

STATE OF CONNECTICUT  
CONNECTICUT SITING COUNCIL

IN RE:

APPLICATION OF HOMELAND TOWERS, LLC AND  
NEW CINGULAR WIRELESS PCS, LLC d/b/a AT&T FOR  
A CERTIFICATE OF ENVIRONMENTAL  
COMPATIBILITY AND PUBLIC NEED FOR THE  
CONSTRUCTION, MAINTENANCE, AND OPERATION  
OF A TELECOMMUNICATIONS FACILITY AT  
1837 PONUS RIDGE ROAD,  
TOWN OF NEW CANAAN, CONNECTICUT

DOCKET NO. 509

June 24, 2022

HOMELAND TOWERS, LLC AND NEW CINGULAR WIRELESS PCS, LLC (AT&T)  
SUBMISSION OF UPDATED DRAWINGS

Applicants Homeland Towers, LLC and New Cingular Wireless PCS, LLC d/b/a/ AT&T respectfully submit the enclosed updated drawings and Proposed Facility details in the above-referenced proceeding and in furtherance of the Applicants' June 21, 2022 Supplemental Submission.

The enclosed drawings show the AT&T propane emergency generator as noted in the June 21, 2022 Supplemental Submission, as well as the following:

1. Earthwork: more balance with respect to cut and fill: previously: 5,000 CY of cut vs 65 CY of fill; update: 3,500 CY of cut vs 1,500 CY of fill
2. Surface of compound grade revised from approximately 5' of excavation to almost at existing grade
3. Area for four (4) propane tanks added to the compound
4. Relocated AT&T within the compound
5. Limit of disturbance reduced from 40,000 SF to 37,000 SF
6. Trees removed reduced from 103 to 94

**CERTIFICATE OF SERVICE**

I hereby certify that on this day the foregoing was sent electronically and one (1) original and fifteen (15) hard copies were sent overnight mail to the Connecticut Siting Council and sent electronically to the parties on the service list as noted below.

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New Canaan, CT 06840  
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Dated: June 24, 2022



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Lucia Chiochio, Esq.  
Kristen Motel, Esq.  
Cuddy & Feder LLP  
445 Hamilton Ave, 14<sup>th</sup> Floor  
White Plains, NY 10601  
(914)-761-1300

cc: Homeland  
AT&T  
APT  
Smartlink  
C Squared



HOMELAND TOWERS, LLC

# WIRELESS TELECOMMUNICATIONS FACILITY

**NEW CANAAN NORTHWEST  
1837 PONUS RIDGE ROAD  
NEW CANAAN, CT 06840**

**H**  
HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2nd FLOOR  
DANBURY, CT 06810  
(203) 297-6345

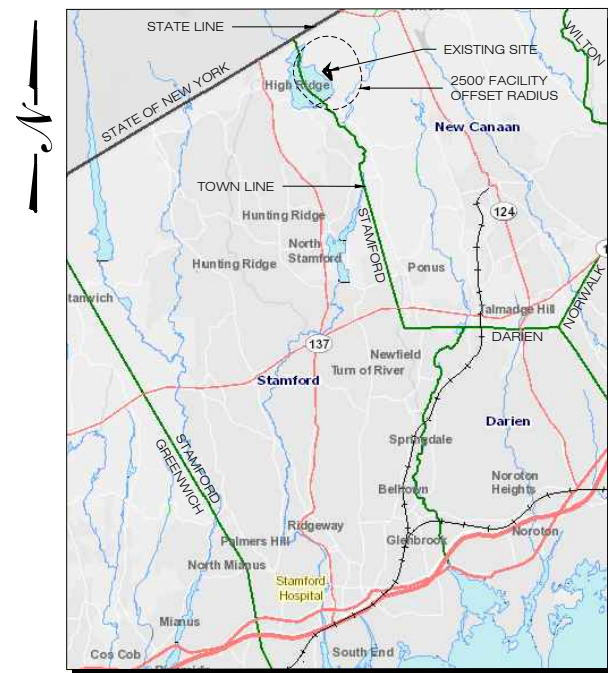
**at&t**  
340 MOUNT KEMBLE AVENUE  
MORRISTOWN, NEW JERSEY 07960

**ALL-POINTS**  
TECHNOLOGY CORPORATION

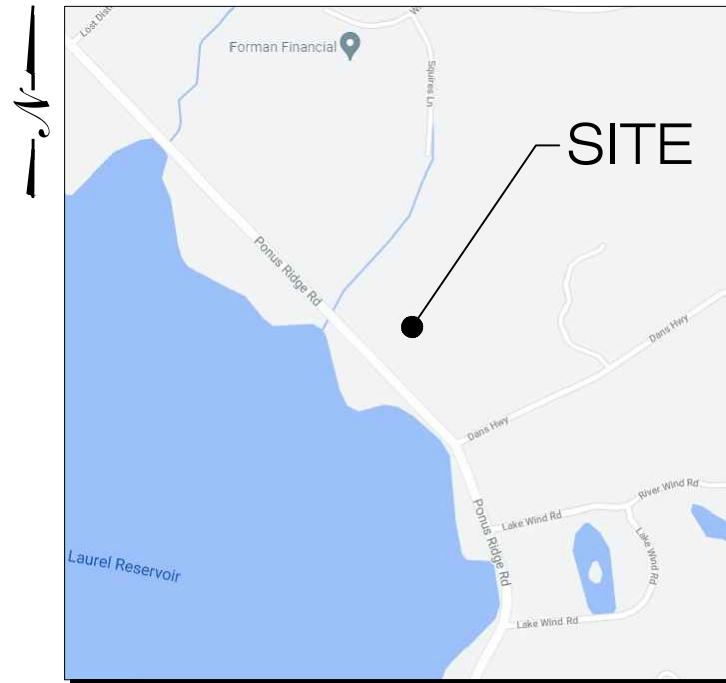
567 VAUXHALL STREET EXTENSION - SUITE 311  
WATERFORD, CT 06385 PH: (860)-663-1697  
WWW.ALLPOINTS TECH.COM FAX: (860)-663-0935

**PERMITTING DOCUMENTS**

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**MUNICIPAL NOTIFICATION LIMIT MAP**  
SCALE: 1" = 1.5 Miles



**VICINITY MAP**  
SCALE: 1" = 500'

DRAWING INDEX

- T-1 TITLE SHEET
- EX-1 SITE SURVEY
- EX-2 TREE SURVEY TABLE
- SP-1 SITE PLAN & ABUTTERS MAP
- SP-2 PARTIAL SITE PLAN
- CP-1 COMPOUND PLAN & TOWER ELEVATION
- C-1 SITE DETAILS
- C-2 SITE DETAILS
- C-3 EROSION CONTROL DETAILS
- C-4 AT&T EQUIPMENT PLAN & DETAILS
- N-1 ENVIRONMENTAL NOTES

SITE INFORMATION

PROJECT LOCATION: 1837 PONUS RIDGE ROAD  
NEW CANAAN, CT 06840

PROJECT DESCRIPTION: RAWLAND SITE W/ GROUND  
EQUIPMENT WITHIN 3,100± SF  
TELECOMMUNICATIONS  
EQUIPMENT COMPOUND W/  
PROP. 110± AGL MONOPINE.

PROPERTY DEVELOPER: HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

DEVELOPER CONTACT: RAY VERGATI  
(203) 297-6345

ENGINEER CONTACT: ROBERT C. BURNS, P.E.  
(860) 552-2036

LATITUDE: 41° 10' 18.89"N (41.171914)  
LONGITUDE: 73° 32' 36.90"W (-73.543583)  
ELEVATION: 394± AMSL

MAP: 23  
BLOCK: 27  
LOT: 57  
ZONE: 4 ACRE RESIDENCE ZONE

**DESIGN PROFESSIONALS OF RECORD**

PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY  
CORPORATION, P.C.  
ADD: 567 VAUXHALL STREET  
EXTENSION - SUITE311  
WATERFORD, CT 06385

DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

**HOMELAND TOWERS  
NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**

OWNER:

1837 LLC  
C/O RUCCI LAW GROUP  
19 OLD KINGS HIGHWAY SOUTH  
DARIEN, CT 06820

APPLICANTS:

HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810  
RAY VERGATI  
(203) 297-6345

AT&T  
340 MOUNT KEMBLE AVE.  
MORRISTOWN, NJ 07960

HOMELAND PROJECT ATTORNEY:

CUDDY & FEDER, LLP  
445 HAMILTON AVENUE  
14 FLOOR  
WHITE PLAINS, NY 10601  
(914) 761-1300

POWER PROVIDER:

EVERSOURCE: (800) 286-2000

TELCO PROVIDER:

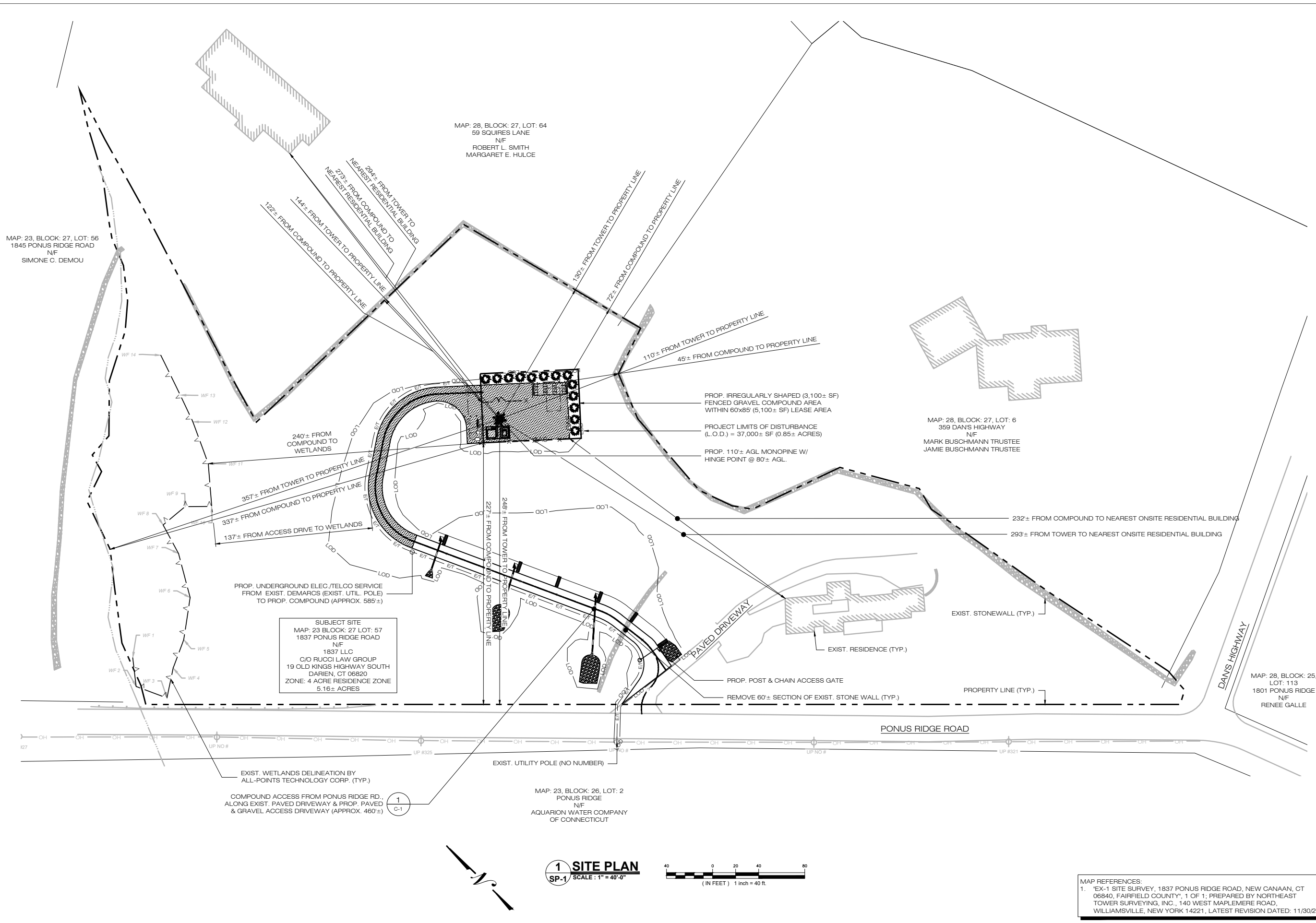
FRONTIER (800) 921-8102

CALL BEFORE YOU DIG:

(800) 922-4455

GOVERNING CODES:

CONNECTICUT STATE BUILDING CODE, LATEST EDITION  
NATIONAL ELECTRIC CODE, LATEST EDITION  
TIA-222-H



MAP: 23, BLOCK: 27, LOT: 56  
1845 PONUS RIDGE ROAD  
N/F  
SIMONE C. DEMOU

MAP: 28, BLOCK: 27, LOT: 64  
59 SQUIRES LANE  
N/F  
ROBERT L. SMITH  
MARGARET E. HULCE

MAP: 28, BLOCK: 27, LOT: 6  
359 DAN'S HIGHWAY  
N/F  
MARK BUSCHMANN TRUSTEE  
JAMIE BUSCHMANN TRUSTEE

MAP: 28, BLOCK: 25,  
LOT: 113  
1801 PONUS RIDGE  
N/F  
RENEE GALLE

**SUBJECT SITE**  
MAP: 23 BLOCK: 27 LOT: 57  
1837 PONUS RIDGE ROAD  
N/F  
1837 LLC  
C/O RUCCI LAW GROUP  
19 OLD KINGS HIGHWAY SOUTH  
DARIEN, CT 06820  
ZONE: 4 ACRE RESIDENCE ZONE  
5.16± ACRES

COMPOUND ACCESS FROM PONUS RIDGE RD.  
ALONG EXIST. PAVED DRIVEWAY & PROP. PAVED  
& GRAVEL ACCESS DRIVEWAY (APPROX. 460'±)

MAP: 23, BLOCK: 26, LOT: 2  
PONUS RIDGE  
N/F  
AQUARION WATER COMPANY  
OF CONNECTICUT

PROP. IRREGULARLY SHAPED (3,100± SF)  
FENCED GRAVEL COMPOUND AREA  
WITHIN 60'x85' (5,100± SF) LEASE AREA  
  
PROJECT LIMITS OF DISTURBANCE  
(L.O.D.) = 37,000± SF (0.85± ACRES)  
  
PROP. 110'± AGL MONOPINE W/  
HINGE POINT @ 80'± AGL.

**HT**  
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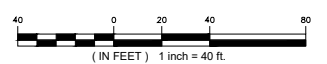
**DESIGN PROFESSIONALS OF RECORD**  
  
PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY  
CORPORATION, P.C.  
ADD: 567 VAUXHALL STREET  
EXTENSION - SUITE 311  
WATERFORD, CT 06385  
  
DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

**HOMELAND TOWERS**  
**NEW CANAAN NORTHWEST**  
  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
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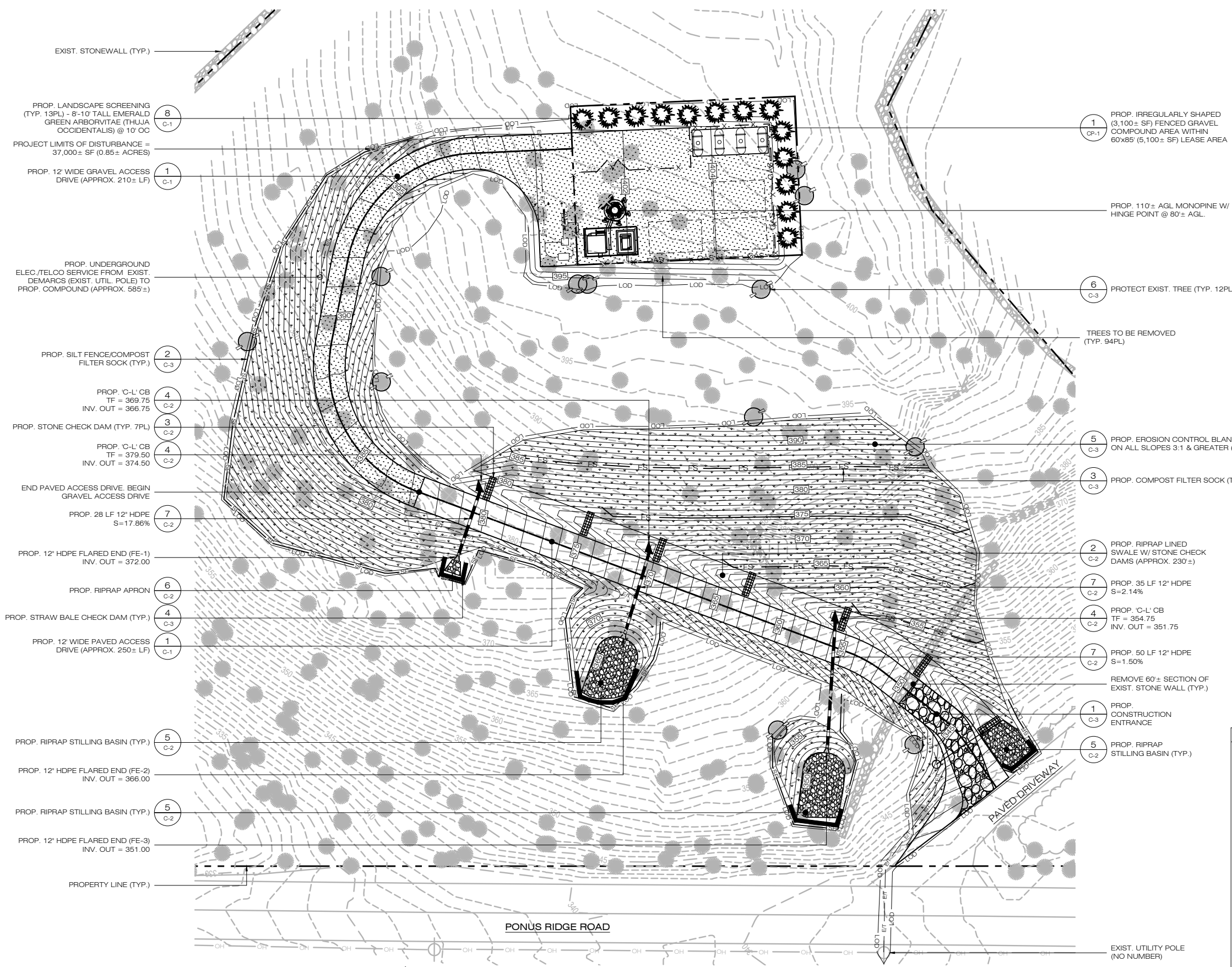
SHEET TITLE:  
**SITE PLAN &  
ABUTTERS MAP**

SHEET NUMBER:  
**SP-1**

**1 SITE PLAN**  
SP-1 SCALE: 1" = 40'-0"



MAP REFERENCES:  
1. "EX-1 SITE SURVEY, 1837 PONUS RIDGE ROAD, NEW CANAAN, CT 06840, FAIRFIELD COUNTY", 1 OF 1; PREPARED BY NORTHEAST TOWER SURVEYING, INC., 140 WEST MAPLEMEER ROAD, WILLIAMSVILLE, NEW YORK 14221, LATEST REVISION DATED: 11/30/21



**LEGEND**

- PROPERTY LINE
- EXIST. WETLAND
- 100' WETLAND SETBACK
- LOD LIMIT OF DISTURBANCE
- X-X- PROP. CHAIN LINK FENCE
- E/T- PROP. ELEC./TELECO LINE
- FS- PROP. FILTER SOCK
- SF- PROP. FILTER SOCK
- PROP. HAYBALE CHECK DAM
- EXIST. TREE TO REMAIN
- EXIST. TREE TO BE REMOVED
- EXIST. TREE TO BE PROTECTED
- EROSION CONTROL BLANKET
- PROP. EMERALD GREEN ARBORVITAE
- STONE CHECK DAM

- 1 PROP. IRREGULARLY SHAPED (3,100± SF) FENCED GRAVEL COMPOUND AREA WITHIN 60'x85' (5,100± SF) LEASE AREA
- 6 PROP. 110'± AGL MONOPINE W/ HINGE POINT @ 80'± AGL.
- 6 PROTECT EXIST. TREE (TYP. 12PL)
- TREES TO BE REMOVED (TYP. 94PL)
- 5 PROP. EROSION CONTROL BLANKET ON ALL SLOPES 3:1 & GREATER (TYP.)
- 3 PROP. COMPOST FILTER SOCK (TYP.)
- 2 PROP. RIPRAP LINED SWALE W/ STONE CHECK DAMS (APPROX. 230±')
- 7 PROP. 35 LF 12" HDPE S=2.14%
- 4 PROP. 'C-L' CB TF = 354.75 INV. OUT = 351.75
- 7 PROP. 50 LF 12" HDPE S=1.50%
- REMOVE 60± SECTION OF EXIST. STONE WALL (TYP.)
- 1 PROP. CONSTRUCTION ENTRANCE
- 5 PROP. RIPRAP STILLING BASIN (TYP.)

**NOTE:**  
94 TREES WILL NEED TO BE REMOVED IN CONSTRUCTION OF THE FACILITY.

6"-10" DIA.	35 TREES
10"-14" DIA.	23 TREES
>14" DIA.	36 TREES
	94 TREES

**SITE AREAS & VOLUMES OF EARTHWORK**

SITWORK ENTAILS APPROXIMATELY 3,550 CUBIC YARDS OF EXCAVATION AND 1,500 CUBIC YARDS OF FILL. THE COMPOUND & ACCESS DRIVEWAY WILL IMPORT APPROXIMATELY 250 CUBIC YARDS OF CLEAN BROKEN STONE. THE UTILITY TRENCH FROM THE DEMARC TO THE COMPOUND WILL EXCAVATE APPROXIMATELY 340 CUBIC YARDS OF MATERIAL THAT WILL BE USED TO BACKFILL THE TRENCH.

COMPOUND AREA SLOPES:  
EXISTING - 6%-15%  
PROPOSED - 3%-5%

TOTAL AREA OF DISTURBANCE = 37,000± SF

STORMWATER VELOCITY:  
PRIOR TO GROUND COVER < 3.0 FT/SEC  
FOLLOWING GROUND COVER < 3.0 FT/SEC

STORMWATER VOLUME:  
PROPOSED IMPERVIOUS AREA = 4,880 SF  
WATER QUALITY STD VOLUME (1") = 407 CF  
STORAGE VOLUME (6" DEPTH, 40% VOIDS) = 600 CF

GROUND COVER TO BE ESTABLISHED AS FOLLOWS (U.O.N.):  
- WHITE CLOVER @ 0.20#/- SF  
- TALL FESCUE @ 0.45#/- SF  
- RYEGRASS @ 0.10#/- SF

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(203) 297-6345

**at&t**  
340 MOUNT KEMBLE AVENUE  
MORRISTOWN, NEW JERSEY 07960

**ALL-POINTS TECHNOLOGY CORPORATION**  
567 VAUXHALL STREET EXTENSION - SUITE 311  
WATERFORD, CT 06385  
PH: (860)-663-1697  
WWW.ALLPOINTS TECH.COM FAX: (860)-663-0935

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DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840

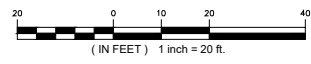
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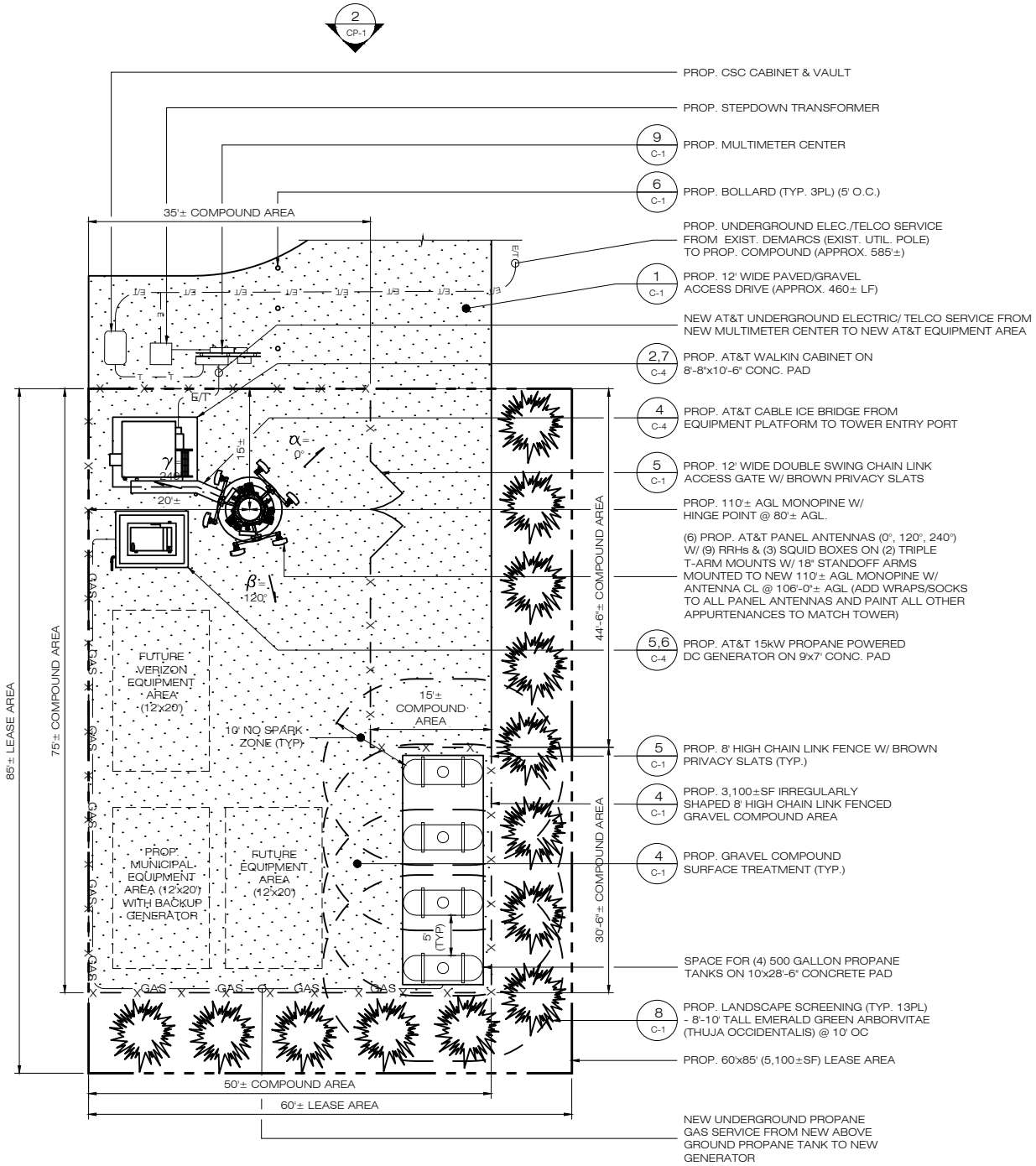
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**SHEET TITLE:**  
**PARTIAL SITE PLAN**

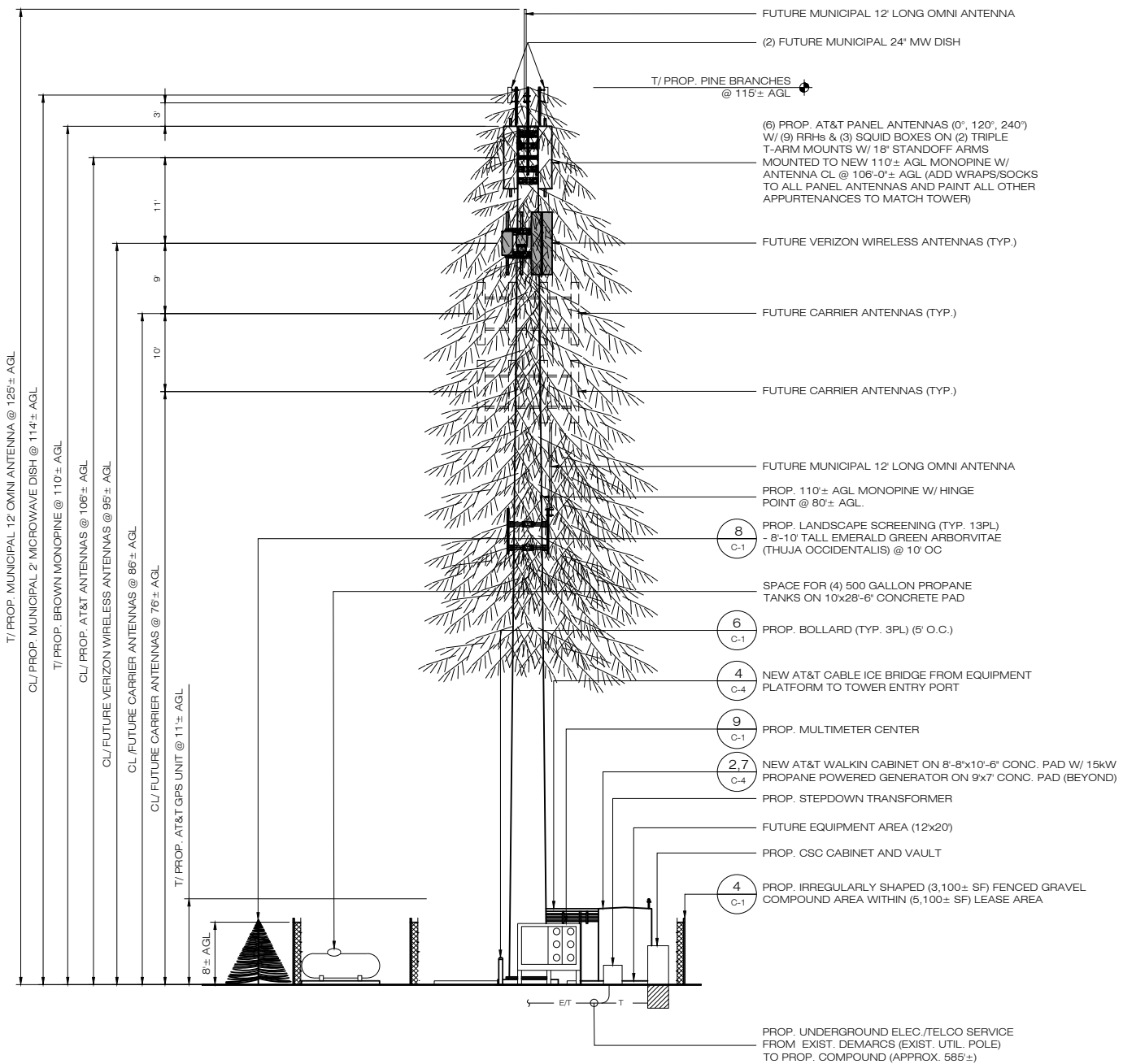
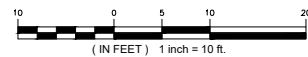
**SHEET NUMBER:**  
**SP-2**

**1 PARTIAL SITE PLAN**  
SP-2 SCALE: 1" = 20'-0"

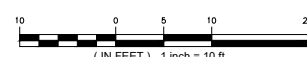




1  
CP-1  
**COMPOUND PLAN**  
SCALE: 1" = 10'-0"



2  
CP-1  
**NORTHWEST ELEVATION**  
SCALE: 1" = 10'-0"



**H**  
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DEVELOPER: HOMELAND TOWERS, LLC  
 ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

**HOMELAND TOWERS  
NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
 ADDRESS: NEW CANAAN, CT 06840

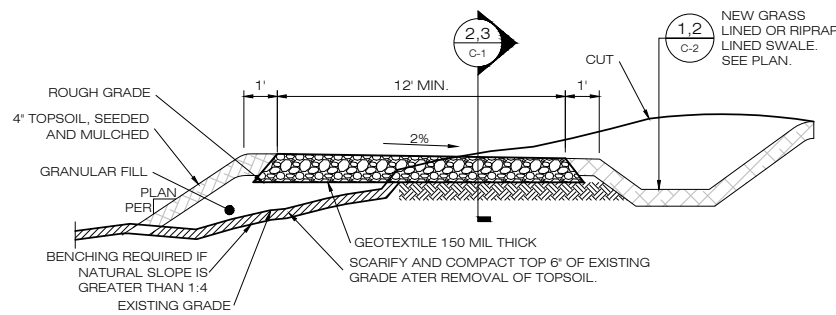
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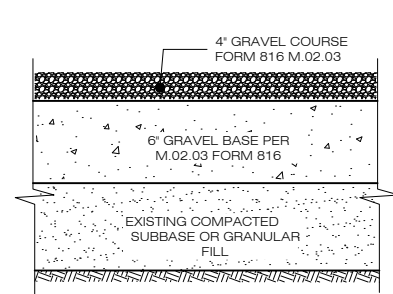
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**COMPOUND PLAN &  
TOWER ELEVATION**

SHEET NUMBER:  
**CP-1**



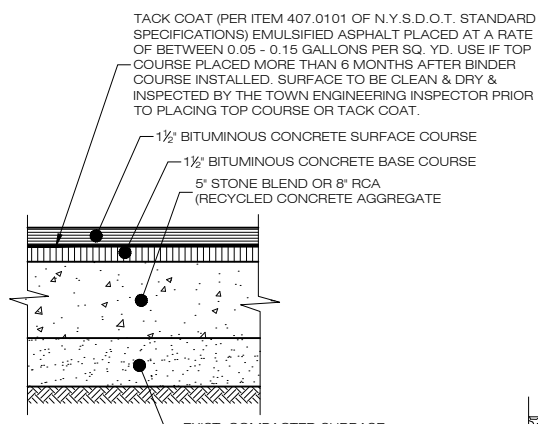
\* CROSS SLOPE GRADE SHALL BE 1-2% AS SHOWN ON PROPOSED GRADING  
 \* WHERE CUT OR FILL EMBANKMENTS ARE STEEPER THAN 3:1 USE A STAPLED IN PLACE, BIODEGRADABLE EROSION CONTROL BLANKET OR A BONDED FIBER MATRIX HYDROSEED APPLICATION.

**1 TYPICAL ROAD CROSS SECTION**  
 C-1 SCALE: N.T.S.



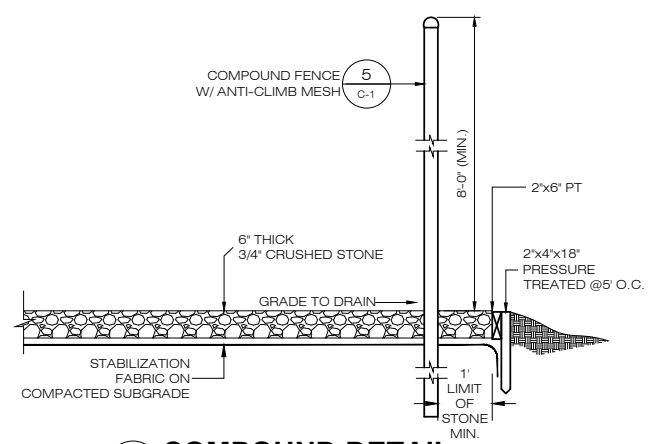
NOTES:  
 1. SUBBASE MAY CONSIST OF NATIVE MATERIALS IF FOUND ACCEPTABLE BY THE ENGINEER. SUBBASE TO BE COMPACTED TO 95% MAX DRY DENSITY.  
 2. SUBBASE IS TO BE FREE FROM DEBRIS AND UNSUITABLE MATERIALS.

**2 GRAVEL ROAD/PARKING SECTION**  
 C-1 SCALE: N.T.S.

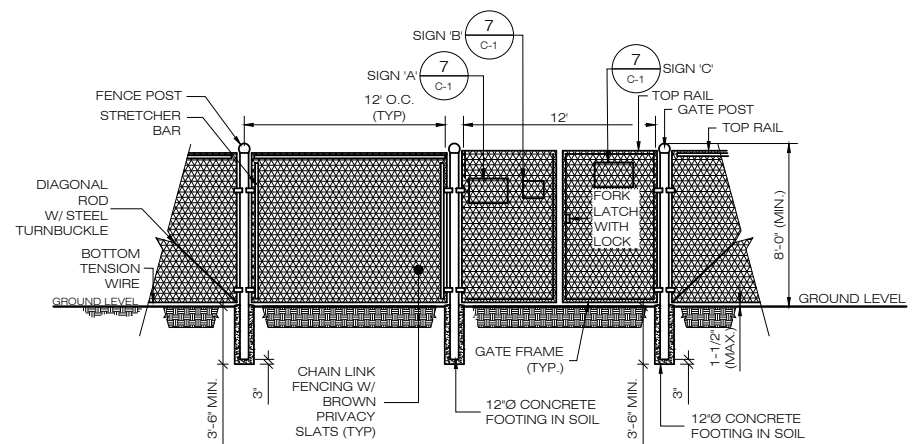


NOTES:  
 1. SUBBASE MAY CONSIST OF NATIVE MATERIALS IF FOUND ACCEPTABLE BY THE ENGINEER. SUBBASE TO BE COMPACTED TO 95% MAX DRY DENSITY.  
 2. SUBBASE IS TO BE FREE FROM DEBRIS AND UNSUITABLE MATERIALS.

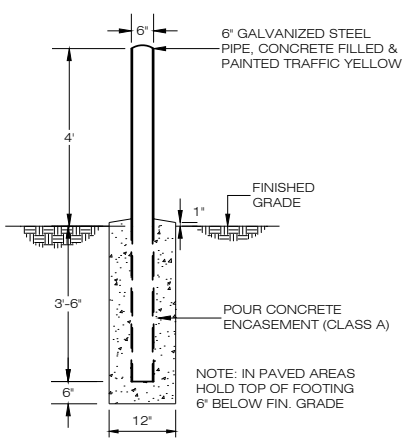
**3 PAVED ROAD SECTION**  
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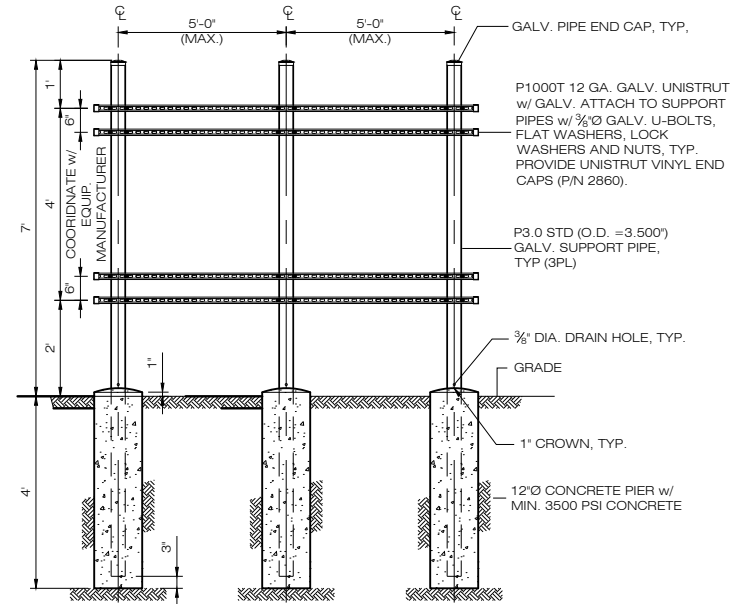
**4 COMPOUND DETAIL**  
 C-1 SCALE: N.T.S.



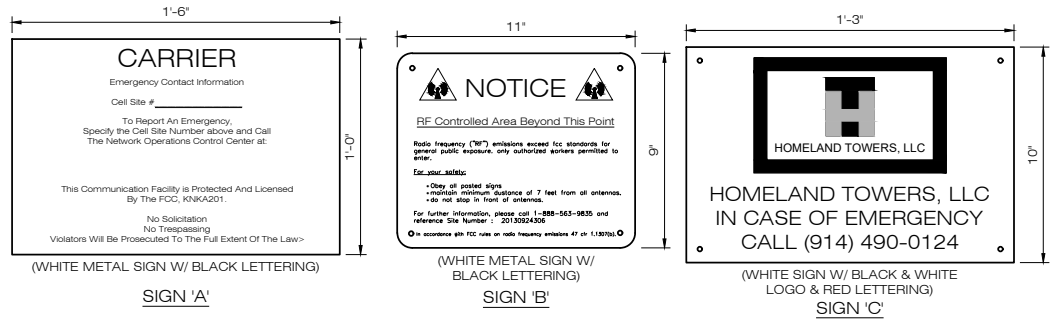
**5 CHAIN-LINK FENCING & FENCE GATE DETAIL**  
 C-1 SCALE: N.T.S.



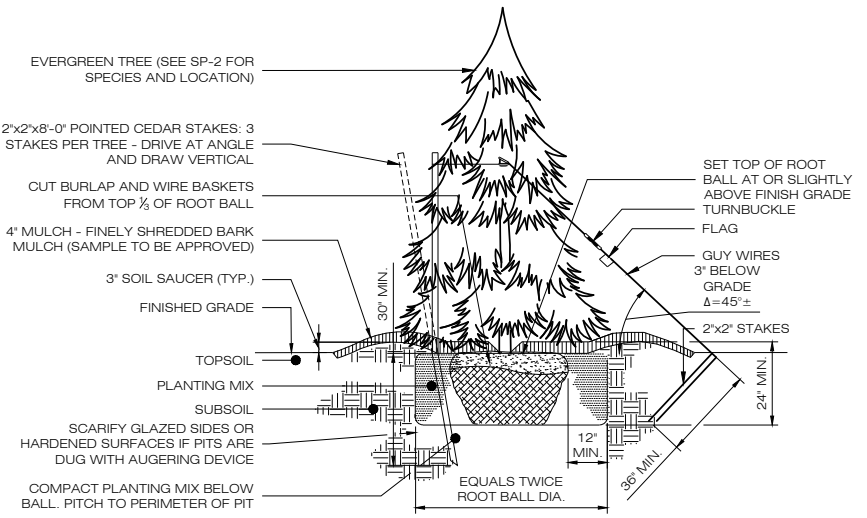
**6 BOLLARD DETAIL**  
 C-1 SCALE: N.T.S.



**9 UTILITY BACKBOARD FRAME DETAIL**  
 C-1 SCALE: N.T.S.



**7 TYPICAL SIGNAGE**  
 C-1 SCALE: N.T.S.



**8 EVERGREEN TREE PLANTING**  
 C-1 SCALE: N.T.S.

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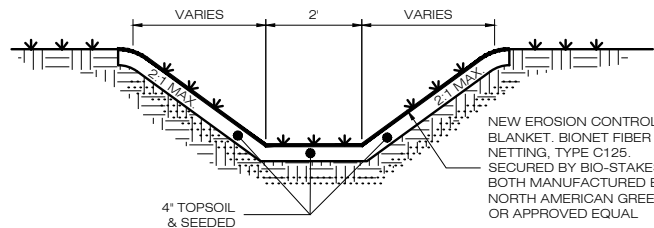
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**DESIGN PROFESSIONALS OF RECORD**  
 PROF: ROBERT C. BURNS P.E.  
 COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.  
 ADD: 567 VAUXHALL STREET EXTENSION - SUITE 311 WATERFORD, CT 06385  
 DEVELOPER: HOMETOWN TOWERS, LLC  
 ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

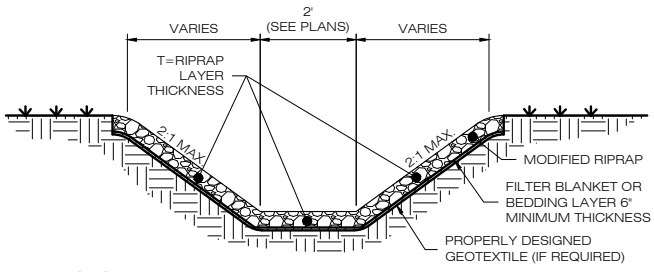
**HOMETOWN TOWERS NEW CANAAN NORTHWEST**  
 SITE 1837 PONUS RIDGE ROAD  
 ADDRESS: NEW CANAAN, CT 06840  
 APT FILING NUMBER: CT283860  
 DATE: 12/07/21 DRAWN BY: CSH  
 CHECKED BY: RCB

SHEET TITLE:  
**SITE DETAILS**

SHEET NUMBER:  
**C-1**

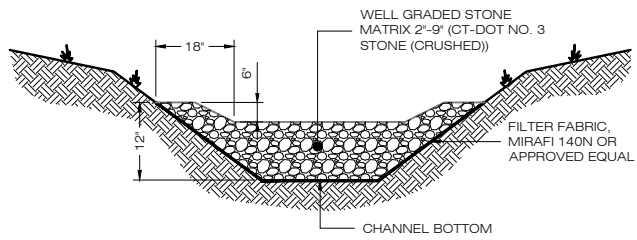


**1 GRASS LINED SWALE**  
SCALE : N.T.S.

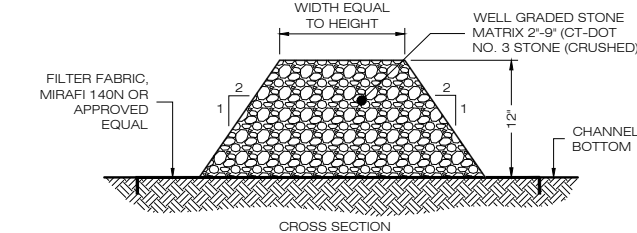


**2 RIPRAP LINED SWALE**  
SCALE : N.T.S.

- NOTES:
- T=1.5 TIMES THE MAXIMUM STONE SIZE BUT NOT LESS THAN 12 INCHES.
  - THE TOTAL HEIGHT OF THE LINING IS DEPENDENT UPON THE DESIGN DEPTH OF FLOW PLUS RUNUP DUE TO CHANNEL CURVATURE, PLUS FREEBOARD
  - IN CHANNELS WITH SIGNIFICANT BOTTOM WIDTHS LOW FLOW CHANNELS MAY BE INCORPORATED
  - SIDE SLOPES STEEPER THAN 2:1 OR SLOPES WITH UNSUITABLE MATERIAL WILL REQUIRE ADDITIONAL ANALYSIS.
  - STONE CHECK DAMS SHALL BE INSTALLED IN ALL SWALES

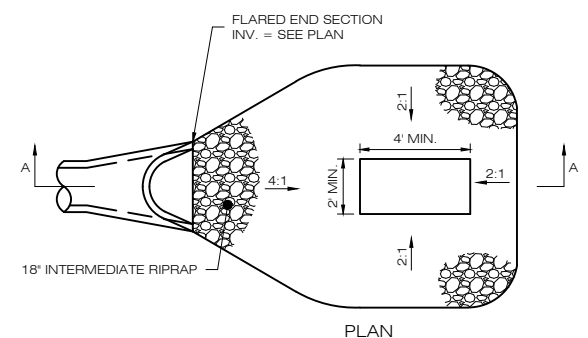


**3 STONE CHECK DAM**  
SCALE : N.T.S.

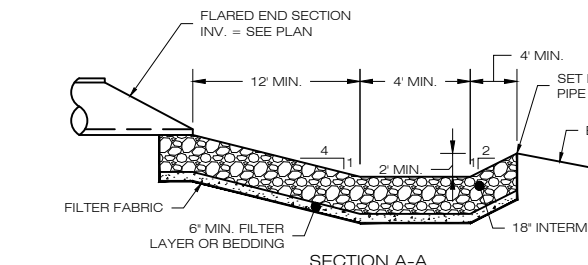


**4 TYPE 'C-L' CATCH BASIN WITH HOOD**  
SCALE : N.T.S.

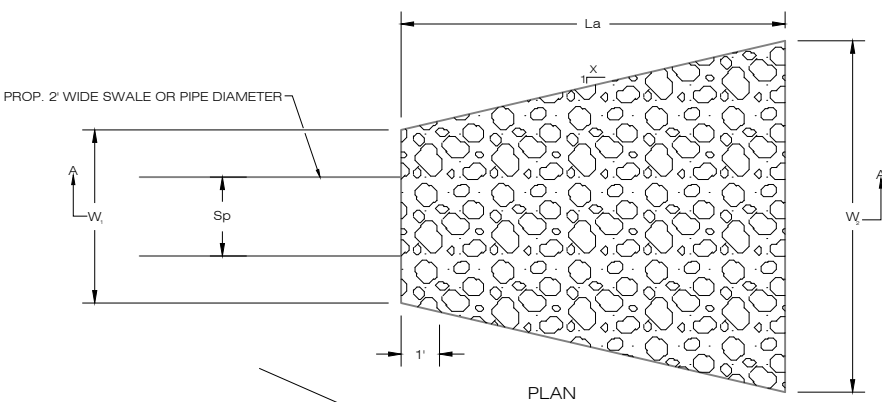
- NOTES:
- A THREE-INCH STRUCTURAL MASONRY BRICK CHIMNEY SHALL BE PLACED BENEATH EACH FRAME FOR FUTURE ADJUSTMENTS.
  - FRAMES SHALL BE SET ONE INCH BELOW FINISHED GRADE AS MEASURED AT A DISTANCE 1/2" IN EITHER DIRECTION ALONG THE GUTTER LINE.
  - THE CATCH BASINS SHALL BE PRECAST CONCRETE AS MANUFACTURED BY FORT MILLER CO., INC., OR APPROVED EQUAL. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF NYSDOT SPECIFICATIONS SECTION 555, STRUCTURAL CONCRETE.
  - PRECAST CONCRETE CATCH BASINS SHALL BE CAST WITH 4000 PSI CONCRETE (AT 28 DAYS), THE STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615-A497. AIR ENTRAINMENT SHALL BE A MINIMUM OF 5%. THE LOADING SHALL CONFORM TO AASHTO H-20 WITH 30% IMPACT & EQUIVALENT SOIL PRESSURE OF 130 POUNDS PER CUBIC FOOT.
  - ALL CATCH BASINS SHALL BE CONSTRUCTED WITH ALUMINUM STEPS AS MANUFACTURED BY ALCOA ALUMINUM, TYPE NO. 16207B OR APPROVED EQUAL. STEPS SHALL BE SET 12 INCHES ON CENTER.
  - ALL PIPE SHALL BE CUT FLUSH WITH THE INTERIOR WALLS OF THE CATCH BASINS.
  - ALL CATCH BASINS SHALL BE PLACED ON A 6" FOUNDATION OF 3/4" WASHED CRUSHED STONE.
  - THE CATCH BASIN FRAMES & GRATES SHALL BE CAST-IRON TYPE 2541 CAMPBELL FOUNDRY OR APPROVED EQUAL.
  - THE CAST-IRON FRAMES SHALL BE SET IN A BED OF MORTAR.
  - CATCH BASINS SHALL HAVE AN 18" SUMP.



**5 RIPRAP STILLING BASIN**  
SCALE : N.T.S.

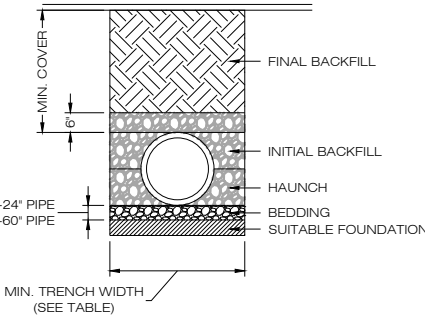


**6 RIPRAP APRON**  
SCALE : N.T.S.



OUTLET	SWALE WIDTH/ PIPE DIAMETER Sp (FT)	APRON LENGTH La (FT)	APRON INITIAL WIDTH W1 (FT)	APRON TERMINAL WIDTH W2 (FT)	RIPRAP SPECIFICATION
FE-1	1	5	3	6.5	MODIFIED

	X	W <sub>1</sub>	W <sub>2</sub>
TYPE A RIPRAP APRON	3	3Sp	3Sp + 0.7 La
TYPE B RIPRAP APRON	5	3Sp	3Sp + 0.4 La



PIPE DIA.	MIN. TRENCH WIDTH
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

- NOTES:
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, 'STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS', LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

**7 HDPE STORM DRAINAGE TRENCH DETAIL**  
SCALE : N.T.S.

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WATERFORD, CT 06385  
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PERMITTING DOCUMENTS		
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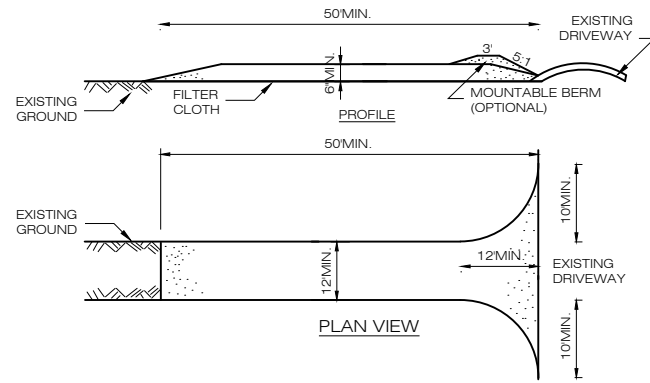
**DESIGN PROFESSIONALS OF RECORD**  
PROF: ROBERT C. BURNS P.E.  
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ADD: 567 VAUXHAUL STREET  
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DEVELOPER: HOMELAND TOWERS, LLC  
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2ND FLOOR  
DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

**SITE DETAILS**

SHEET NUMBER: **C-2**

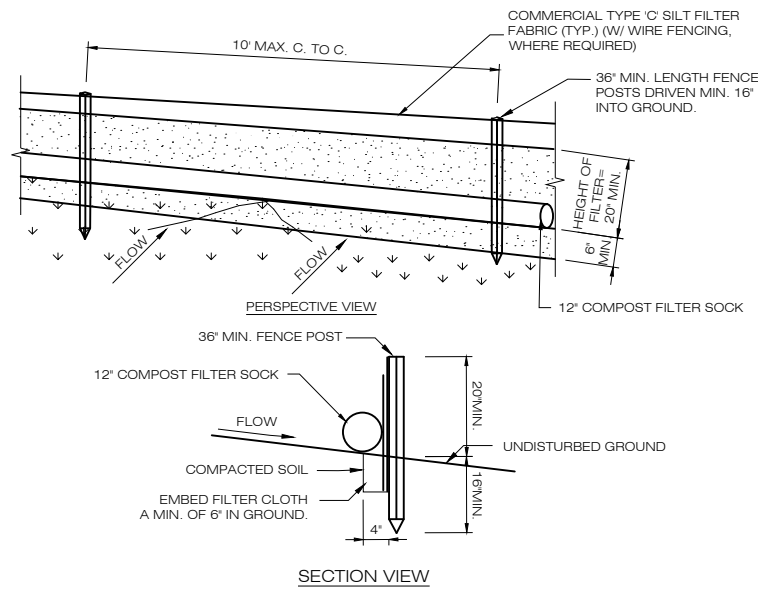




**CONSTRUCTION SPECIFICATIONS:**

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**1 (CE) CONSTRUCTION ENTRANCE DETAIL**  
C-3 SCALE: N.T.S.



**CONSTRUCTION SPECIFICATIONS**

- POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

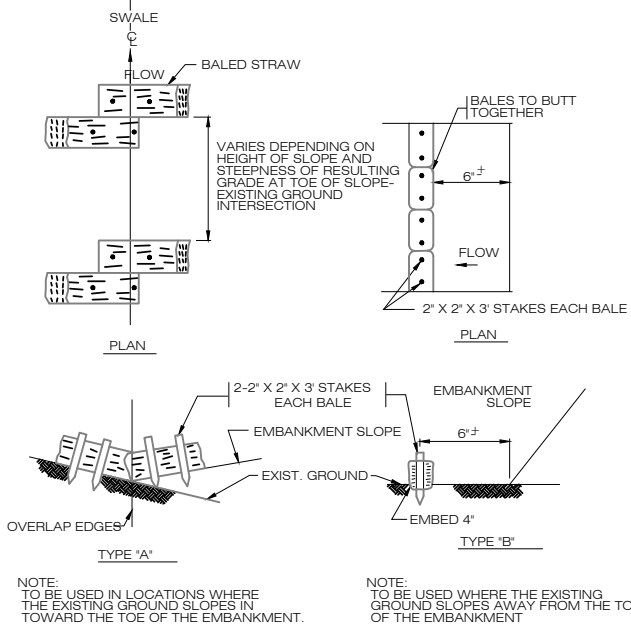
**2 GEOTEXTILE SILT FENCE/FILTER SOCK DETAIL**  
C-3 SCALE: N.T.S.

**SEQUENCE OF CONSTRUCTION**

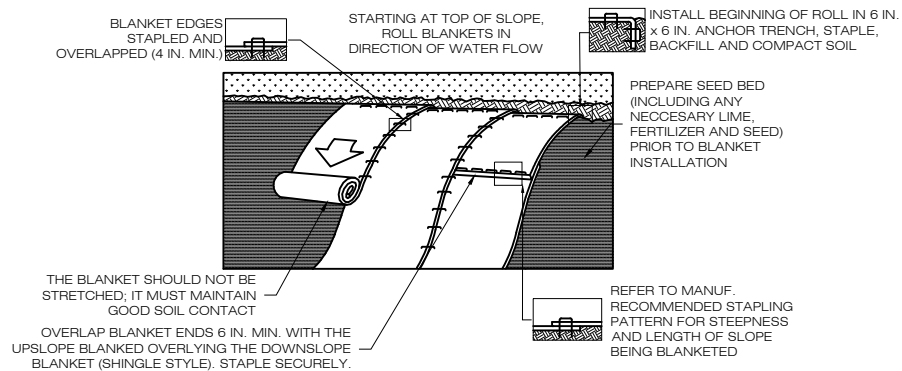
- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12' OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12' APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12' PORTION OF RECPs BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12' APART ACROSS THE WIDTH OF THE RECPs.
- ROLL THE RECPs DOWN HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
- THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2' - 5' OVERLAP DEPENDING ON THE RECP TYPE.
- CONSECUTIVE RECPs SPICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3' OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12' APART ACROSS ENTIRE RECP WIDTH.

**NOTES:**

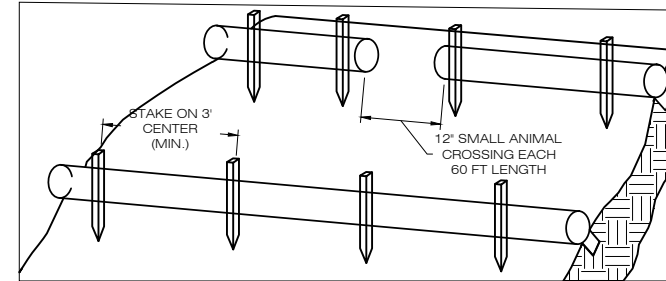
- PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
- BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
- THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



**4 STRAW BALE CHECK DAM SEDIMENTATION CONTROL BARRIER**  
C-3 SCALE: N.T.S.

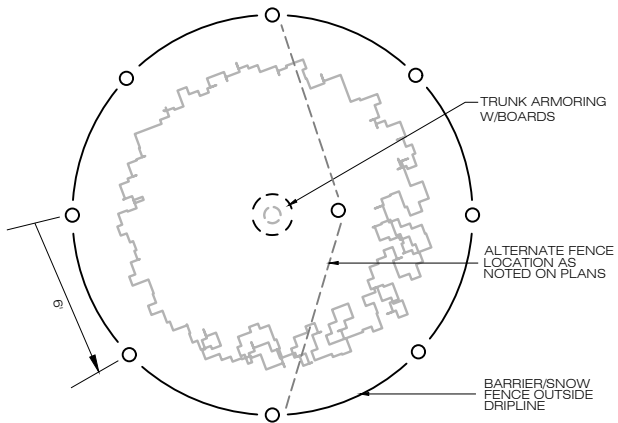


**5 EROSION CONTROL BLANKET STEEP SLOPES**  
C-3 SCALE: N.T.S.



- BEGIN AT THE LOCATION WHERE THE SOCK IS TO BE INSTALLED BY EXCAVATING A 2'-3" (6-7.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE SOCK IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE SOCK ON THE UPHILL SIDE. SOCKS SHALL BE INSTALLED IN 60 FT CONTINUOUS LENGTHS WITH ADJACENT SOCKS TIGHTLY ABUT. EVERY 60 FT THE SOCK ROW SHALL BE SPACED 12 INCHES CLEAR, END TO END, FOR AMPHIBIAN AND REPTILE TRAVEL. THE OPEN SPACES SHALL BE STAGGERED MID LENGTH OF THE NEXT DOWN GRADIENT SOCK.
- SECURE THE SOCK WITH 18-24" (45.7-61 CM) STAKES EVERY 3'-4" (0.9-1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2'-3" (6-7.5 CM) OF STAKE EXTENDING ABOVE THE SOCK. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.

**3 COMPOST FILTER SOCK SEDIMENTATION CONTROL BARRIER**  
C-3 SCALE: N.T.S.



**6 TREE PROTECTION**  
C-3 SCALE: N.T.S.

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**DESIGN PROFESSIONALS OF RECORD**

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**HOMELAND TOWERS NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
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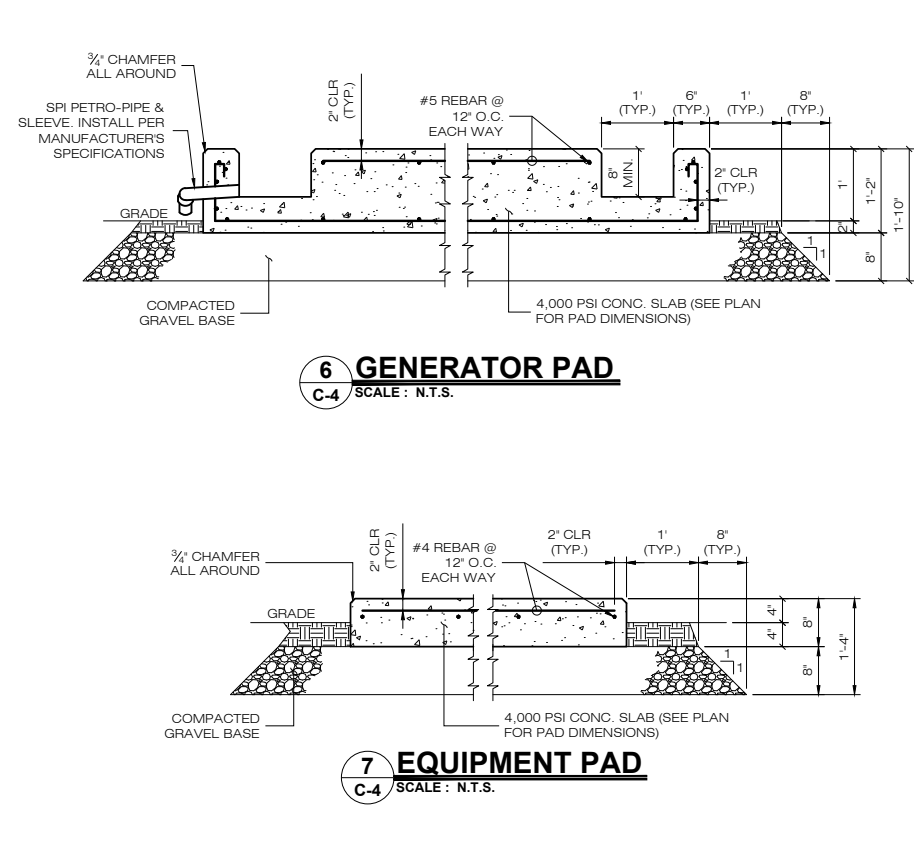
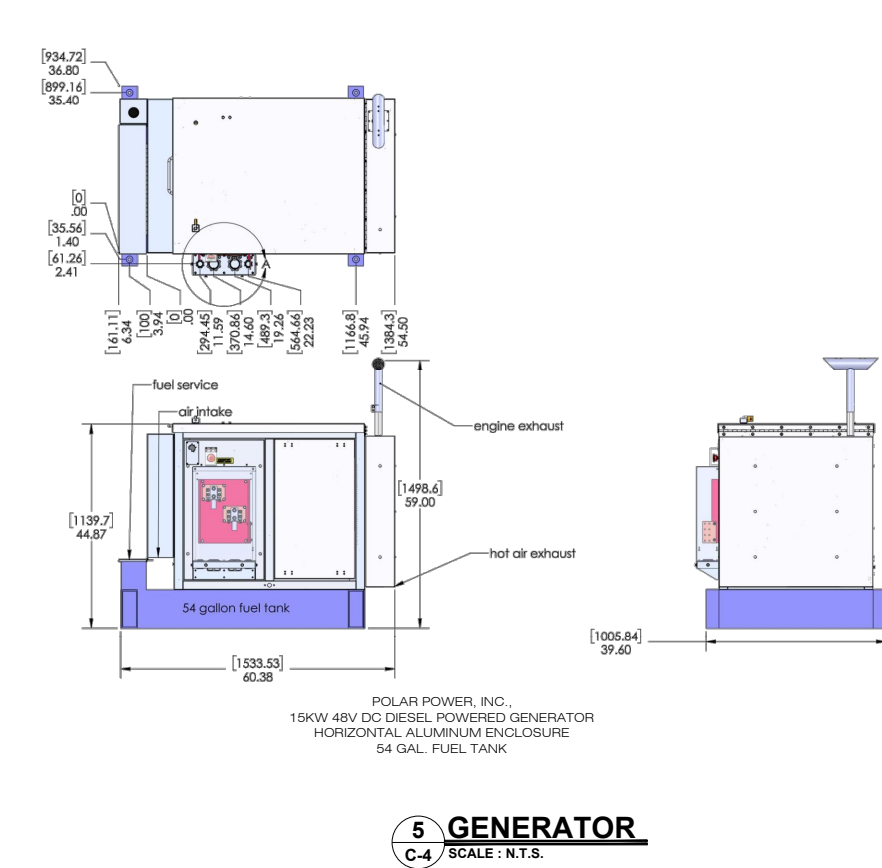
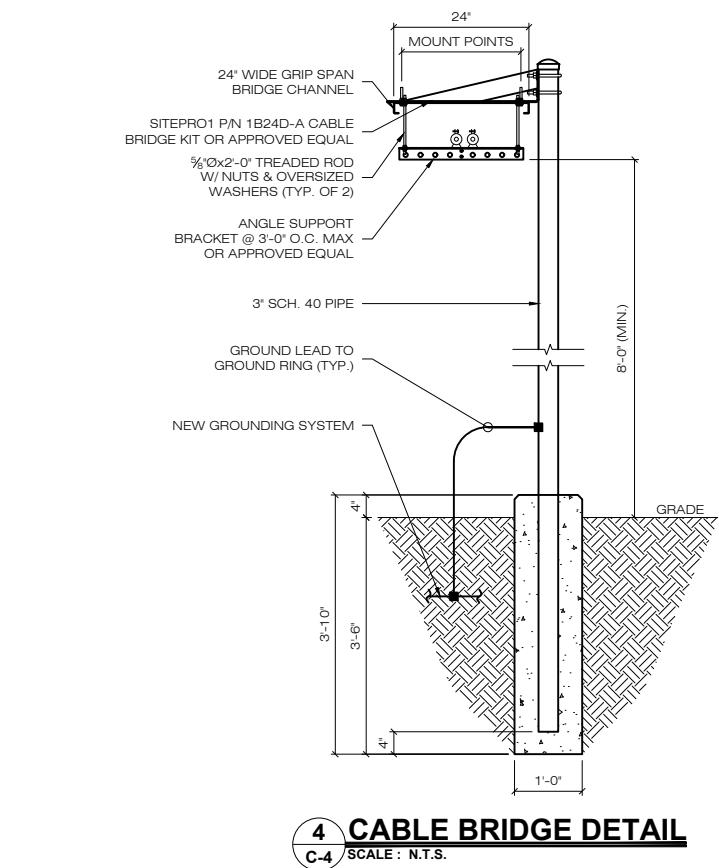
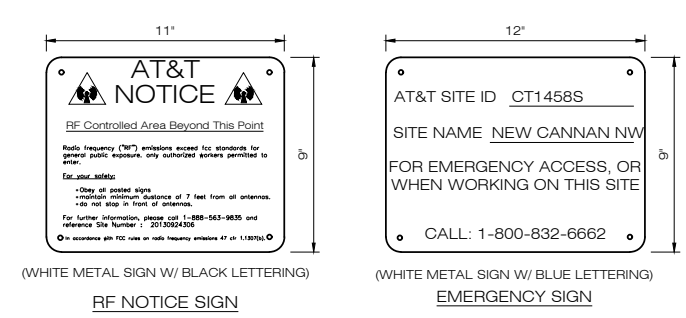
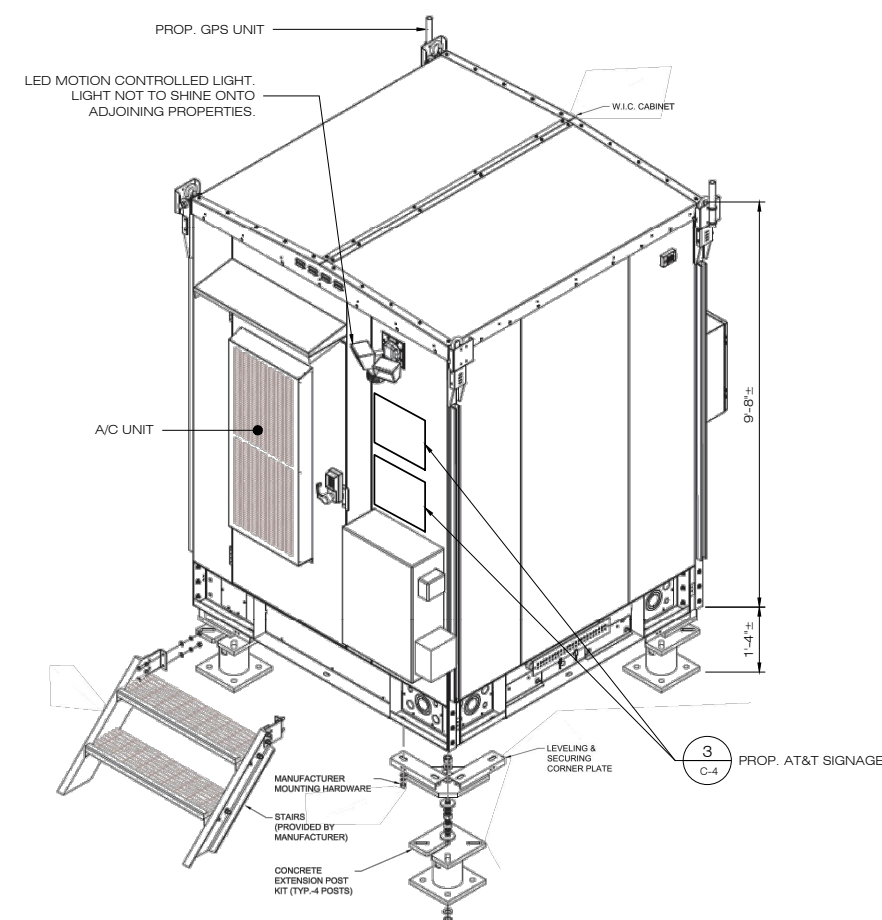
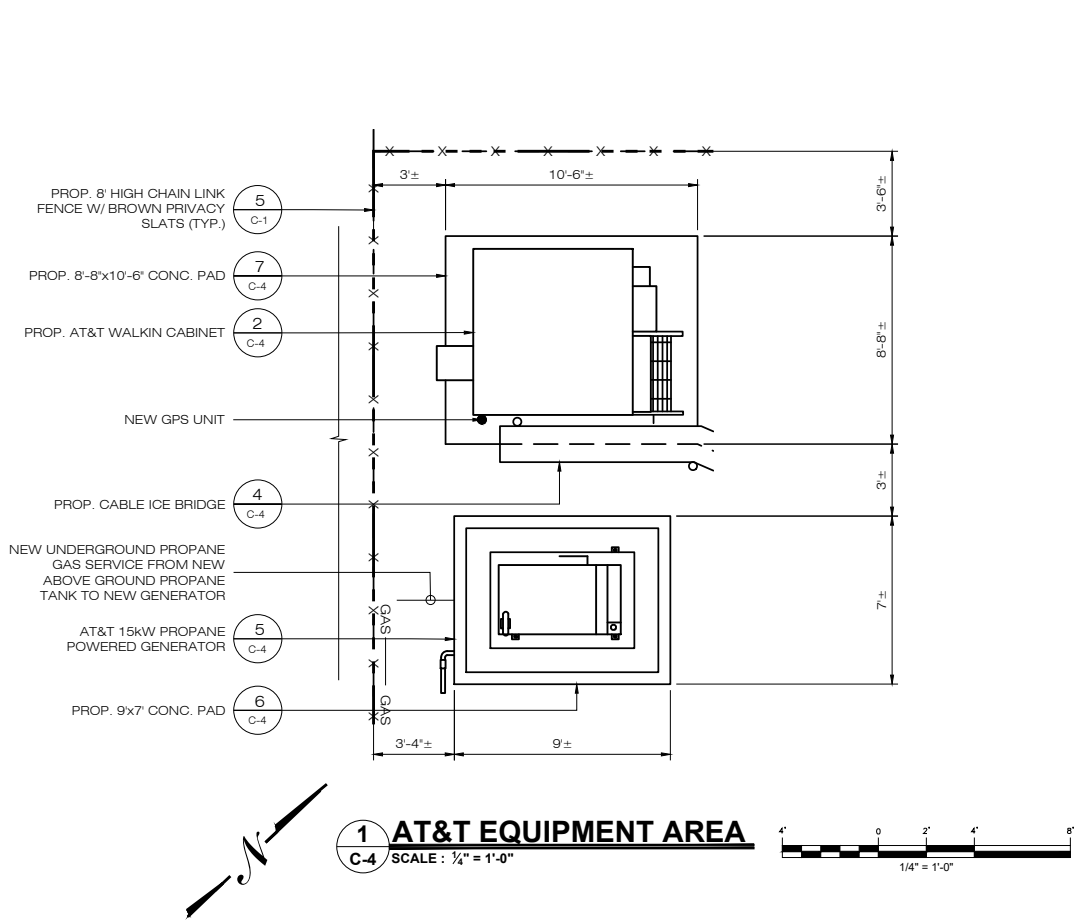
APT FILING NUMBER: CT283860

DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

**SHEET TITLE: EROSION CONTROL DETAILS**

SHEET NUMBER:

**C-3**



**HOMELAND TOWERS, LLC**  
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**DEVELOPER: HOMELAND TOWERS, LLC**  
 ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**  
 SITE 1837 PONUS RIDGE ROAD  
 ADDRESS: NEW CANAAN, CT 06840  
 APT FILING NUMBER: CT283860

DATE: 12/07/21 DRAWN BY: CSH  
 CHECKED BY: RCB

**SHEET TITLE:**  
 AT&T EQUIPMENT PLAN & DETAILS

**SHEET NUMBER:**  
 C-4



**SITE EVALUATION REPORT**  
**New Canaan NW CT050**

**I. LOCATION**

- A. COORDINATES: 41° 10' 18.89" N  
73° 32' 36.90" W
- B. GROUND ELEVATION: 394.00± AMSL
- C. USGS MAP: USGS 7.5 quadrangle for Pound Ridge
- D. SITE ADDRESS: 1837 Ponus Ridge Road  
New Canaan, CT 06840
- E. ZONING WITHIN ¼ MILE OF SITE: Abutting areas to the north and east of the property are zoned 4 Acre Residence Zone. Abutting areas to the south and west of the property are zoned 4 Acre Residence Zone and Floodplain Overlay Zone.

**II. DESCRIPTION**

- A. SITE SIZE: 5.16 Ac (Vol 1023 - Page 0771)  
LEASE AREA/COMPOUND AREA: 5,100 SF/3,000 SF
  - B. TOWER TYPE/HEIGHT: A 110' monopine.
  - C. SITE TOPOGRAPHY AND SURFACE: The facility is located in a wooded portion of a vacant residential property. Site slopes and decreases in elevation from east to west.
  - D. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The proposed compound is located in the northern area of a 5.16± acre residential parcel that is wooded. Residential properties are located north and east of the subject site. Residential properties and the Laurel Reservoir (opposite side of Ponus Ridge Road) are located south and west of the subject site. Wetlands are located on property approximately 240'± west of the proposed compound and approximately 137'± west of the proposed gravel access driveway at its closest point.
-

- E. LAND USE WITHIN ¼ MILE OF SITE: Residential properties to the north, south, east and west. In addition, the Laurel Reservoir is located south and west of the property.

**III. FACILITIES**

- A. POWER COMPANY: Eversource
- B. POWER PROXIMITY TO SITE: 585'±
- C. TELEPHONE COMPANY: Frontier
- D. PHONE SERVICE PROXIMITY: 585'±
- E. VEHICLE ACCESS TO SITE: Access to the proposed telecommunication facility will be along existing paved driveway to a proposed gravel & paved access driveway (approx. 460'±)
- F. OBSTRUCTION: Wetlands located onsite approximately 240'± west of the proposed compound and 137'± west of the proposed gravel access driveway at its closest point.
- G. CLEARING AND FILL REQUIRED: Total area of disturbance is 37,000± sf. (0.85± ac.); 94 trees will need to be removed. The site improvements shall entail approximately 3,550 CY of excavation and 1,500 CY of fill for the construction of the compound and access driveway. Approximately 250 CY of clean broken stone is needed for the compound and driveway construction. The utility trench from the demarc to the compound will excavate approximately 340 CY of material that will be used to backfill the trench.

**IV. LEGAL**

- A. PURCHASE [ ] LEASE [X]
- B. OWNER: 1837 LLC
- C. ADDRESS: 19 Old Kings Highway South, Darien, CT 06820
- D. DEED ON FILE AT: Volume 1023 - Page 0771



## Site Impact Statement

**Site:** New Canaan NW CT050  
**Site Address:** 1837 Ponus Ridge Rd.  
New Canaan, CT 06840

**Access distances:**

Existing paved driveway (approx. 40'±) to a proposed gravel & paved access driveway (approx. 460'±) (total approximately 500').

**Distance to Nearest Wetlands**

Wetlands are located on property approximately 240'± west of the proposed compound and approximately 137'± west of the proposed gravel access driveway at its closest point.

**Distance to Property Lines:**

357'+/- to the western property boundary from the tower  
144'+/- to the northern property boundary from the tower  
130'+/- to the northeastern property boundary from the tower  
110'+/- to the eastern property boundary from the tower  
248'+/- to the southwestern property boundary from the tower

337'+/- to the western property boundary from the compound  
122'+/- to the northern property boundary from the compound  
72'+/- to the northeastern property boundary from the compound  
45'+/- to the eastern property boundary from the compound  
227'+/- to the southwestern property boundary from the compound

**Residence Information:**

There are 11 single family residences within 1,000' feet of the compound. The closest on site residence is approximately 232 feet to the south and is located at Parcel 23-27-57 (1837 Ponus Ridge Road). The closest off site residence is approximately 273 feet to the north and is located at Parcel 28-27-64 (59 Squires Lane).

**Special Building Information:**

Wetlands are located on property approximately 240'± west of the proposed compound and approximately 137'± west of the proposed gravel access driveway at its closest point.

**Tree Removal Count:**

94 trees need to be removed to construct the access driveway and the compound area.

6" - 10" dbh	35 trees
10" - 14" dbh	23 trees
14" or greater dbh	36 trees

**Cut/Fill:** The site improvements shall entail approximately 3,550 CY of excavation and 1,500 CY of fill for the construction of the compound and access driveway. Approximately 250 CY of clean broken stone is needed for the compound and driveway construction. The utility trench from the demarc to the compound will excavate approximately 340 CY of material that will be used to backfill the trench.

**Clearing/Grading Necessary:** Total area of disturbance = 37,000+/- SF

**ALL-POINTS TECHNOLOGY CORPORATION, P.C.**

567 VAUXHALL STREET EXTENSION – SUITE 311 · WATERFORD, CT 06385 · PHONE 860-663-1697 · FAX 860-663-0935



## Tree Inventory

June 23, 2022

Cuddy & Feder, LLP  
Attn: Lucia Chiocchio  
445 Hamilton Avenue  
14<sup>th</sup> Floor  
White Plains, NY 10601

RE: Tree Inventory  
Site: New Canaan Northwest CT050  
1837 Ponus Ridge Road  
New Canaan, CT 06840

Dear Ms. Chiocchio:

A Tree Inventory was completed at the subject site during the month of April 2021 to determine the size and quantity of existing trees that will need to be removed for the installation of the proposed facility. The proposed site will require clearing and earthwork to construct the access route and the compound area. Installation of the proposed compound area and access driveway will require the removal of 94 trees.

6" - 10" dbh	35 trees
10" - 14" dbh	23 trees
14" or greater dbh	36 trees

The interior wooded area to be disturbed for construction of the compound area will be approximately 5,100 square feet. A new access driveway will be installed to provide access and utility corridor to the proposed compound. The total combined area of disturbance for compound, access drive, and utility improvements is 37,000 sf.

Sincerely,

ALL-POINTS TECHNOLOGY CORPORATION, P.C.

Robert C. Burns, P.E.  
Program Manager

**ALL-POINTS TECHNOLOGY CORPORATION, P.C.**

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**Homeland Towers  
1837 Ponus Ridge Rd New Canaan, CT  
1000' RESIDENTIAL BUILDING LIST**

<b>PARCEL ID</b>	<b>STREET ADDRESS</b>	<b>BUILDING TYPE</b>	<b>DISTANCE FROM COMPOUND* (ft+/-)</b>
28-27-64	59 Squires Lane	Single Family	273'
28-27-35	51 Squires Lane	Single Family	793'
28-27-65	60 Squires Lane	Single Family	538'
		Single Family	768'
28-25-113	1801 Ponus Ridge	Single Family	682'
23-27-57	1837 Ponus Ridge	Single Family	232'
23-27-39	1937 Ponus Ridge	Single Family	862'
28-25-21	322 Dan's Highway	Single Family	950'
28-27-61	329 Dan's Highway	Single Family	923'
28-27-9	331 Dan's Highway	Single Family	524'
28-25-133	346 Dan's Highway	Single Family	725'
28-29-6	359 Dan's Highway	Single Family	301'

\*Information gathered from New Canaan Assessor's Database & CTECO Ortho Aerial Images