTALL GRAVEL SURFACE ON THE REMAINDER OF THE DRIVEWAY.

17. INSTALL STONE CHECK DAMS WITHIN THE DRAINAGE SWALES.

18. PREPARE SUBGRADE AND INSTALL FORMS, STEEL REINFORCING, & CONCRETE FOR TOWER FOUNDATION & EQUIPMENT PADS.

19. INSTALL BURIED GROUND RINGS, GROUND RODS, GROUND LEADS, & UTILITY EQUIPMENT.

20. BACKFILL TOWER FOUNDATION.

21. ERECT MONOPOLE.

22. INSTALL TELECOMMUNICATIONS EQUIPMENT ON TOWER & COMPOUND.

23. INSTALL COMPOUND GRAVEL SURFACES.

24. INSTALL FENCING.

25. CONNECT GROUNDING LEADS & LIGHTNING PROTECTION.

26. FINAL GRADE AROUND COMPOUND.

27. INSTALL PROPOSED LANDSCAPING.

28. LOAM & SEED DISTURBED AREAS OUTSIDE COMPOUND, AS REQUIRED.

29. TEST ALL NEW EQUIPMENT.

30. AFTER THE SITE IS STABILIZED AND WITH THE APPROVAL OF THE OWNER, REMOVE PERIMETER EROSION AND SEDIMENTATION CONTROLS.

31. PERFORM FINAL PROJECT CLEANUP.



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9 HARMONY STREET  
2nd FLOOR  
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NEW CANAAN NORTHWEST**

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**N-2**