## STATE OF CONNECTICUT CONNECTICUT SITING COUNCIL

IN RE:

APPLICATION OF HOMELAND TOWERS, LLC AND NEW CINGULAR WIRELESS PCS, LLC d/b/a AT&T FOR A CERTIFICATE OF ENVIRONMENTAL COMPATIBILITY AND PUBLIC NEED FOR THE CONSTRUCTION, MAINTENANCE, AND OPERATION OF A TELECOMMUNICATIONS FACILITY AT 1837 PONUS RIDGE ROAD, TOWN OF NEW CANAAN, CONNECTICUT

DOCKET NO. 509

June 24, 2022

## HOMELAND TOWERS, LLC AND NEW CINGULAR WIRELESS PCS, LLC (AT&T) SUBMISSION OF UPDATED DRAWINGS

Applicants Homeland Towers, LLC and New Cingular Wireless PCS, LLC d/b/a/ AT&T respectfully submit the enclosed updated drawings and Proposed Facility details in the above-referenced proceeding and in furtherance of the Applicants' June 21, 2022 Supplemental Submission.

The enclosed drawings show the AT&T propane emergency generator as noted in the June 21, 2022 Supplemental Submission, as well as the following:

- 1. Earthwork: more balance with respect to cut and fill: previously: 5,000 CY of cut vs 65 CY of fil; update: 3,500 CY of cut vs 1,500 CY of fill
- 2. Surface of compound grade revised from approximately 5' of excavation to almost at existing grade
- 3. Area for four (4) propane tanks added to the compound
- 4. Relocated AT&T within the compound
- 5. Limit of disturbance reduced from 40,000 SF to 37,000 SF
- 6. Trees removed reduced from 103 to 94

## **CERTIFICATE OF SERVICE**

I hereby certify that on this day the foregoing was sent electronically and one (1) original and fifteen (15) hard copies were sent overnight mail to the Connecticut Siting Council and sent electronically to the parties on the service list as noted below.

Kenneth C. Baldwin, Esq. Robinson & Cole LLP 280 Trumbull Street Hartford, CT 06103-3597 <u>kbaldwin@rc.com</u>

David F. Sherwood, Esq. Moriarty, Paetzold & Sherwood 2230 Main Street, P.O. Box 1420 Glastonbury, CT 06033-6620 Phone (860) 657-1010 dfsherwood@gmail.com

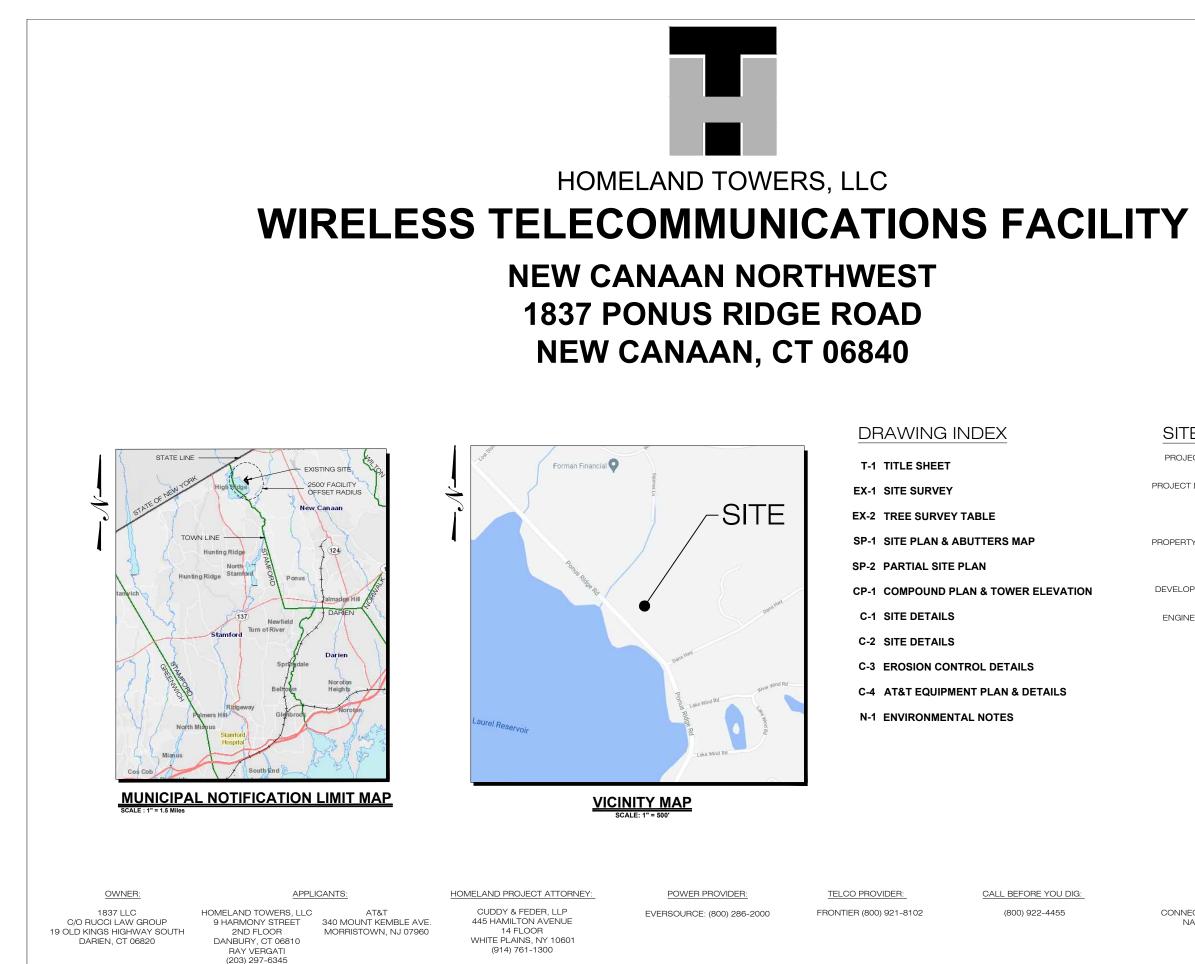
Justin Nishioka 60 Squires Lane New Canaan, CT 06840 Phone (510) 913-3476 Justin.nishioka@gmailcom

Dated: June 24, 2022

ucie Chiocchio

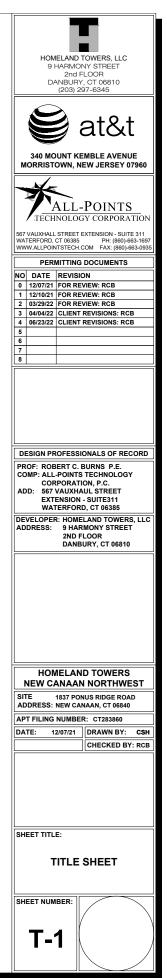
Lucia Chiocchio, Esq. Kristen Motel, Esq. Cuddy & Feder LLP 445 Hamilton Ave, 1<sup>4th</sup> Floor White Plains, NY 10601 (914)-761-1300

cc: Homeland AT&T APT Smartlink C Squared



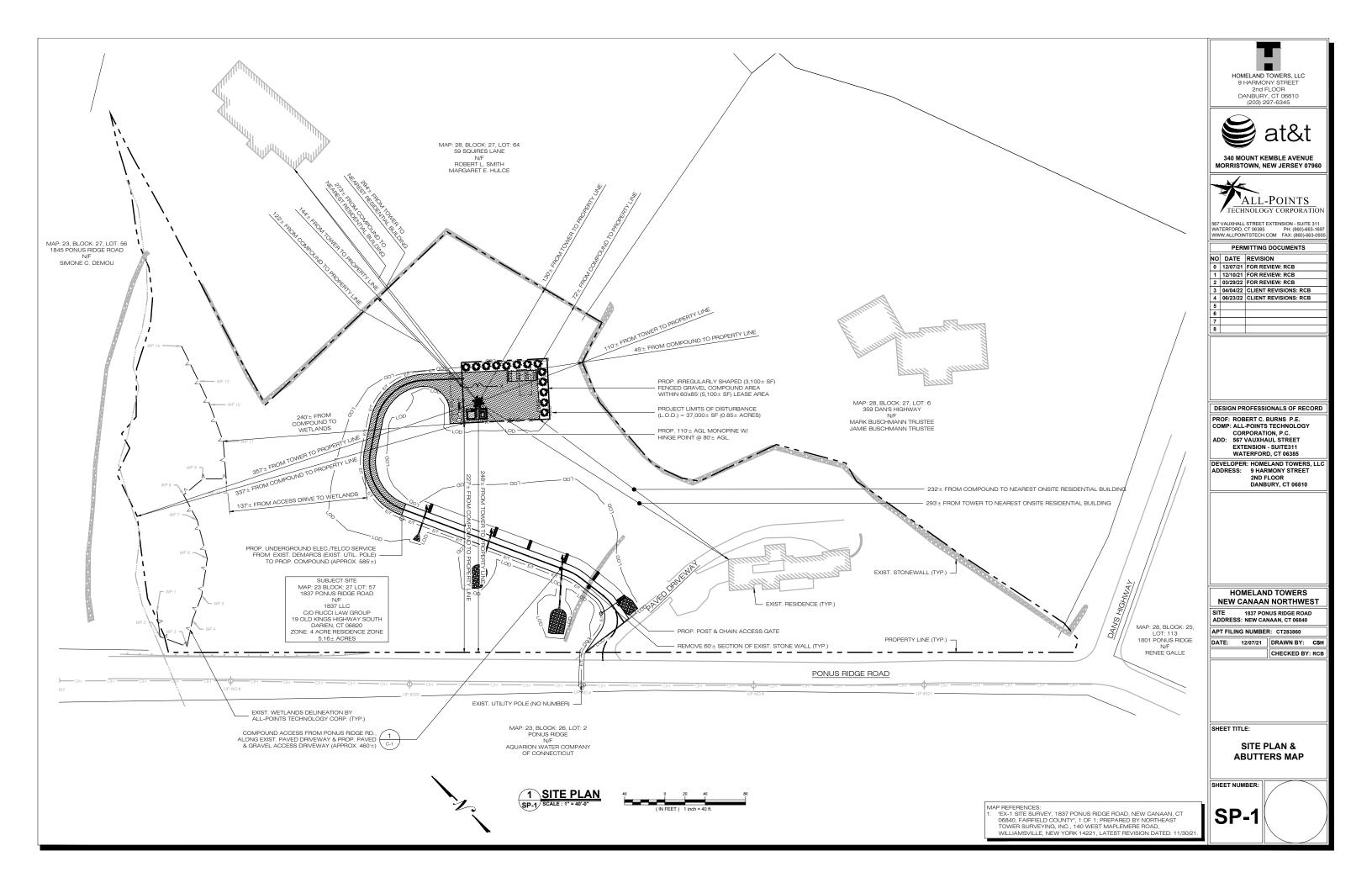
## SITE INFORMATION

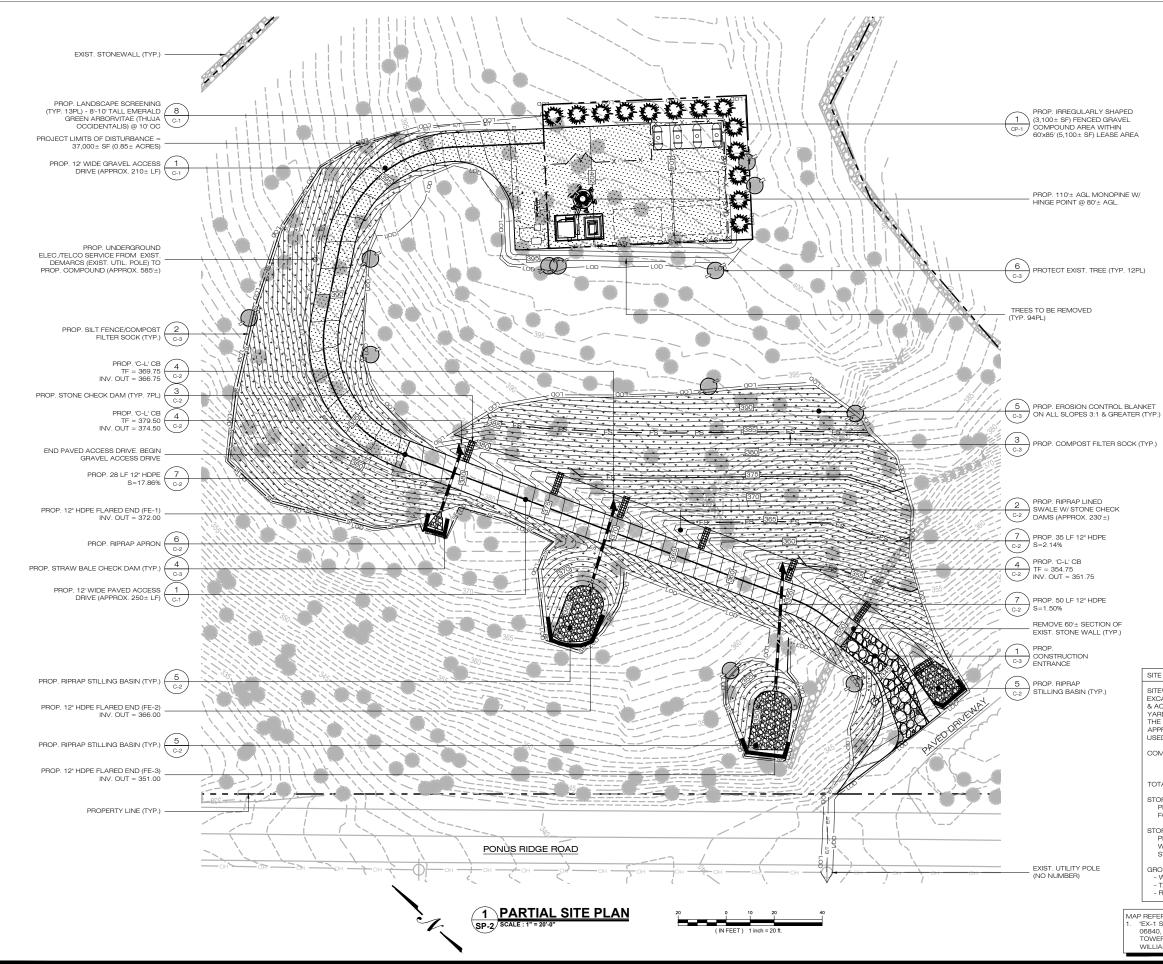
DJECT LOCATION:	1837 PONUS RIDGE ROAD NEW CANAAN, CT 06840
CT DESCRIPTION:	RAWLAND SITE W/ GROUND EQUIPMENT WITHIN 3,100± SF TELECOMMUNICATIONS EQUIPMENT COMPOUND W/ PROP. 110'± AGL MONOPINE.
RTY DEVELOPER:	HOMELAND TOWERS, LLC 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810
_OPER CONTACT:	RAY VERGATI (203) 297-6345
INEER CONTACT:	ROBERT C. BURNS, P.E. (860) 552-2036
LONGITUDE:	41° 10' 18.89"N (41.171914) 73° 32' 36.90"W (-73.543583) 394'± AMSL
MAP: BLOCK: LOT: ZONE:	27



GOVERNING CODES:

CONNECTICUT STATE BUILDING CODE, LATEST EDITION NATIONAL ELECTRIC CODE, LATEST EDITION TIA-222-H





### LEGEND PROPERTY LINE HOMELAND TOWERS, LLC EXIST. WETLAND 9 HARMONY STREET 2nd FLOOR 100' WETLAND SETBACK DANBURY, CT 06810 (203) 297-6345 LIMIT OF DISTUBBANCE PROP. CHAIN LINK FENCE at&t PROP. ELEC./TELCO LINE PROP. FILTER SOCK PROP. FILTER SOCK 340 MOUNT KEMBLE AVENUE MORRISTOWN, NEW JERSEY 07960 PROP. HAYBALE CHECK DAM EXIST. TREE TO REMAIN Z ALL-POINTS EXIST. TREE TO BE REMOVED TECHNOLOGY CORPORATIO 7 VAUXHALL STREET EXTENSION - SUITE 31 O WATERFORD, CT 06385 PH: (860)-663-16 WWW.ALLPOINTSTECH.COM FAX: (860)-663-09 EXIST TREE TO BE PROTECTED PERMITTING DOCUMENTS \* \* \* \* \* EROSION CONTROL BLANKET NO DATE REVISION 0 12/07/21 FOR REVIEW: RCE 12/10/21 FOR REVIEW: RCB PROP. EMERALD GREEN 2 03/29/22 FOR REVIEW: RCB ARBORVITAE 3 04/04/22 CLIENT REVISIONS: RCB 4 06/23/22 CLIENT REVISIONS: RCB STONE CHECK DAM 5 DESIGN PROFESSIONALS OF RECORD PROF' ROBERT C BURNS P.E. COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C. ADD: 567 VAUXHAUL STREET EXTENSION - SUITE311 WATERFORD, CT 06385 DEVELOPER: HOMELAND TOWERS, LLC ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810 NOTE: 94 TREES WILL NEED TO BE REMOVED IN CONSTRUCTION OF THE FACILITY 6"-10" DIA. 10"-14" DIA. >14" DIA. 35 TREES 23 TREES 36 TREES 94 TREES HOMELAND TOWERS NEW CANAAN NORTHWEST SITE AREAS & VOLUMES OF EARTHWORK SITE 1837 PONUS RIDGE ROAD ADDRESS: NEW CANAAN, CT 06840 SITEWORK ENTAILS APPROXIMATELY 3.550 CUBIC YARDS OF SITEWORK ENTAILS APPROXIMATELY 3,000 UBBC YARDS OF EXCAVATION AND 1,500 CUBIC YARDS OF FILL. THE COMPOUND & ACCESS DRIVEWAY WILL IMPORT APPROXIMATELY 250 CUBIC YARDS OF CLEAN BROKEN STONE. THE UTILITY TRENCH FROM THE DEMARC TO THE COMPOUND WILL EXCAVATE APT FILING NUMBER: CT283860 DATE: 12/07/21 DRAWN BY: CSH APPROXIMATELY 340 CUBIC YARDS OF MATERIAL THAT WILL BE CHECKED BY: RCB USED TO BACKFILL THE TRENCH. COMPOUND AREA SLOPES EXISTING -6%-15% PROPOSED - 3%-5% TOTAL AREA OF DISTURBANCE = 37,000± SF STORMWATER VELOCITY: PRIOR TO GROUND COVER < 3.0 FT/SEC FOLLOWING GROUND COVER < 3.0 FT/SEC SHEET TITLE:

STORMWATER VOLUME: TOHINWATEH VOLUME: PROPOSED IMPERVIOUS AREA = 4,880 SF WATER QUALITY STD VOLUME (1\*) = 407 CF STORAGE VOLUME (6\* DEPTH, 40% VOIDS) = 600 CF

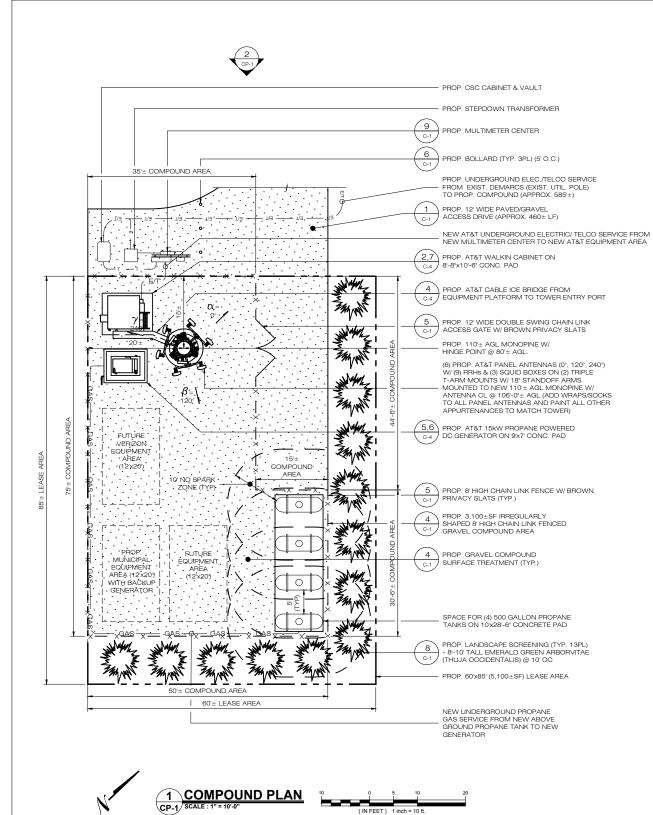
GROUND COVER TO BE ESTABLISHED AS FOLLOWS (U.O.N): - WHITE CLOVER @ 0.20#/- SF - TALL FESCUE @ 0.45#/- SF - RYEGRASS @ 0.10#/- SF

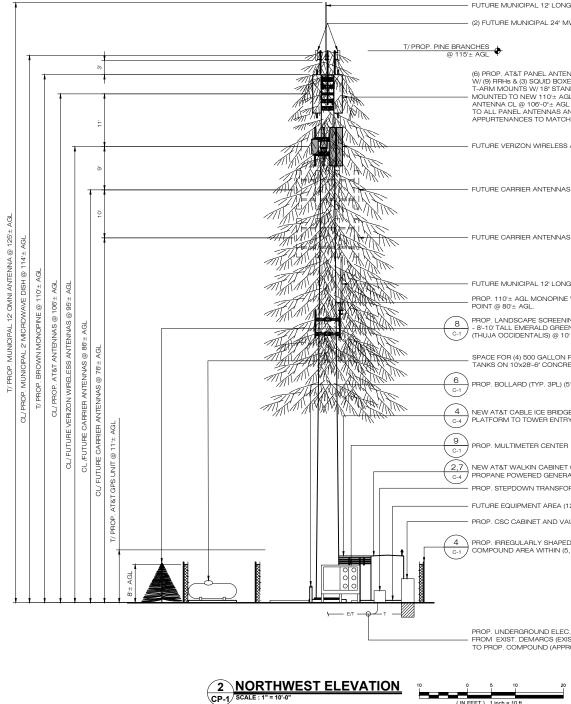
MAP REFERENCES: 1. "EX-1 SITE SURVEY, 1837 PONUS RIDGE ROAD, NEW CANAAN, CT 06840, FAIRFIELD COUNTY', 1 OF 1; PREPARED BY NORTHEAST TOWER SURVEYING, INC., 140 WEST MAPLEMERE ROAD, WILLIAMSVILLE. NEW YORK 14221, LATEST REVISION DATED: 11/30/2 SITE PLAN

PARTIAL

SHEET NUMBER:

SP-2





FUTURE MUNICIPAL 12' LONG OMNI ANTENNA

- (2) FUTURE MUNICIPAL 24" MW DISH

(6) PROP. AT&T PANEL ANTENNAS (0°, 120°, 240°) W/ (9) RRHs & (3) SQUID BOXES ON (2) TRIPLE T-ARM MOUNTS W/ 18" STANDOFF ARMS I -ARM MUONTS W 16 STANDOFF ARMS MOUNTED TO NEW 110°± AGL MONOPINE W/ ANTENNA CL @ 106-0°± AGL (ADD WRAPS/SOCKS TO ALL PANEL ANTENNAS AND PAINT ALL OTHER APPURTENANCES TO MATCH TOWER)

- FUTURE VERIZON WIRELESS ANTENNAS (TYP.)

- FUTURE CARRIER ANTENNAS (TYP.)

- FUTURE CARRIER ANTENNAS (TYP.)

FUTURE MUNICIPAL 12' LONG OMNI ANTENNA

PROP. 110'± AGL MONOPINE W/ HINGE POINT @ 80'± AGL.

8 PROP. LANDSCAPE SCREENING (TYP. 13PL) - 8'-10' TALL EMERALD GREEN ARBORVITAE C-1/ (THUJA OCCIDENTALIS) @ 10' OC

SPACE FOR (4) 500 GALLON PROPANE TANKS ON 10'x28'-6" CONCRETE PAD

6 PROP. BOLLARD (TYP. 3PL) (5' O.C.)

4 NEW AT&T CABLE ICE BRIDGE FROM EQUIPMENT C-4 PLATFORM TO TOWER ENTRY PORT

(2,7) NEW AT&T WALKIN CABINET ON 8'-8"x10'-6" CONC. PAD W/ 15kW C.4 PROPANE POWERED GENERATOR ON 9'X7' CONC. PAD (BEYOND) PROP. STEPDOWN TRANSFORMER

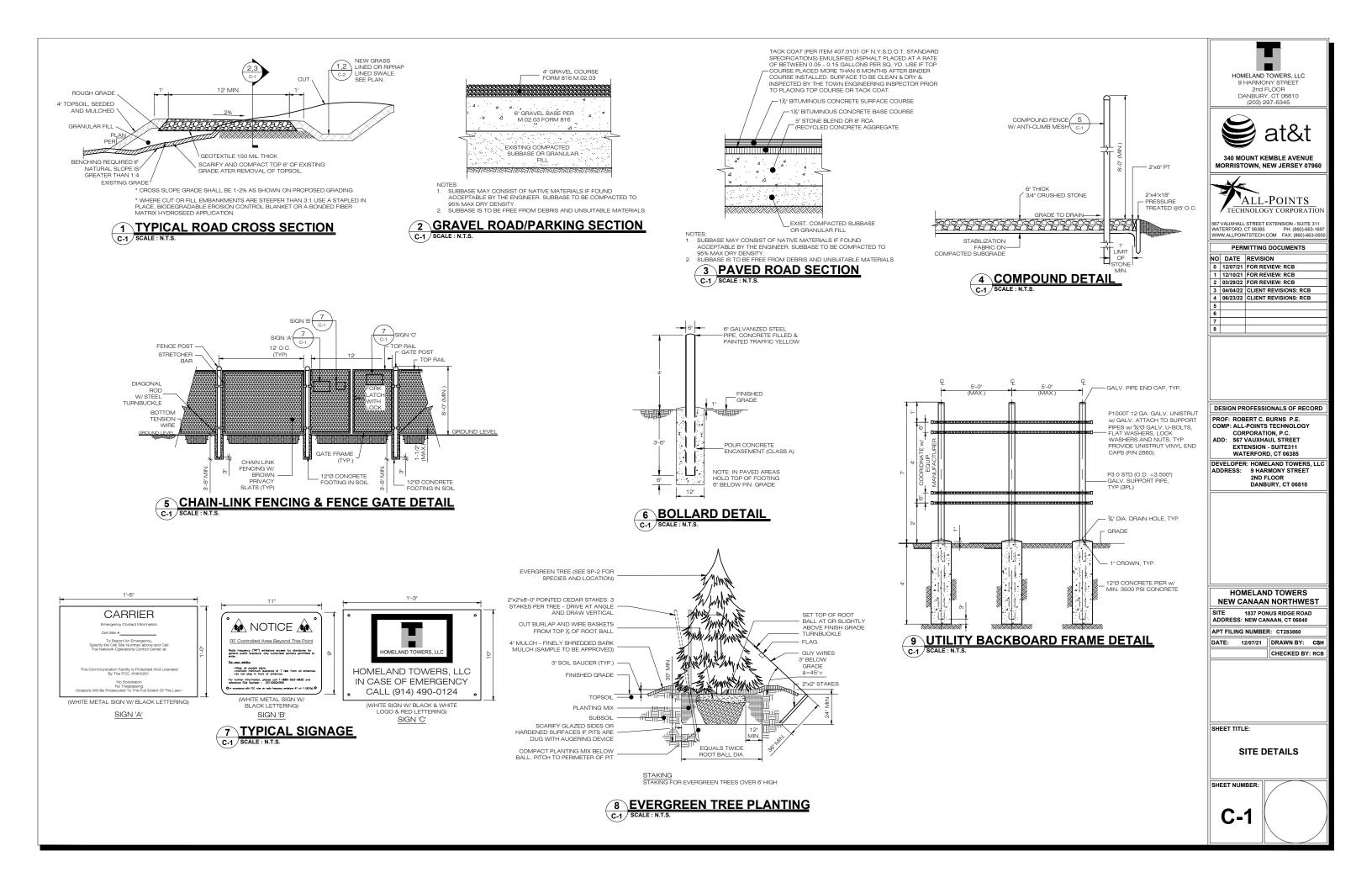
FUTURE EQUIPMENT AREA (12'x20')

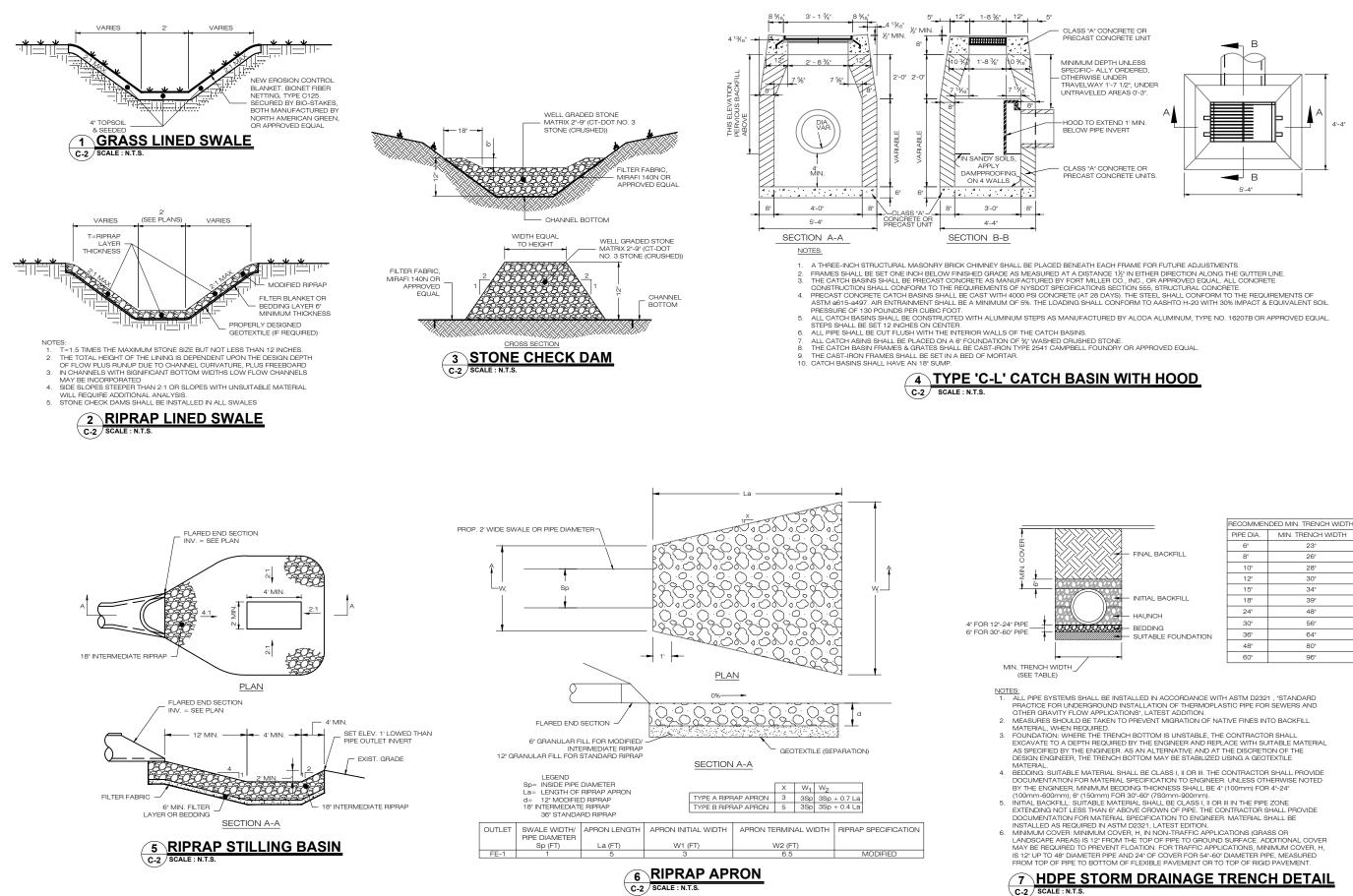
- PROP. CSC CABINET AND VAULT

4 PROP. IRREGULARLY SHAPED (3.100± SF) FENCED GRAVEL COMPOUND AREA WITHIN (5,100± SF) LEASE AREA

PROP. UNDERGROUND ELEC./TELCO SERVICE FROM EXIST. DEMARCS (EXIST. UTIL. POLE) TO PROP. COMPOUND (APPROX. 585'±)

		HARMO	TOWERS, LLC
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			at&t
			EMBLE AVENUE IEW JERSEY 07960
-	*		
1	TECH	ALL-	-POINTS GY CORPORATION
WATE	RFORD,		EXTENSION - SUITE 311 PH: (860)-663-1697 .COM FAX: (860)-663-0935
			DOCUMENTS
NO 0 1	DATE 12/07/21	REVISI FOR RE	ON EVIEW: RCB
	12/10/21 )3/29/22		EVIEW: RCB EVIEW: RCB
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DE	SIGN PR	OFESS	IONALS OF RECORD
			BURNS P.E. S TECHNOLOGY
ADD	COR	PORAT	ION, P.C. AUL STREET
	EXT	ENSION	RDL STREET I - SUITE311 RD, CT 06385
DEV ADD		R: HOME	ELAND TOWERS, LLC RMONY STREET
			FLOOR BURY, CT 06810
N			
			NUS RIDGE ROAD NAAN, CT 06840
APT	FILING	NUMBE	R: CT283860
DAT	E: 1:	2/07/21	DRAWN BY: CSH
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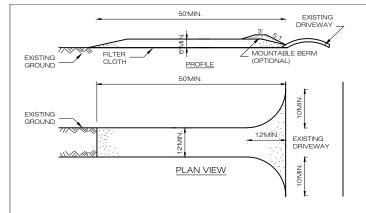


	PIPE DIA.	MIN. TRENCH WIDTH
	6"	23"
	8"	26"
	10"	28"
	12"	30"
	15"	34"
	18"	39"
	24"	48"
	30"	56"
N	36"	64"
	48"	80"
	60"	96"



HOMELAND TOWERS, LLC

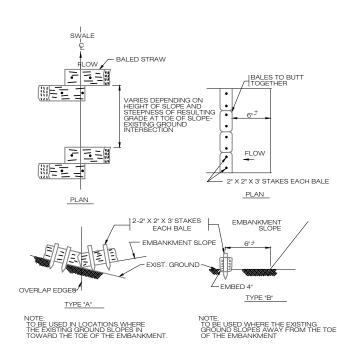
9 HARMONY STREET 2nd FLOOR



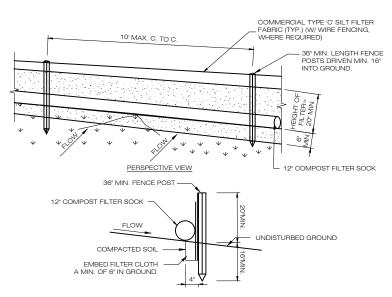
CONSTRUCTION SPECIFICATIONS: 1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.

- 2. LENGTH NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TWELVE (12) FOOT MINIMUM. BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. GEOTEXTILE WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5.1 SLOPES WILL BE PERMITTED.
- 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.





# STRAW BALE CHECK DAM <u>A SEDIMENTATION CONTROL BARRIER</u> C-3 SCALE : N.T.S.



SECTION VIEW

CONSTRUCTION SPECIFICATIONS 1. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.

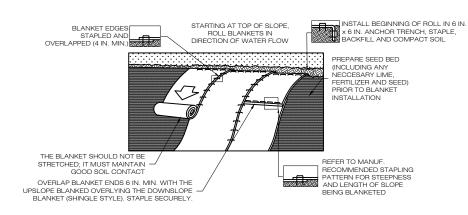
- 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT
- 3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- GEOTEXTILE SILT FENCE/FILTER SOCK DETAIL **~2**~ C-3 SCALE : N.T.S.

SEQUENCE OF CONSTRUCTION 1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPS), INCLUDING ANY NECESSARY

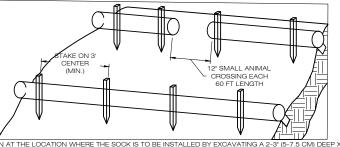
- APPLICATION OF LIME. FERTILIZER. AND SEED.
- APPLICATION OF LIME, FERTILIZER, AND SEED. 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE REOPS IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF REOPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE REOPS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE RENCH. BACKFILL 12" PORTION OF REOPS BACK OVER THE SEED AND COMPACTED SOIL. SCOURE REOPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12 "APART ACROSS THE WIDTH OF THE RECPS. 3. ROLL THE REOPS DOWN HORIZONTALLY ACROSS THE SLOPE. REOPS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL REOPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTENG GUIDE. 4. THE EDGES OF PARALLEL REOPS MUST BE STAPLED WITH APPROXIMATELY 2" 5" OVERLAP DEPENDING ON THE RECOPS TYPE.
- RECPS TYPE.
- CONSECUTIVE RECPS SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECPS WIDTH

NOTES: 1. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE. 2. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

- 3. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH
- BLANKET LOOSELY AND STARL OF STARLE TO MAKE THE MANUFACTURERS RECOMMENDATIONS BLANKET. 4. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE WANUFACTURERS RECOMMENDATIONS 5. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



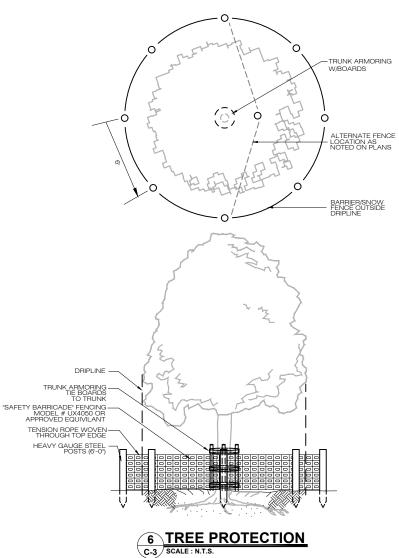
5 EROSION CONTROL BLANKET STEEP SLOPES C-3 SCALE : N.T.S.



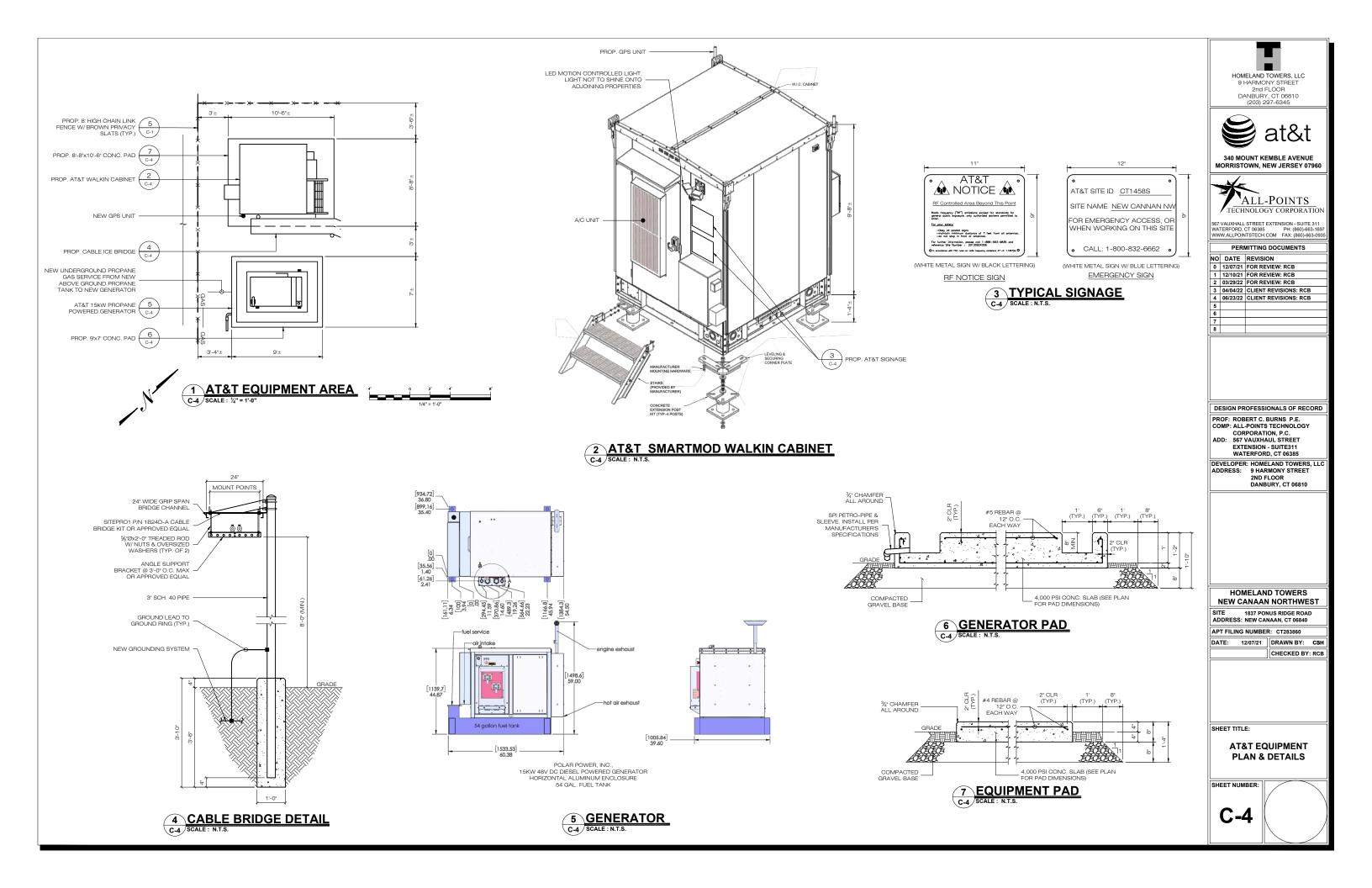
1. BEGIN AT THE LOCATION WHERE THE SOCK IS TO BE INSTALLED BY EXCAVATING A 2-3" (5-7.5 CM) DEEP X 9" (22.9 CM) WIDE THENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOP FROM THE ANCHOR TRENCH.

EXCAVATED TRENCH AGAINST THE SOCK ON THE UPHILL SIDE. SOCKS SHALL BE INSTALLED IN 60 FT EXCAVATED THENCH AGAINST THE SOCK ON THE UPHILL SIDE. SOCKS SHALL BE INSTALLED IN 60 FT CONTINUOUS LENGTHS WITH ADJACENT SOCKS TIGHTLY ABUT. EVERY 60 FT THE SOCK ROW SHALL BE SPACED 12 INCHES CLEAR, END TO END, FOR AMPHIBIAN AND REPTILE TRAVEL. THE OPEN SPACES SHALL BE STAGGERED MID LENGTH OF THE NEXT DOWN GRADIENT SOCK. 3. SECURE THE SOCK WITH 18-24" (45.7-61 CM) STAKES EVERY 3-4" (0.9 -1.2 M) AND WITH A STAKE ON EACH END, STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2-3" (5-7.5 CM) OF TAXES DRIVEN THE SOCK OF CONCOUNT OF THE OPEN FOR THE SOCK DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE SOCK. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.





HOMELAND TOWERS, LLC 9 HARMONY STREET 2nd FLOOR DANBURY, CT 06810 (203) 297-6345			
	at&t		
	KEMBLE AVENUE NEW JERSEY 07960		
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TECHNOLO	2-POINTS DGY CORPORATION		
WATERFORD, CT 0638 WWW.ALLPOINTSTECH			
NO DATE REVIS			
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1 12/10/21 FOR R 2 03/29/22 FOR R	REVIEW: RCB		
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DEVELOPER: HOMELAND TOWERS, LLC			
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2ND DAN HOMELA	RMONY STREET FLOOR BURY, CT 06810		
2ND DAN HOMELA NEW CANAA SITE 1837 PI	RMONY STREET FLOOR IBURY, CT 06810 ND TOWERS IN NORTHWEST ONUS RIDGE ROAD		
2ND DAN HOMELA NEW CANAA SITE 1837 PI ADDRESS: NEW C	RMONY STREET FLOOR BURY, CT 06810 ND TOWERS IN NORTHWEST ONUS RIDGE ROAD ANAAN, CT 06840		
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### **ENVIRONMENTAL NOTES - RESOURCES PROTECTION MEASURES**

WETLAND, RARE SPECIES, AND PUBLIC WATER SUPPLY WATERSHED PROTECTION PROGRAM

AS A RESULT OF THE PROJECT'S LOCATION IN THE VICINITY OF SENSITIVE WETLAND RESOURCES, RARE SPECIES HABITAT, AND WITHIN A PUBLIC WATER SUPPLY WATERSHED, THE FOLLOWING BEST MANAGEMENT PRACTICES ("BMPS") SHALL BE IMPLEMENTED BY THE CONTRACTOR TO AVOID UNINTENTIONAL IMPACTS TO THESE RESOURCES DURING CONSTRUCTION ACTIVITIES. BMPS ASSOCIATED WITH THESE RESOURCES WILL BE IMPLEMENTED REGARDLESS OF THE TIME OF YEAR WHILE SOME OF THE RARE SPECIES PROTECTION MEASURES COINCIDE WITH SPECIES ACTIVITY/INACTIVITY DATES.

LITTLE BROWN BAT (MYOTIS LUCIFUGUS), RED BAT (LASIURUS BOREALIS), AND EASTERN BOX TURTLE (TERRAPENE CAROLINA CAROLINA), ALL STATE-LISTED RARE SPECIES AFFORDED PROTECTION UNDER THE CONNECTICUT ENDANGERED SPECIES ACT, MAY BE INFLUENCED BY ACTIVITIES WITHIN THE PROPOSED PROJECT AREA. THE RARE SPECIES PROTECTION MEASURES INCLUDED HEREIN SATISFY REQUIREMENTS FROM THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION ("DEEP") WILDLIFE DIVISION IN ACCORDANCE WITH THEIR ION MEASURES NATURAL DIVERSITY DATA BASE (NDDB) DETERMINATION LETTER (NO. 2021/2676) DATE JANUARY 7, 2022; THIS DETERMINATION IS VALID UNTIL JANUARY 7, 2024 PROVIDED THE SCOPE OF THE PROJECT HAS NOT CHANGED AND WORK HAS BEGUN ON THE PROJECT PRIOR TO THE EXPIRATION DATE. THE PROTECTION MEASURES RECOMMENDED HEREIN FOR PROTECTION OF HEATHER AND RED BAT WOLLD AND ALSO BE COULLY PROTECTIVE OF NORTHERN LONG-EARED BAT (NLEB; MYOTIS SEPTEMINICATION, A STATE ENDANGERED AND REDEAL THREATENED SPECIES, ALTHOUGH NLEB WAS NOT IDENTIFIED IN THE NDDB DETERMINATION LETTER AS A SPECIES OF CONCERN FOR THIS PROJECT.

THE PUBLIC WATER SUPPLY WATERSHED PROTECTION MEASURES INCLUDED HEREIN SATISFY SOME OF THE CONCERNS AND RECOMMENDATIONS FROM THE DRINKING WATER SECTION OF THE DEPARTMENT OF PUBLIC HEALTH AS NOTED IN THEIR JUNE 1, 2022 LETTER TO THE CONNECTICUT SITING COUNCIL (DOCKET NO. 509). THIS PROJECT IS CONTAINED WITHIN THE PUBLIC WATER SUPPLY WATERSHED OF LAUREL RESERVOIR, AN ACTIVE SOURCE OF DRINKING WATER FOR AQUARION WATER COMPANY (PWSID CT1350011), WITH LAUREL RESERVOIR LOCATED ±70 FEET SOUTHWEST AND DOWNGRADIENT FROM THE PROPERTY LINE OF THE PROPOSED ACTIVITY

IT IS OF THE UTMOST IMPORTANCE THAT THE CONTRACTOR COMPLIES WITH THE REQUIREMENT FOR THE INSTALLATION OF PROTECTIVE MEASURES AND THE EDUCATION OF ITS EMPLOYEES AND SUBCONTRACTORS PERFORMING WORK ON THE PROJECT SITE. ALL-POINTS TECHNOLOGY CORPORATION, P.C. (APT') WILL SERVE AS THE ENVIRONMENTAL MONITOR FOR THIS PROJECT TO ENSURE THAT THESE PROTECTION MEASURES ARE IMPLEMENTED PROPERLY AND WILL PROVIDE AN EDUCATION SESSION ON THE PROJECT'S PROXIMITY TO SENSITIVE WETLAND RESOURCES, DUCTOR DEVICES OF THE OFFICE O RARE SPECIES, AND THE SITE'S LOCATION WITHIN A PUBLIC WATER SUPPLY WATERSHED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONTACT DEAN GUSTAFSON, SENIOR WETLAND SCIENTIST AT APT, AT LEAST 5 BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING. MR. GUSTAFSON CAN BE REACHED BY PHONE AT (860) 552-2033 OR VIA EMAIL AT DGUSTAFSON@ALLPOINTSTECH.COM.

THE AQUARION WATER COMPANY WILL BE CONTACTED AT LEAST 3 BUSINESS DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING WITH AN INVITATION TO ATTEND THE PRE-CONSTRUCTION MEETING. THE AQUARION WATER COMPANY PERSONNEL SHALL ALSO BE ALLOWED TO PERIODICALLY INSPECT THIS PROJECT DURING CONSTRUCTION TO ENSURE THAT DRINKING WATER QUALITY IS NOT BE ADVERSELY IMPACTED.

THIS RESOURCES PROTECTION PROGRAM CONSISTS OF SEVERAL COMPONENTS INCLUDING: EDUCATION OF ALL CONTRACTORS AND SUB-CONTRACTORS PRIOR TO INITIATION OF WORK ON THE SITE: INSTALLATION OF EROSION CONTROLS; PETROLEUM MATERIALS STORAGE AND SPILL PREVENTION; PROTECTIVE MEASURES; RARE SPECIES PROTECTION MEASURES; HERBICIDE, PESTICIDE, AND SALT RESTRICTIONS; AND, REPORTING.

- 1 CONTRACTOR EDUCATION
- A PRIOR TO WORK ON SITE AND INITIAL DEPLOYMENT/MOBILIZATION OF FOURMENT AND MATERIALS. THE CONTRACTOR SHALL ATTEND AN EDUCATIONAL SESSION AT THE . PRIOR TO WORK ON SITE AND INITIAL DEPLOTMENT/MOBILIZATION OF EQUIPMENT AND MAN HALLS, THE CONTRACTOR SHALL AT THEM AN EDUCATIONAL SESSION AT THE PRE-CONSTRUCTION MEETING WITH APT. THIS ORIENTATION AND EDUCATIONAL SESSION WILL CONSIST OF INFORMATION SUCH AS, BUT NOT LIMITED TO: IDENTIFICATION OF WETLAND RESOURCES PROXIMATE TO WORK AREAS, CONNECTICUT AND FEDERAL LISTING STATUS OF SPECIES THAT COULD BE ENCOUNTERED, TYPICAL SPECIES BEHAVIOR, AND PROPER PROCEDURES IF SPECIES ARE ENCOUNTERED, THE ENVIRONMENTALLY SENSITIVE NATURE OF THE DEVELOPMENT SITE, AND THE NEED TO FOLLOW THE WATERSHED PROTECTION
- B. THE CONTRACTOR WILL BE PROVIDED WITH PHONE (24 HOUR CONTACT) AND EMAIL FOR AQUARION WATER COMPANY PERSONNEL TO IMMEDIATELY REPORT ANY RELEASES OF SEDIMENT FUEL OR HAZABDOUS MATERIALS
- C. THE MEETING WILL FURTHER EMPHASIZE THE NON-AGGRESSIVE NATURE OF THE RARE SPECIES, THE ABSENCE OF NEED TO DESTROY SUCH ANIMALS AND THE NEED TO FOLLOW PROTECTIVE MEASURES AS DESCRIBED IN FOLLOWING SECTIONS. THE CONTRACTOR WILL DESIGNATE ONE OF ITS WORKERS AS THE 'PROJECT MONITOR', WHO WILL RECEIVE MORE INTENSE TRAINING ON THE IDENTIFICATION AND PROTECTION OF POSSIBLE EASTERN BOX TURTLES THAN MAY BE ENCOUNTERED.
- D. THE CONTRACTOR WILL DESIGNATE A MEMBER OF ITS CREW AS THE PROJECT MONITOR TO BE RESPONSIBLE FOR THE PERIODIC "SWEEPS" FOR TURTLES (AND OTHER POSSIBLE THE COUNT NACE DESIGNATE A MEMORY TO SHEEVEN THE PROJECT MOUNTAIN TO BE RESPONDED FOR THE PROJECT SWEEPS FOR THE TRADUCT ON THE PROJECT SWEEPS FOR THE PROJECT S
- E. THE CONTRACTOR'S PROJECT MONITOR WILL BE PROVIDED WITH CELL PHONE AND EMAIL CONTACTS FOR APT PERSONNEL TO IMMEDIATELY REPORT ANY ENCOUNTERS WITH TURTLES. EDUCATIONAL POSTER MATERIALS WILL BE PROVIDED BY APT AND DISPLAYED ON THE JOB SITE TO MAINTAIN WORKER AWARENESS AS THE PROJECT PROGRESSES
- F. APT WILL ALSO POST CAUTION SIGNS THROUGHOUT THE PROJECT SITE FOR THE DURATION OF THE CONSTRUCTION PROJECT PROVIDING NOTICE OF THE ENVIRONMENTALLY SENSITIVE NATURE OF THE WORK AREA, THE POTENTIAL FOR ENCOUNTERING EASTERN BOX TURTLE AND PRECAUTIONS TO BE TAKEN TO AVOID INJURY TO OR MORTALITY OF THESE ANIMALS
- 2. EROSION AND SEDIMENTATION CONTROLS/ISOLATION BARRIERS
- A. PLASTIC NETTING USED IN A VARIETY OF EROSION CONTROL PRODUCTS (I.E., EROSION CONTROL BLANKETS, FIBER ROLLS IWATTLES), REINFORCED SILT FENCE) HAS BEEN FOUND TO Entrangle wildlife, including Reptiles, Amphibians, Birdson of Minde Products (I.E., Education Control Date C
- B INSTALLATION OF FROSION AND SEDIMENTATION CONTROLS. REQUIRED FOR FROSION CONTROL COMPLIANCE AND CREATION OF A BARRIER TO POSSIBLE MIGRATING/DISPERSING 3. INSTALLATION OF EROSION AND SEDIMENTATION CONTROLS, REQUIRED FOR EROSION CONTROL COMPLIANCE AND CREATION OF A BARRIER TO POSSIBLE MIGRATINADISPERSING WILDLIFE, SHALL BE PERFORMED BY THE CONTRACTOR IF ANY SOLL DISTURBANCE OCCURS OR HEAVY MACHINERY IS ANTICIPATED TO BE USED ON SUPPES. THE MONITOR WILL INSPECT THE WORK ZONE AREA PRIOR TO AND FOLLOWING EROSION CONTROL BARRIER INSTALLATION, IN ADDITION, WORK ZONES WILL BE INSPECTED PRIOR TO AND FOLLOWING EROSION CONTROL BARRIER INSTALLATION TO ENSURE THE AREA IS FREE OF EASTERN BOX TURTLES AND OTHER WILDLIFE AND SATISFACTORILY INSTALLED. THE INTERNO OF THE BARRIER IS TO SEGREGATE THE MAJORITY OF THE WORK ZONE FROM POSSIBLE TURTLES AND THER WILDLIFE SPECIES, IN ADDITION TO SERVING AS AN EROSION CONTROL DEVICE. OFTENTINES COMPLETE ISOLATION OF A WORK ZONE IS NOT FEASIBLE DUE TO ACCESSIBILITY NEEDS AND CONTROL DEVICES, UN ADDITION TO SERVING AS AN EROSION CONTROL DEVICE. OFTENTINES COMPLETE ISOLATION OF A WORK ZONE IS NOT FEASIBLE DUE TO ACCESSIBILITY MEEDS AND CONTROL DEVICES IN ADDITION TO SERVING AS AN EROSION CONTROL DEVICE. OFTENTINES COMPLETE ISOLATION OF A WORK ZONE IS NOT FEASIBLE DUE TO ACCESSIBILITY MEEDS AND LOCATIONS OF STAGING/MATERIAL STORAGE AREAS, ETC. IN THOSE CIRCUMSTANCES, THE BARRIERS WILL BE POSITIONED TO DEFLECT MIGRATING/DISPERSAL ROUTES AWAY FROM THE WORK ZONE TO MINIMIZE POTENTIAL ENCOUNTERS WITH TURTLES/WILDLIFE AT THE DISCRETION OF THE ENVIRONMENTAL MONITOR
- C. THE CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTIONS OF THE SEDIMENTATION AND EROSION CONTROLS FOR TEARS OR BREECHES AND ACCUMULATION LEVELS OF SEDIMENT, PARTICULARLY FOLLOWING STORM EVENTS THAT GENERATE A DISCHARGE, AS DEFINED BY AND IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE APT ENVIRONMENTAL MONITOR WITHIN 24 HOURS OF ANY BREECHES OF THE SEDIMENTATION AND EROSION CONTROLS AND ANY SEDIMENT RELEASES BEYOND THE PERIMETER CONTROLS THAT IMPACT LAUREL RESERVOIR. WETLANDS OR AREAS WITHIN 100 FEET OF WETLANDS. THE APT ENVIRONMENTAL MONITOR WILL HELEAGES BEFORD THE PERINDELEMENTATION AND EROSION CONTROLS THAT INPACT LEGENCY (WE LANDS OF AREAS WITHIN TO PEEL OF WEILDANDS, THE APT ENVIRONMENTAL MONITOR WILL PROVIDE PERIODIC INSPECTIONS OF THE SEDIMENTATION AND EROSION CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES ONLY AS IT PERTAINS TO THEIR FUNCTION TO PROTECT NEARBY WETLANDS, SUCH INSPECTIONS WILL GENERALLY OCCUR ONCE PER MONTH, THE FREQUENCY OF MONITORING MAY INCREASE DEPENDING UPON SITE CONDITIONS, LEVEL OF CONSTRUCTION ACTIVITIES IN PROXIMITY TO SENSITIVE RECEPTORS, OR AT THE REQUEST OF REGULATORY AGENCIES. IF THE ENVIRONMENTAL MONITOR IS NOTIFIED BY THE CONTRACTOR OF A SEDIMENT RELEASE, AN INSPECTION WILL BE SCHEDULED SPECIFICALLY TO INVESTIGATE AND EVALUATE POSSIBLE IMPACTS TO WETLAND RESOURCES.
- D. THIRD PARTY MONITORING OF SEDIMENTATION AND EROSION CONTROLS WILL BE PERFORMED BY OTHER PARTIES, AS NECESSARY, UNDER APPLICABLE LOCAL, STATE AND/OR FEDERAL REGULATIONS AND PERMIT CONDITIONS
- E. THE EXTENT OF THE EROSION CONTROLS WILL BE AS SHOWN ON THE SITE PLANS. THE CONTRACTOR SHALL HAVE ADDITIONAL EROSION CONTROL MATERIALS SHOULD FIELD CONDITIONS WARRANT EXTENDING THE FENCING AS DIRECTED BY THE ENVIRONMENTAL MONITOF
- E NO EQUIPMENT VEHICLES OR CONSTRUCTION MATERIALS SHALL BE STORED WITHIN 100 FEET OF LAUREL RESERVOIR OR WETLAND RESOURCES.
- G. ALL SILT FENCING AND OTHER EROSION CONTROL DEVICES SHALL BE REMOVED WITHIN 30 DAYS OF COMPLETION OF WORK AND PERMANENT STABILIZATION OF SITE SOILS. IF FIBER ROLLS/WATTLES, STRAW BALES, OR OTHER NATURAL MATERIAL EROSION CONTROL PRODUCTS ARE USED, SUCH DEVICES WILL NOT BE LEFT IN PLACE TO BIODEGRADE AND SHALL BE PROMPTLY REMOVED AFTER SOILS ARE STABLE SO AS NOT TO CREATE A BARRIER TO WILDIFE MOVEMENT. SEED FROM SEEDING OF SOILS SHOULD NOT SPREAD OVER FIBER ROLLS/WATTLES AS IT MAKES THEM HARDER TO REMOVE ONCE SOILS ARE STABILIZED BY VEGETATION.
- 3 PETROLEUM MATERIALS STORAGE AND SPILL PREVENTION
- A. CERTAIN PRECAUTIONS ARE NECESSARY TO STORE PETROLEUM MATERIALS, REFUEL AND CONTAIN AND PROPERLY CLEAN UP ANY INADVERTENT FUEL OR PETROLEUM (I.E., OIL, HYDRAULIC FLUID, ETC.) SPILL DUE TO THE PROJECTS LOCATION WITHIN A PUBLIC WATER SUPPLY WATERSHED AND IN PROXIMITY TO WETLAND RESOURCES AND RARE SPECIES
- B. A SPILL CONTAINMENT KIT CONSISTING OF A SUFFICIENT SUPPLY OF ABSORBENT PADS AND ABSORBENT MATERIAL WILL BE MAINTAINED BY THE CONTRACTOR AT THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT. IN ADDITION, A WASTE DRUM WILL BE KEPT ON SITE TO CONTAIN ANY USED ABSORBENT PADS/MATERIAL FOR PROPER AND TIMELY DISPOSAL OFF SITE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL LAWS
- C. SERVICING OF MACHINERY SHALL ONLY BE COMPLETED OUTSIDE OF THE PUBLIC WATER SUPPLY WATERSHED PROTECTION ZONE.

- D. AT A MINIMUM, THE FOLLOWING PETROLEUM AND HAZARDOUS MATERIALS STORAGE AND REFUELING RESTRICTIONS AND SPILL RESPONSE PROCEDURES WILL BE ADHERED TO BY THE
- i. PETROLEUM AND HAZARDOUS MATERIALS STORAGE AND REFUELING
- 1. REFUELING OF VEHICLES OR MACHINERY SHALL OCCUR A MINIMUM OF 100 FEET FROM WETLANDS AND LAUREL RESERVOIR AND SHALL TAKE PLACE ON AN IMPERVIOUS PAD WITH SECONDARY CONTAINMENT DESIGNED TO CONTAIN FUELS. 2. FUEL AND OTHER HAZARDOUS MATERIALS SHALL NOT BE STORED WITHIN THE PUBLIC WATER SUPPLY WATERSHED, WHICH ENCOMPASSES THE ENTIRE SUBJECT PROPERTY, DURING
- NON-WORKING HOURS
- ANY FUEL OR HAZARDOUS MATERIALS THAT MUST BE KEPT ON SITE DURING WORKING HOURS SHALL BE STORED ON AN IMPERVIOUS SURFACE UTILIZING SECONDARY CONTAINMENT A MINIMUM OF 100 FEET FROM WETLANDS AND LAUREL RESERVOIF
  - INITIAL SPILL RESPONSE PROCEDURES
- STOP OPERATIONS AND SHUT OFF EQUIPMENT
- REMOVE ANY SOURCES OF SPARK OR ELAME
- 2. REMOVE ANY SOURCES OF SPARIN OF FLAME. 3. CONTAIN THE SOURCE OF THE SPILL. 4. DETERMINE THE APPROXIMATE VOLUME OF THE SPILL. 5. IDENITY THE LOCATION OF NATURAL FLOW PATHS TO PREVENT THE RELEASE OF THE SPILL TO SENSITIVE NEARBY LAUREL RESERVOIR, WATERWAYS, AND WETLANDS. 6. ENSURE THAT FELLOW WORKERS ARE NOTIFIED OF THE SPILL.
- III SPILL CLEAN UP & CONTAINMENT

- . CONTACT THE AQUARION WATER COMPANY ALONG WITH APPROPRIATE LOCAL, STATE AND/OR FEDERAL AGENCIES, AS NECESSARY 5. CONTACT A DISPOSAL COMPANY TO PROPERLY DISPOSE OF CONTAMINATED MATERIALS
- **REPORTING**
- 1. COMPLETE AN INCIDENT REPORT. 2. SUBMIT A COMPLETED INCIDENT REPORT TO LOCAL, STATE AND FEDERAL AGENCIES, AS NECESSARY, INCLUDING THE AQUARION WATER COMPANY AND THE CONNECTICUT SITING COUNCIL
- 4. WETLAND PROTECTIVE MEASURES
- A. A THOROUGH COVER SEARCH OF THE CONSTRUCTION AREA WILL BE PERFORMED BY APT'S ENVIRONMENTAL MONITOR PRIOR TO AND FOLLOWING INSTALLATION OF THE SILT FENCING THE WORK ZONE IN THE GENERAL DIRECTION THE ANIMAL WAS ORIENTED. PERIODIC INSPECTIONS WILL BE PERFORMED BY APTS ENVIRONMENTAL MONITOR THROUGH DE TRANSLOCATED OU THE WORK ZONE IN THE GENERAL DIRECTION THE ANIMAL WAS ORIENTED. PERIODIC INSPECTIONS WILL BE PERFORMED BY APTS ENVIRONMENTAL MONITOR THROUGHOUT THE DURATION OF THE CONSTRUCTION, GENERALLY ON A MONTHLY BASIS
- B. ALTHOUGH NO VERNAL POOL HABITAT IS KNOWN TO OCCUR ON OR ADJACENT TO THE SUBJECT PROPERTY. AS A PRECAUTION ANY STORMWATER MANAGEMENT FEATURES. RUTS OR ARTIFICIAL DEPRESSIONS THAT COULD HOLD WITH OBCORTON INTEGRATION OF "DECOY POOLS" THAT COULD FIND FERTILY STABILIZED WITH VEGETATION TO AVOID THE CREATION OF "DECOY POOLS" THAT COULD INTERCEPT AMPHIBIANS POTENTIALLY MOVING THROUGH THE PROJECT AREA STORMWATER MANAGEMENT FEATURES SUCH AS LEVEL SPREADERS WILL BE CAREFULLY REVIEWED IN THE FIELD TO ENSURE THAT STANDING WATER DOES NOT ENDURE FOR MORE THAN A 24?HOUR PERIOD TO AVOID CREATION OF DECOY POOLS AND MAY BE SUBJECT TO FIELD DESIGN CHANGES. ANY SUCH PROPOSED DESIGN CHANGES WILL BE REVIEWED BY THE DESIGN ENGINEER TO ENSURE STORMWATER MANAGEMENT FUNCTIONS ARE MAINTAINED.
- C EROSION CONTROL MEASURES WILL BE REMOVED NO LATER THAN 30 DAYS FOLLOWING FINAL SITE STARILIZATION SO AS NOT TO IMPEDE WILD LEE MOVEMENTS
- 5. RARE BATS SITE MANAGEMENT MEASURES (TREE CLEARING RESTRICTION)
- A. TREE CLEARING IS RESTRICTED TO OCCUR ONLY BETWEEN NOVEMBER 1ST THROUGH MARCH 30TH, DURING THE BATS NON-ROOSTING PERIOD, WHEN BATS WOULD NOT BE PRESENT ON THE SITE
- 6. TURTLE PROTECTION MEASURES
- A. PRIOR TO CONSTRUCTION AND FOLLOWING INSTALLATION OF ISOLATION BARRIERS, THE CONSTRUCTION AREA WILL BE SWEPT BY APT AND ANY TURTLES OCCURRING WITHIN THE WORK AREA WILL BE RELOCATED TO SUITABLE HABITAT OUTSIDE OF THE ISOLATION BARRIERS.
- B. PRIOR TO THE START OF CONSTRUCTION EACH DAY. THE CONTRACTOR SHALL SEARCH THE ENTIRE WORK AREA FOR TURTLES.
- C, IF A TURTLE IS FOUND, IT SHALL BE IMMEDIATELY MOVED, UNHARMED, BY BEING CAREFULLY GRASPED IN BOTH HANDS, ONE ON EACH SIDE OF THE SHELL. BETWEEN THE TURTLE'S PROTECTED BY LAW AND NO TURTLES SHOULD BE RELOCATED FROM THE PROPERTY.
- D. SPECIAL CARE SHALL BE TAKEN BY THE CONTRACTOR DURING EARLY MORNING AND EVENING HOURS SO THAT POSSIBLE BASKING OR FORAGING TURTLES ARE NOT HARMED BY CONSTRUCTION ACTIVITIES
- E. THE CONTRACTOR SHALL BE PARTICULARLY DILIGENT DURING THE MONTHS OF MAY AND JUNE WHEN TURTLES ARE ACTIVELY SELECTING NESTING SITES WHICH RESULTS IN AN INCREASE IN TURTLE MOVEMENT ACTIVITY.
- 7. HERBICIDE, PESTICIDE, AND SALT RESTRICTIONS
- A THE USE OF HERBICIDES AND PESTICIDES AT THE FACILITY SHALL BE AVOIDED WHEN POSSIBLE. IN THE EVENT HERBICIDES AND/OR PESTICIDES ARE BEOLIBED AT THE FACILITY. THEIR USE WILL BE USED IN ACCORDANCE WITH CURRENT INTEGRATED PEST MANAGEMENT (IPM) PRINCIPLES WITH PARTICULAR ATTENTION TO AVOID APPLICATIONS WITHIN 100 FEET OF WELLAND AND WATERCOURSE RESOURCES AND LAUREL RESERVOIF
- B. MAINTENANCE OF THE FACILITY DURING THE WINTER MONTHS SHALL NOT INCLUDE THE APPLICATION OF SALT OR SIMILAR PRODUCTS FOR MELTING SNOW OR ICE
- 8 REPORTING
  - A COMPLIANCE MONITORING REPORTS (BRIFF NARRATIVE AND APPLICABLE PHOTOS) DOCUMENTING EACH APT INSPECTION WILL BE SUBMITTED BY APT TO HOMELAND TOWERS FOR MPLIANCE VERIFICATION. ANY OBSERVATIONS OF EASTERN BOX TUFFLES (OR OTHER WILDLIFF) IMPACTS, OR CORRECTIVE ACTIONS WILL BE INCLUDED IN THE REPORT.
  - B. FOLLOWING COMPLETION OF THE CONSTRUCTION PROJECT, APT WILL PROVIDE A COMPLIANCE MONITORING SUMMARY REPORT TO HOMELAND TOWERS DOCUMENTING IMPLEMENTATION OF THE RESOURCES PROTECTION PROGRAM AND MONITORING OBSERVATIONS. HOMELAND TOWERS WILL PROVIDE A COPY OF THE COMPLIANCE MONITORING SUMMARY REPORT TO THE CONNECTICUT SITING COUNCIL FOR COMPLIANCE VERIFICATION.
  - C. ANY OBSERVATIONS OF RARE SPECIES WILL BE REPORTED TO CTDEEP BY APT, WITH PHOTO?DOCUMENTATION (IF POSSIBLE) AND WITH SPECIFIC INFORMATION ON THE LOCATION AND

HOMELAND TOWERS, LLC 9 HARMONY STREET 2nd FLOOR DANBURY, CT 06810 203) 297-6345
Add MOUNT KEMBLE AVENUE MORRISTOWN, NEW JERSEY 07960      CONTRISTOWN, NEW JERSEY 07960      CONTRISTECHNOLOGY     CONTRASTON SUITESIN      CONTRASTON      CONTRASTON      CONTRASTON      CONTRASTON      CONTRASTON      CONTRASTON
TECHNOLOGY CORPORATION         SPECHNOLOGY CORPORATION         SPECTION SUITE 311         WATERPORD, CT 06385         PERMITTING DOCUMENTS         NO         DATE         REVISION         0       1207/21         FOR REVIEW: RCB         1207/21         OR REVIEW: RCB         0 03/29/22         OLIENT REVISIONS: RCB         0 04/04/22         CLIENT REVISIONS: RCB         0         0         0         0         DEVELOPER: COMELAND TOWERS, LLC         ADDRESS: 9 HARMONY STREET         2ND FLOOR         DEVELOPER: HOMELAND TOWERS         NEW CANAAN NORTHWEST         SITE 1837 PONUS RIDGE ROAD         ADMELAND TOWERS </td
PROF: ROBERT C. BURNS P.E. COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C. ADD: 567 VAUXHAUL STREET EXTENSION - SUITE311 WATERFORD, CT 06335 DEVELOPER: HOMELAND TOWERS, LLC ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810 HOMELAND TOWERS SITE 1837 PONUS RIDGE ROAD ADDRESS: NEW CANAAN, CT 06840 APT FILING NUMBER: CT283860 DATE: 12/07/21 DRAWN BY: CSH CHECKED BY: RCB SHEET TITLE: ENVIRONMENTAL NOTES SHEET NUMBER:
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# **Site Evaluation Report**

## SITE EVALUATION REPORT New Canaan NW CT050

## I. LOCATION

- A. <u>COORDINATES</u>: 41° 10' 18.89" N 73° 32' 36.90" W
- B. <u>GROUND ELEVATION:</u> 394.00± AMSL
- C. <u>USGS MAP</u>: USGS 7.5 quadrangle for Pound Ridge
- D. <u>SITE ADDRESS:</u> 1837 Ponus Ridge Road New Canaan, CT 06840
- E. <u>ZONING WITHIN ¼ MILE OF SITE</u>: Abutting areas to the north and east of the property are zoned 4 Acre Residence Zone. Abutting areas to the south and west of the property are zoned 4 Acre Residence Zone and Floodplain Overlay Zone.

## II. DESCRIPTION

A. <u>SITE SIZE:</u> 5.16 Ac (Vol 1023 - Page 0771)

LEASE AREA/COMPOUND AREA: 5,100 SF/3,000 SF

- B. <u>TOWER TYPE/HEIGHT:</u> A 110' monopine.
- C. <u>SITE TOPOGRAPHY AND SURFACE</u>: The facility is located in a wooded portion of a vacant residential property. Site slopes and decreases in elevation from east to west.
- D. <u>SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR</u> <u>WATER:</u> The proposed compound is located in the northern area of a 5.16± acre residential parcel that is wooded. Residential properties are located north and east of the subject site. Residential properties and the Laurel Reservoir (opposite side of Ponus Ridge Road) are located south and west of the subject site. Wetlands are located on property approximately 240'± west of the proposed compound and approximately 137'± west of the proposed gravel access driveway at its closest point.

E. <u>LAND USE WITHIN ¼ MILE OF SITE</u>: Residential properties to the north, south, east and west. In addition, the Laurel Reservoir is located south and west of the property.

## III. FACILITIES

- A. <u>POWER COMPANY:</u> Eversource
- B. <u>POWER PROXIMITY TO SITE:</u> 585'±
- C. <u>TELEPHONE COMPANY:</u> Frontier
- D. <u>PHONE SERVICE PROXIMITY:</u> 585'±
- E. <u>VEHICLE ACCESS TO SITE:</u> Access to the proposed telecommunication facility will be along existing paved driveway to a proposed gravel & paved access driveway (approx. 460'±)
- F. <u>OBSTRUCTION:</u> Wetlands located onsite approximately 240'± west of the proposed compound and 137'± west of the proposed gravel access driveway at its closest point.
- G. <u>CLEARING AND FILL REQUIRED</u>: Total area of disturbance is 37,000± sf. (0.85± ac.); 94 trees will need to be removed. The site improvements shall entail approximately 3,550 CY of excavation and 1,500 CY of fill for the construction of the compound and access driveway. Approximately 250 CY of clean broken stone is needed for the compound and driveway construction. The utility trench from the demarc to the compound will excavate approximately 340 CY of material that will be used to backfill the trench.

# IV. <u>LEGAL</u>

- A. PURCHASE [ ] LEASE [X]
- B. OWNER: 1837 LLC
- C. ADDRESS: 19 Old Kings Highway South, Darien, CT 06820
- D. DEED ON FILE AT: Volume 1023 Page 0771



# **Site Impact Statement**

Site: N Site Address: 1

New Canaan NW CT050 1837 Ponus Ridge Rd. New Canaan, CT 06840

## Access distances:

Existing paved driveway (approx. 40'±) to a proposed gravel & paved access driveway (approx. 460±) (total approximately 500').

## **Distance to Nearest Wetlands**

Wetlands are located on property approximately 240'± west of the proposed compound and approximately 137'± west of the proposed gravel access driveway at its closest point.

## **Distance to Property Lines:**

357'+/- to the western property boundary from the tower 144'+/- to the northern property boundary from the tower 130'+/- to the northeastern property boundary from the tower 110'+/- to the eastern property boundary from the tower 248'+/- to the southwestern property boundary from the tower

337'+/- to the western property boundary from the compound 122'+/- to the northern property boundary from the compound 72'+/- to the northeastern property boundary from the compound 45'+/- to the eastern property boundary from the compound 227'+/- to the southwestern property boundary from the compound

## **Residence Information:**

There are 11 single family residences within 1,000' feet of the compound. The closest on site residence is approximately 232 feet to the south and is located at Parcel 23-27-57 (1837 Ponus Ridge Road). The closest off site residence is approximately 273 feet to the north and is located at Parcel 28-27-64 (59 Squires Lane).

### **Special Building Information:**

Wetlands are located on property approximately 240'± west of the proposed compound and approximately 137'± west of the proposed gravel access driveway at its closest point.

### Tree Removal Count:

94 trees need to be removed to construct the access driveway and the compound area.

6" - 10"dbh	35 trees
10" – 14"dbh	23 trees
14" or greater dbh	36 trees

**Cut/Fill:** The site improvements shall entail approximately 3,550 CY of excavation and 1,500 CY of fill for the construction of the compound and access driveway. Approximately 250 CY of clean broken stone is needed for the compound and driveway construction. The utility trench from the demarc to the compound will excavate approximately 340 CY of material that will be used to backfill the trench.

Clearing/Grading Necessary: Total area of disturbance = 37,000+/- SF

# **Tree Inventory**



June 23, 2022

Cuddy & Feder, LLP Attn: Lucia Chiocchio 445 Hamilton Avenue 14<sup>th</sup> Floor White Plains, NY 10601

RE: Tree Inventory Site: New Canaan Northwest CT050 1837 Ponus Ridge Road New Canaaan, CT 06840

Dear Ms. Chiocchio:

A Tree Inventory was completed at the subject site during the month of April 2021 to determine the size and quantity of existing trees that will need to be removed for the installation of the proposed facility. The proposed site will require clearing and earthwork to construct the access route and the compound area. Installation of the proposed compound area and access driveway will require the removal of 94 trees.

6" - 10"dbh	35 trees
10" – 14"dbh	23 trees
14" or greater dbh	36 trees

The interior wooded area to be disturbed for construction of the compound area will be approximately 5,100 square feet. A new access driveway will be installed to provide access and utility corridor to the proposed compound. The total combined area of disturbance for compound, access drive, and utility improvements is 37,000 sf.

Sincerely,

ALL-POINTS TECHNOLOGY CORPORATION, P.C.

Robert C. Burns, P.E. Program Manager

Homeland Towers 1837 Ponus Ridge Rd New Canaan, CT 1000' RESIDENTIAL BUILDING LIST			
PARCEL ID	STREET ADDRESS	BUILDING TYPE	DISTANCE FROM COMPOUND* (ft+/-)
28-27-64	59 Squires Lane	Single Family	273'
28-27-35	51 Squires Lane	Single Family	793'
28-27-65	60 Squires Lane	Single Family	538'
20-27-05	00 Squiles Laile	Single Family	768'
28-25-113	1801 Ponus Ridge	Single Family	682'
23-27-57	1837 Ponus Ridge	Single Family	232'
23-27-39	1937 Ponus Ridge	Single Family	862'
28-25-21	322 Dan's Highway	Single Family	950'
28-27-61	329 Dan's Highway	Single Family	923'
28-27-9	331 Dan's Highway	Single Family	524'
28-25-133	346 Dan's Highway	Single Family	725'
28-29-6	359 Dan's Highway	Single Family	301'
*Information gathered from New Canaan Assessor's Database & CTECO Ortho Aerial Images			