

LOUTH CALLAN RENEWABLES

"HADDAM QUARTER SOLAR, LLC"

JOHNSON LANE DURHAM, CT

LIST OF DRAWINGS

- T-1 TITLE SHEET & INDEX
- 1 OF 1 EXISTING CONDITIONS PLAN PROVIDED BY DESIGN PROFESSIONALS, INC.
- GN-1 GENERAL NOTES
- OP-1 OVERALL LOCUS MAP
- EC-1 SEDIMENTATION & EROSION CONTROL NOTES
- EC-2 SEDIMENTATION & EROSION CONTROL DETAILS
- EC-3 PHASE 1 SEDIMENTATION & EROSION CONTROL PLAN
- EC-4 PHASE 2 SEDIMENTATION & EROSION CONTROL PLAN
- GD-1 FINAL GRADING & DRAINAGE PLAN
- SP-1 SITE & UTILITY PLAN
- DN-1 SITE DETAILS
- DN-2 SITE DETAILS

SITE INFORMATION

SITE NAME: "HADDAM QUARTER SOLAR, LLC"
 LOCATION: JOHNSON LANE
 DURHAM, CT

SITE TYPE/DESCRIPTION: ADD (1) GROUND MOUNTED SOLAR PANEL ARRAY W/ ASSOCIATED EQUIPMENT, GRAVEL ACCESS ROAD, AND STORMWATER MANAGEMENT.

PROPERTY OWNER: NEWTON FAMILY TRUST CO
 1279 ARBUTUS ST
 DURHAM, CT 06422

APPLICANT: LOUTH CALLAN RENEWABLES
 921 THRALL AVENUE
 SUFFIELD, CT 06078

ENGINEER CONTACT: KEVIN A. MCCAFFERY, P.E.
 (860) 663-1697 x228

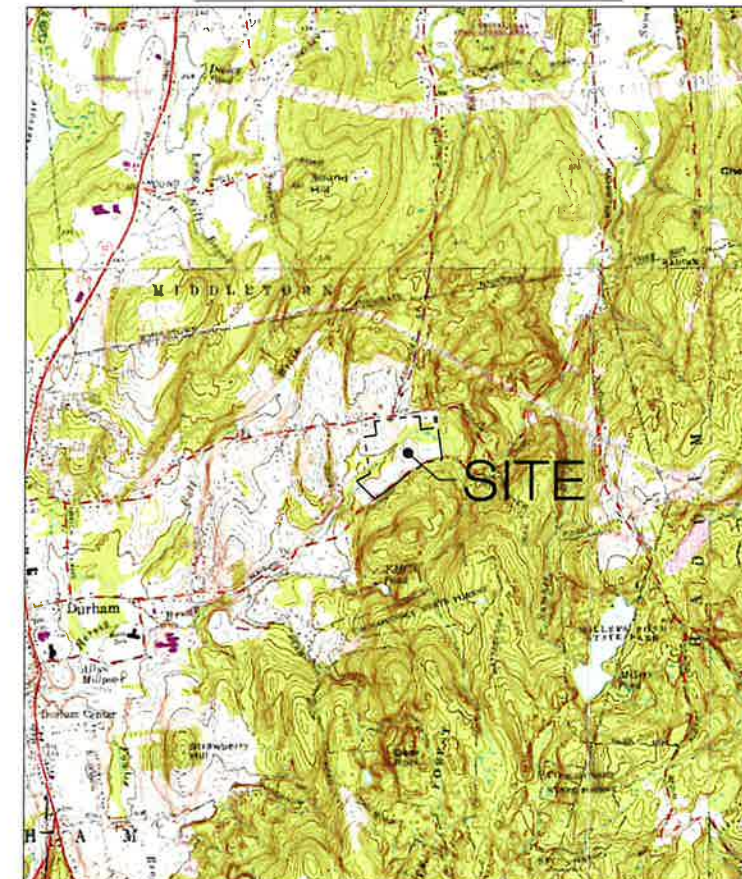
LATITUDE: 41°29'16.85" N
 LONGITUDE: 72°39'0.04" W
 ELEVATION: 312± AMSL

MBLU: 18-22
 ZONE: FR

TOTAL SITE ACREAGE: 49.00± AC.
 TOTAL DISTURBED AREA: 10.85± AC.
 SOLAR FACILITY AREA: 8.93± AC.

APPROX. VOLUME OF CUT: 688± CY
 APPROX. VOLUME OF FILL: 217± CY
 APPROX. NET VOLUME: 471± CY OF CUT

USGS TOPOGRAPHIC MAP



SCALE : 1" = 2000'± SOURCE: USGS 7.5 DURHAM QUADRANGLE, CT 2012



CSC PERMIT SET		
NO	DATE	REVISION
0	06/07/21	FOR REVIEW: KAM
1		
2		
3		
4		
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6		

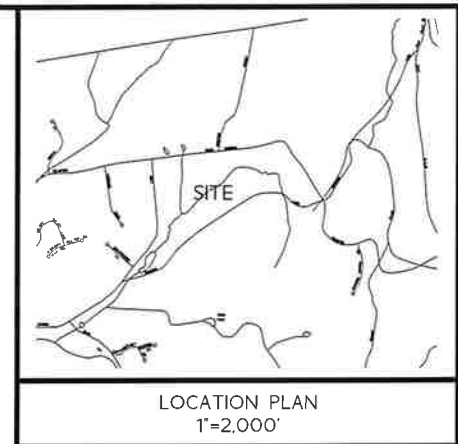
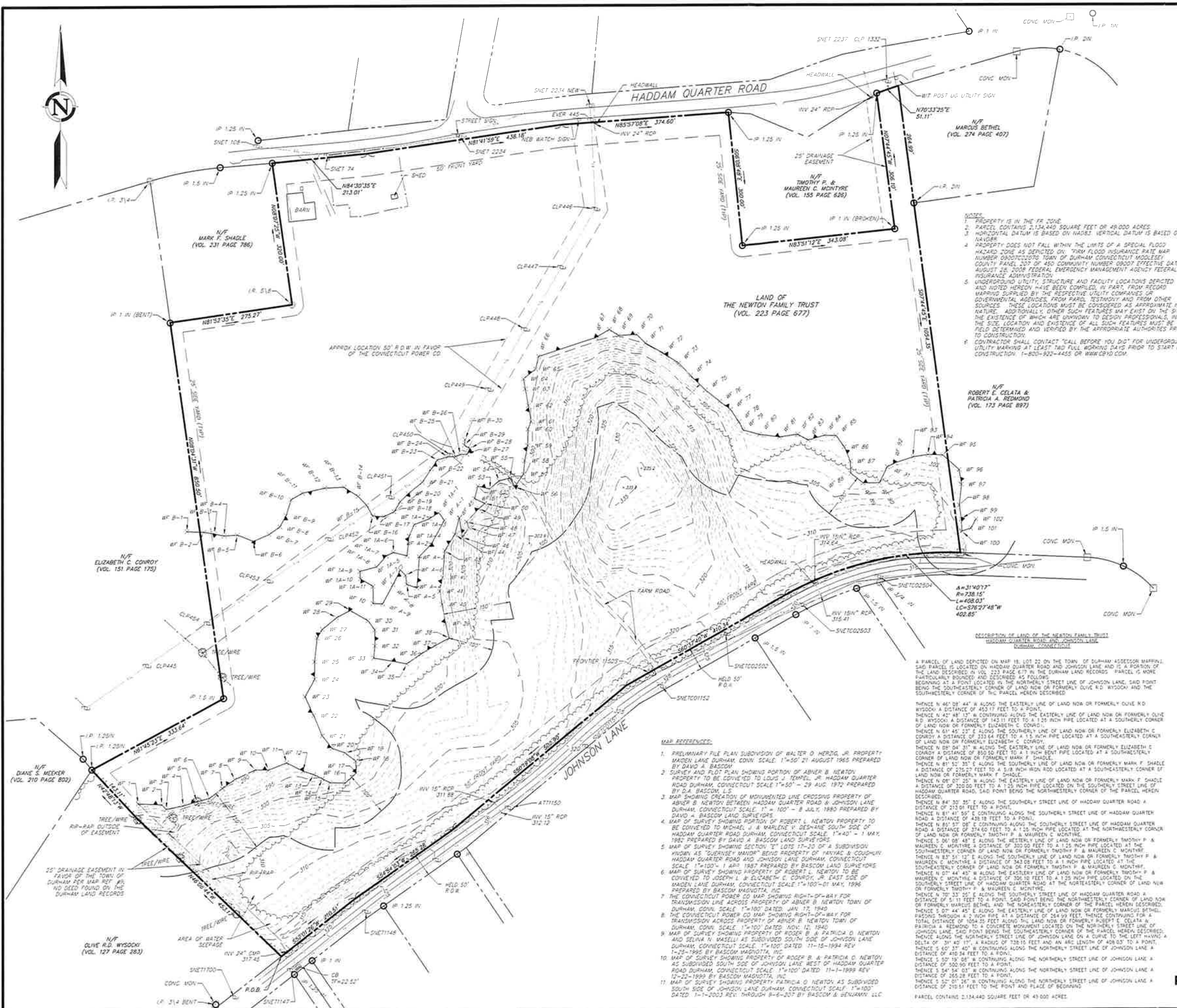
DESIGN PROFESSIONAL OF RECORD
 PROF: KEVIN A. MCCAFFERY, P.E.
 COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.
 ADD: 567 VAUXHALL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06385

OWNER: NEWTON FAMILY TRUST CO
 ADDRESS: 1279 ARBUTUS ST
 DURHAM, CT 06422

HADDAM QUARTER SOLAR, LLC
 SITE: JOHNSON LANE
 ADDRESS: DURHAM, CT
 APT FILING NUMBER: CT671100
 DRAWN BY: JT
 DATE: 06/07/21 CHECKED BY: KAM

SHEET TITLE:
TITLE SHEET & INDEX

SHEET NUMBER:
T-1



LEGEND

EXISTING	DESCRIPTION
COMMUNICATION	
---	OVERHEAD COMM LINES (CABLE, TEL, ETC.)
---	APPROX. UNDERGROUND COMMUNICATION LINES
CONTROL POINTS	
⊙	BENCHMARK
LIGHTING	
⊙	POLE MOUNTED LIGHT
POWER	
---	ELECTRICAL LINES, OVERHEAD
---	APPROX. ELECTRICAL LINES, UNDERGROUND
---	UTILITY POLE
---	UTILITY POLE WITH LIGHT
---	UTILITY POLE WITH TRANSFORMER
PROPERTY	
---	PROPERTY LINE
---	EASEMENT LINE
○	IRON PIPE
○	IRON ROD
□	MONUMENT
ROADS	
---	GUARD RAIL
---	SIGN
SITE FEATURES	
---	EDGE OF WATER
---	BARBED WIRE FENCE
---	CHAIN LINK FENCE
---	RAIL FENCE
---	STOCKADE FENCE
---	WIRE FENCE
---	STONE WALL
○	TREE
---	TREE LINE
SANITARY SEWER	
---	APPROX. SANITARY SEWER MAIN
---	APPROX. SANITARY SEWER SERVICE LINE
⊙	SANITARY SEWER MANHOLE
---	APPROX. STORM DRAIN PIPE
⊙	STORM DRAIN MANHOLE
⊙	CURB INLET
⊙	CATCH BASIN
TOPOGRAPHY	
---	CONTOUR
⊙	SPOT ELEVATION
---	WETLANDS
---	WETLANDS LINE

NOTES

- PROPERTY IS IN THE FF ZONE.
- PARCEL CONTAINS 2,134,440 SQUARE FEET OR 49,000 ACRES.
- HORIZONTAL DATUM IS BASED ON NAD83 VERTICAL DATUM IS BASED ON NAVD83.
- PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON "FIRM FLOOD INSURANCE RATE MAP NUMBER 0307020000 TOWN OF DURHAM CONNECTICUT MOBILE COUNTY PANEL 207 OF 450 COMMUNITY NUMBER 09007 EFFECTIVE DATE AUGUST 26, 2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR CONVEYED THROUGH FROM HAROLD TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION. 1-800-522-4455 OR WWW.CBYD.COM.

DESCRIPTION OF LAND OF THE NEWTON FAMILY TRUST THROUGH QUARTER ROAD AND JOHNSON LANE DURHAM, CONNECTICUT

A PARCEL OF LAND DEPICTED ON MAP 18, LOT 22 ON THE TOWN OF DURHAM ASSESSOR MAPPING SAID PARCEL IS LOCATED ON HADDAM QUARTER ROAD AND JOHNSON LANE AND IS A PORTION OF THE LAND DESCRIBED IN VOL. 223 PAGE 677 IN THE DURHAM LAND RECORDS. PARCEL IS MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED IN THE NORTHERLY STREET LINE OF JOHNSON LANE, SAID POINT BEING THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY OLIVE R.D. WYSOCKI AND THE SOUTHWESTERLY CORNER OF THE PARCEL HEREIN DESCRIBED:

THENCE N 65° 08' 44" W ALONG THE EASTERLY LINE OF LAND NOW OR FORMERLY OLIVE R.D. WYSOCKI A DISTANCE OF 453.17 FEET TO A POINT;

THENCE N 42° 48' 48" E CONTINUING ALONG THE EASTERLY LINE OF LAND NOW OR FORMERLY OLIVE R.D. WYSOCKI A DISTANCE OF 143.11 FEET TO A 1.25 INCH PIPE LOCATED AT A SOUTHERLY CORNER OF LAND NOW OR FORMERLY ELIZABETH C. CONROY;

THENCE N 61° 45' 23" E ALONG THE SOUTHERLY LINE OF LAND NOW OR FORMERLY ELIZABETH C. CONROY A DISTANCE OF 333.64 FEET TO A 1.5 INCH PIPE LOCATED AT A SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY ELIZABETH C. CONROY;

THENCE N 08° 04' 31" W ALONG THE EASTERLY LINE OF LAND NOW OR FORMERLY ELIZABETH C. CONROY A DISTANCE OF 850.50 FEET TO A 1 INCH BENT PIPE LOCATED AT A SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY MARK F. SHADLE;

THENCE N 81° 52' 35" E ALONG THE SOUTHERLY LINE OF LAND NOW OR FORMERLY MARK F. SHADLE A DISTANCE OF 232.27 FEET TO A 5/8 INCH IRON ROD LOCATED AT A SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY MARK F. SHADLE;

THENCE N 08° 07' 25" W ALONG THE EASTERLY LINE OF LAND NOW OR FORMERLY MARK F. SHADLE A DISTANCE OF 342.50 FEET TO A 1.25 INCH PIPE LOCATED AT THE NORTHEASTERLY CORNER OF HADDAM QUARTER ROAD, SAID POINT BEING THE NORTHEASTERLY CORNER OF THE PARCEL HEREIN DESCRIBED;

THENCE N 84° 30' 25" E ALONG THE SOUTHERLY STREET LINE OF HADDAM QUARTER ROAD A DISTANCE OF 213.07 FEET TO A POINT;

THENCE N 81° 41' 55" E CONTINUING ALONG THE SOUTHERLY STREET LINE OF HADDAM QUARTER ROAD A DISTANCE OF 42.18 FEET TO A POINT;

THENCE N 85° 57' 05" E CONTINUING ALONG THE SOUTHERLY STREET LINE OF HADDAM QUARTER ROAD A DISTANCE OF 374.60 FEET TO A 1.5 INCH PIPE LOCATED AT THE NORTHEASTERLY CORNER OF LAND NOW OR FORMERLY SMITH P. & MAUREEN C. MONTYHE;

THENCE S 01° 08' 48" E ALONG THE WESTERLY LINE OF LAND NOW OR FORMERLY TIMOTHY P. & MAUREEN C. MONTYHE A DISTANCE OF 302.00 FEET TO A 1.25 INCH PIPE LOCATED AT THE SOUTHWESTERLY CORNER OF LAND NOW OR FORMERLY TIMOTHY P. & MAUREEN C. MONTYHE;

THENCE N 83° 51' 12" E ALONG THE SOUTHERLY LINE OF LAND NOW OR FORMERLY TIMOTHY P. & MAUREEN C. MONTYHE A DISTANCE OF 342.00 FEET TO A 1.25 INCH PIPE LOCATED AT THE SOUTHEASTERLY CORNER OF LAND NOW OR FORMERLY TIMOTHY P. & MAUREEN C. MONTYHE;

THENCE S 60° 34' 45" W ALONG THE EASTERLY LINE OF LAND NOW OR FORMERLY TIMOTHY P. & MAUREEN C. MONTYHE A DISTANCE OF 306.12 FEET TO A 1.25 INCH PIPE LOCATED ON THE SOUTHEASTERLY STREET LINE OF HADDAM QUARTER ROAD AT THE NORTHEASTERLY CORNER OF LAND NOW OR FORMERLY TIMOTHY P. & MAUREEN C. MONTYHE;

THENCE N 70° 33' 25" E ALONG THE SOUTHERLY STREET LINE OF HADDAM QUARTER ROAD A DISTANCE OF 51.11 FEET TO A POINT; SAID POINT BEING THE NORTHEASTERLY CORNER OF LAND NOW OR FORMERLY MARCUS BETHEL AND THE NORTHEASTERLY CORNER OF THE PARCEL HEREIN DESCRIBED;

THENCE S 04° 44' 45" E ALONG THE EASTERLY LINE OF LAND NOW OR FORMERLY MARCUS BETHEL, RAZING THROUGH A 2 INCH PIPE AT A DISTANCE OF 264.99 FEET, THENCE CONTINUING FOR A TOTAL DISTANCE OF 410.34 FEET TO A POINT;

THENCE S 60° 34' 45" W CONTINUING ALONG THE NORTHERLY STREET LINE OF JOHNSON LANE A DISTANCE OF 410.34 FEET TO A POINT;

THENCE S 50° 15' 08" E CONTINUING ALONG THE NORTHERLY STREET LINE OF JOHNSON LANE A DISTANCE OF 400.90 FEET TO A POINT;

THENCE S 54° 34' 03" E CONTINUING ALONG THE NORTHERLY STREET LINE OF JOHNSON LANE A DISTANCE OF 365.28 FEET TO A POINT;

THENCE S 50° 38' 18" W CONTINUING ALONG THE NORTHERLY STREET LINE OF JOHNSON LANE A DISTANCE OF 310.51 FEET TO THE POINT AND PLACE OF BEGINNING.

PARCEL CONTAINS 2,134,440 SQUARE FEET OR 49,000 ACRES.

- MAP REFERENCES:**
- PRELIMINARY FILE PLAN SUBDIVISION OF WALTER D. HERTIG, JR. PROPERTY HADDAM LANE DURHAM, CONN. SCALE: 1"=50' 21 AUGUST 1985 PREPARED BY DAVID A. BASCOM.
 - SURVEY AND PLOT PLAN SHOWING PORTION OF ABNER B. NEWTON PROPERTY TO BE CONVEYED TO LOUIS J. TEMPEL, JR. HADDAM QUARTER ROAD DURHAM, CONNECTICUT SCALE 1"=50' - 29 AUG. 1972 PREPARED BY DAVID A. BASCOM, L.S.
 - MAP SHOWING CREATION OF MONUMENTED LINE CROSSING PROPERTY OF ABNER B. NEWTON BETWEEN HADDAM QUARTER ROAD & JOHNSON LANE DURHAM, CONNECTICUT SCALE 1"=100' - 8 JULY 1983 PREPARED BY DAVID A. BASCOM LAND SURVEYORS.
 - MAP OF SURVEY SHOWING PORTION OF ROBERT L. NEWTON PROPERTY TO BE CONVEYED TO MICHAEL J. & MARLENE V. DESHANE SOUTH SIDE OF HADDAM QUARTER ROAD DURHAM, CONNECTICUT SCALE 1"=40' - 1 MAY 1982 PREPARED BY DAVID A. BASCOM LAND SURVEYORS.
 - MAP OF SURVEY SHOWING SECTION 27 LOTS 17-20 OF A SUBDIVISION HADLEY AS "SOUTHERLY BAYVIEW" BEING PROPERTY OF HANVIE & COUGHRAN HADDAM QUARTER ROAD AND JOHNSON LANE DURHAM, CONNECTICUT SCALE 1"=100' - 1 APR 1987 PREPARED BY BASCOM LAND SURVEYORS.
 - MAP OF SURVEY SHOWING PROPERTY OF ROBERT L. NEWTON TO BE CONVEYED TO JOSEPH L. & ELIZABETH C. CONROY, JR. EAST SIDE OF HADDAM LANE DURHAM, CONNECTICUT SCALE 1"=100' DATED 11-15-1994 REV. 1-25-1995 BY BASCOM MAGNOLIA, INC.
 - THE CONNECTICUT POWER CO. MAP SHOWING RIGHT-OF-WAY FOR TRANSMISSION LINE ACROSS PROPERTY OF ABNER B. NEWTON TOWN OF DURHAM, CONN. SCALE 1"=100' DATED JAN. 17, 1940.
 - THE CONNECTICUT POWER CO. MAP SHOWING RIGHT-OF-WAY FOR TRANSMISSION ACROSS PROPERTY OF ABNER B. NEWTON TOWN OF DURHAM, CONN. SCALE 1"=100' DATED NOV. 12, 1940.
 - MAP OF SURVEY SHOWING PROPERTY OF ROGER B. & PATRICIA D. NEWTON AND SELVA N. WASSILI AT SUBDIVIDED SOUTH SIDE OF JOHNSON LANE DURHAM, CONNECTICUT SCALE 1"=100' DATED 11-15-1994 REV. 1-25-1995 BY BASCOM MAGNOLIA, INC.
 - MAP OF SURVEY SHOWING PROPERTY OF ROGER B. & PATRICIA D. NEWTON AS SUBDIVIDED SOUTH SIDE OF JOHNSON LANE WEST OF HADDAM QUARTER ROAD DURHAM, CONNECTICUT SCALE 1"=100' DATED 11-15-1994 REV. 1-25-1995 BY BASCOM MAGNOLIA, INC.
 - MAP OF SURVEY SHOWING PROPERTY PATRICIA D. NEWTON AS SUBDIVIDED SOUTH SIDE OF JOHNSON LANE DURHAM, CONNECTICUT SCALE 1"=100' DATED 1-3-2003 REV. THROUGH B-6-207 BY BASCOM & SEYMANN, LLC.

SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-306-1 THRU 20-306-20 AND THE STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS BY THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 26, 2018.

- TYPE OF SURVEY IS A PROPERTY & PARTIAL TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON MAPS REFERENCED HEREON.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS, VERTICAL ACCURACY MEETS CLASS V-3 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-3 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PRELIMINARY / PROGRESS PLAN

DARRANCE R. RESSLER, JR., L.S.

design professionals
 PLANNING ENGINEERS
 CIVIL, SURVEYORS, LANDSCAPE ARCHITECTS
 www.designprofessionals.com

21 JEFFREY DRIVE
 P.O. BOX 1097
 SOUTH WINDSOR, CT 06095 - 1
 860-291-9250 - F
 860-291-9251 - T

PREPARED FOR:
 GREENFIELD DEVELOPMENT
 LOUTH CHALLAN RENEWABLES
 921 THALL AV. E.
 SUFFIELD, CONNECTICUT

DATE: 12-14-20
 SCALE: AS SHOWN
 SHEET: 1 OF 1

**ALTA/NSPS
 LAND TITLE SURVEY
 NEWTON FAMILY TRUST**
 HADDAM QUARTER ROAD & JOHNSON LANE
 DURHAM, CONNECTICUT

NO. DATE BY REVISIONS

PROPERTY & TOPOGRAPHIC SURVEY

SHEET: **V-1**

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH PROJECT DEVELOPER STANDARDS, TOWN OF DURHAM STANDARDS, CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED INCREASING HIERARCHY, IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- IF NO PROJECT CONSTRUCTION SPECIFICATION PACKAGE IS PROVIDED BY THE PROJECT DEVELOPER OR THEIR REPRESENTATIVE, THE CONTRACTOR SHALL COMPLY WITH THE MANUFACTURER, TOWN OF DURHAM, OR CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND BE IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE PROJECT DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING AND STORMWATER PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN OF DURHAM CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- REFER TO PLANS, DETAILS AND REPORTS PREPARED BY ALL-POINTS TECHNOLOGY CORPORATION FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE PROJECT DEVELOPER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING/CONSTRUCTION. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE PROJECT DEVELOPERS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS PER PLANS, AND SPECIFICATIONS TO THE PROJECT DEVELOPER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE, ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- SHOULD ANY UNKNOWN OR INCORRECTLY LOCATED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE PROJECT DEVELOPER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE PROJECT DEVELOPER OR OTHERS DURING OCCUPIED HOURS, EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE PROJECT DEVELOPER AND THE LOCAL MUNICIPALITY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COMPLY WITH OSHA CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
- THE ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OF PERSONNEL OR TO SUPERVISE SAFETY AND DO NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE PROJECT DEVELOPER OR TOWN OF DURHAM.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE PROJECT DEVELOPER AT THE END OF CONSTRUCTION.
- ALTERNATIVE METHODS AND PRODUCTS, OTHER THAN THOSE SPECIFIED, MAY BE USED IF REVIEWED AND APPROVED BY THE PROJECT DEVELOPER, ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING/CONSTRUCTION PROCESS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT '811' AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS AND PERMITS ARE GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.


SITE PLAN NOTES

- THE SURVEY WAS PROVIDED BY DESIGN PROFESSIONALS INC. DATED DECEMBER 14, 2020.
- THERE ARE BORDERING VEGETATED WETLANDS (BVWS) LOCATED ON THE SITE AS INDICATED ON THE PLANS. BVW BOUNDARIES WERE FLAGGED AND LOCATED BY JMM WETLAND CONSULTING SERVICES, LLC, IN AUGUST 2020.
- THERE WILL BE MINIMAL GRADING ON SITE IN THE AREAS OF THE MINOR CLEARING, TO ENSURE THAT PROPER DRAINAGE IS MAINTAINED.
- THE CONTRACTOR SHALL FOLLOW THE RECOMMENDED SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN OR SUBMIT AN ALTERNATE PLAN FOR APPROVAL BY THE ENGINEER AND/OR PERMITTING AGENCIES PRIOR TO THE START CONSTRUCTION. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR BVWS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. IN ADDITION, THE CONTRACTOR SHALL ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY GOVERNMENT AGENCIES WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTH-WORK AND STORM DRAINAGE WORK, SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 8' LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 95% PERCENT OF OPTIMUM MOISTURE CONTENT.
- ALL DISTURBANCE INCURRED TO PUBLIC, MUNICIPAL, COUNTY, STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF DURHAM AND STATE OF CONNECTICUT.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE PROJECT DEVELOPER AND/OR PROJECT DEVELOPERS ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE PROJECT DEVELOPER AND/OR PROJECT DEVELOPERS ENVIRONMENTAL CONSULTANT.

UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE TOWN OF DURHAM TO SECURE CONSTRUCTION PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- REFER TO DRAWINGS BY PROJECT DEVELOPER FOR THE ONSITE ELECTRICAL DRAWINGS AND INTERCONNECTION TO EXISTING ELECTRICAL GRID. SITE CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY AT BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT. THESE DETAILS ARE NOT INCLUDED IN THESE PLANS.
- UTILITY LOCATIONS AND PENETRATIONS ARE SHOWN FOR THE CONTRACTORS INFORMATION AND SHALL BE VERIFIED WITH THE ELECTRICAL ENGINEER AND THE PROJECT DEVELOPERS CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST FITS SHALL BE DUG AT ALL LOCATIONS WHERE PROP. SANITARY SEWERS AND WHERE PROP. STORM PIPING WILL CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE PROJECT DEVELOPER IN THE EVENT OF ANY DISCOVERED OR UNFORESOEN CONFLICTS BETWEEN EXISTING AND PROPOSED SANITARY SEWERS, STORM PIPING AND UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE TOWN OF DURHAM.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- RELOCATION OF UTILITY PROVIDER FACILITIES, SUCH AS POLES, SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN 8' LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER. A 6-INCH TO 18-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE SANITARY PIPING.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, CONDUIT, PAVEMENT, CURBING, SIDEWALKS, DRAINAGE STRUCTURE, SWALE OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE PROJECT DEVELOPER AND TOWN OF DURHAM.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY, AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" AT 811 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY AND STORM DRAINAGE LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROP. UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
- THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
- ELECTRIC DRAWINGS AND REQUIREMENTS ARE NOT INCLUDED AS PART OF THIS DRAWING SET AND SHOULD BE OBTAINED FROM THE PROJECT DEVELOPER.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE PROJECT DEVELOPER, ENGINEER, AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE PROJECT DEVELOPER. TOWN OF DURHAM, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.

GENERAL LEGEND		
	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING SETBACK		
SOLAR SETBACK		
EASEMENT		
TREE LINE		
WETLAND		
WETLAND BUFFER		
VERNAL POOL		
VERNAL POOL BUFFER		
WATERCOURSE		
WATERCOURSE BUFFER		
MAJOR CONTOUR		
MINOR CONTOUR		
UNDERGROUND ELECTRIC		
OVERHEAD ELECTRIC		
GAS LINE		
WATER LINE		
BASIN		
SWALE		
FENCE		
LIMIT OF DISTURBANCE		
LIMIT OF CLEARING AND GRUBBING		
FILTER SOCK		
SILT FENCE		
BAFFLE		





587 WAUKHALL STREET EXTENSION - SUITE 311
 WATERFORD, CT 06385 PHONE: (860)-663-1627
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DESIGN PROFESSIONAL OF RECORD

PROF: KEVIN A. MCCAFFERY, P.E.
 COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.
 ADD: 587 WAUKHALL STREET EXTENSION - SUITE 311 WATERFORD, CT 06385

OWNER: NEWTON FAMILY TRUST CO
 ADDRESS: 1279 ARBUTUS ST DURHAM, CT 06422

HADDAM QUARTER SOLAR, LLC

SITE JOHNSON LANE
 ADDRESS: DURHAM, CT

APT FILING NUMBER: CT671100

DATE: 06/07/21

DRAWN BY: JT
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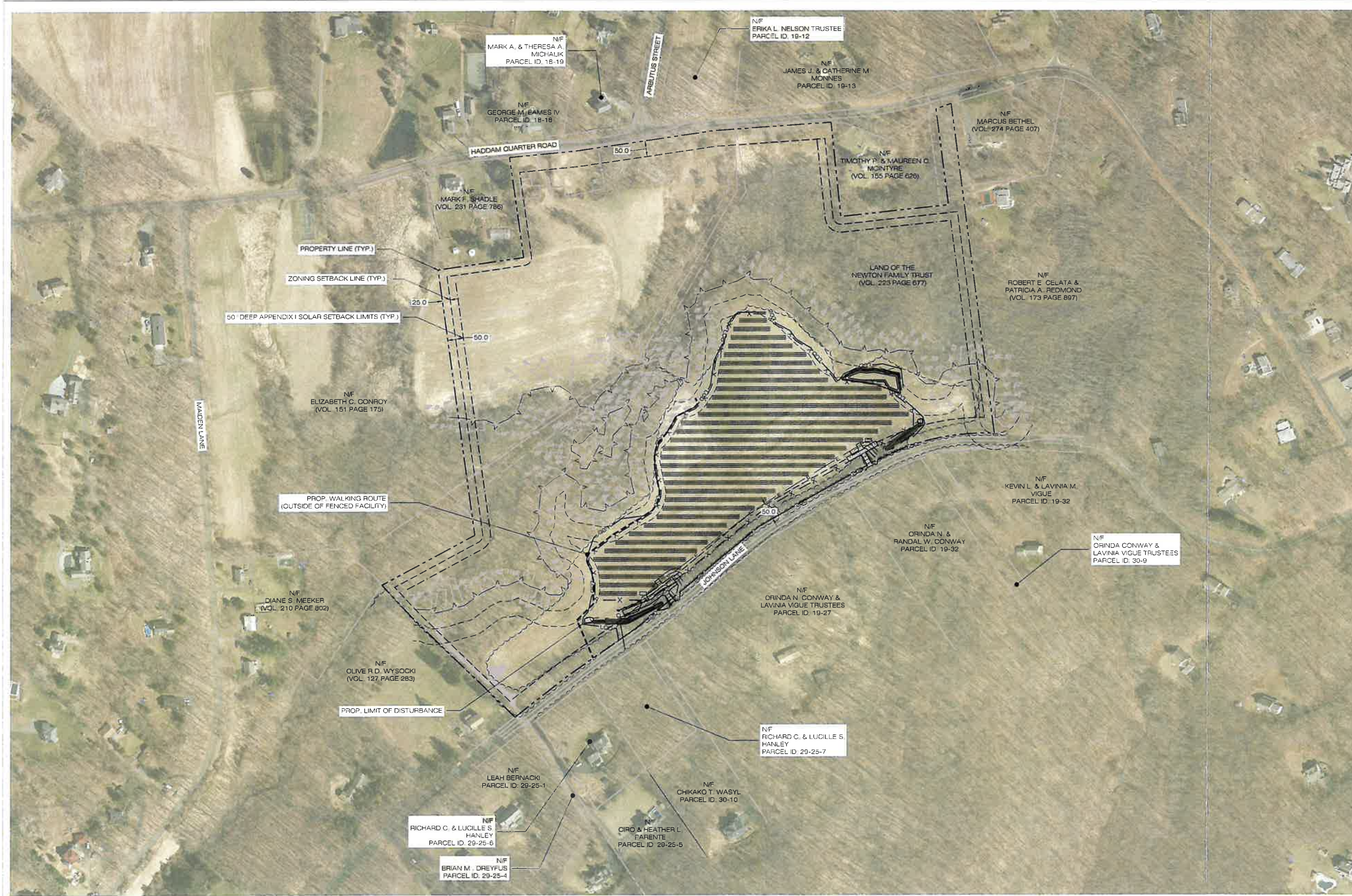
SHEET TITLE:

GENERAL NOTES

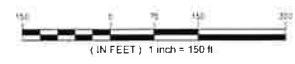
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GN-1





1 OVERALL LOCUS MAP
 CP-1 SCALE: 1" = 150'-0"







567 VALUXHALL STREET EXTENSION - SUITE 311
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SHEET TITLE:

OVERALL LOCUS MAP

SHEET NUMBER:

OP-1



EROSION CONTROL NOTES

EROSION AND SEDIMENT CONTROL PLAN NOTES

- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF DURHAM, PERMITTEE, AND/OR SWPCP MONITOR. ALL PERIMETER SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- THESE DRAWINGS ARE ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL MEASURES FOR THIS SITE. SEE CONSTRUCTION SEQUENCE FOR ADDITIONAL INFORMATION. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE EROSION & SEDIMENT CONTROL PLAN ARE SHOWN AS REQUIRED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL EROSION CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO STORM DRAINAGE SYSTEMS AND/OR WATERCOURSES. ACTUAL SITE CONDITIONS OR SEASONAL AND CLIMATIC CONDITIONS MAY WARRANT ADDITIONAL CONTROLS OR CONFIGURATIONS, AS REQUIRED, AND AS DIRECTED BY THE PERMITTEE AND/OR SWPCP MONITOR. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
- A BOND OR LETTER OF CREDIT MAY BE REQUIRED TO BE POSTED WITH THE GOVERNING AUTHORITY FOR THE EROSION CONTROL INSTALLATION AND MAINTENANCE.
- THE CONTRACTOR SHALL APPLY THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES SHOWN ON THE PLAN IN CONJUNCTION WITH CONSTRUCTION SEQUENCING, SUCH THAT ALL ACTIVE WORK ZONES ARE PROTECTED. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPAL OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CONSTRUCTION SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR INSTALLED SEDIMENTATION AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS WEEKLY AND WITHIN 24 HOURS OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCHES OR GREATER TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS AS NECESSARY IN A TIMELY MANNER.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, COMPOST FILTER SOCK, EROSION CONTROL BLANKET, ETC.) ON-SITE FOR PERIODIC MAINTENANCE AND EMERGENCY REPAIRS.
- ALL FILL MATERIAL PLACED ADJACENT TO ANY WETLAND AREA SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING, ORANGE SAFETY FENCE, CONSTRUCTION TAPE, OR EQUIVALENT FENCING/TAPE. ANY LIMB TRIMMING SHOULD BE DONE AFTER CONSULTATION WITH AN ARBORIST AND BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- CONSTRUCTION ENTRANCES (ANTI-TRACKING PADS) SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR CONSTRUCTION ACTIVITY AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF ALL CONSTRUCTION IF REQUIRED. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED. CONTRACTOR SHALL ENSURE THAT ALL VEHICLES EXITING THE SITE ARE PASSING OVER THE ANTI-TRACKING PADS PRIOR TO EXITING.
- ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SEDIMENT BARRIER UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE BARRIER.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS. ALL SLOPES SHALL BE SEEDED AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE CONFORMING TO THE GUIDELINES WITHIN THE APPROVED LIMIT OF DISTURBANCE IF REQUIRED. DISCHARGE TO STORM DRAINS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR AND APPROVED BY THE PERMITTEE OR MUNICIPALITY.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS ON THE SITE. PROPER SANITARY DEVICES SHALL BE MAINTAINED ON-SITE AT ALL TIMES AND SECURED APPROPRIATELY. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS ON THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION AND RESPONSE/CONTAINMENT.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE, MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDING WITH TACKIFIER.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION FOR DUST CONTROL. PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAYS DAMP. CALCIUM CHLORIDE MAY ALSO BE APPLIED TO ACCESS ROADS. DUMP TRUCK LOADS EXITING THE SITE SHALL BE COVERED.
- VEGETATIVE ESTABLISHMENT SHALL OCCUR ON ALL DISTURBED SOIL, UNLESS THE AREA IS UNDER ACTIVE CONSTRUCTION, IT IS COVERED IN STONE OR SCHEDULED FOR PAVING WITHIN 30 DAYS. TEMPORARY SEEDING OR NON-LIVING SOIL PROTECTION OF ALL EXPOSED SOILS AND SLOPES SHALL BE INITIATED WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK IN AREAS TO BE LEFT LONGER THAN 30 DAYS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP CONCRETE PADS, CLEAN THE STORMWATER MANAGEMENT SYSTEMS AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS ONCE THE SITE IS FULLY STABILIZED AND APPROVAL HAS BEEN RECEIVED FROM PERMITTEE OR THE MUNICIPALITY.
- SEEDING MIXTURES SHALL BE ERNST SOLAR FARM SEED MIX (SEE SITE DETAILS SHEET DN-1), OR APPROVED EQUAL BY OWNER.

SEDIMENT & EROSION CONTROL NARRATIVE

- THE PROJECT INVOLVES THE CONSTRUCTION OF A GROUND MOUNTED SOLAR PANEL FACILITY WITH ASSOCIATED EQUIPMENT, WITH MINIMAL CLEARING, GRUBBING, AND GRADING OF APPROXIMATELY 10.85± ACRES OF EXISTING LOT.
- THE PROPOSED PROJECT INVOLVES THE FOLLOWING CONSTRUCTION:
 - CLEARING, GRUBBING, AND GRADING OF EXISTING LOT.
 - CONSTRUCTION OF 7,434 GROUND MOUNTED SOLAR PANELS AND ASSOCIATED EQUIPMENT.
 - THE STABILIZATION OF DISTURBED AREAS WITH PERMANENT VEGETATIVE TREATMENTS.
- FOR THIS PROJECT, THERE ARE APPROXIMATELY 10.85± ACRE OF THE SITE BEING DISTURBED WITH NEGLIGIBLE INCREASE IN THE IMPERVIOUS AREA OF THE SITE, AS ALL ACCESS THROUGH THE SITE WILL BE GRAVEL. IMPERVIOUS AREAS ARE LIMITED TO THE CONCRETE PADS FOR ELECTRICAL EQUIPMENT.
- THE PROJECT SITE, AS MAPPED IN THE SOIL SURVEY OF STATE OF CONNECTICUT (NRCS, VERSION 30, JUN 9, 2020), CONTAINS TYPE 20A, 30B, 77C (HYDROLOGIC SOIL GROUP B), 40B, 69B, AND 69C (HYDROLOGIC SOIL GROUP C). A GEOTECHNICAL ENGINEERING REPORT HAS NOT BEEN COMPLETED.
- IT IS ANTICIPATED THAT CONSTRUCTION WILL BE COMPLETED IN APPROXIMATELY 3-4 MONTHS.
- REFER TO THE CONSTRUCTION SEQUENCING AND EROSION AND SEDIMENTATION NOTES FOR INFORMATION REGARDING SEQUENCING OF MAJOR OPERATIONS IN THE ON-SITE CONSTRUCTION PHASES.
- STORMWATER MANAGEMENT DESIGN CRITERIA UTILIZES THE APPLICABLE SECTIONS OF THE 2004 CONNECTICUT STORMWATER QUALITY MANUAL AND THE TOWN OF DURHAM STANDARDS, TO THE EXTENT POSSIBLE AND PRACTICABLE FOR THIS PROJECT ON THIS SITE. EROSION AND SEDIMENTATION MEASURES ARE BASED UPON ENGINEERING PRACTICE, JUDGEMENT AND THE APPLICABLE SECTIONS OF THE CONNECTICUT EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, LATEST EDITION.
- DETAILS FOR THE TYPICAL STORMWATER MANAGEMENT AND EROSION AND SEDIMENTATION MEASURES ARE SHOWN ON THE PLAN SHEETS OR PROVIDED AS SEPARATE SUPPORT DOCUMENTATION FOR REVIEW IN THIS PLAN.
- CONSERVATION PRACTICES TO BE USED DURING CONSTRUCTION:
 - STAGED CONSTRUCTION.
 - MINIMIZE THE DISTURBED AREAS TO THE EXTENT PRACTICABLE DURING CONSTRUCTION.
 - STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT MEASURES AS SOON AS POSSIBLE, BUT NO LATER THAN 7-DAYS FOLLOWING DISTURBANCE.
 - MINIMIZE IMPERVIOUS AREAS.
 - UTILIZE APPROPRIATE CONSTRUCTION EROSION AND SEDIMENTATION MEASURES.
- THE FOLLOWING SEPARATE DOCUMENTS ARE TO BE CONSIDERED A PART OF THE EROSION AND SEDIMENTATION PLAN:
 - STORMWATER MANAGEMENT REPORT DATED APRIL 2021.
 - SWPCP DATED JUNE 2021.

SUGGESTED CONSTRUCTION SEQUENCE

THE FOLLOWING SUGGESTED SEQUENCE OF CONSTRUCTION ACTIVITIES IS PROJECTED BASED UPON ENGINEERING JUDGEMENT AND BEST MANAGEMENT PRACTICES. THE CONTRACTOR MAY ELECT TO ALTER THE SEQUENCING TO BEST MEET THE CONSTRUCTION SCHEDULE, THE EXISTING SITE ACTIVITIES AND WEATHER CONDITIONS. SHOULD THE CONTRACTOR ALTER THE CONSTRUCTION SEQUENCE OR ANY EROSION AND SEDIMENTATION CONTROL MEASURES THEY SHALL MODIFY THE STORMWATER POLLUTION CONTROL PLAN ("SWPCP") AS REQUIRED BY THE GENERAL PERMIT. MAJOR CHANGES IN SEQUENCING AND/OR METHODS MAY REQUIRE REGULATORY APPROVAL PRIOR TO IMPLEMENTATION.

- THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING. PHYSICALLY FLAG THE LIMITS OF DISTURBANCE IN THE FIELD AS NECESSARY TO FACILITATE THE PRE-CONSTRUCTION MEETING.
- CONDUCT A PRE-CONSTRUCTION MEETING TO DISCUSS THE PROPOSED WORK AND EROSION AND SEDIMENTATION CONTROL MEASURES. THE MEETING SHOULD BE ATTENDED BY THE OWNER, THE OWNER'S REPRESENTATIVE(S), THE GENERAL CONTRACTOR, DESIGNATED SUB-CONTRACTORS AND THE PERSON, OR PERSONS, RESPONSIBLE FOR THE IMPLEMENTATION, OPERATION, MONITORING AND MAINTENANCE OF THE EROSION AND SEDIMENTATION MEASURES. THE CONSTRUCTION PROCEDURES FOR THE ENTIRE PROJECT SHALL BE REVIEWED AT THIS MEETING.
- NOTIFY CALL BEFORE YOU DIG AT 811, AS REQUIRED, PRIOR TO THE START OF CONSTRUCTION.

PHASE 1

- REMOVE EXISTING IMPEDIMENTS AS NECESSARY AND PROVIDE MINIMAL CLEARING AND GRUBBING TO INSTALL THE REQUIRED CONSTRUCTION ENTRANCES/S.
- CLEAR ONLY AS NEEDED TO INSTALL THE PERIMETER EROSION AND SEDIMENTATION CONTROL MEASURES AND, IF APPLICABLE, TREE PROTECTION. ALL WETLAND AREAS SHALL BE PROTECTED BEFORE MAJOR CONSTRUCTION BEGINS.
- INSTALL PERIMETER EROSION CONTROL.
- INSTALL PERMANENT DIVERSION SWALES AND LEVEL SPREADERS FOR THE OFF-SITE CULVERT DRAINAGE ACROSS JOHNSON LANE.
- INSTALL TEMPORARY COMPOST FILTER SOCK SEDIMENT TRAPS.

PHASE 2

- UPON COMPLETION OF THE INSTALLATION OF THE PERMANENT DIVERSION SWALES AND LEVEL SPREADERS, THE REMAINING ARRAY AREA CLEARING AND GRUBBING CAN BE COMPLETED AS REQUIRED. REMOVE CUT WOOD AND STOCKPILE FOR FUTURE USE OR REMOVE OFF-SITE. REMOVE AND DISPOSE OF DEMOLITION DEBRIS OFF-SITE IN ACCORDANCE WITH APPLICABLE LAWS. INSTALL EROSION AND SEDIMENT CONTROL MEASURES INTERNAL TO THE SITE AS SHOWN ON EC-4.
- TEMPORARILY SEED DISTURBED AREAS NOT UNDER CONSTRUCTION FOR THIRTY (30) DAYS OR MORE.
- INSTALL CONCRETE EQUIPMENT PADS AND CONDUITS PROTECTED BY THESE CONTROLS.
- INSTALL REMAINING ELECTRICAL CONDUIT.
- INSTALL RACKING POSTS FOR GROUND MOUNTED SOLAR PANELS.
- INSTALL GROUND MOUNTED SOLAR PANELS AND COMPLETE ELECTRICAL INSTALLATION.
- AFTER SUBSTANTIAL COMPLETION OF THE INSTALLATION OF THE SOLAR PANELS, INSTALL PERMANENT GRASS LINED WATER QUALITY BASIN AND COMPLETE REMAINING SITE WORK, INCLUDING ANY REQUIRED LANDSCAPE SCREENING, AND STABILIZE ALL DISTURBED AREAS.
- FINE GRADE, RAKE, SEED AND MULCH ALL REMAINING DISTURBED AREAS.
- AFTER THE SITE IS STABILIZED AND WITH THE APPROVAL OF THE PERMITTEE AND TOWN OF DURHAM AGENT, REMOVE PERIMETER EROSION AND SEDIMENTATION CONTROLS.

CONSTRUCTION OPERATION AND MAINTENANCE PLAN - BY CONTRACTOR		
E&S MEASURE	INSPECTION SCHEDULE	MAINTENANCE REQUIRED
CONSTRUCTION ENTRANCE	DAILY	PLACE ADDITIONAL STONE, EXTEND THE LENGTH OR REMOVE AND REPLACE THE STONE. CLEAN PAVED SURFACES OF TRACKED SEDIMENT.
COMPOST FILTER SOCK	WEEKLY & WITHIN 24 HOURS OF RAINFALL > 0.25"	REPAIR/REPLACE WHEN FAILURE OR DETERIORATION IS OBSERVED.
SILT FENCE	WEEKLY & WITHIN 24 HOURS OF RAINFALL > 0.25"	REPAIR/REPLACE WHEN FAILURE OR DETERIORATION IS OBSERVED. REMOVE SILT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.
TOPSOIL/BORROW STOCKPILES	DAILY	REPAIR/REPLACE SEDIMENT BARRIERS AS NECESSARY.
TEMPORARY SEDIMENT TRAP	WEEKLY & WITHIN 24 HOURS OF RAINFALL > 0.5"	REMOVE SEDIMENT ONCE IT HAS ACCUMULATED TO ONE HALF OF MINIMUM REQUIRED VOLUME OF THE WET STORAGE. DEWATERING AS NEEDED. RESTORE TRAP TO ORIGINAL DIMENSIONS. REPAIR/REPLACE BAFFLES WHEN FAILURE OR DETERIORATION IS OBSERVED.
TEMPORARY SOIL PROTECTION	WEEKLY & WITHIN 24 HOURS OF RAINFALL > 0.25"	REPAIR ERODED OR BARE AREAS IMMEDIATELY. RESEED AND MULCH.



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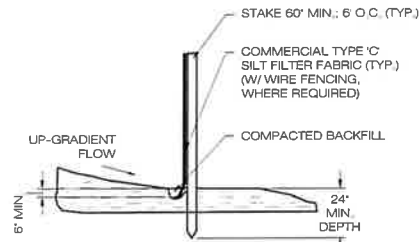
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DATE: 06/07/21 CHECKED BY: KAM

SHEET TITLE: SEDIMENTATION & EROSION CONTROL NOTES

SHEET NUMBER:

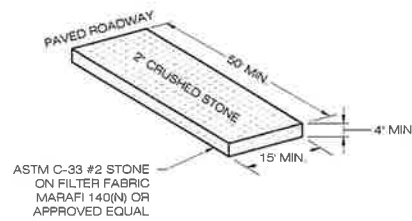
EC-1



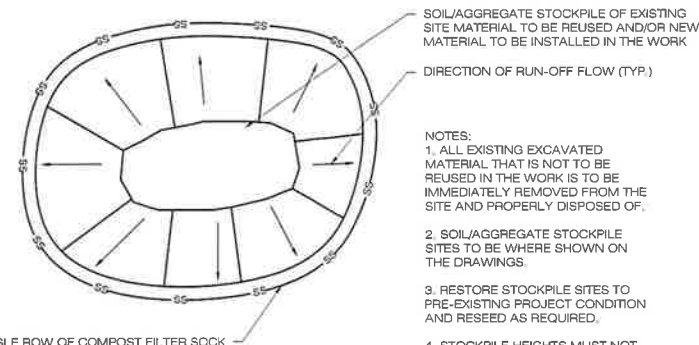


NOTE:
SILT FENCE SHALL BE LAPPED ONLY
WHEN NECESSARY PER THE
MANUFACTURER RECOMMENDATIONS.

1 SILT FENCE DETAIL
EC-2 SCALE: N.T.S.

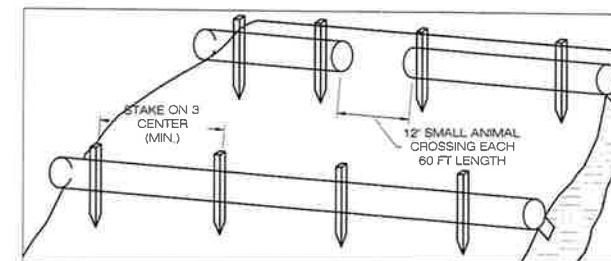


2 CONSTRUCTION ENTRANCE DETAIL
EC-2 SCALE: N.T.S.



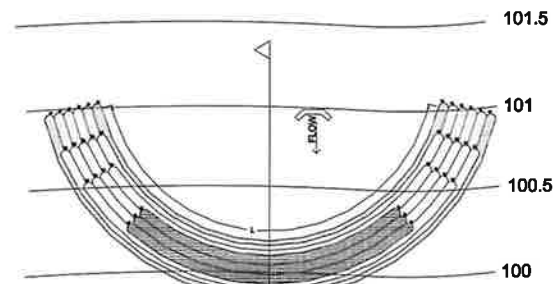
NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

3 MATERIALS STOCKPILE DETAIL
EC-2 SCALE: N.T.S.



1. BEGIN AT THE LOCATION WHERE THE SOCK IS TO BE INSTALLED BY EXCAVATING A 2'-3" (5-7.5 CM) DEEP X 9' (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE SOCK IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE SOCK ON THE UPHILL SIDE. SOCKS SHALL BE INSTALLED IN 60 FT CONTINUOUS LENGTHS WITH ADJACENT SOCKS TIGHTLY ABUT. EVERY 60 FT THE SOCK ROW SHALL BE SPACED 12 INCHES CLEAR, END TO END, FOR AMPHIBIAN AND REPTILE TRAVEL. THE OPEN SPACES SHALL BE STAGGERED MID LENGTH OF THE NEXT DOWN GRADIENT SOCK.
3. SECURE THE SOCK WITH 18-24" (45.7-61 CM) STAKES EVERY 3'-4" (0.9-1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE SOCK LEAVING AT LEAST 2'-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE SOCK. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.

4 COMPOST FILTER SOCK SEDIMENTATION CONTROL BARRIER
EC-2 SCALE: N.T.S.



12" DIAMETER FILTREXX® SOCK™ (ALSO AVAILABLE IN 8", 10", 24" AND 32" DIAMETERS)

PLAN

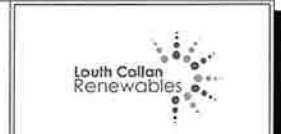
- Filtrexx® Sediment Trap must be installed by Filtrexx Certified Installer.
- Filtrexx® Sediment Trap must comply with all Filtrexx Standard Specifications.
- Filtrexx® Sediment Trap must use Filtrexx FilterMedia™.
- Filtrexx® Sediment Trap barrier face setting shall use CR-1000 (per sq ft of area face) = A (CR-1000/face/ft²).
- Filtrexx® Sediment Trap barrier face shall be measured as A x L x D.
- Filtrexx® Sediment Trap shall be constructed so that the minimum berm width is equivalent to the height (H:W).
- Sediment accumulation shall not exceed 1/2 the height of the barrier.
- Filtrexx® Sediment Trap shall be inspected and maintained after storm events.
- Sox™ shall be of larger diameter at the base of the Sediment Trap and decrease in diameter for successive layers.
- End of the Sediment Trap shall be a minimum 1 ft (30 cm) higher in elevation than the mid-section, which shall be at the lowest elevation.
- Bottom layer of Sox™ shall be staked with 2x2x8" wooden stakes. Successive layers shall be staked with 1/2" rebar at a 45 degree angle.



SECTION

TOP OF BERM ELEVATION TABLE	
TST-1	302.5
TST-2	306.0

5 FILTREXX® SEDIMENT TRAP
EC-2 SCALE: N.T.S.



ALL-POINTS TECHNOLOGY CORPORATION
567 VAUXHALL STREET EXTENSION - SUITE 311
WATERFORD, CT 06385 PHONE: (860) 663-1697
WWW.ALLPOINTSTECH.COM FAX: (860) 663-0935

CSC PERMIT SET		
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0	06/07/21	FOR REVIEW: KAM
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DESIGN PROFESSIONAL OF RECORD
PROF: KEVIN A. MCCAFFERY, P.E.
COMP: ALL-POINTS TECHNOLOGY CORPORATION, P.C.
ADD: 567 VAUXHALL STREET EXTENSION - SUITE 311 WATERFORD, CT 06385
OWNER: NEWTON FAMILY TRUST CO
ADDRESS: 1279 ARBUTUS ST DURHAM, CT 06422

HADDAM QUARTER SOLAR, LLC
SITE JOHNSON LANE
ADDRESS: DURHAM, CT
APT FILING NUMBER: CT671100
DRAWN BY: JT
DATE: 06/07/21 CHECKED BY: KAM

SHEET TITLE:
SEDIMENTATION & EROSION CONTROL DETAILS

SHEET NUMBER:
EC-2



ALL-POINTS TECHNOLOGY CORPORATION
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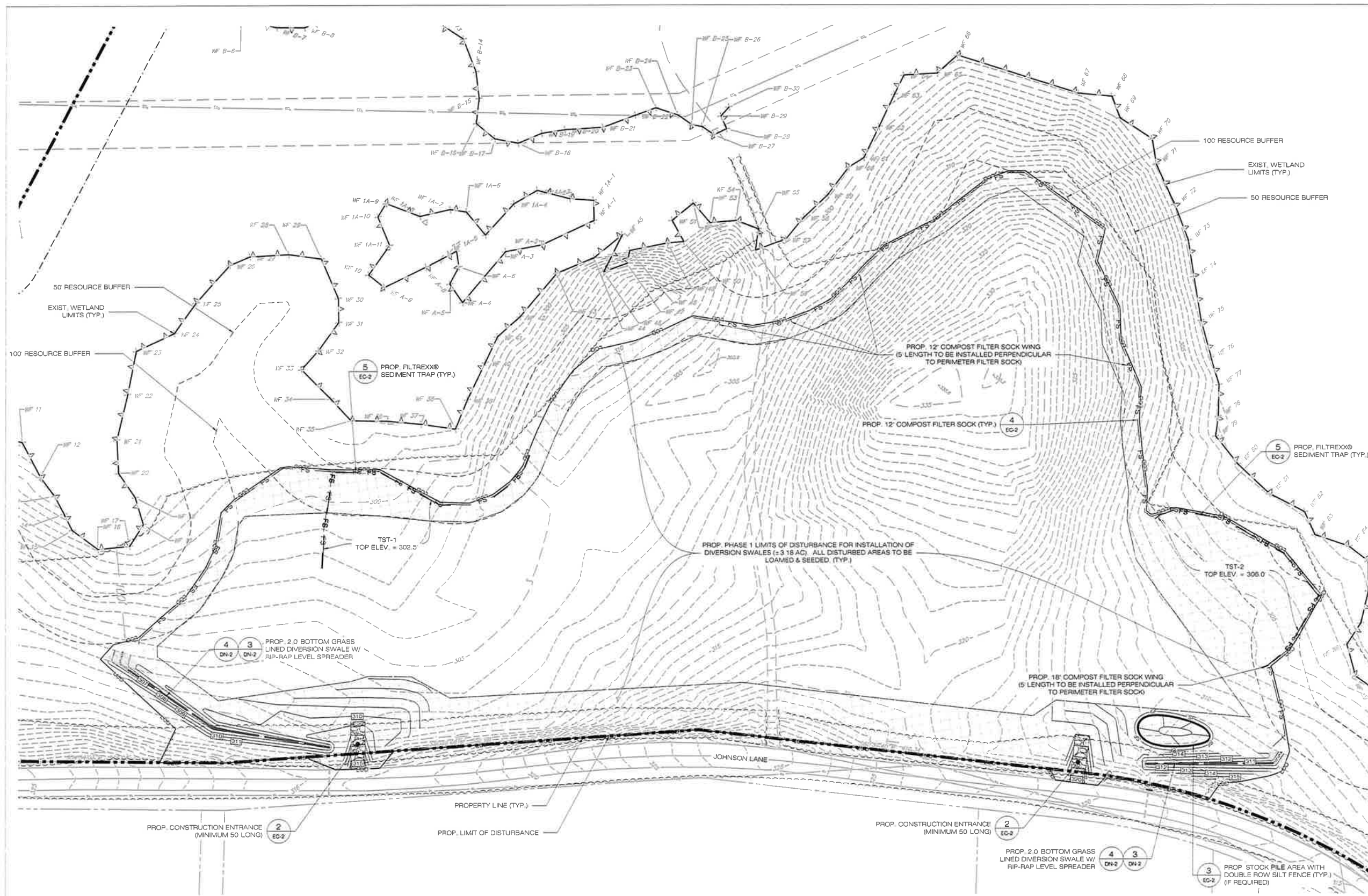
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 ADDRESS: DURHAM, CT
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SHEET TITLE:
**PHASE 1
 SEDIMENTATION &
 EROSION CONTROL PLAN**

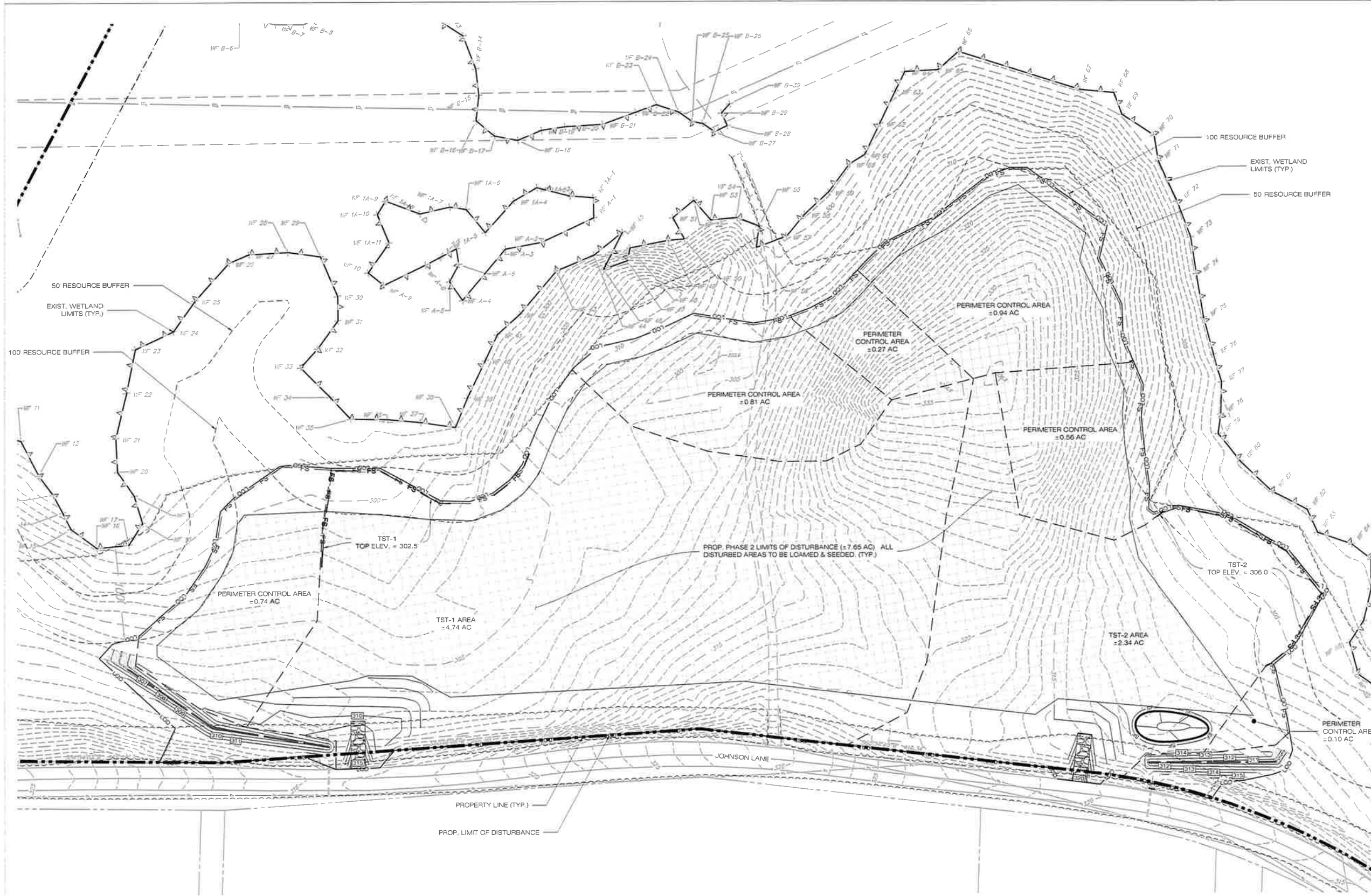
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EC-3



PHASE 1 CLEARING LEGEND
 CLEARING AND GRUBBING

1 PHASE 1 - SEDIMENTATION & EROSION CONTROL PLAN
 SCALE: 1" = 50'-0"





PHASE 2 LEGEND
 LIMITS OF WORK
 (NO CLEARING IS REQUIRED)

1 PHASE 2 - SEDIMENTATION & EROSION CONTROL PLAN
 EC-4 SCALE: 1" = 50'-0"



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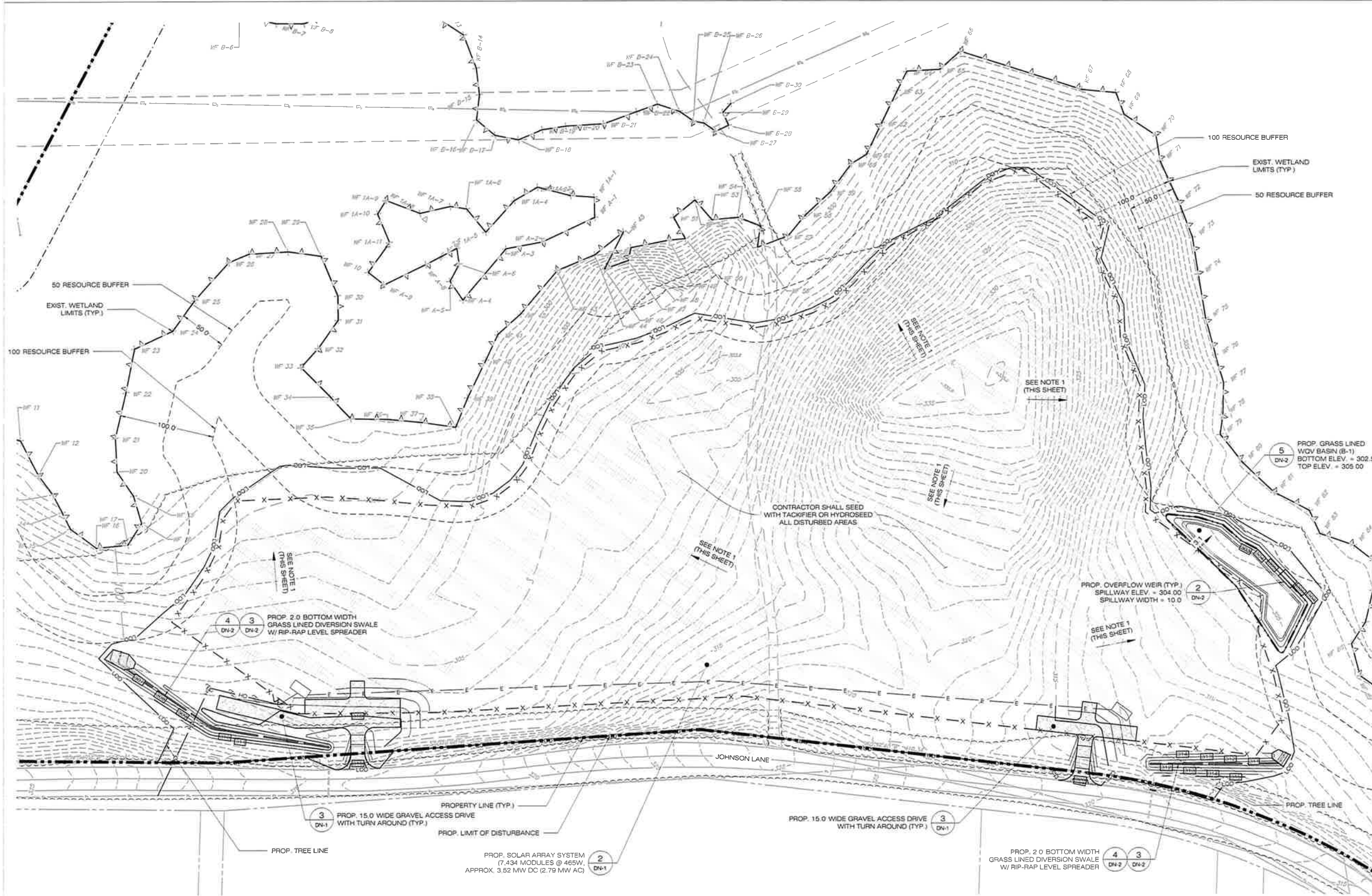
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 ADDRESS: DURHAM, CT
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SHEET TITLE:
PHASE 2 SEDIMENTATION & EROSION CONTROL PLAN

SHEET NUMBER:
EC-4





NOTES:
 1 GRADE/SHAPE AREA TO MAINTAIN EXIST. DRAINAGE PATTERNS.

1 FINAL GRADING & DRAINAGE PLAN
 GD-1 SCALE: 1" = 60'-0"
 (IN FEET) 1 inch = 50 ft





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SHEET TITLE:
FINAL GRADING & DRAINAGE PLAN

SHEET NUMBER:
GD-1





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 ADDRESS: DURHAM, CT

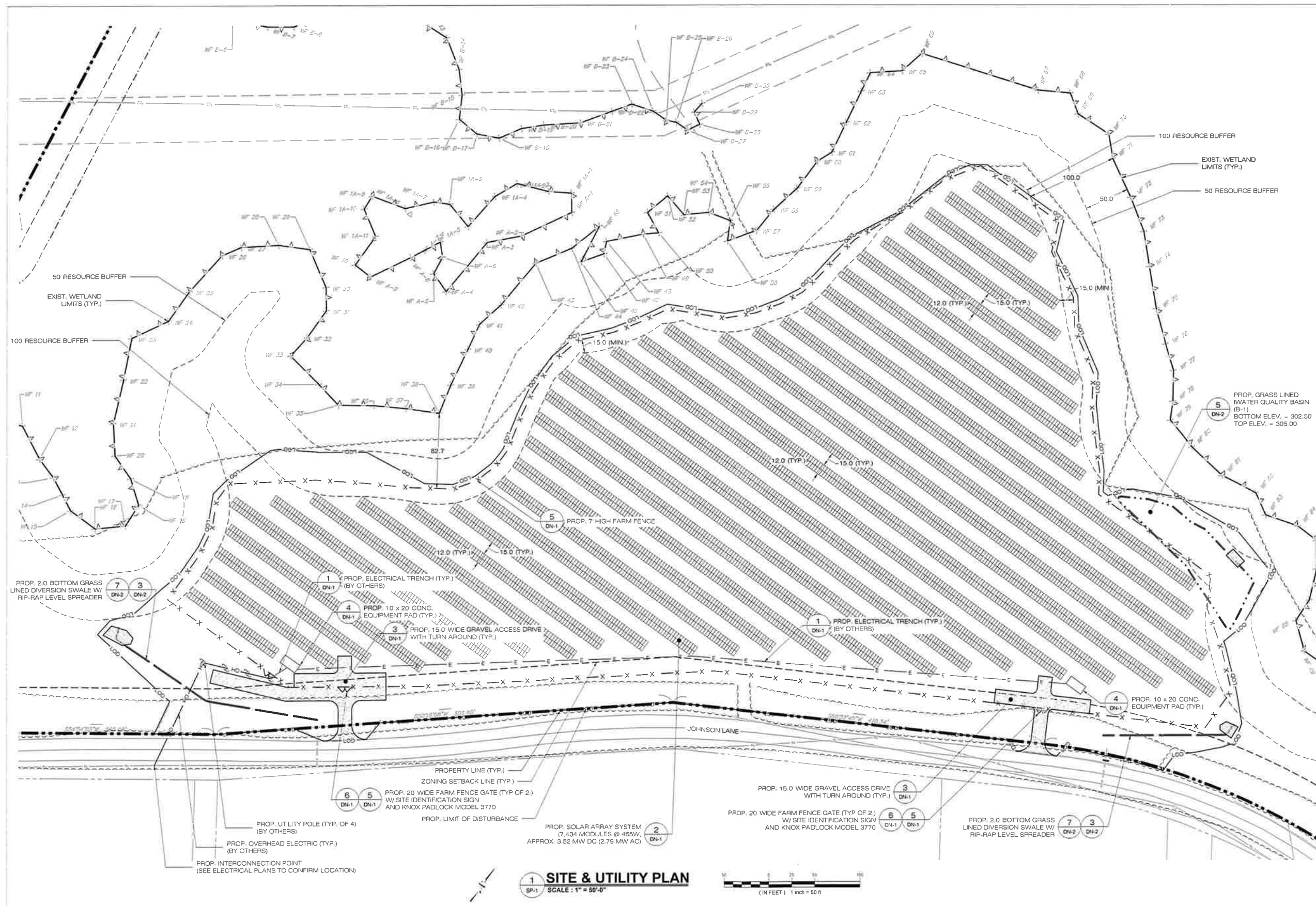
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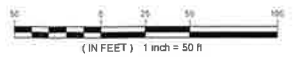
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**SHEET TITLE:
 SITE & UTILITY PLAN**

SHEET NUMBER:
SP-1

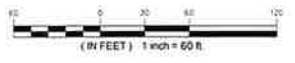


1 SITE & UTILITY PLAN
 SCALE: 1" = 50'-0"





1 LANDSCAPE PLAN
 LP-1 SCALE: 1" = 60'-0"



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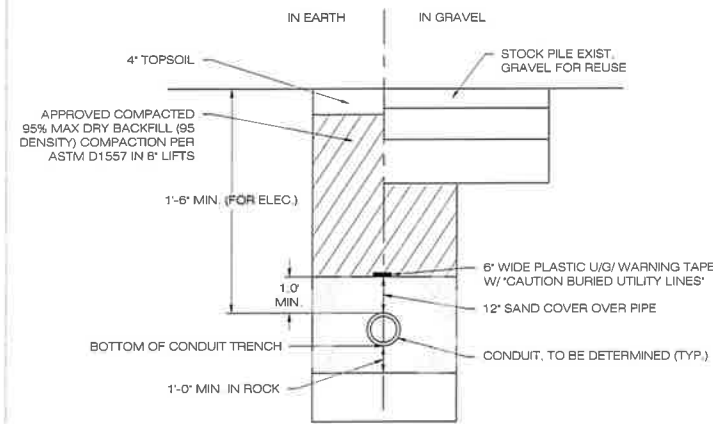
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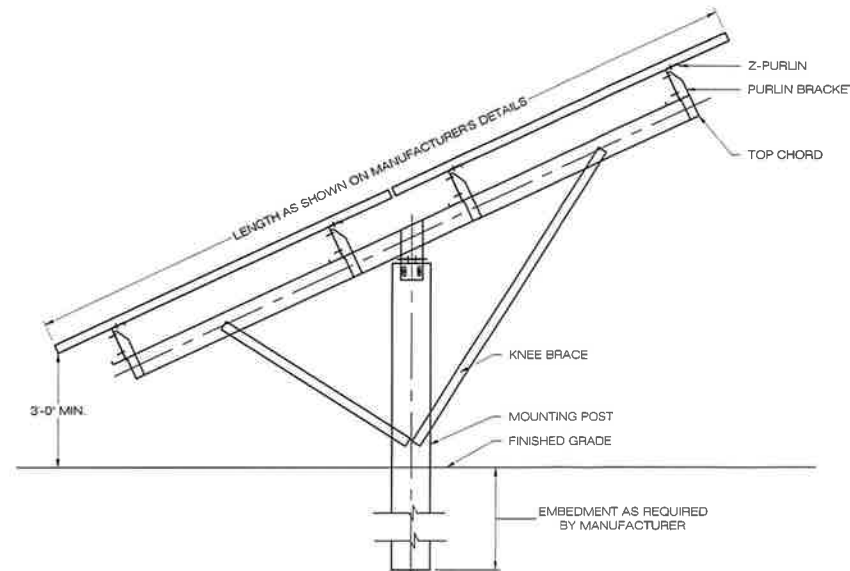
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LANDSCAPE PLAN

SHEET NUMBER:
LP-1

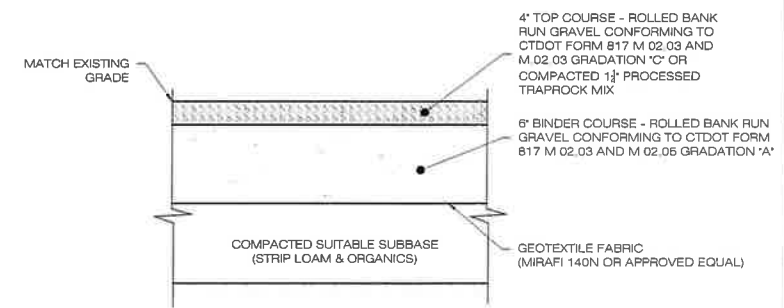




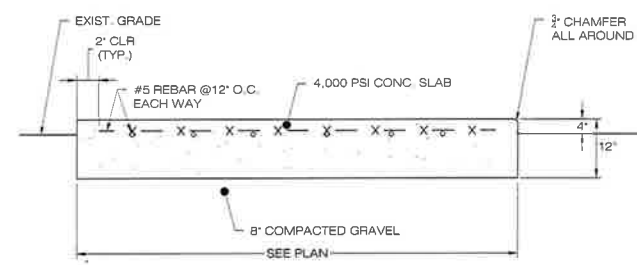
1 ELECTRICAL TRENCH DETAIL
DN-1 SCALE : N.T.S.



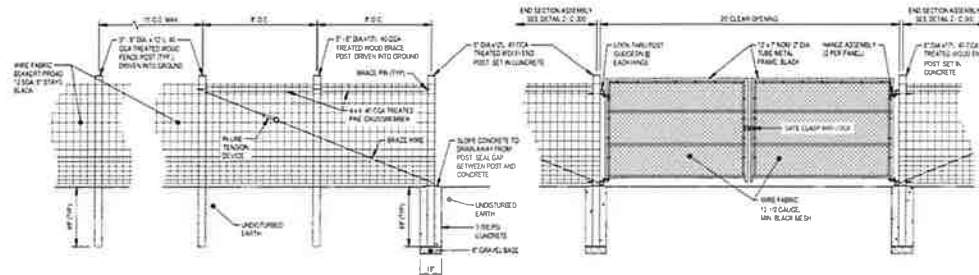
2 TYPICAL POST MOUNTED RACKING SYSTEM
DN-1 SCALE : N.T.S.



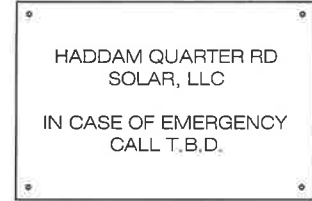
3 GRAVEL ACCESS DRIVE SECTION
DN-1 SCALE : N.T.S.



4 CONCRETE EQUIPMENT PAD
DN-1 SCALE : N.T.S.



5 FARM FENCE & GATE DETAIL
DN-1 SCALE : N.T.S.



6 NOTIFICATION SIGN DETAIL
DN-1 SCALE : N.T.S.



Ernst Conservation Seeds
8884 Mercer Pike
Meadville, PA 16335
(800) 873-3321 Fax (814) 336-5191
www.ernstseed.com

Date: March 01, 2021

Ernst Solar Farm Seed Mix - ERNMX-186

Botanical Name	Common Name	Price/lb
45.50 % <i>Festuca rubra</i>	Crooping Red Fescue	2.20
15.00 % <i>Festuca ovina</i> var. <i>dimorpha</i> , 'Jenny'	Hard Fescue, 'Jenny'	3.52
15.00 % <i>Festuca ovina</i> var. <i>dimorpha</i> , 'Gladiator'	Hard Fescue, 'Gladiator'	3.52
10.00 % <i>Festuca rubra</i> ssp. <i>commutata</i>	Cheewings Fescue	2.70
5.00 % <i>Poa pratensis</i> , 'Sehwy'	Kentucky Bluegrass, 'Sehwy'	3.68
5.00 % <i>Poa pratensis</i> , 'Appalachian'	Kentucky Bluegrass, 'Appalachian'	3.68
4.50 % <i>Trifolium repens</i> , 'Dutch'	White Clover, 'Dutch'	4.64

100.00 % Mix Price/lb Bulk: \$2.85
Seeding Rate: 6 lb per 1,000 sq ft
Lawn & Turfgrass Sites; Solar Sites

Provide a 2' clearance between the ground and the solar panels. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

7 ERNST SOLAR FARM SEED MIX
DN-1 SCALE : N.T.S.

Louth Callan Renewables

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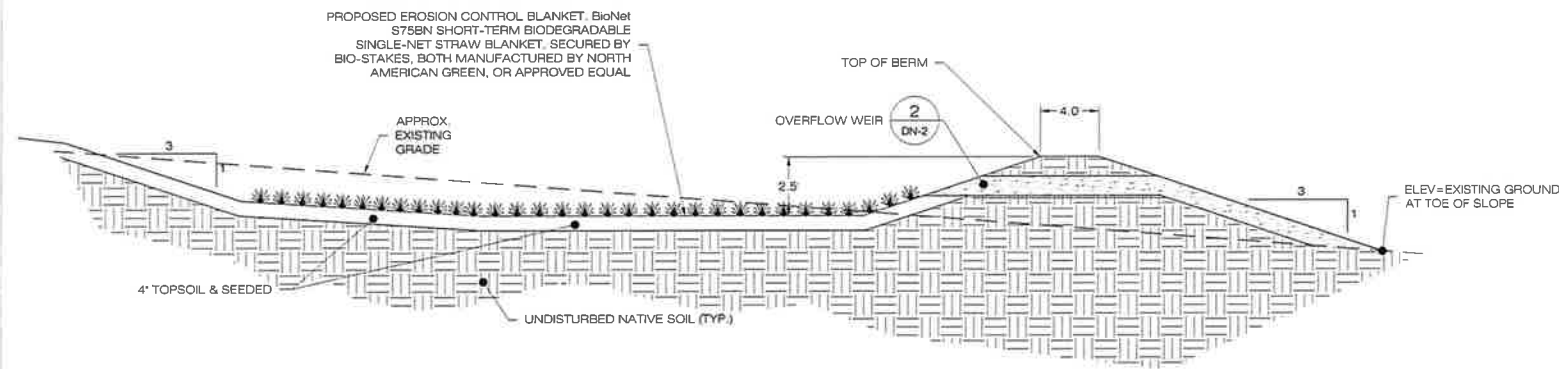
DESIGN PROFESSIONAL OF RECORD
PROF: KEVIN A. MCCAFFERY, P.E.
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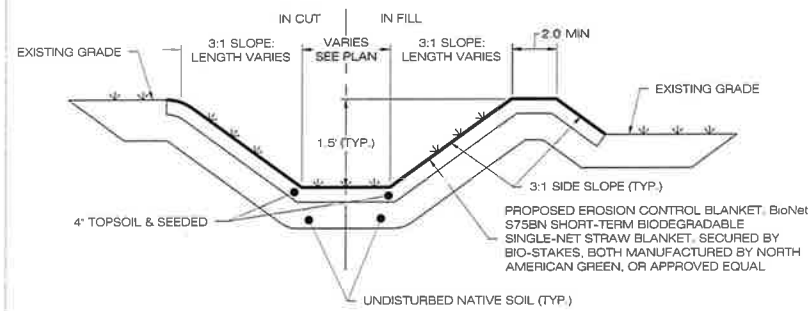
HADDAM QUARTER SOLAR, LLC
SITE JOHNSON LANE
ADDRESS: DURHAM, CT
APT FILING NUMBER: CT671100
DRAWN BY: JT
DATE: 06/07/21 CHECKED BY: KAM

SHEET TITLE:
SITE DETAILS

SHEET NUMBER:
DN-1

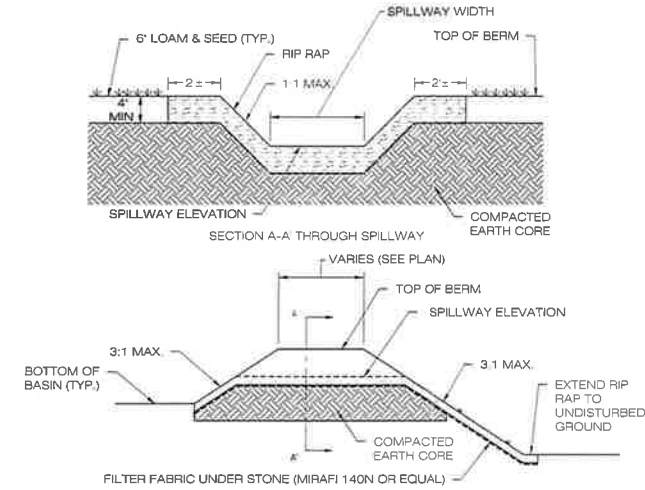


1 GRASS LINED WATER QUALITY BASIN
DN-2 SCALE: N.T.S.



NOTES:
1. IF DEPTH VARIES FROM 1.5', SEE PLAN CALLOUTS.

3 GRASS LINED SWALE
DN-2 SCALE: N.T.S.



2 OVERFLOW WEIR DETAIL
DN-2 SCALE: N.T.S.



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SHEET TITLE:

SITE DETAILS

SHEET NUMBER:

DN-2

