


# **ATTACHMENT 4**



**Legend**

-  Site
-  Municipal Boundary
-  Subject Property
-  Approximate Parcel Boundary

*Map Notes:*  
 Base Map Source: CTECO 2019 Imagery  
 Map Scale: 1 inch = 500 feet  
 Map Date: December 2021



**Site Location Map**

Proposed Wireless  
 Telecommunications Facility  
 CT050 - New Canaan Northwest  
 1837 Ponus Ridge Road  
 New Canaan, Connecticut

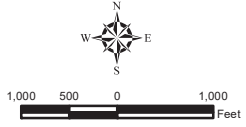




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- Legend**
- Site
  - ▭ Municipal Boundary
  - ▭ State Boundary

**Map Notes:**  
 Base Map Source: USGS 7.5 Minute Topographic  
 Quadrangle Map, Pound Ridge, NY-CT (1971)  
 Map Scale: 1:24,000  
 Map Date: December 2021



### Site Location Map

Proposed Wireless  
 Telecommunications Facility  
 CT050 - New Canaan Northwest  
 1837 Ponus Ridge Road  
 New Canaan, Connecticut





HOMELAND TOWERS, LLC

# WIRELESS TELECOMMUNICATIONS FACILITY

## NEW CANAAN NORTHWEST 1837 PONUS RIDGE ROAD NEW CANAAN, CT 06840

**H**  
HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2nd FLOOR  
DANBURY, CT 06810  
(203) 297-6345

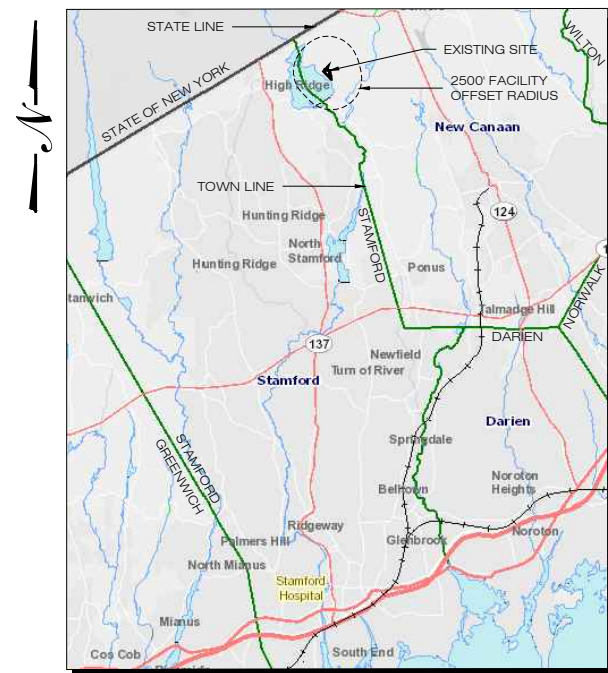
**at&t**  
340 MOUNT KEMBLE AVENUE  
MORRISTOWN, NEW JERSEY 07960

**ALL-POINTS**  
TECHNOLOGY CORPORATION

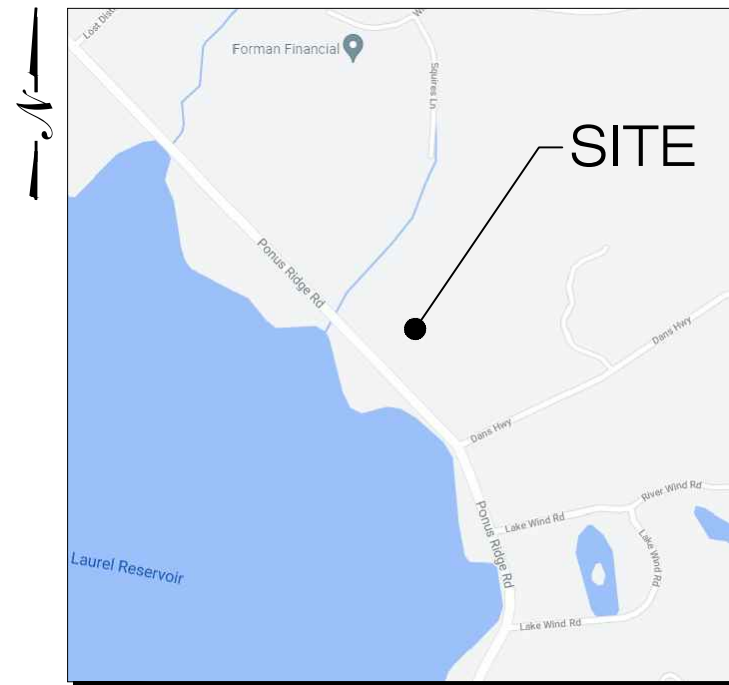
567 VAUXHALL STREET EXTENSION - SUITE 311  
WATERFORD, CT 06385 PH: (860)-663-1697  
WWW.ALLPOINTS TECH.COM FAX: (860)-663-0935

### PERMITTING DOCUMENTS

NO	DATE	REVISION
0	12/07/21	FOR REVIEW: RCB
1	12/10/21	FOR REVIEW: RCB
2	03/29/22	FOR REVIEW: RCB
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4		
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6		
7		
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**MUNICIPAL NOTIFICATION LIMIT MAP**  
SCALE: 1" = 1.5 Miles



**VICINITY MAP**  
SCALE: 1" = 500'

### DRAWING INDEX

- T-1 TITLE SHEET
- EX-1 SITE SURVEY
- EX-2 TREE SURVEY TABLE
- SP-1 SITE PLAN & ABUTTERS MAP
- SP-2 PARTIAL SITE PLAN
- CP-1 COMPOUND PLAN & TOWER ELEVATION
- C-1 SITE DETAILS
- C-2 SITE DETAILS
- C-3 EROSION CONTROL DETAILS
- C-4 AT&T EQUIPMENT PLAN & DETAILS

### SITE INFORMATION

PROJECT LOCATION: 1837 PONUS RIDGE ROAD  
NEW CANAAN, CT 06840

PROJECT DESCRIPTION: RAWLAND SITE W/ GROUND  
EQUIPMENT WITHIN 3,000± SF  
TELECOMMUNICATIONS  
EQUIPMENT COMPOUND W/  
PROP. 110± AGL MONOPINE.

PROPERTY DEVELOPER: HOMELAND TOWERS, LLC  
9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

DEVELOPER CONTACT: RAY VERGATI  
(203) 297-6345

ENGINEER CONTACT: ROBERT C. BURNS, P.E.  
(860) 552-2036

LATITUDE: 41° 10' 18.89"N (41.171914)  
LONGITUDE: 73° 32' 36.90"W (-73.543583)  
ELEVATION: 394± AMSL

MAP: 23  
BLOCK: 27  
LOT: 57  
ZONE: 4 ACRE RESIDENCE ZONE

### DESIGN PROFESSIONALS OF RECORD

PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY  
CORPORATION, P.C.  
ADD: 567 VAUXHALL STREET  
EXTENSION - SUITE311  
WATERFORD, CT 06385

DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

### HOMELAND TOWERS NEW CANAAN NORTHWEST

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840

APT FILING NUMBER: CT283860

DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

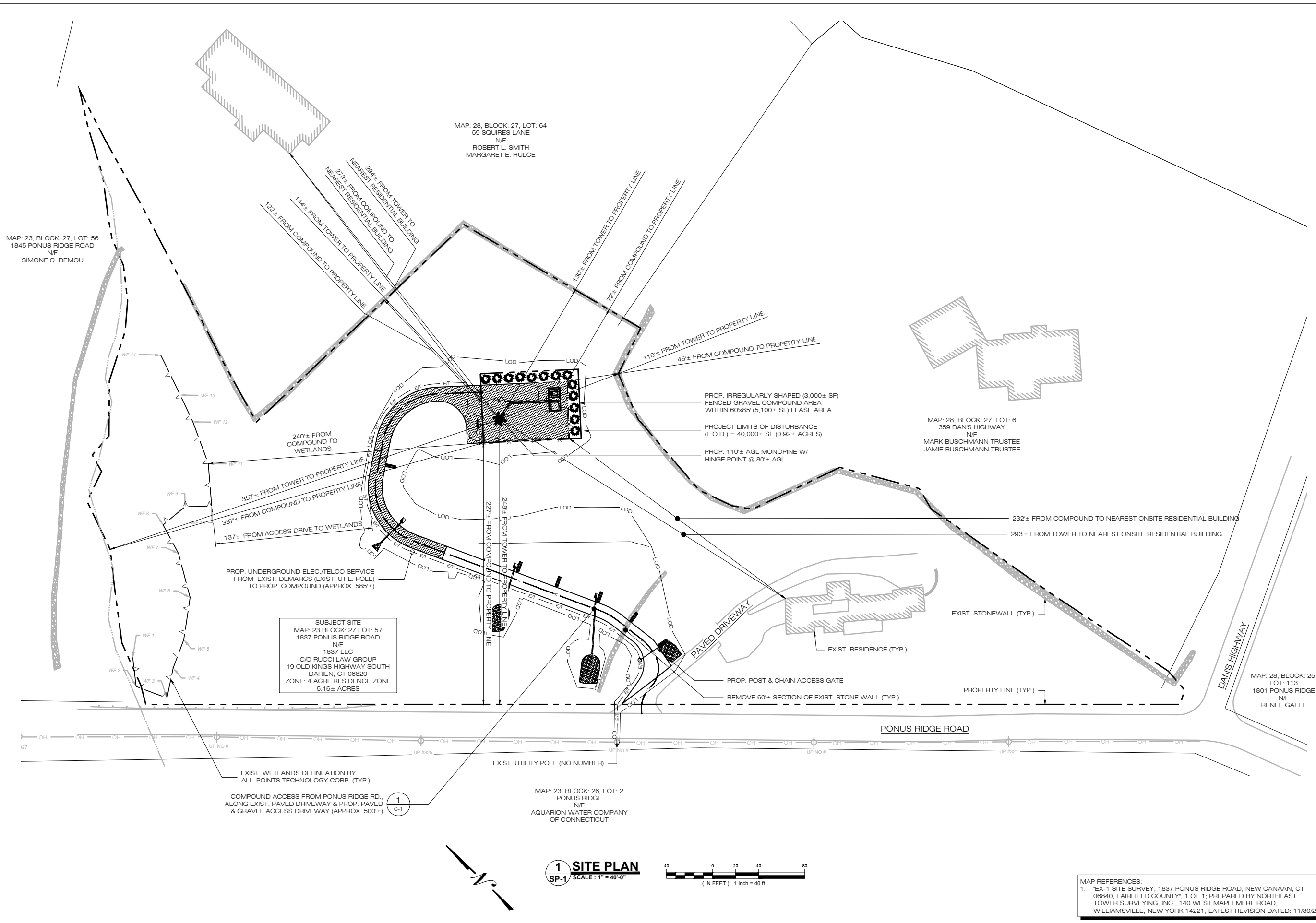
SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T-1**

<b>OWNER:</b> 1837 LLC C/O RUCCI LAW GROUP 19 OLD KINGS HIGHWAY SOUTH DARIEN, CT 06820	<b>APPLICANTS:</b> HOMELAND TOWERS, LLC 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810 RAY VERGATI (203) 297-6345	<b>AT&amp;T</b> 340 MOUNT KEMBLE AVE. MORRISTOWN, NJ 07960	<b>HOMELAND PROJECT ATTORNEY:</b> CUDDY & FEDER, LLP 445 HAMILTON AVENUE 14 FLOOR WHITE PLAINS, NY 10601 (914) 761-1300	<b>POWER PROVIDER:</b> EVERSOURCE: (800) 286-2000	<b>TELCO PROVIDER:</b> FRONTIER (800) 921-8102	<b>CALL BEFORE YOU DIG:</b> (800) 922-4455	<b>GOVERNING CODES:</b> CONNECTICUT STATE BUILDING CODE, LATEST EDITION NATIONAL ELECTRIC CODE, LATEST EDITION TIA-222-H
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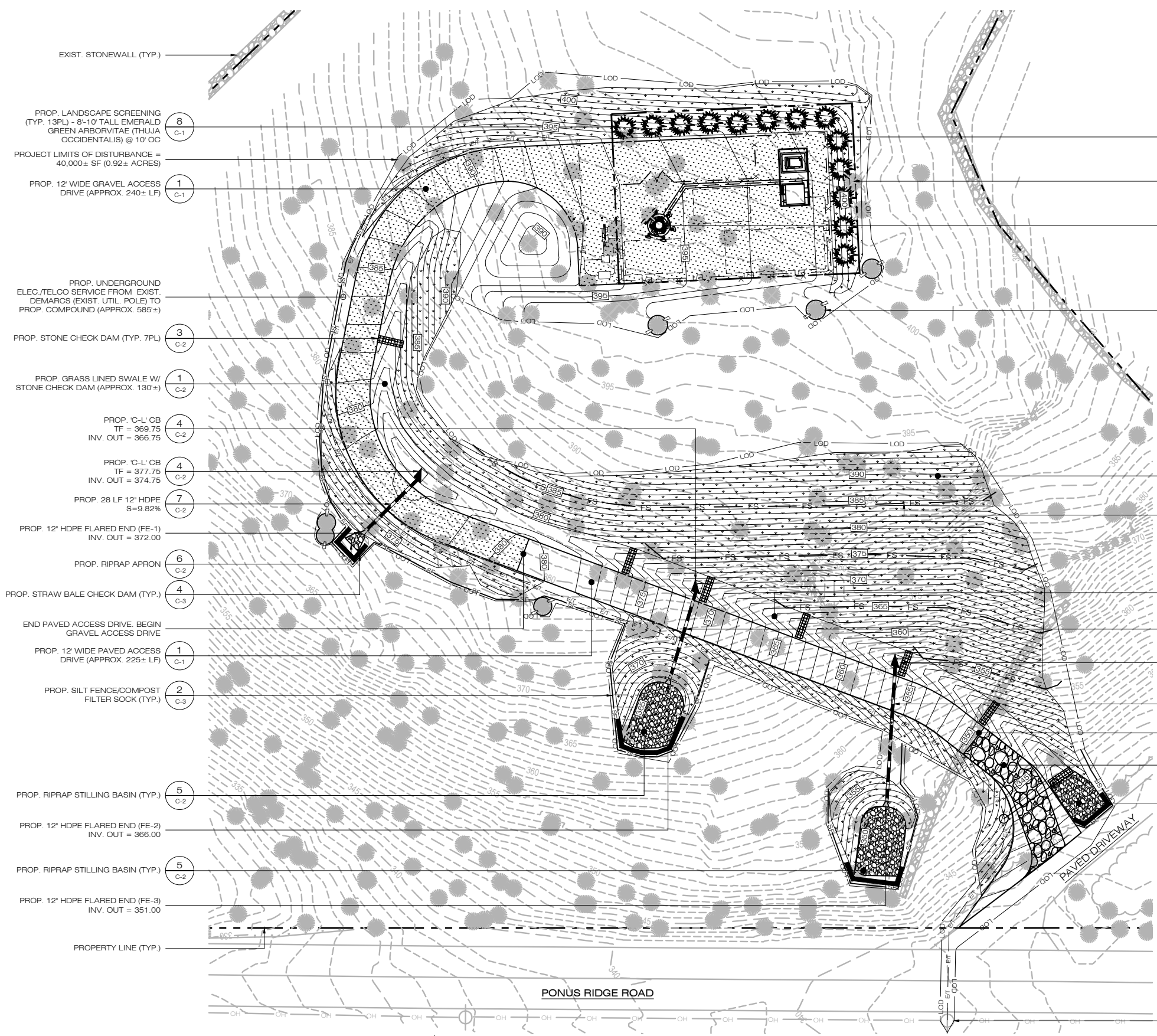
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**HOMELAND TOWERS  
NEW CANAAN NORTHWEST**  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

SHEET TITLE:  
**SITE PLAN &  
ABUTTERS MAP**

SHEET NUMBER:  
**SP-1**



**LEGEND**

- PROPERTY LINE
- - - - - EXIST. WETLAND
- - - - - 100' WETLAND SETBACK
- - - - - LOD LIMIT OF DISTURBANCE
- X - X - PROP. CHAIN LINK FENCE
- E/T - PROP. ELEC./TELCO LINE
- FS - PROP. FILTER SOCK
- SF - PROP. FILTER SOCK
- - - - - PROP. HAYBALE CHECK DAM
- EXIST. TREE TO REMAIN
- EXIST. TREE TO BE REMOVED
- EXIST. TREE TO BE PROTECTED
- EROSION CONTROL BLANKET
- ☼ PROP. EMERALD GREEN ARBORVITAE
- ▒ STONE CHECK DAM

- EXIST. STONEWALL (TYP.)
- PROP. LANDSCAPE SCREENING (TYP. 13PL) - 8'-10" TALL EMERALD GREEN ARBORVITAE (THUJA OCCIDENTALIS) @ 10' OC
- PROJECT LIMITS OF DISTURBANCE = 40,000± SF (0.92± ACRES)
- PROP. 12' WIDE GRAVEL ACCESS DRIVE (APPROX. 240± LF)
- PROP. UNDERGROUND ELEC./TELCO SERVICE FROM EXIST. DEMARCS (EXIST. UTIL. POLE) TO PROP. COMPOUND (APPROX. 585±')
- PROP. STONE CHECK DAM (TYP. 7PL)
- PROP. GRASS LINED SWALE W/ STONE CHECK DAM (APPROX. 130±')
- PROP. C-L' CB TF = 369.75 INV. OUT = 366.75
- PROP. C-L' CB TF = 377.75 INV. OUT = 374.75
- PROP. 28 LF 12" HDPE S=9.82%
- PROP. 12" HDPE FLARED END (FE-1) INV. OUT = 372.00
- PROP. RIPRAP APRON
- PROP. STRAW BALE CHECK DAM (TYP.)
- END PAVED ACCESS DRIVE. BEGIN GRAVEL ACCESS DRIVE
- PROP. 12' WIDE PAVED ACCESS DRIVE (APPROX. 225± LF)
- PROP. SILT FENCE/COMPOST FILTER SOCK (TYP.)
- PROP. RIPRAP STILLING BASIN (TYP.)
- PROP. 12" HDPE FLARED END (FE-2) INV. OUT = 366.00
- PROP. RIPRAP STILLING BASIN (TYP.)
- PROP. 12" HDPE FLARED END (FE-3) INV. OUT = 351.00
- PROPERTY LINE (TYP.)

- 1 PROP. IRREGULARLY SHAPED (3,000± SF) FENCED GRAVEL COMPOUND AREA WITHIN 60'x85' (5,100± SF) LEASE AREA
- TREES TO BE REMOVED (TYP. 103PL)
- PROP. 110± AGL MONOPINE W/ HINGE POINT @ 80± AGL.
- 6 PROTECT EXIST. TREE (TYP. 6 PL)
- 5 PROP. EROSION CONTROL BLANKET ON ALL SLOPES 3:1 & GREATER (TYP.)
- 3 PROP. COMPOST FILTER SOCK (TYP.)
- 2 PROP. RIPRAP LINED SWALE W/ STONE CHECK DAMS (APPROX. 215±')
- 7 PROP. 35 LF 12" HDPE S=2.14%
- 4 PROP. C-L' CB TF = 354.75 INV. OUT = 351.75
- 7 PROP. 50 LF 12" HDPE S=1.50%
- REMOVE 60± SECTION OF EXIST. STONE WALL (TYP.)
- 1 PROP. CONSTRUCTION ENTRANCE
- 5 PROP. RIPRAP STILLING BASIN (TYP.)
- EXIST. UTILITY POLE (NO NUMBER)

NOTE:  
103 TREES WILL NEED TO BE REMOVED IN CONSTRUCTION OF THE FACILITY.

6"-10" DIA.	28 TREES
10"-14" DIA.	36 TREES
>14" DIA.	39 TREES
	103 TREES

**SITE AREAS & VOLUMES OF EARTHWORK**

SITWORK ENTAILS APPROXIMATELY 5,170 CUBIC YARDS OF EXCAVATION AND 65 CUBIC YARDS OF FILL. THE COMPOUND & ACCESS DRIVEWAY WILL IMPORT APPROXIMATELY 250 CUBIC YARDS OF CLEAN BROKEN STONE. THE UTILITY TRENCH FROM THE DEMARC TO THE COMPOUND WILL EXCAVATE APPROXIMATELY 340 CUBIC YARDS OF MATERIAL THAT WILL BE USED TO BACKFILL THE TRENCH.

COMPOUND AREA SLOPES:  
EXISTING - 6%-15%  
PROPOSED - 3%-5%

TOTAL AREA OF DISTURBANCE = 40,000± SF

STORMWATER VELOCITY:  
PRIOR TO GROUND COVER < 3.0 FT/SEC  
FOLLOWING GROUND COVER < 3.0 FT/SEC

STORMWATER VOLUME:  
PROPOSED IMPERVIOUS AREA = 4,880 SF  
WATER QUALITY STD VOLUME (1") = 407 CF  
STORAGE VOLUME (6" DEPTH, 40% VOIDS) = 600 CF

GROUND COVER TO BE ESTABLISHED AS FOLLOWS (U.O.N.):  
- WHITE CLOVER @ 0.20#/- SF  
- TALL FESCUE @ 0.45#/- SF  
- RYEGRASS @ 0.10#/- SF

MAP REFERENCES:  
1. "EX-1 SITE SURVEY, 1837 PONUS RIDGE ROAD, NEW CANAAN, CT 06840, FAIRFIELD COUNTY", 1 OF 1; PREPARED BY NORTHEAST TOWER SURVEYING, INC., 140 WEST MAPLEMEER ROAD, WILLIAMSVILLE, NEW YORK 14221, LATEST REVISION DATED: 11/30/21

**H**  
HOMELAND TOWERS, LLC  
9 HARMONY STREET  
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**HOMELAND TOWERS NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840

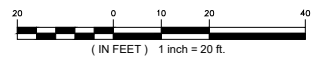
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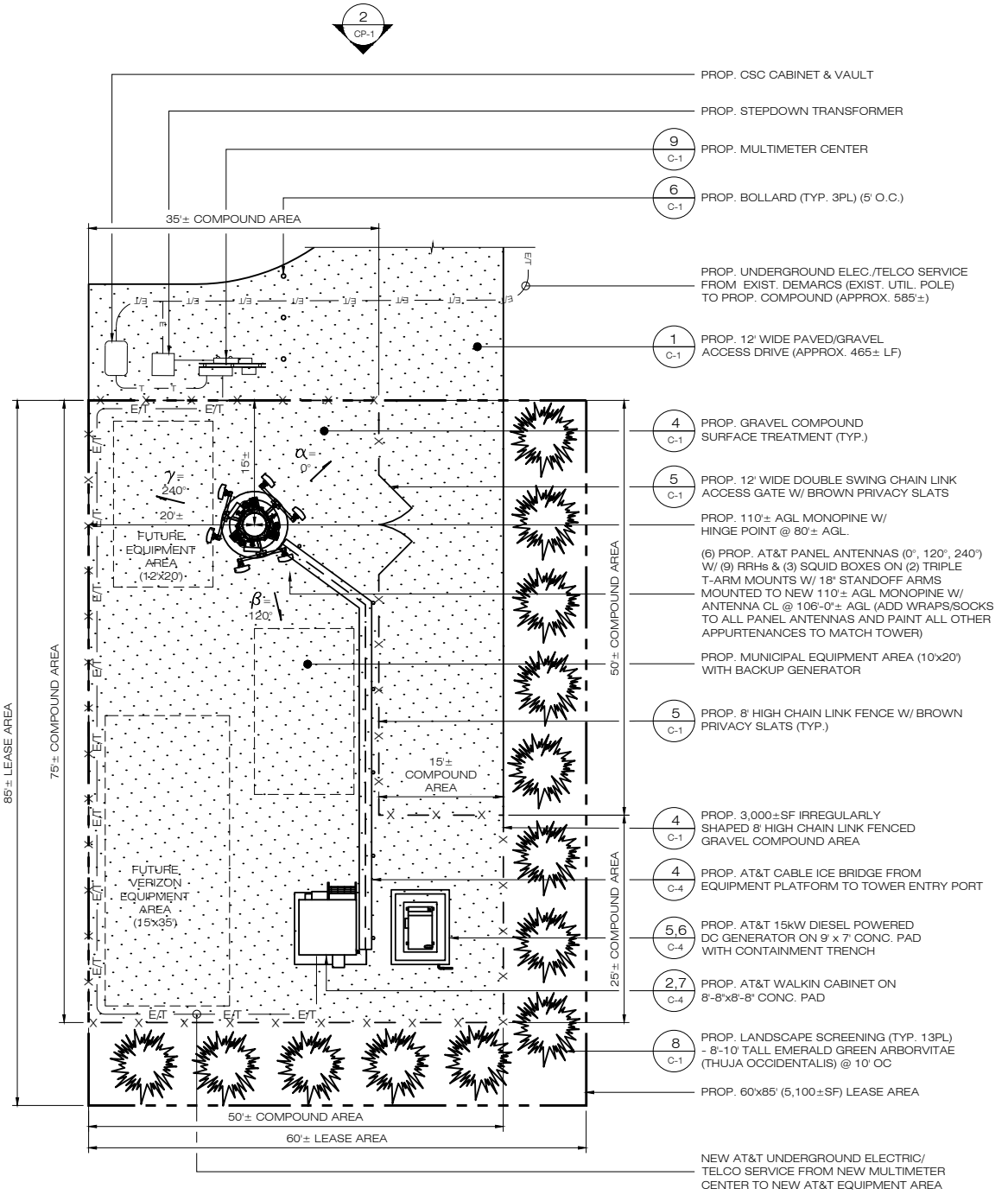
SHEET TITLE:  
**PARTIAL SITE PLAN**

SHEET NUMBER:  
**SP-2**

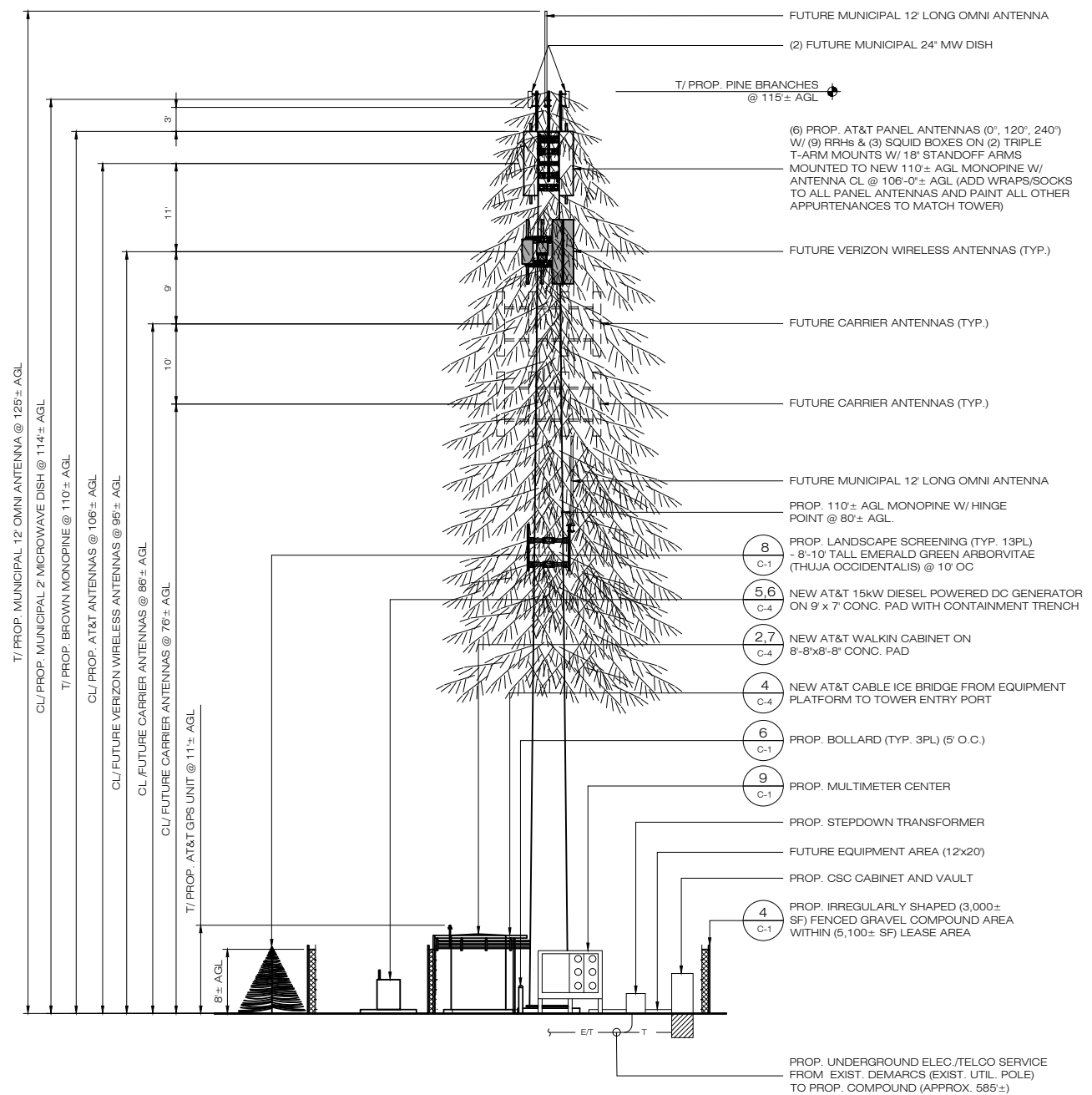
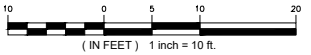
**1 PARTIAL SITE PLAN**  
SCALE: 1" = 20'-0"



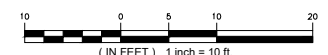




**1 COMPOUND PLAN**  
CP-1 SCALE: 1" = 10'-0"



**2 NORTHWEST ELEVATION**  
CP-1 SCALE: 1" = 10'-0"



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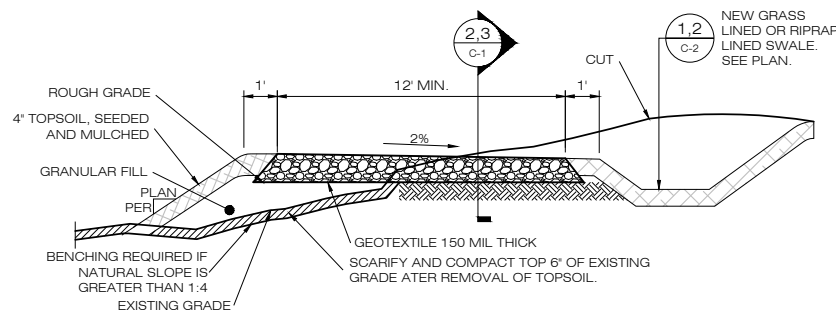
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DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
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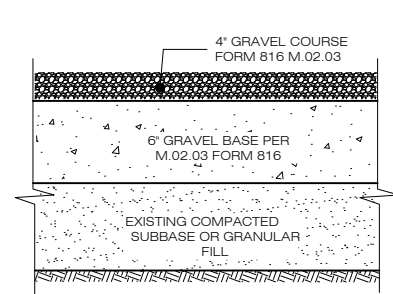
SHEET TITLE:  
**COMPOUND PLAN & TOWER ELEVATION**

SHEET NUMBER:  
**CP-1**



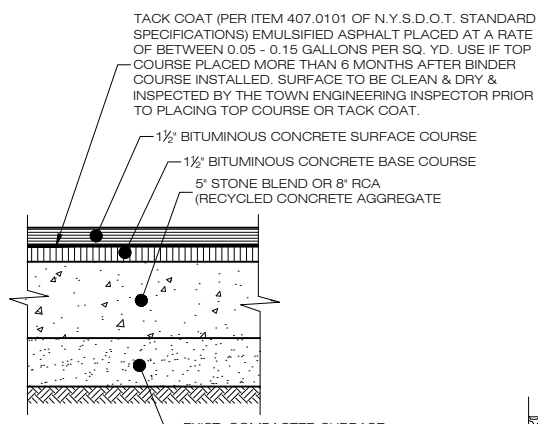
\* CROSS SLOPE GRADE SHALL BE 1-2% AS SHOWN ON PROPOSED GRADING  
 \* WHERE CUT OR FILL EMBANKMENTS ARE STEEPER THAN 3:1 USE A STAPLED IN PLACE, BIODEGRADABLE EROSION CONTROL BLANKET OR A BONDED FIBER MATRIX HYDROSEED APPLICATION.

**1 TYPICAL ROAD CROSS SECTION**  
 C-1 SCALE: N.T.S.



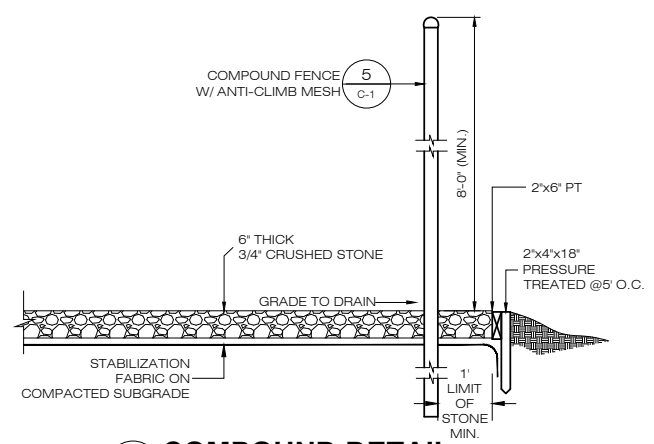
NOTES:  
 1. SUBBASE MAY CONSIST OF NATIVE MATERIALS IF FOUND ACCEPTABLE BY THE ENGINEER. SUBBASE TO BE COMPACTED TO 95% MAX DRY DENSITY.  
 2. SUBBASE IS TO BE FREE FROM DEBRIS AND UNSUITABLE MATERIALS.

**2 GRAVEL ROAD/PARKING SECTION**  
 C-1 SCALE: N.T.S.

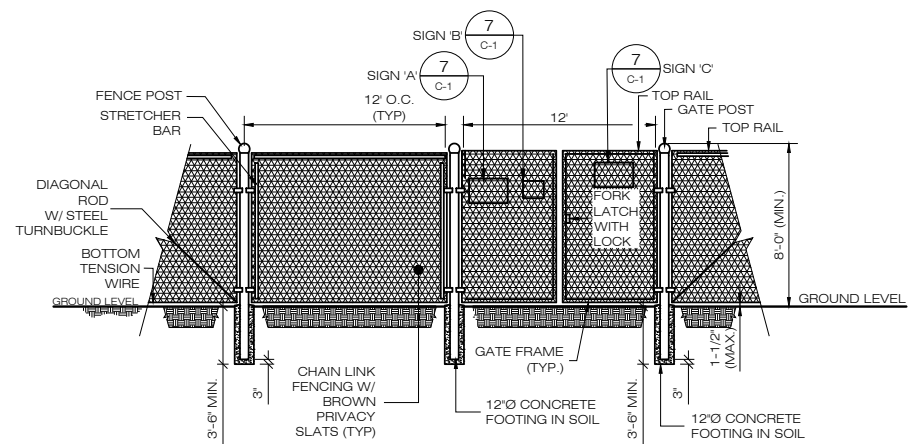


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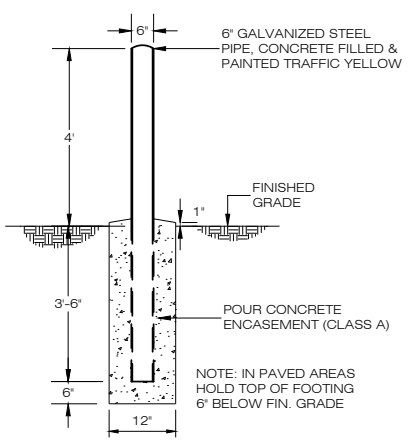
**3 PAVED ROAD SECTION**  
 C-1 SCALE: N.T.S.



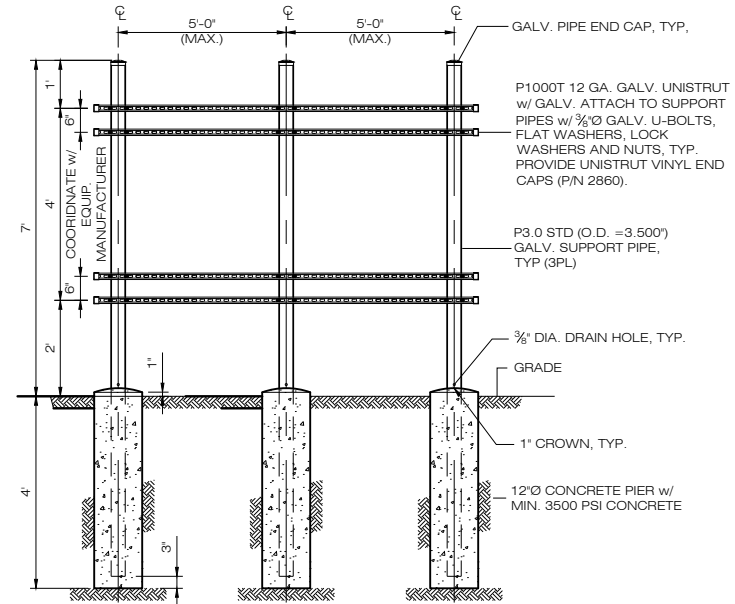
**4 COMPOUND DETAIL**  
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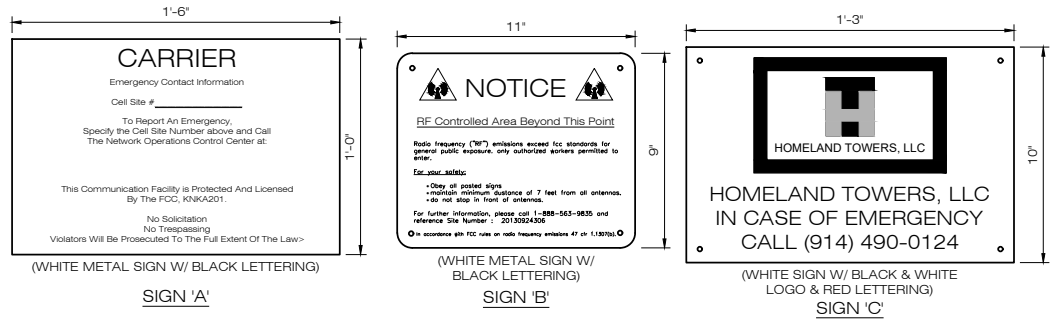
**5 CHAIN-LINK FENCING & FENCE GATE DETAIL**  
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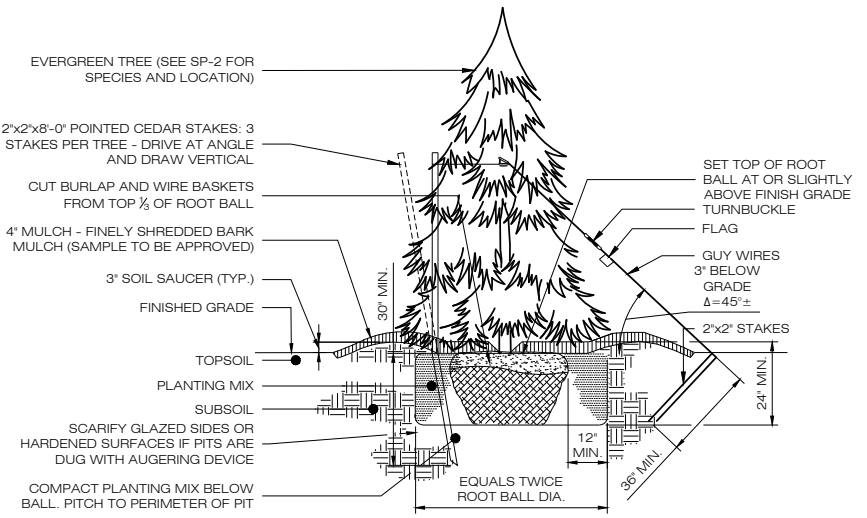
**6 BOLLARD DETAIL**  
 C-1 SCALE: N.T.S.



**9 UTILITY BACKBOARD FRAME DETAIL**  
 C-1 SCALE: N.T.S.



**7 TYPICAL SIGNAGE**  
 C-1 SCALE: N.T.S.



**8 EVERGREEN TREE PLANTING**  
 C-1 SCALE: N.T.S.

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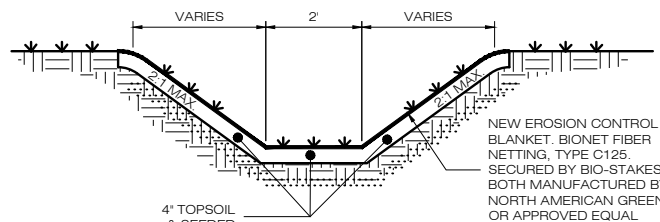
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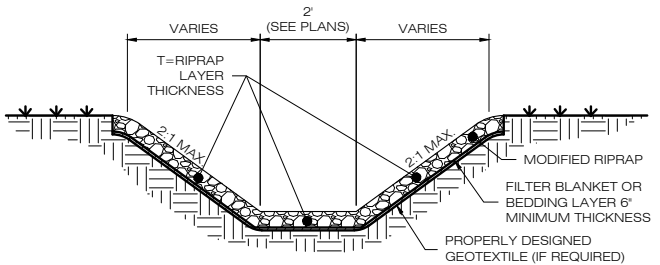
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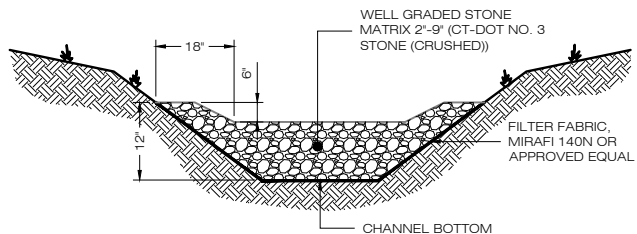
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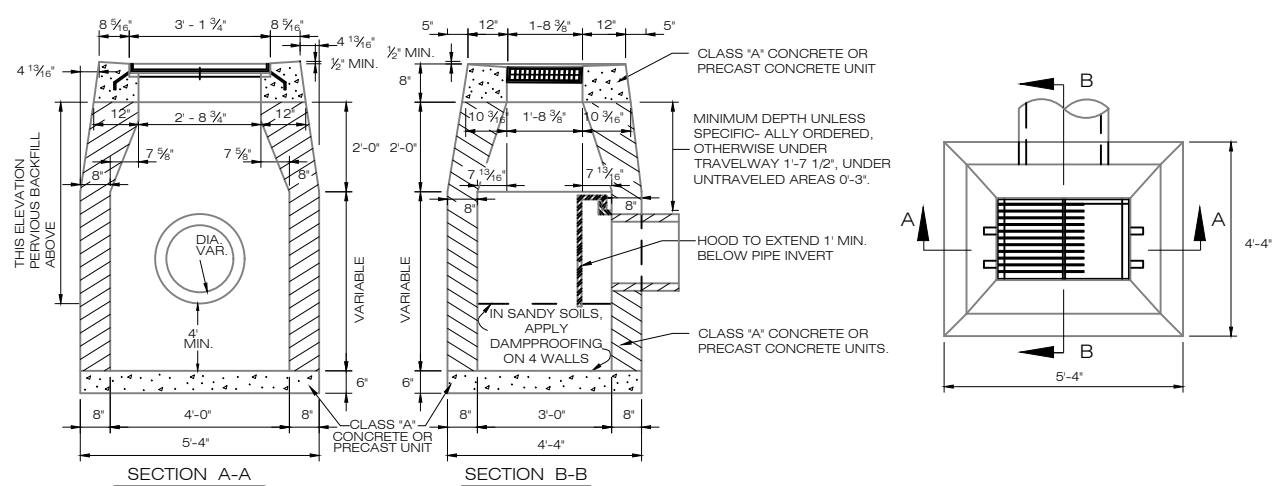
**1 GRASS LINED SWALE**  
SCALE: N.T.S.



**2 RIPRAP LINED SWALE**  
SCALE: N.T.S.



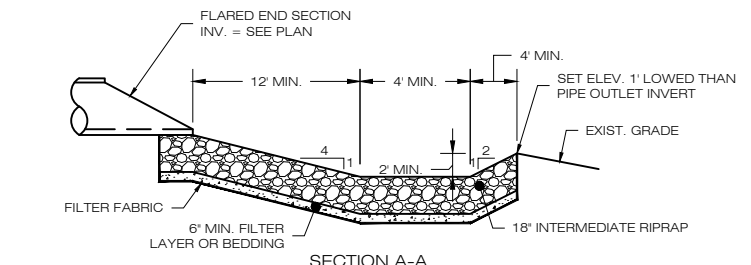
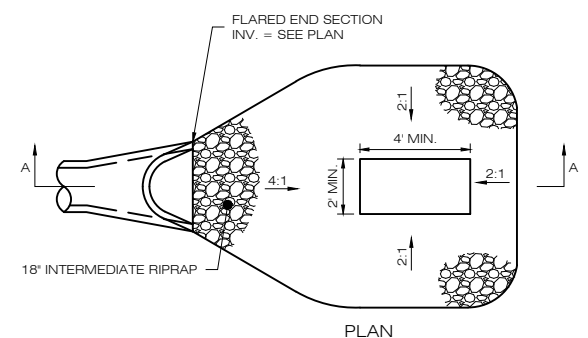
**3 STONE CHECK DAM**  
SCALE: N.T.S.



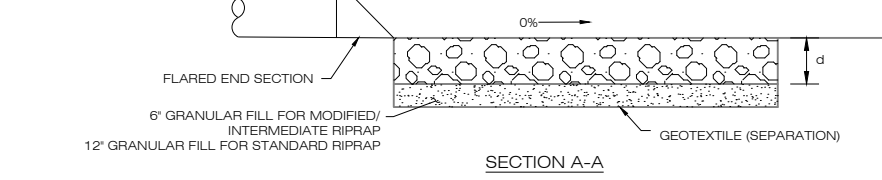
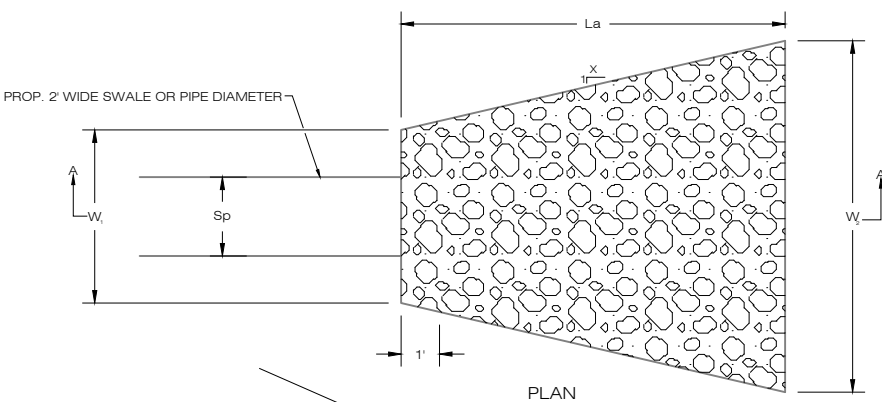
- NOTES:**
- A THREE-INCH STRUCTURAL MASONRY BRICK CHIMNEY SHALL BE PLACED BENEATH EACH FRAME FOR FUTURE ADJUSTMENTS.
  - FRAMES SHALL BE SET ONE INCH BELOW FINISHED GRADE AS MEASURED AT A DISTANCE 1 1/2" IN EITHER DIRECTION ALONG THE GUTTER LINE.
  - THE CATCH BASINS SHALL BE PRECAST CONCRETE AS MANUFACTURED BY FORT MILLER CO., INC., OR APPROVED EQUAL. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF NYSDOT SPECIFICATIONS SECTION 555, STRUCTURAL CONCRETE.
  - PRECAST CONCRETE CATCH BASINS SHALL BE CAST WITH 4000 PSI CONCRETE (AT 28 DAYS), THE STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615-A497. AIR ENTRAINMENT SHALL BE A MINIMUM OF 5%. THE LOADING SHALL CONFORM TO AASHTO H-20 WITH 30% IMPACT & EQUIVALENT SOIL PRESSURE OF 130 POUNDS PER CUBIC FOOT.
  - ALL CATCH BASINS SHALL BE CONSTRUCTED WITH ALUMINUM STEPS AS MANUFACTURED BY ALCOA ALUMINUM, TYPE NO. 16207B OR APPROVED EQUAL. STEPS SHALL BE SET 12 INCHES ON CENTER.
  - ALL PIPE SHALL BE CUT FLUSH WITH THE INTERIOR WALLS OF THE CATCH BASINS.
  - ALL CATCH BASINS SHALL BE PLACED ON A 6" FOUNDATION OF 3/4" WASHED CRUSHED STONE.
  - THE CATCH BASIN FRAMES & GRATES SHALL BE CAST-IRON TYPE 2541 CAMPBELL FOUNDRY OR APPROVED EQUAL.
  - THE CAST-IRON FRAMES SHALL BE SET IN A BED OF MORTAR.
  - CATCH BASINS SHALL HAVE AN 18" SUMP.

**4 TYPE 'C-L' CATCH BASIN WITH HOOD**  
SCALE: N.T.S.

- NOTES:**
- T=1.5 TIMES THE MAXIMUM STONE SIZE BUT NOT LESS THAN 12 INCHES.
  - THE TOTAL HEIGHT OF THE LINING IS DEPENDENT UPON THE DESIGN DEPTH OF FLOW PLUS RUNUP DUE TO CHANNEL CURVATURE, PLUS FREEBOARD.
  - IN CHANNELS WITH SIGNIFICANT BOTTOM WIDTHS LOW FLOW CHANNELS MAY BE INCORPORATED.
  - SIDE SLOPES STEEPER THAN 2:1 OR SLOPES WITH UNSUITABLE MATERIAL WILL REQUIRE ADDITIONAL ANALYSIS.
  - STONE CHECK DAMS SHALL BE INSTALLED IN ALL SWALES.



**5 RIPRAP STILLING BASIN**  
SCALE: N.T.S.



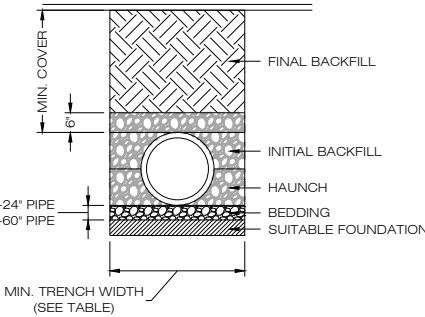
**LEGEND**

Sp= INSIDE PIPE DIAMETER  
La= LENGTH OF RIPRAP APRON  
d= 12" MODIFIED RIPRAP  
18" INTERMEDIATE RIPRAP  
36" STANDARD RIPRAP

	X	W <sub>1</sub>	W <sub>2</sub>
TYPE A RIPRAP APRON	3	3Sp	3Sp + 0.7 La
TYPE B RIPRAP APRON	5	3Sp	3Sp + 0.4 La

OUTLET	SWALE WIDTH/ PIPE DIAMETER Sp (FT)	APRON LENGTH La (FT)	APRON INITIAL WIDTH W1 (FT)	APRON TERMINAL WIDTH W2 (FT)	RIPRAP SPECIFICATION
FE-1	1	5	3	6.5	MODIFIED

**6 RIPRAP APRON**  
SCALE: N.T.S.



**RECOMMENDED MIN. TRENCH WIDTH**

PIPE DIA.	MIN. TRENCH WIDTH
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, 'STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS', LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

**7 HDPE STORM DRAINAGE TRENCH DETAIL**  
SCALE: N.T.S.

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**PERMITTING DOCUMENTS**

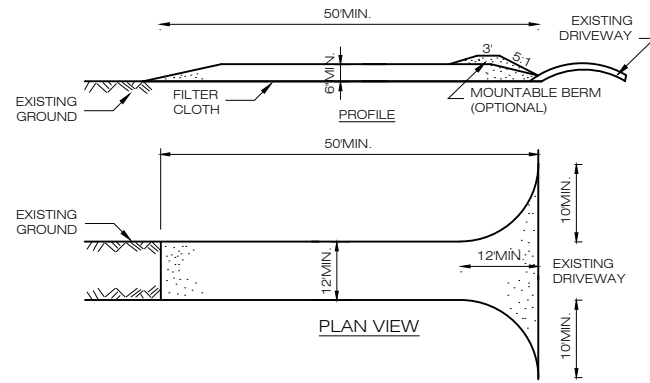
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**DESIGN PROFESSIONALS OF RECORD**  
PROF: ROBERT C. BURNS P.E.  
COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.  
ADD: 567 VAUXHAUL STREET  
EXTENSION - SUITE311  
WATERFORD, CT 06385  
DEVELOPER: HOMELAND TOWERS, LLC  
ADDRESS: 9 HARMONY STREET  
2ND FLOOR  
DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
DATE: 12/07/21 DRAWN BY: CSH  
CHECKED BY: RCB

**SHEET TITLE:**  
SITE DETAILS

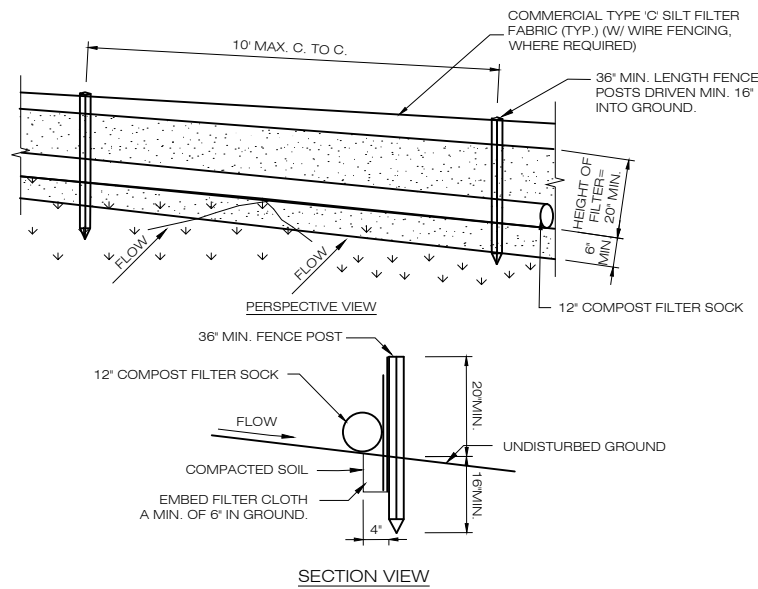
**SHEET NUMBER:**  
C-2



**CONSTRUCTION SPECIFICATIONS:**

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**1 (CE) CONSTRUCTION ENTRANCE DETAIL**  
C-3 SCALE: N.T.S.



**CONSTRUCTION SPECIFICATIONS**

1. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

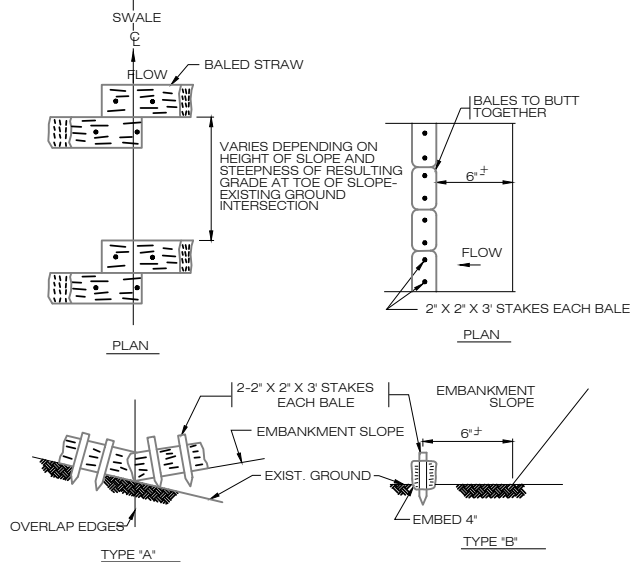
**2 GEOTEXTILE SILT FENCE/FILTER SOCK DETAIL**  
C-3 SCALE: N.T.S.

**SEQUENCE OF CONSTRUCTION**

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12' OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12' APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12' PORTION OF RECPs BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12' APART ACROSS THE WIDTH OF THE RECPs.
3. ROLL THE RECPs DOWN HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2' - 5' OVERLAP DEPENDING ON THE RECPs TYPE.
5. CONSECUTIVE RECPs SPICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3' OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12' APART ACROSS ENTIRE RECPs WIDTH.

**NOTES:**

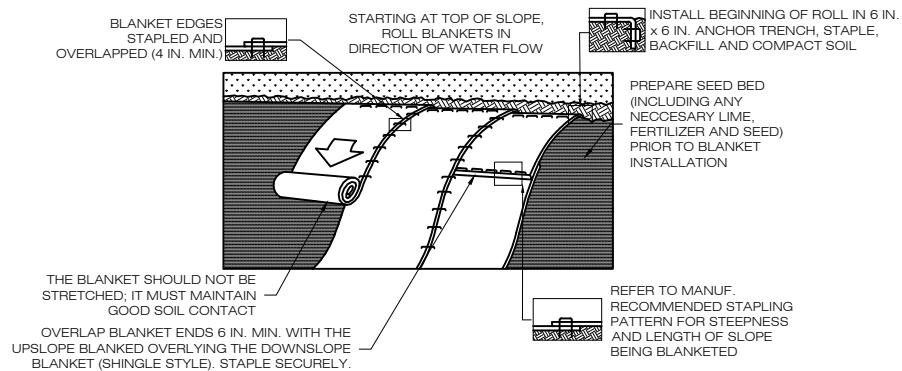
1. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
2. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
3. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
4. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
5. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



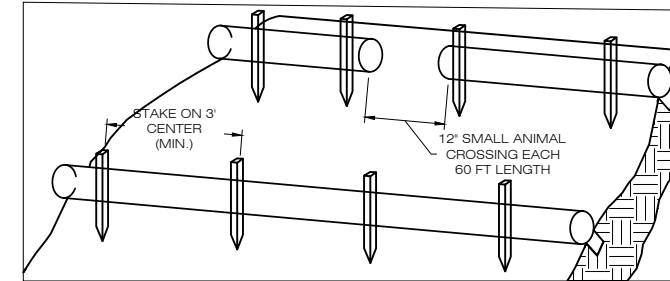
NOTE: TO BE USED IN LOCATIONS WHERE THE EXISTING GROUND SLOPES IN TOWARD THE TOE OF THE EMBANKMENT.

NOTE: TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE TOE OF THE EMBANKMENT.

**4 STRAW BALE CHECK DAM SEDIMENTATION CONTROL BARRIER**  
C-3 SCALE: N.T.S.

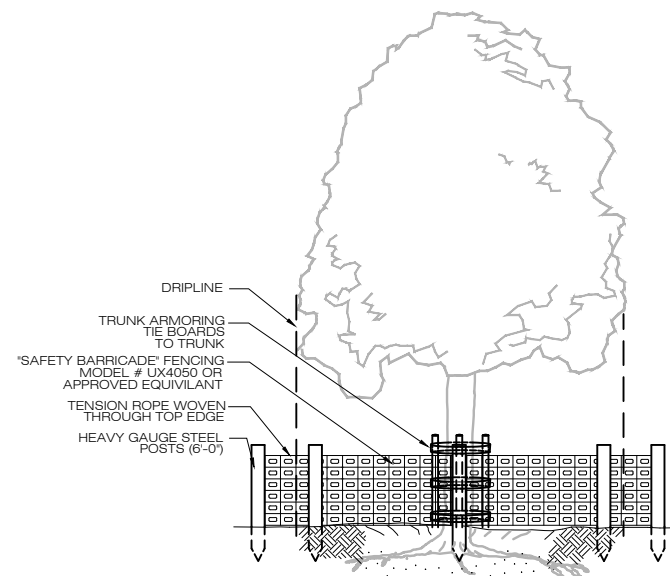
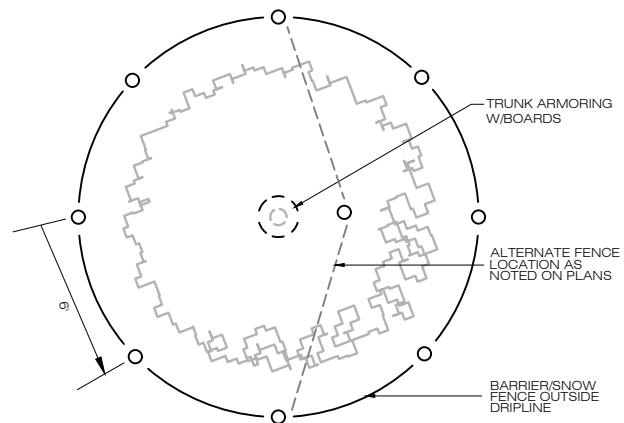


**5 EROSION CONTROL BLANKET STEEP SLOPES**  
C-3 SCALE: N.T.S.



1. BEGIN AT THE LOCATION WHERE THE SOCK IS TO BE INSTALLED BY EXCAVATING A 2'-3" (6-7.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE SOCK IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE SOCK ON THE UPHILL SIDE. SOCKS SHALL BE INSTALLED IN 60 FT CONTINUOUS LENGTHS WITH ADJACENT SOCKS TIGHTLY ABUT. EVERY 60 FT THE SOCK ROW SHALL BE SPACED 12 INCHES CLEAR, END TO END, FOR AMPHIBIAN AND REPTILE TRAVEL. THE OPEN SPACES SHALL BE STAGGERED MID LENGTH OF THE NEXT DOWN GRADIENT SOCK.
3. SECURE THE SOCK WITH 18-24" (45.7-61 CM) STAKES EVERY 3'-4" (0.9-1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2'-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE SOCK. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.

**3 COMPOST FILTER SOCK SEDIMENTATION CONTROL BARRIER**  
C-3 SCALE: N.T.S.



**6 TREE PROTECTION**  
C-3 SCALE: N.T.S.

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**DESIGN PROFESSIONALS OF RECORD**

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**HOMELAND TOWERS NEW CANAAN NORTHWEST**

SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840

APT FILING NUMBER: CT283860

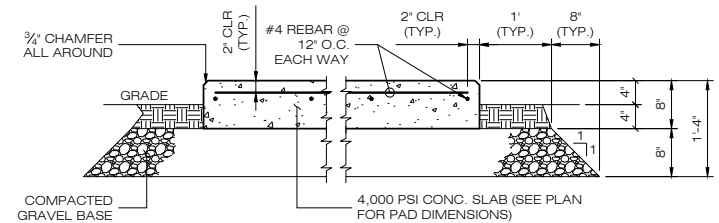
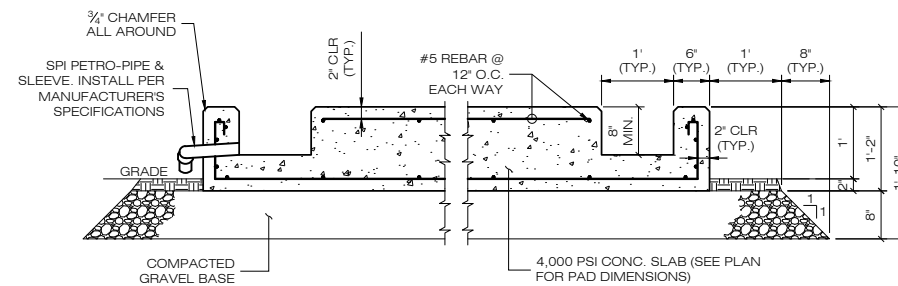
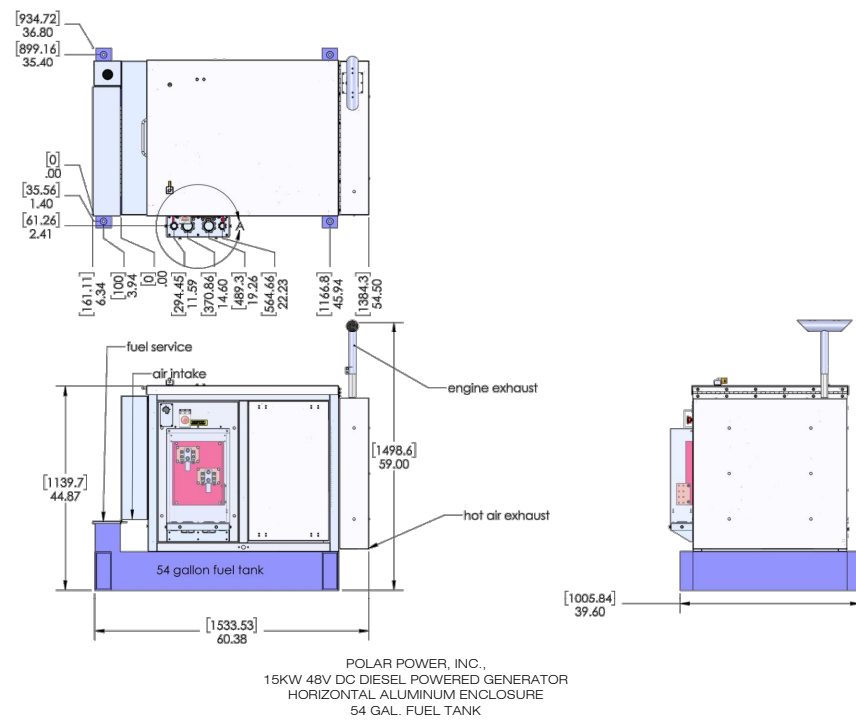
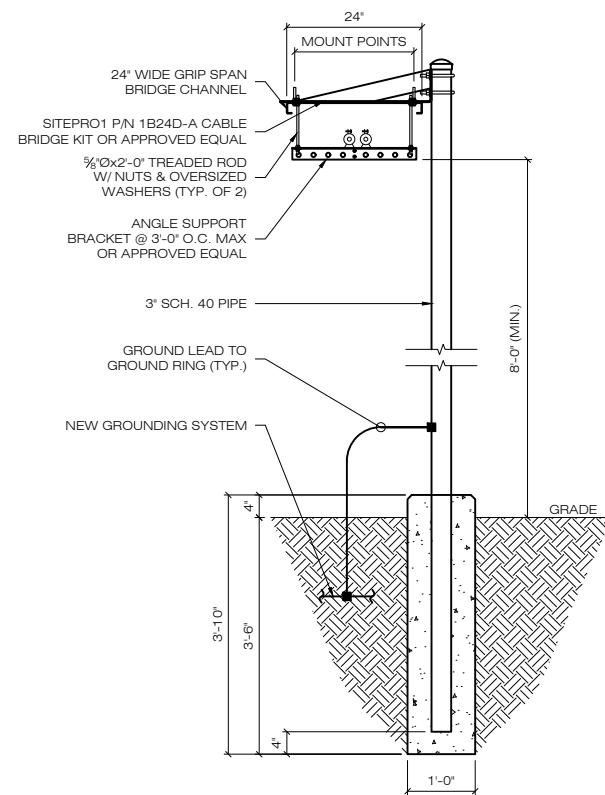
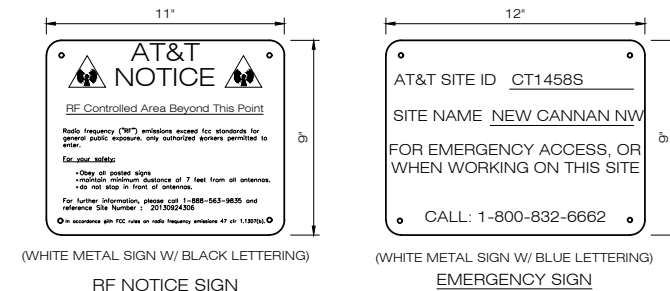
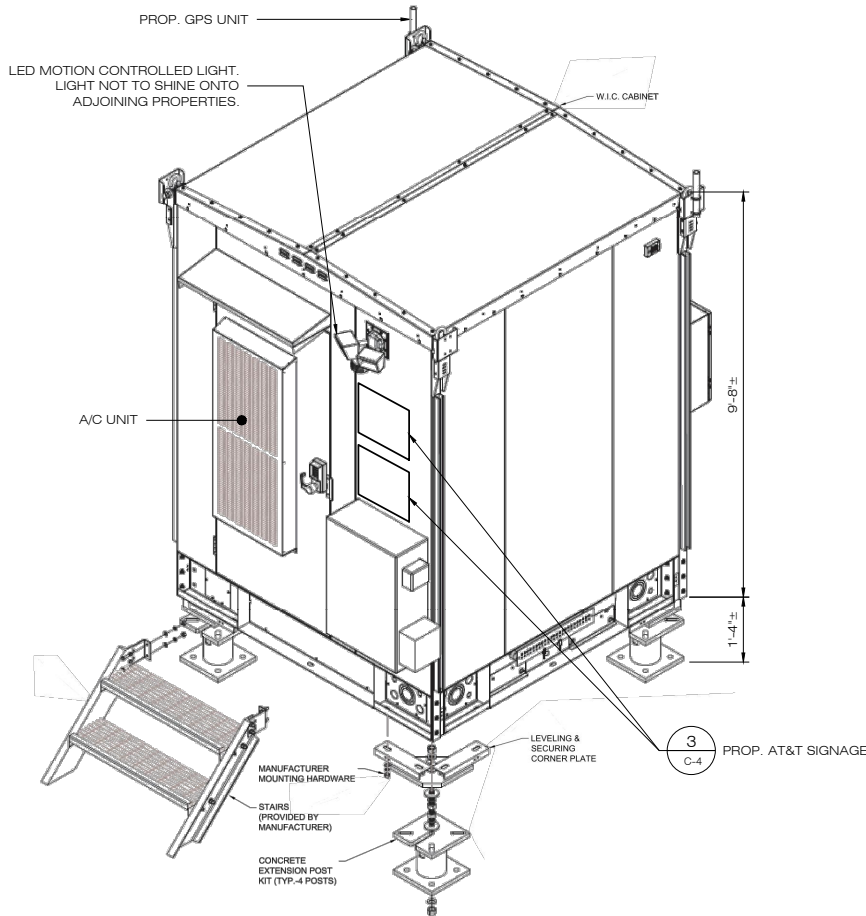
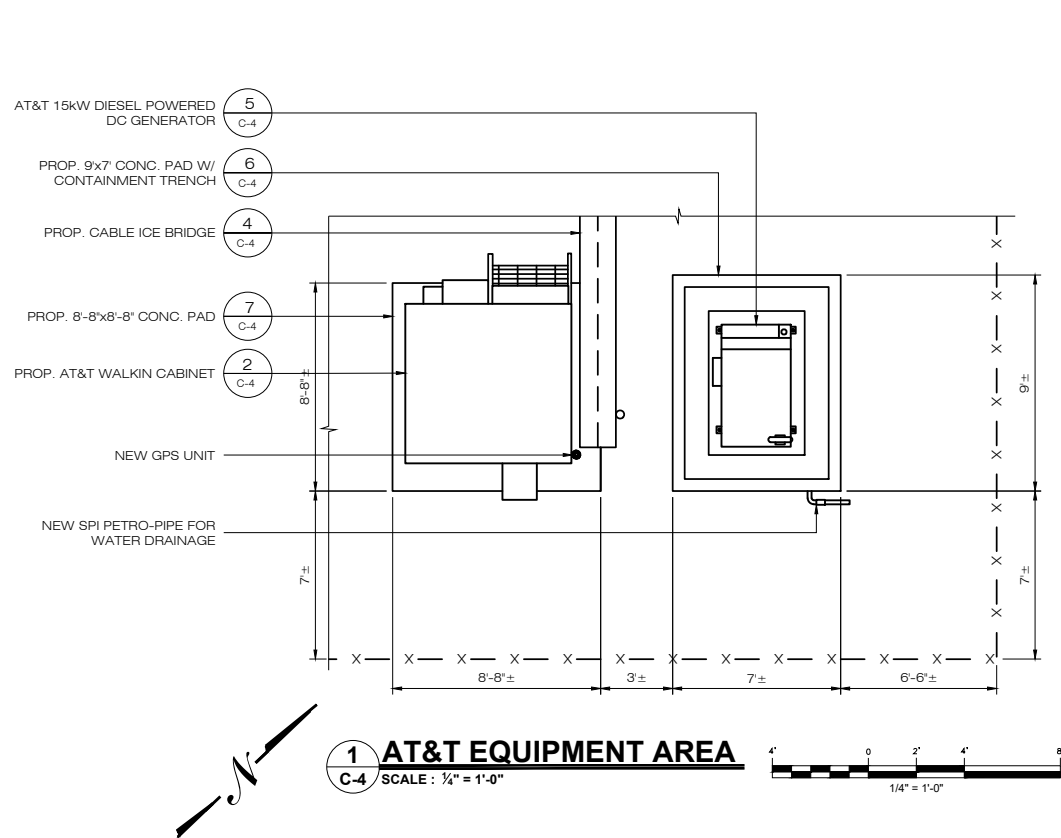
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CHECKED BY: RCB

**SHEET TITLE: EROSION CONTROL DETAILS**

SHEET NUMBER:

**C-3**



**HOMELAND TOWERS, LLC**  
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COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.  
ADD: 567 VAUXHAUL STREET EXTENSION - SUITE311 WATERFORD, CT 06385

**DEVELOPER: HOMELAND TOWERS, LLC**  
ADDRESS: 9 HARMONY STREET 2ND FLOOR DANBURY, CT 06810

**HOMELAND TOWERS NEW CANAAN NORTHWEST**  
SITE 1837 PONUS RIDGE ROAD  
ADDRESS: NEW CANAAN, CT 06840  
APT FILING NUMBER: CT283860  
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CHECKED BY: RCB

SHEET TITLE:  
**AT&T EQUIPMENT PLAN & DETAILS**

SHEET NUMBER:  
**C-4**

# Northeast Tower Surveying

140 West Maplemere Road  
Williamsville, New York 14221  
Northeasttowersurveyingt@aol.com  
(716) 548-2894

## FAA-1A SURVEY CERTIFICATION

**Applicant:** Homeland Towers  
9 Harmony Street  
Danbury, Connecticut 06810

**Site Name:** New Canaan Northwest

**Site ID:** CT050

**FA Number:**

**Site Address:** 1837 Ponus Ridge Road  
New Canaan, Connecticut 06840

**Horizontal Datum Source (select all that apply):**

Ground Survey     GPS Survey     NAD 83

**Vertical Datum Source (select all that apply):**

Ground Survey     GPS Survey     NAVD 88

**Structure Type (select one):**

New Tower (Monopine)     Existing Tower (\_\_\_\_\_)     Building  
 Water Tank     Smokestack     Other (describe): (\_\_\_\_\_)

**Latitude:** N 41°-10'-18.89" NAD83 / 41.171914 NAD83

**Longitude:** W 73°-32'-36.90" NAD83 / -73.543583 NAD83

**Ground Elevation:** 394.00 feet AMSL NAVD88

**Structure Height:** 504.00 feet AMSL    110.00 feet AGL (Proposed Top of Structure)

**Overall Max. Height (with Appurtenances):**  
519.00 feet AMSL    125.00 feet AGL (Proposed Omni Antenna)

**CERTIFICATION:** I certify that the latitude and longitude are accurate to within +/- 20 feet horizontally and that the ground elevation is accurate to within +/- 3 feet vertically. The horizontal datum (coordinates) are expressed in terms of degrees, minutes, seconds and hundredths of seconds. The vertical datum (heights) are expressed in terms of feet.

**Printed Name:** Earle C. Newman, L.S.  
**Surveyor License No:** 15616  
**Company:** Northeast Tower Surveying, Inc.  
**Phone:** (716) 548.2894  
**Date:** September 21, 2021



Northeast Tower Surveying Project No.: 21-025



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.  
2021-ANE-7370-OE

Issued Date: 12/03/2021

Christine Vergati  
Homeland Towers, LLC  
9 Harmony Street  
2nd Floor  
Danbury, CT 06810

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Pole CT050 New Canaan NW
Location:	New Canaan, CT
Latitude:	41-10-18.89N NAD 83
Longitude:	73-32-36.90W
Heights:	394 feet site elevation (SE) 126 feet above ground level (AGL) 520 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 06/03/2023 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO**

SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (404) 305-6582, or [Stephanie.Kimmel@faa.gov](mailto:Stephanie.Kimmel@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ANE-7370-OE.

**Signature Control No: 500598040-503407143**

Stephanie Kimmel  
Specialist

( DNE )

Attachment(s)  
Frequency Data  
Map(s)

cc: FCC



Frequency Data for ASN 2021-ANE-7370-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

