

THE STATE OF CONNECTICUT

DEPARTMENT OF HOUSING (DOH)

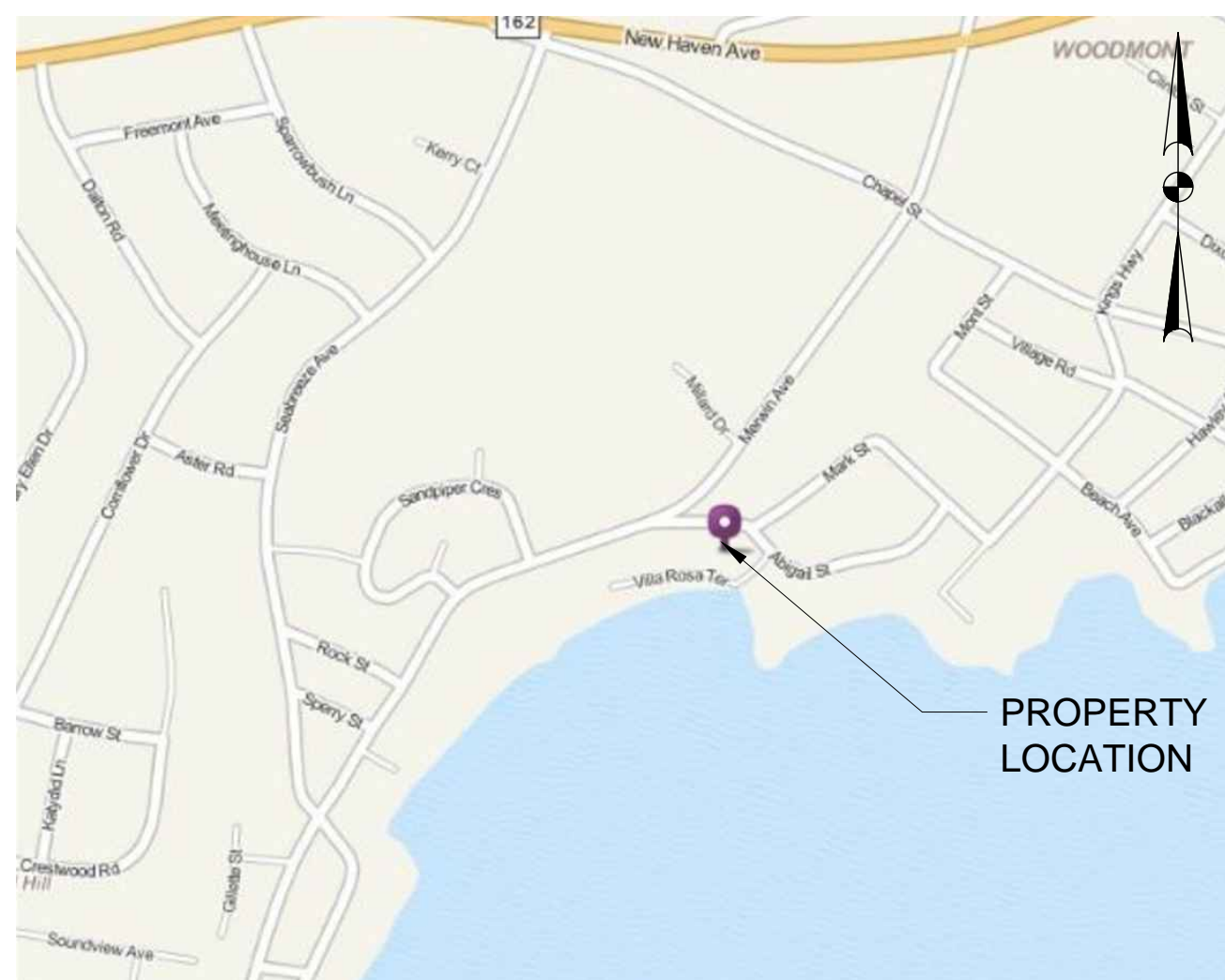
COMMUNITY DEVELOPMENT BLOCK GRANT-DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER-OCCUPIED REHABILITATION AND REBUILDING PROGRAM (OORR) STORM SANDY RELIEF

GOVERNOR DANIEL P. MALLOY

COMMISSIONER OF HOUSING EVONNE M. KLEIN

APPLICATION NO. 1216 4 VILLA ROSA TERRACE (ABIGAIL ST.) MILFORD, CT. 06460 MARCH 13, 2015

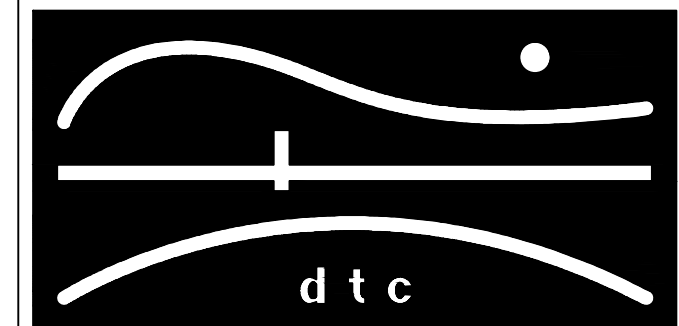


PROJECT LOCATION MAP NTS

DRAWING INDEX	
SHEET NO.	DRAWING TITLE
G-100	COVER SHEET
A-101	BASEMENT, FIRST, & SECOND FLOOR PLANS
A-201	SOUTH & NORTH ELEVATIONS & DETAILS
A-202	WEST & EAST ELEVATIONS & DETAILS
E-001	ELECTRICAL GENERAL NOTES, LEGENDS & ABBREVIATIONS
E-100	ELECTRICAL BASEMENT, FIRST & SECOND FLOOR PLANS

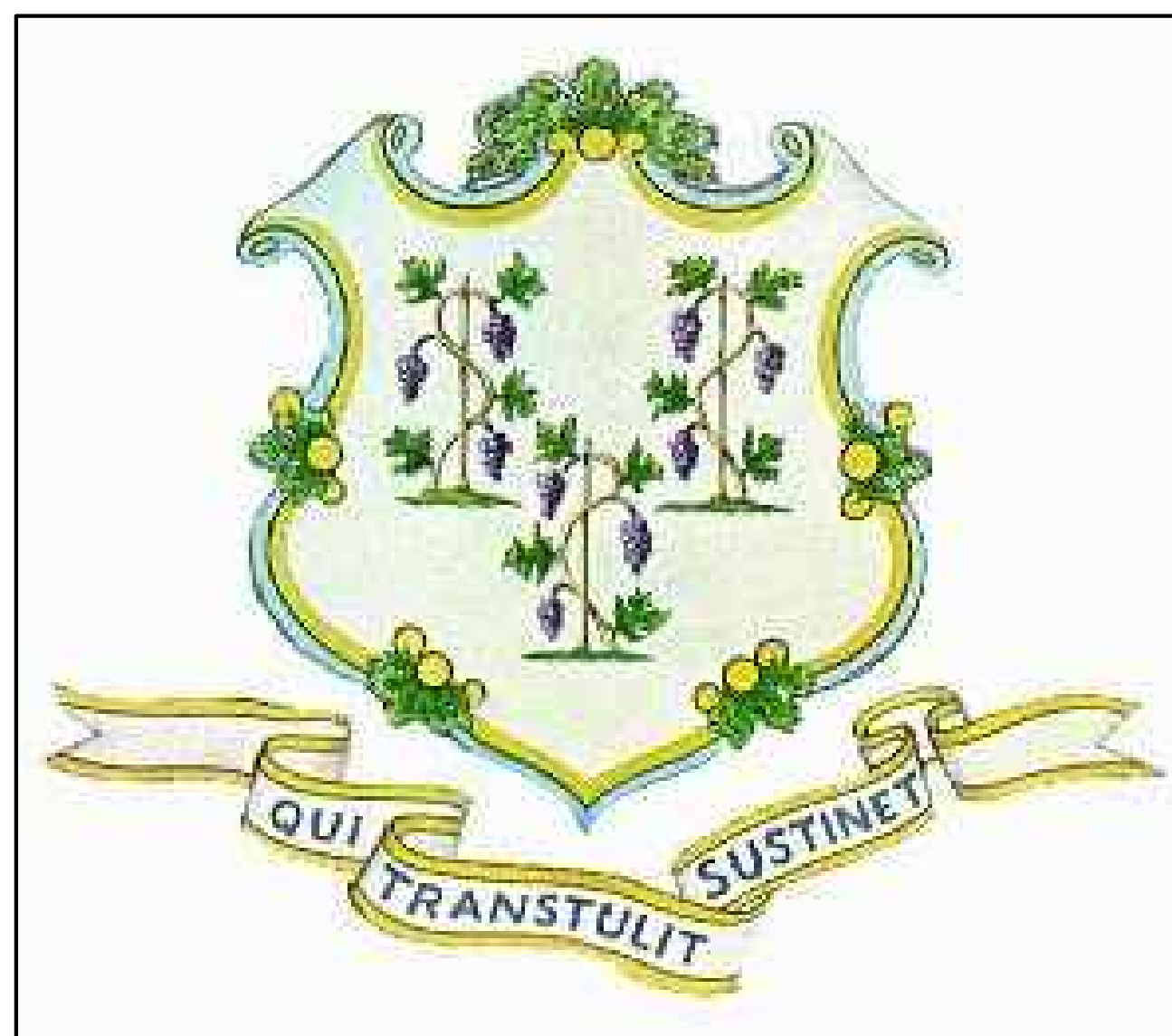
NOTES:

REVISIONS



DIVERSIFIED TECHNOLOGY CONSULTANTS 2321 WHITNEY AVE. HAMDEN CT 06518 203 239 4200 203 234 7376 FAX

OORR APPLICATION NO. 1216 TAMAS RESIDENCE 4 VILLA ROSA TERRACE (ABIGAIL ST.) MILFORD, CT.



COVER SHEET

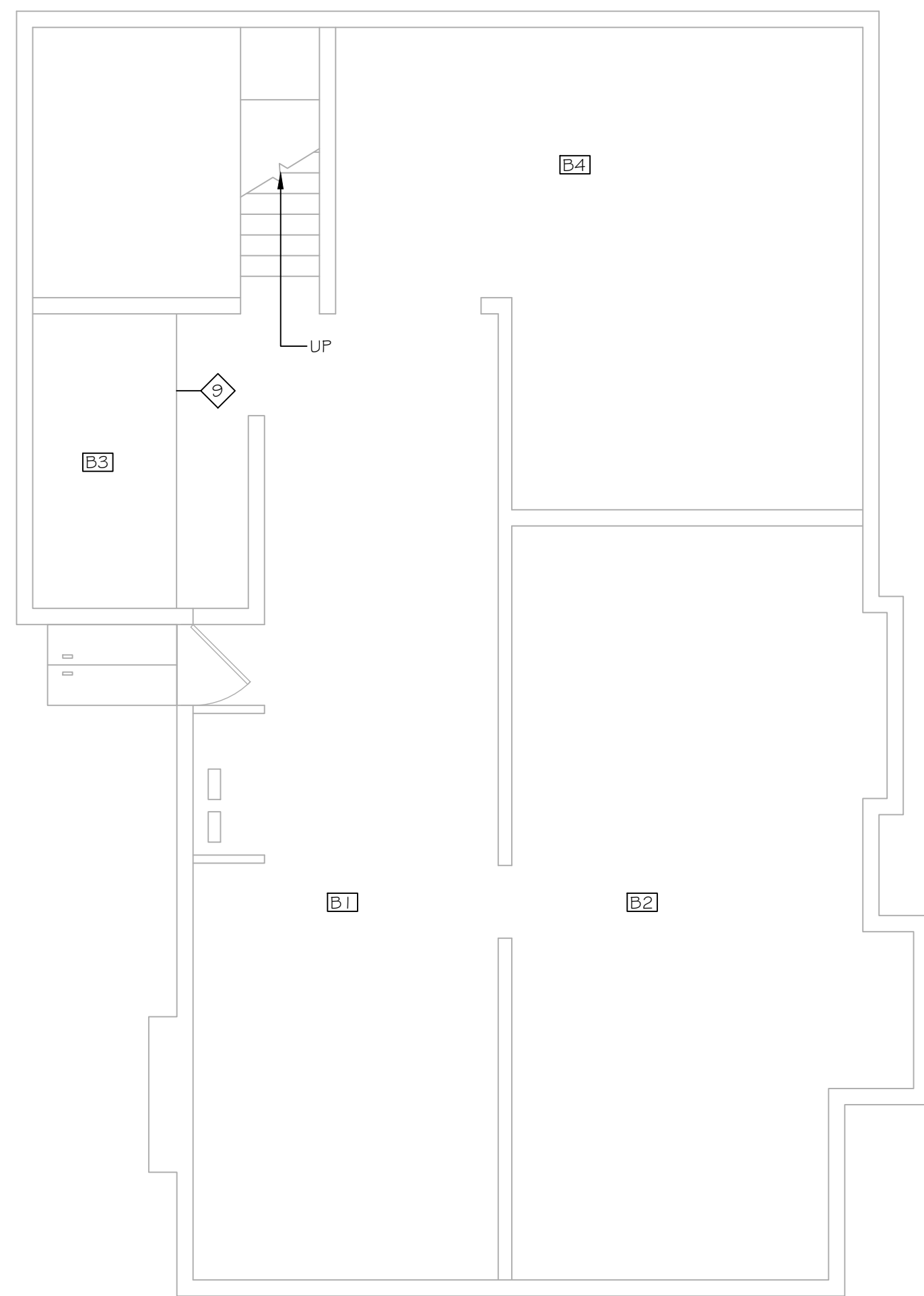
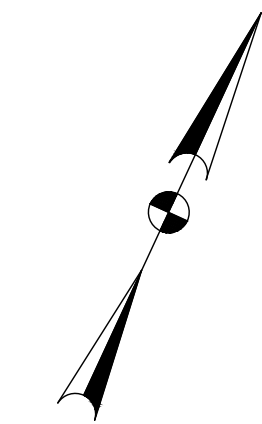
DTC PROJECT NUMBER: 13-449-006 DTC DRAWING FILE: SCALE: DATE: 3/13/2015 DRAWN BY: CHECKED BY:

SHEET: G-100

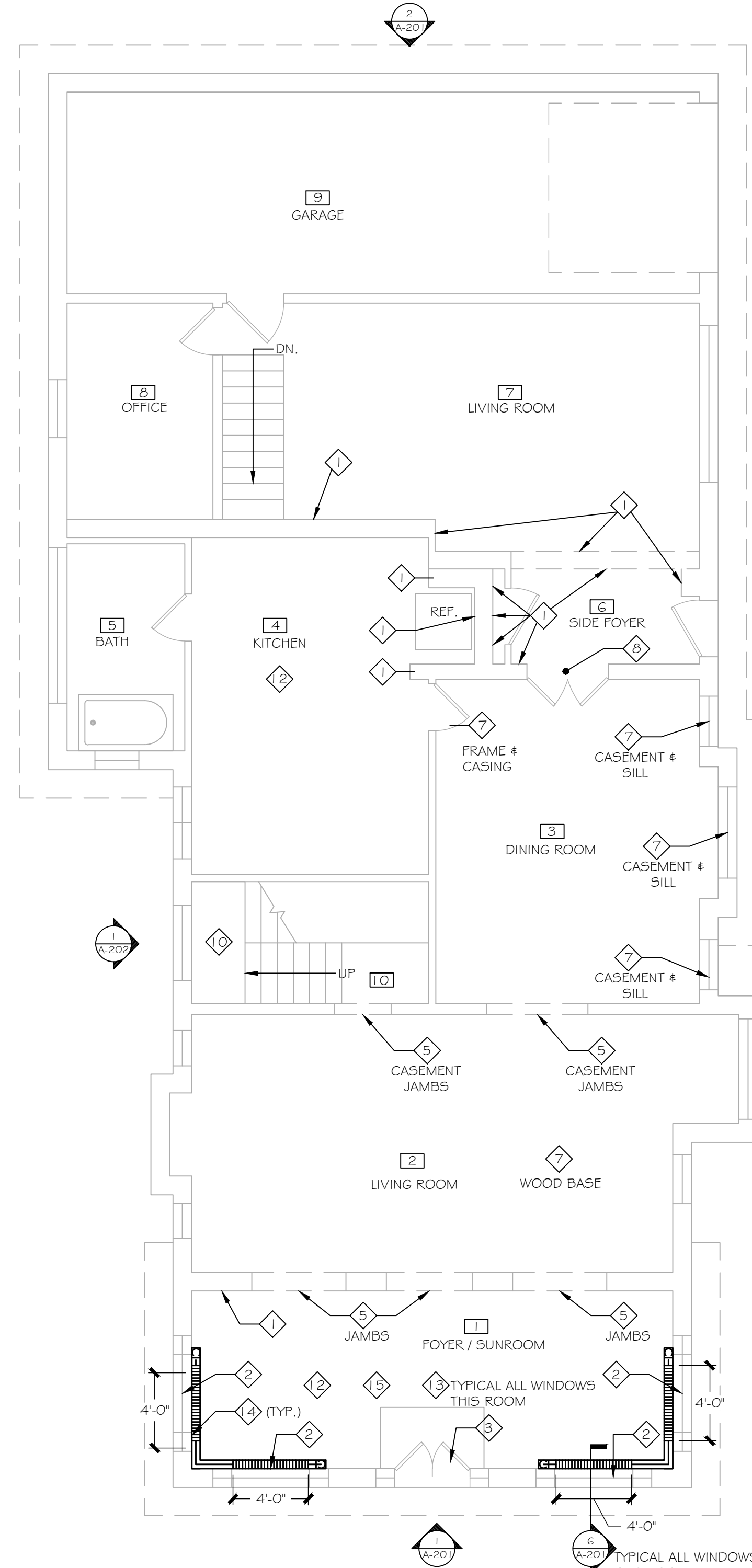
**LEAD REMEDIATION WORK**  
SEE LEAD ABATEMENT SPECIFICATION & REPORTS FOR REQUIREMENTS & SCOPE OF LEAD ABATEMENT WORK.

- |  |   |
|--|---|
| <p>1 LIQUID ENCAPSULATE WHITE PAINTED STUCCO PLASTER WALL.</p> <p>2 INSTALL PLEXIGLASS COVER OVER WINDOW INTERIOR ENCAPSULANT. PAINT ALL WINDOW WOODWORK WITH ENCAPSULATING PAINT INCLUDING EXISTING TRIM TO BE INSTALLED.</p> <p>3 STRIP WHITE PAINTED WOOD JAMBS &amp; ASSOCIATED WOOD ELEMENTS. RESTORE DOORS TO LIKE NEW CONDITION. REPAIR DAMAGED WOOD USING EPOXY WOOD REPLACEMENT SYSTEM SIMILAR TO ABATRON WOOD RESTORATION SYSTEM. PROVIDE NEW WEATHERSTRIPING. RE-USE EXISTING HARDWARE CLEAN &amp; REFURBISH HARDWARE REMOVING ALL LEAD PAINT. RESTORE HARDWARE TO LIKE NEW CONDITION. INSTALL STUCCO SURROUND AT CURVED JAMB.</p> <p>4 REMOVE, REPLACE &amp; FINISH WINDOWS SILL &amp; STOOL. USE NEW TRIM WITH SAME PROFILE AS EXISTING.</p> <p>5 REMOVE, REPLACE LEAD BASED PAINTED ITEMS: WOODEN WINDOW SILLS, CASINGS, OR JAMBS. OR BASE. USE NEW TRIM WITH SAME PROFILE AS EXISTING.</p> <p>6 STRIP DOOR CASING &amp; FRAME.</p> <p>7 STRIP LEAD BASED PAINTS/ STAINS &amp; RE-FINISH. MATCH EXISTING FINISH.</p> <p>8 STRIP DOORS, JAMBS &amp; CASINGS, HARDWARE. RE-FINISH.</p> | <p>9 LIQUID ENCAPSULATE WHITE PAINTED STEEL BEAM.</p> <p>10 STRIP LEAD BASED PAINTS FROM WHITE &amp; OFF WHITE PAINTED WOODEN STAIR RISERS, STRINGERS, BALUSTERS, NEWEL POST.</p> <p>11 REMOVE WINDOW SASHES, FRAMES, SILL, STOOL, &amp; CASEMENT. LIQUID ENCAPSULATE FRAME. PROVIDE NEW DOUBLE HUNG REPLACEMENT WINDOW. PROVIDE NEW WOOD TRIM &amp; FINISH TO MATCH ORIGINAL.</p> <p>12 CLEAN LEAD DUST FROM FLOOR. REPLACE CARPETS.</p> <p>13 CLEAN LEAD DUST FROM WINDOW SILLS AT ALL WINDOWS IN ROOM.</p> <p>14 PROVIDE NEW BASEBOARD COVERS ON HEATING PIPES &amp; NEW FIN. TUBE RADIATION. MATCH EXISTING HOME RADIATORS.</p> <p>15 FOYER/ SUNROOM SCOPE OF WORK</p> <ul style="list-style-type: none"> <li>- DEMOLISH INSULATION &amp; ELECTRICAL.</li> <li>- REPAIR &amp; REFURBISH ENTRY DOORS.</li> <li>- REPAIR FLOOR. REPLACE 15 TILES</li> <li>- NEW STUCCO WINDOW/ DOOR SURROUNDS AT JAMB.</li> <li>- NEW FOAM-IN-PLACE INSULATION. WALLS &amp; CEILING'S.</li> <li>- PROVIDE FURRING FOR CEILING.</li> <li>- NEW DRYWALL-WALLS &amp; CEILING.</li> <li>- NEW RADIATOR COVERS.</li> <li>- NEW ELECTRICAL POWER DISTRIBUTION.</li> <li>- RE-INSTALL CEILING LIGHTS.</li> </ul> |
|--|---|

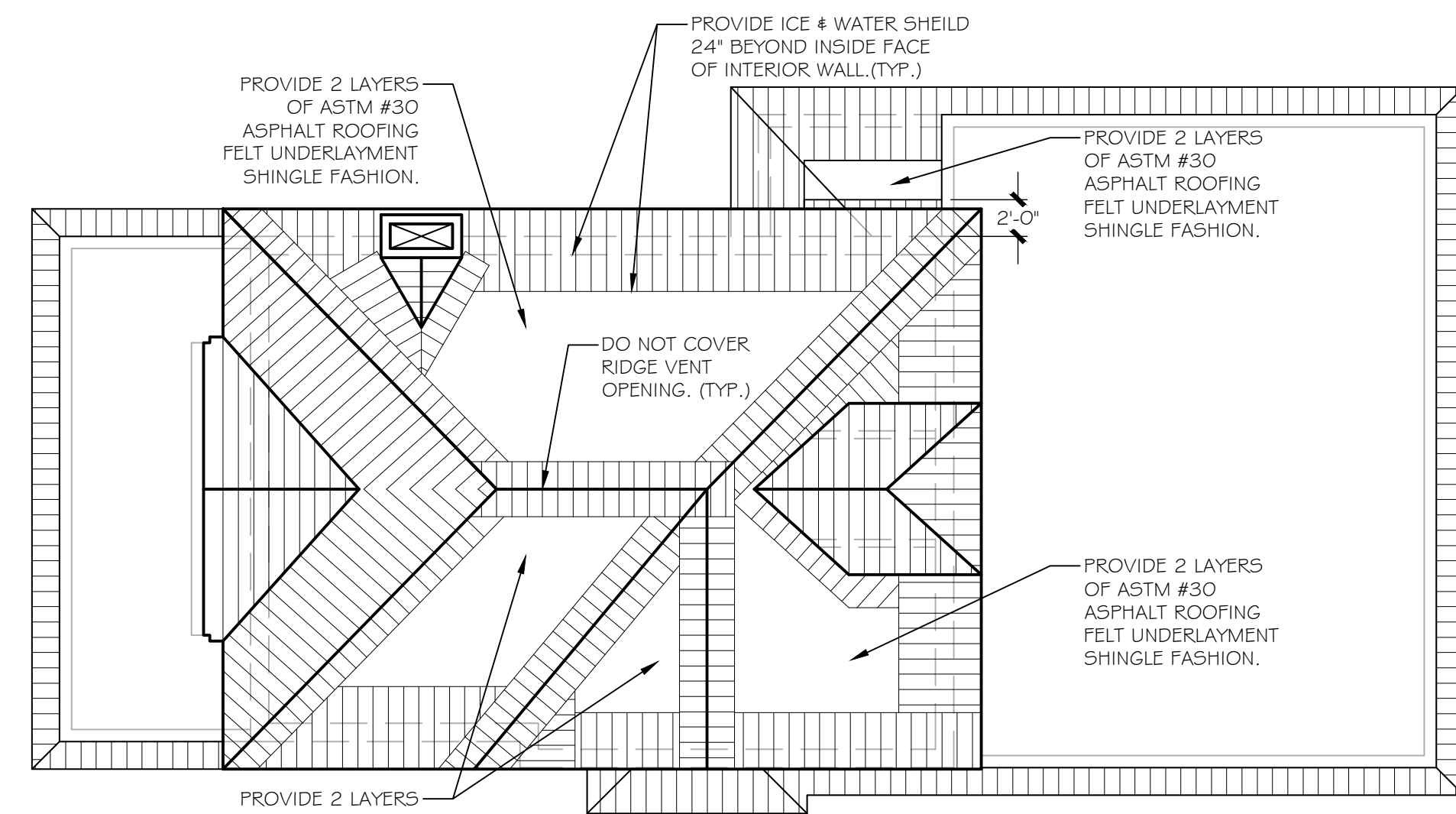
ROOM NAME	FLOOR		BASE		NORTH WALL		EAST WALL		WEST WALL		SOUTH WALL		CEILING		REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
FOYER/ SUNROOM	WOOD/ TILE	2	---	---	STUCCO	1	G.W.B.	PAINT	G.W.B.	PAINT	G.W.B/ STUCCO	PAINT	G.W.B.	PAINT	REPAIR CRACKED/ BROKEN FLOOR TILES, PROVIDE CEILING FURRING STRIPS
LIVING ROOM	---	1	---	---	---	---	---	---	---	---	---	---	---	---	
KITCHEN	CARPET/ TILE	2	---	---	---	---	---	---	---	---	---	---	---	---	
SIDE FOYER	---	1	---	---	STUCCO	1	STUCCO	1	---	---	STUCCO	1	---	---	LIQUID ENCAPSULATE STUCCO WALLS & SOFFITS
2ND FLR. SUNPORCH	---	1	---	---	STUCCO	1	---	---	---	---	---	---	---	---	



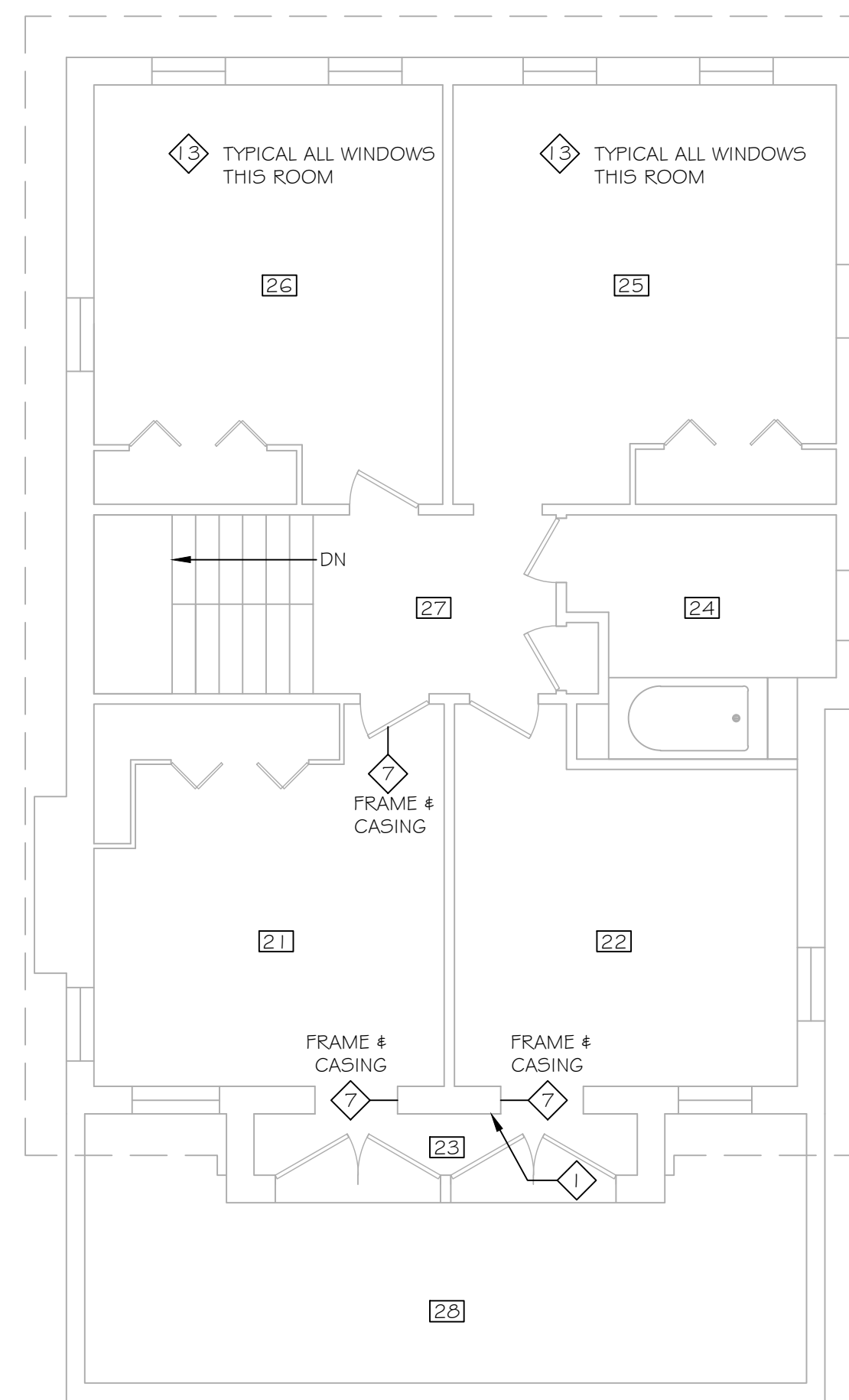
1 BASEMENT FLOOR PLAN  
A-101 SCALE: 3/16" = 1'-0"



2 FIRST FLOOR PLAN  
A-101 SCALE: 3/16" = 1'-0"



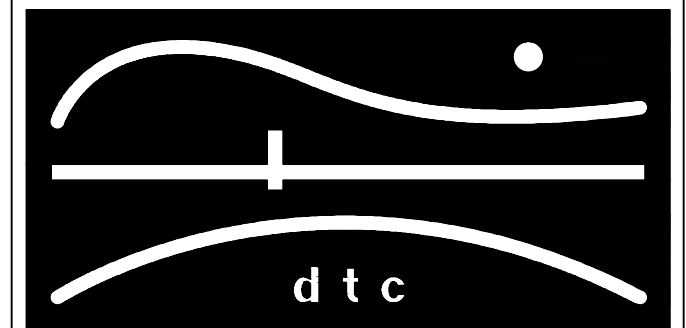
4 ROOF UNDERLAYMENT  
A-101 SCALE: 1/8" = 1'-0"



3 SECOND FLOOR PLAN  
A-101 SCALE: 3/16" = 1'-0"

NOTES:

REVISIONS



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OORR  
APPLICATION NO. 1216  
TAMAS RESIDENCE  
4 VILLA ROSA TERRACE  
(ABIGAIL ST.)  
MILFORD, CT.

BASEMENT, FIRST, &  
SECOND FLOOR  
PLANS

DTC PROJECT NUMBER: 13-449-006  
DTC DRAWING FILE:  
SCALE: VARIES DRAWN BY: REM  
DATE: 3/13/2015 CHECKED BY: MC

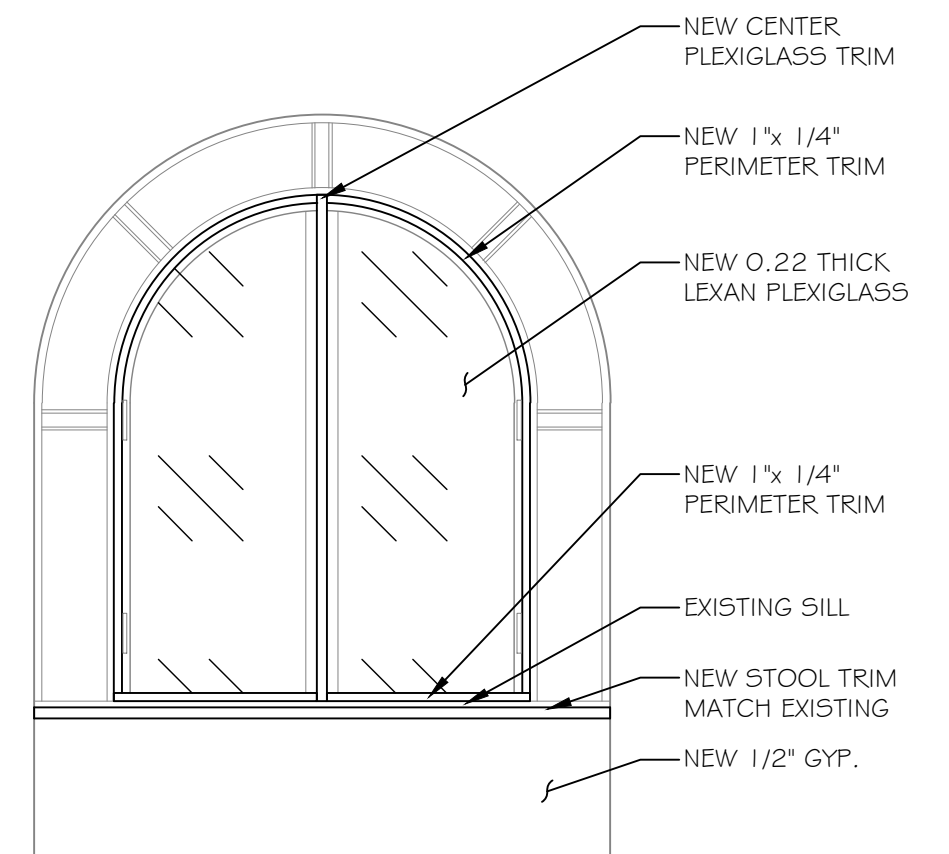
SHEET:  
**A-101**

**EXTERIOR PAINTING**

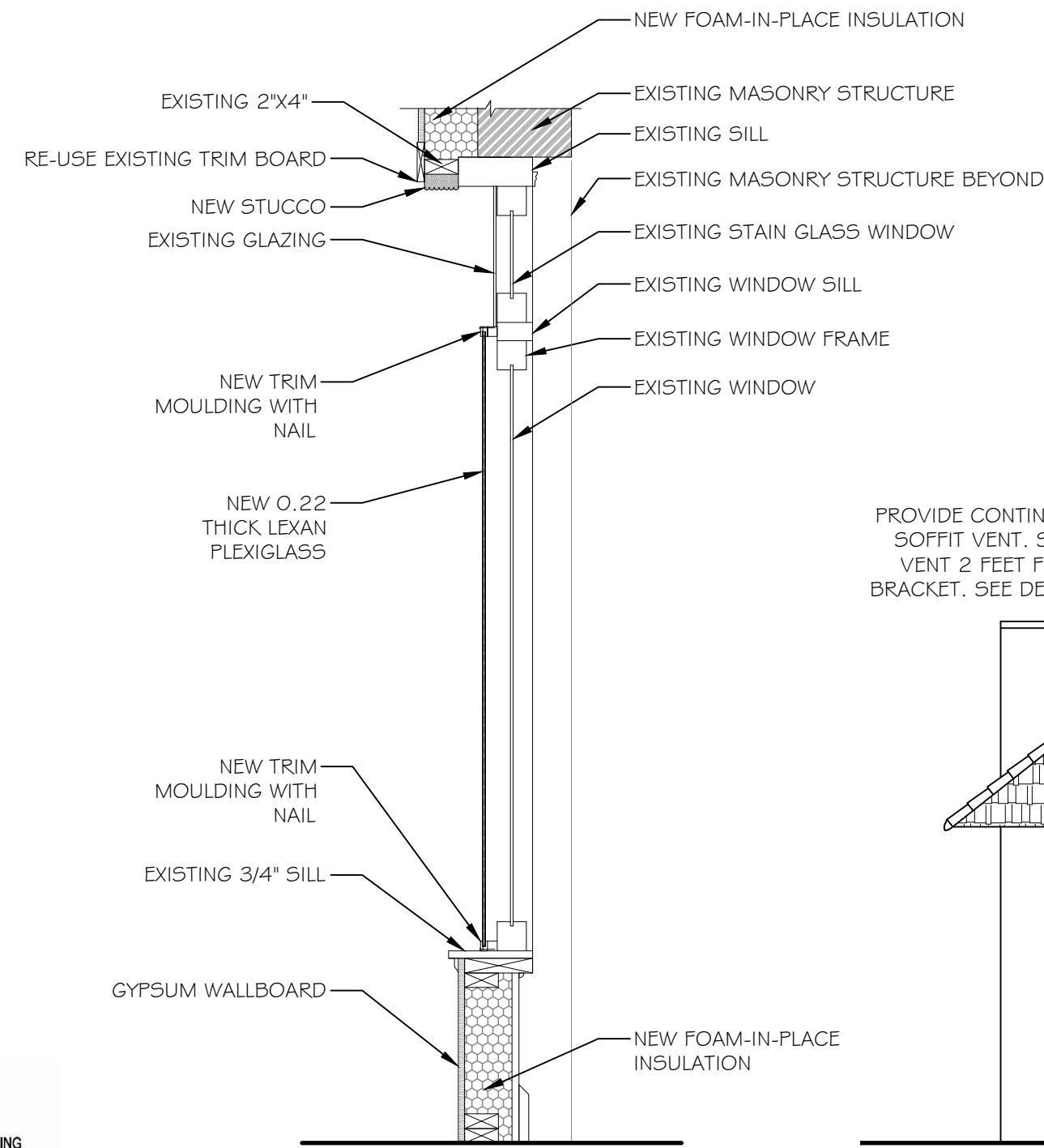
PAINT EXTERIOR OF HOUSE WITH LEADLOCK ENCAPSULATING PAINT. PAINT LEAD BASED PAINTS AS INDICATED IN LEAD SPECIFICATIONS & LEAD REPORTS INCLUDING WHITE & RED PAINTED ELEMENTS, & DECORATIVE FEATURES.

**ROOFING**

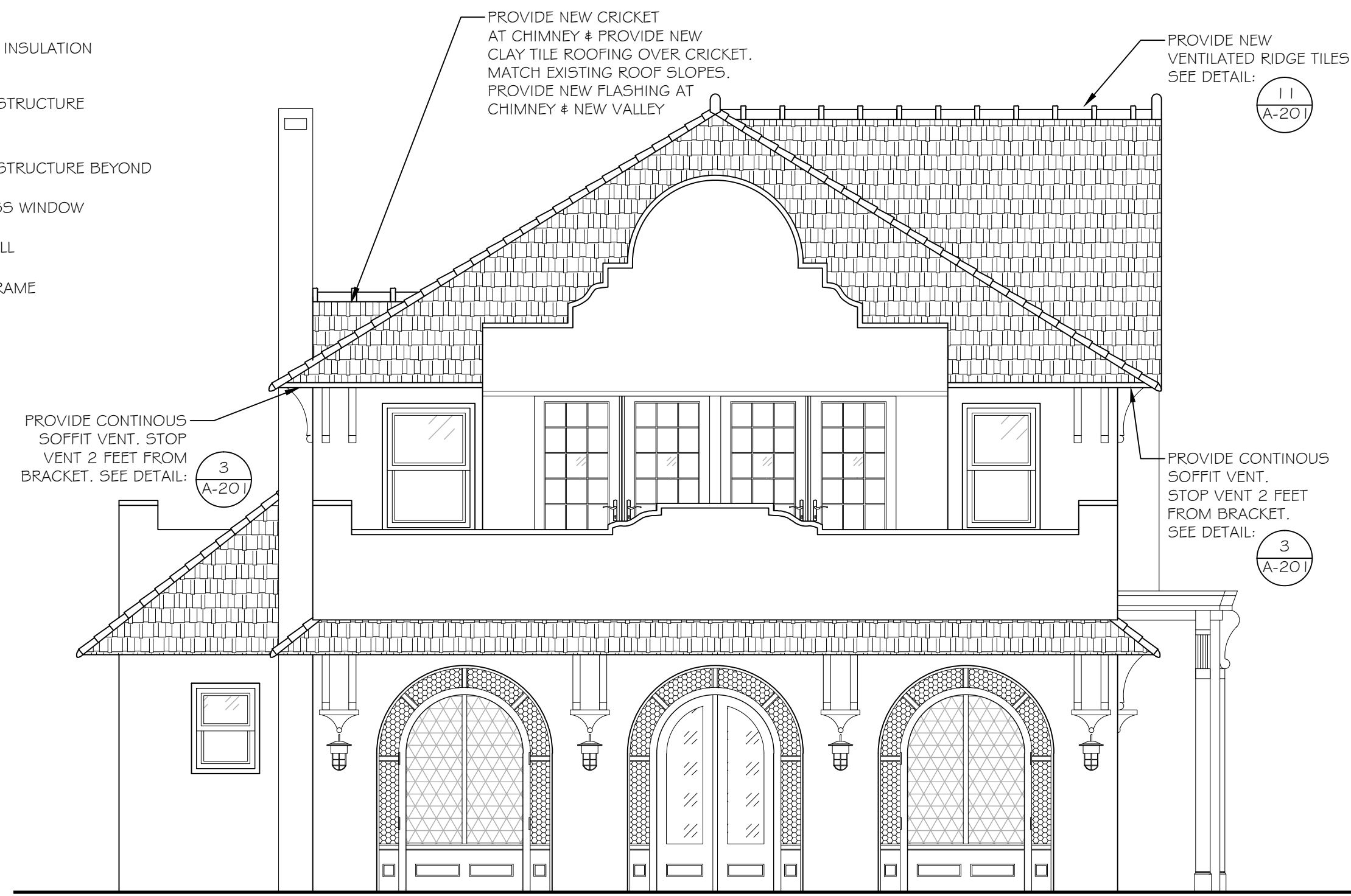
REMOVE & REPAIR ROOF. REPAIR DETERIORATED ROOF SHEATHING, INSTALL COMPLETE NEW ROOFING SYSTEM. EXISTING CLAY ROOF TILES MAY BE RE-USED IF NOT BROKEN OR DAMAGED. PROVIDE NEW TILES AS NEEDED TO COMPLETE THE ROOF SYSTEM. PROVIDE 2 FASTENERS PER TILE. REPLACE ALL DETERIORATED FLASHINGS WITH NEW FLASHINGS. PROVIDE UNDERLAYMENTS AS SHOWN & SPECIFIED.



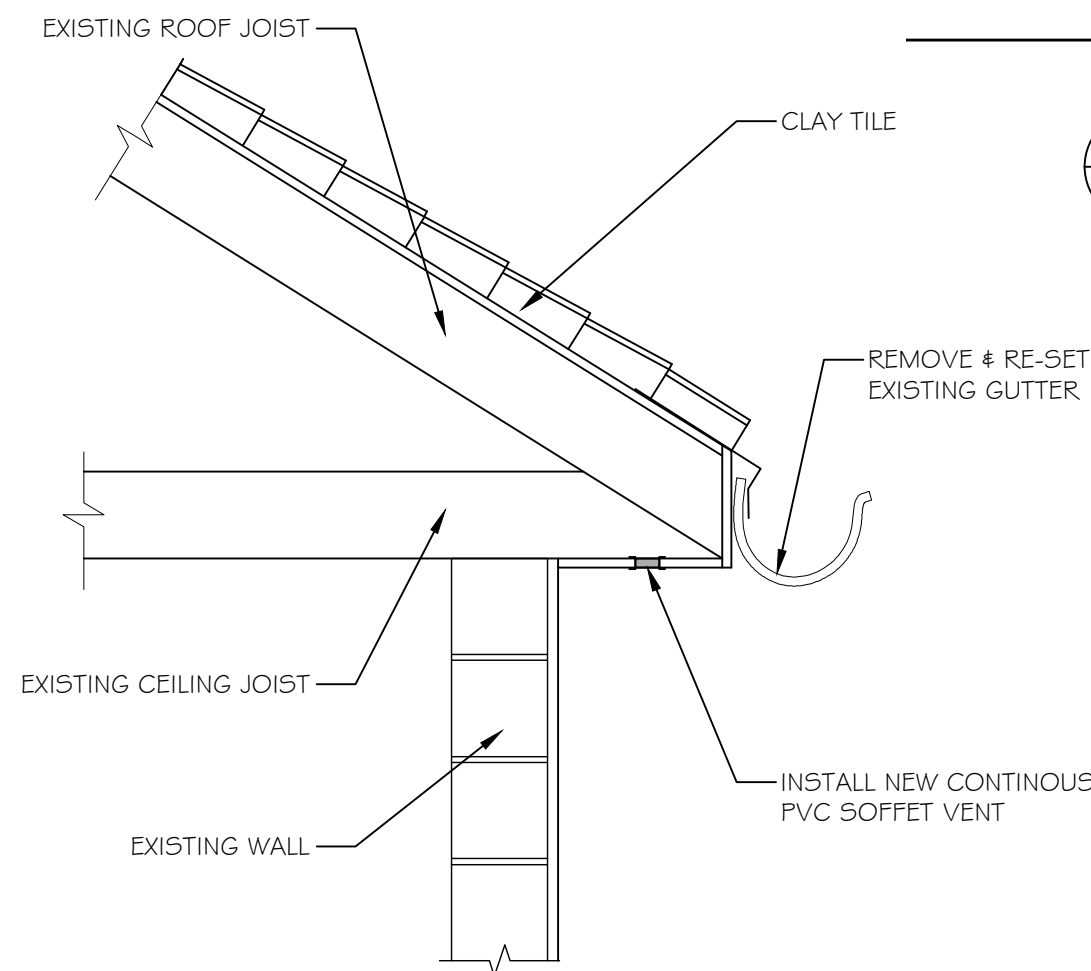
**6 WINDOW ELEVATION**  
1/2" = 1'-0"



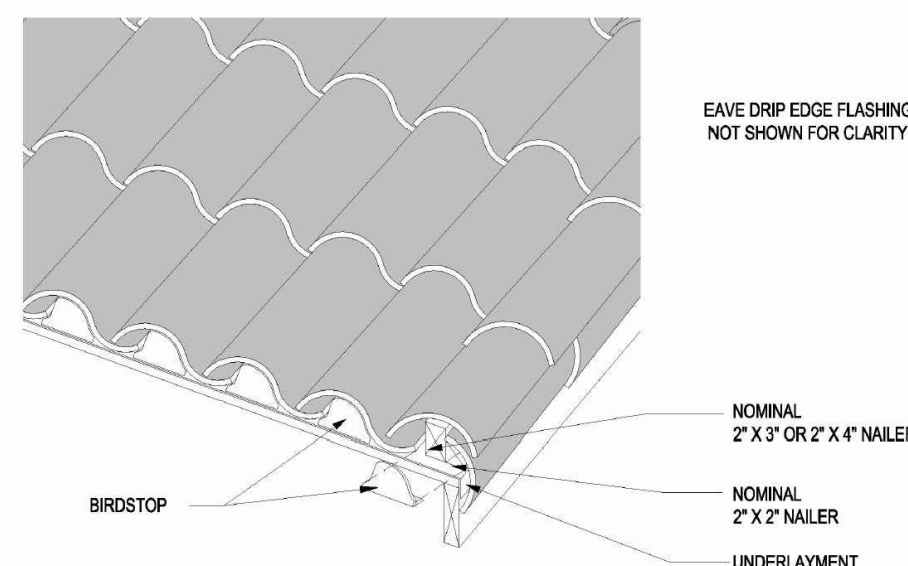
**10 WALL SECTION AT WINDOW**  
SCALE: 3/4" = 1'-0"



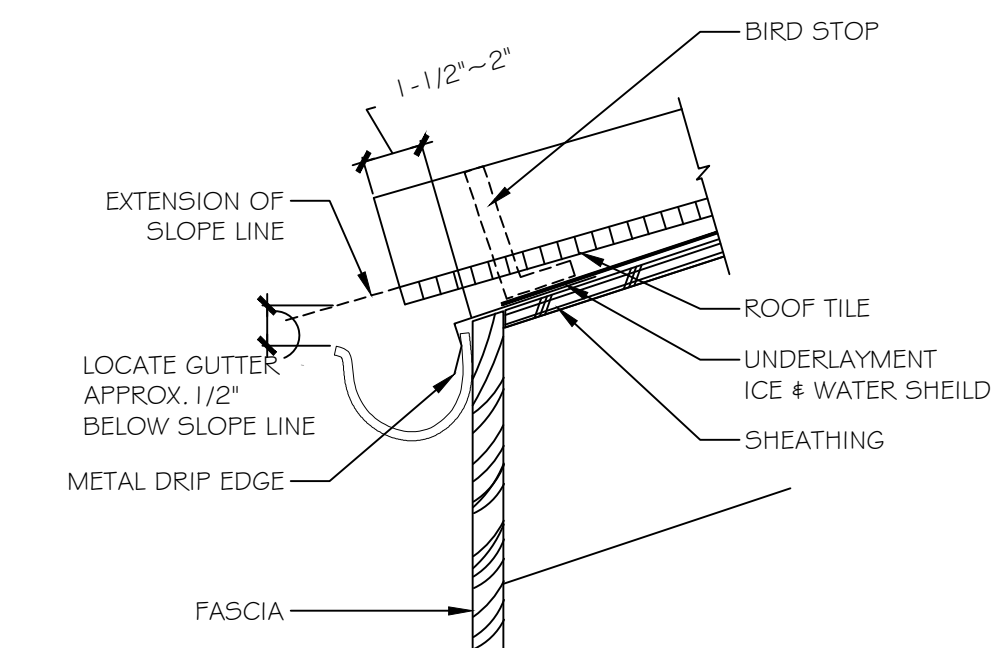
**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



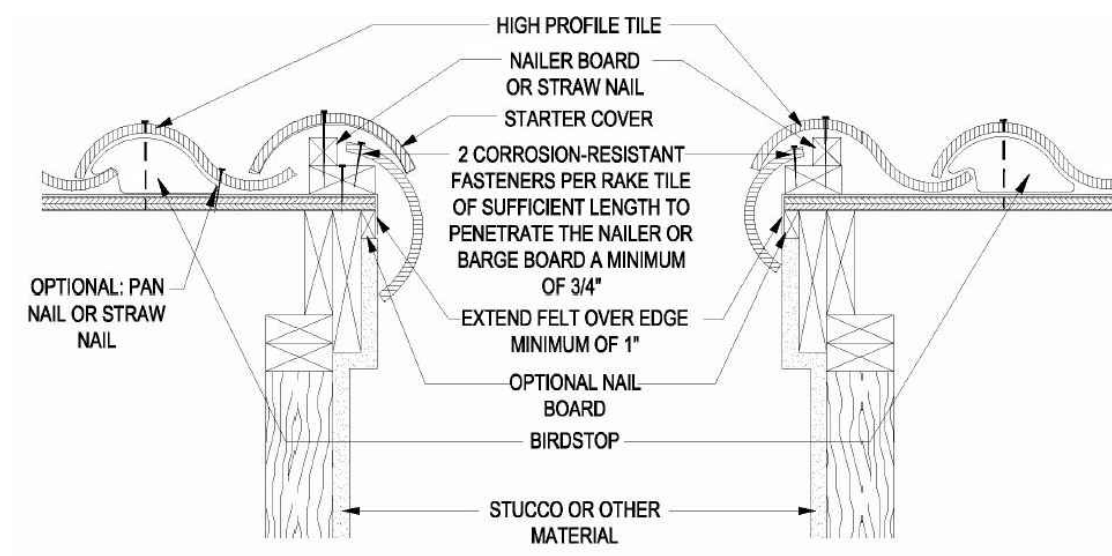
**3 SOFFIT VENT DETAIL**  
SCALE: 3/4" = 1'-0"



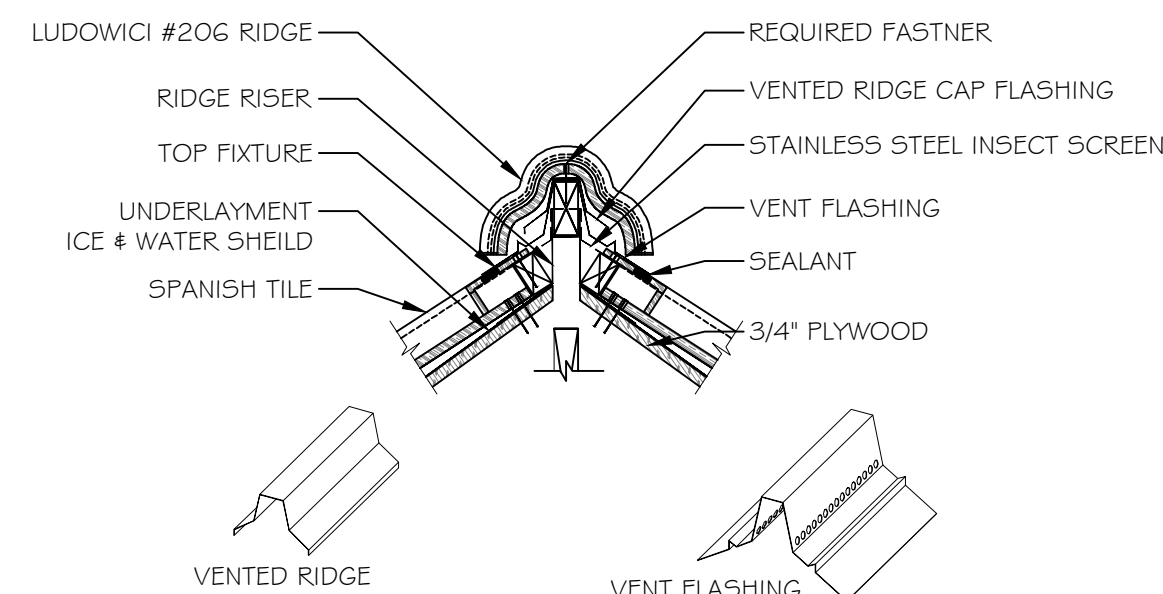
**7 EAVE**  
SCALE: N.T.S.



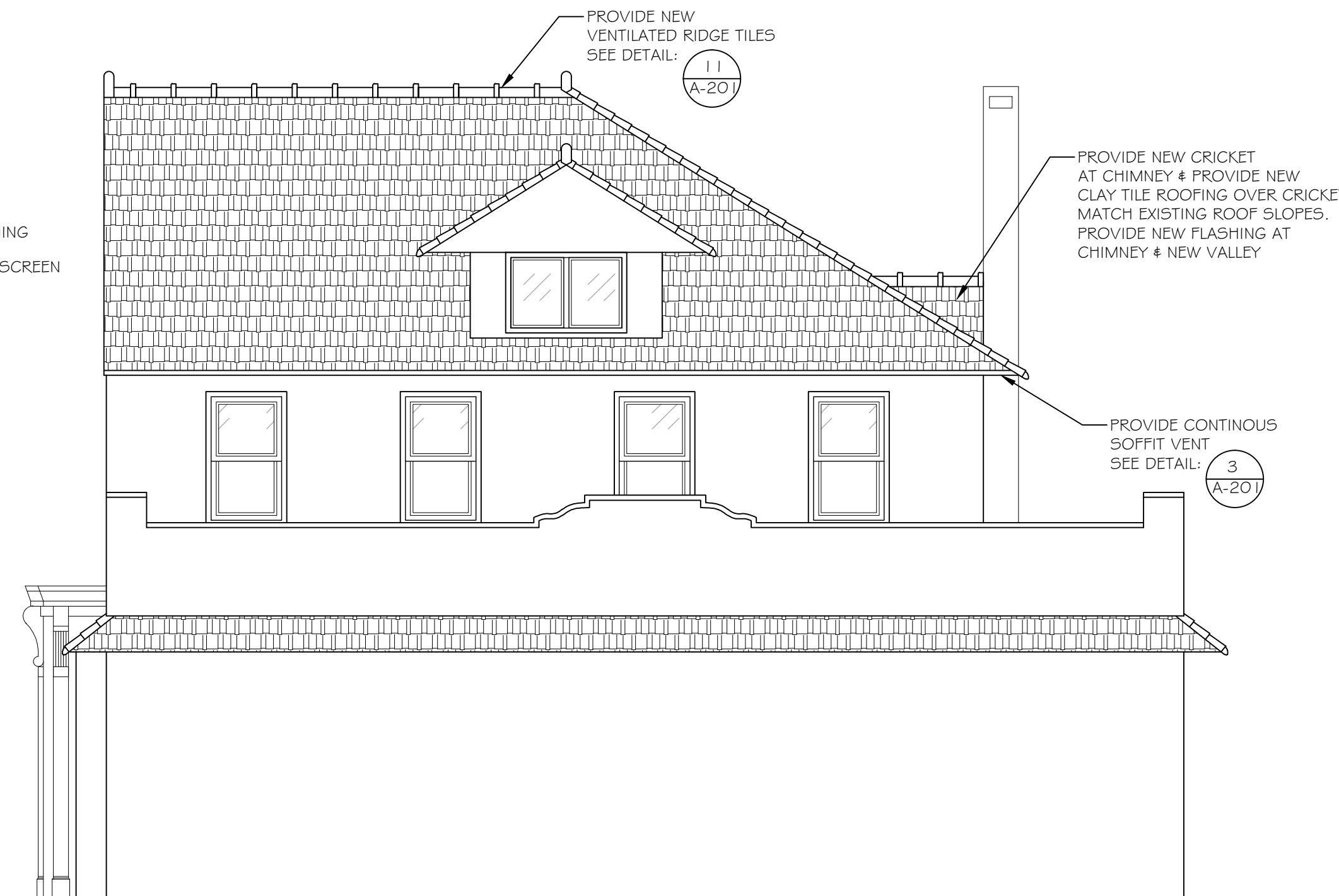
**4 GUTTER DETAIL**  
SCALE: N.T.S.



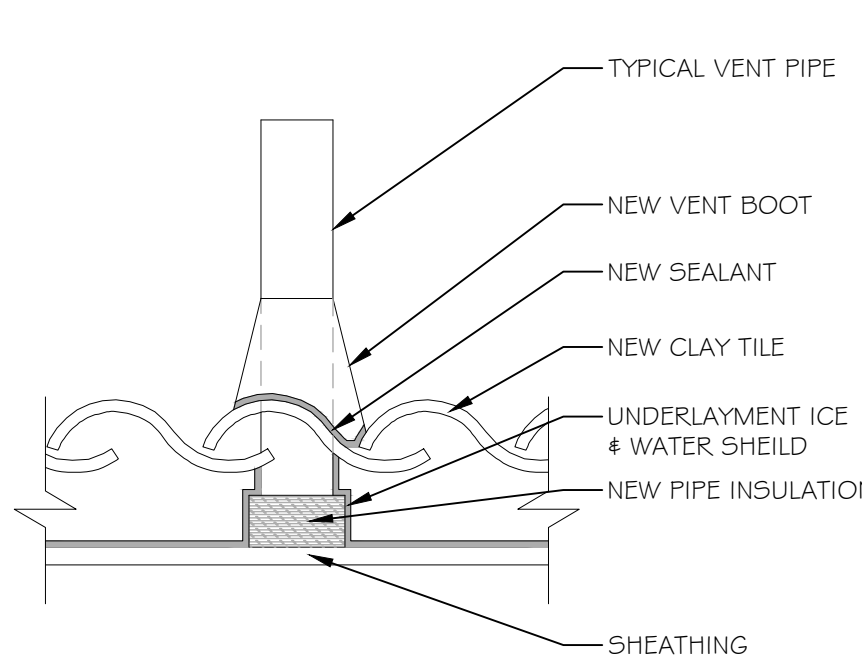
**8 GABLE**  
SCALE: N.T.S.



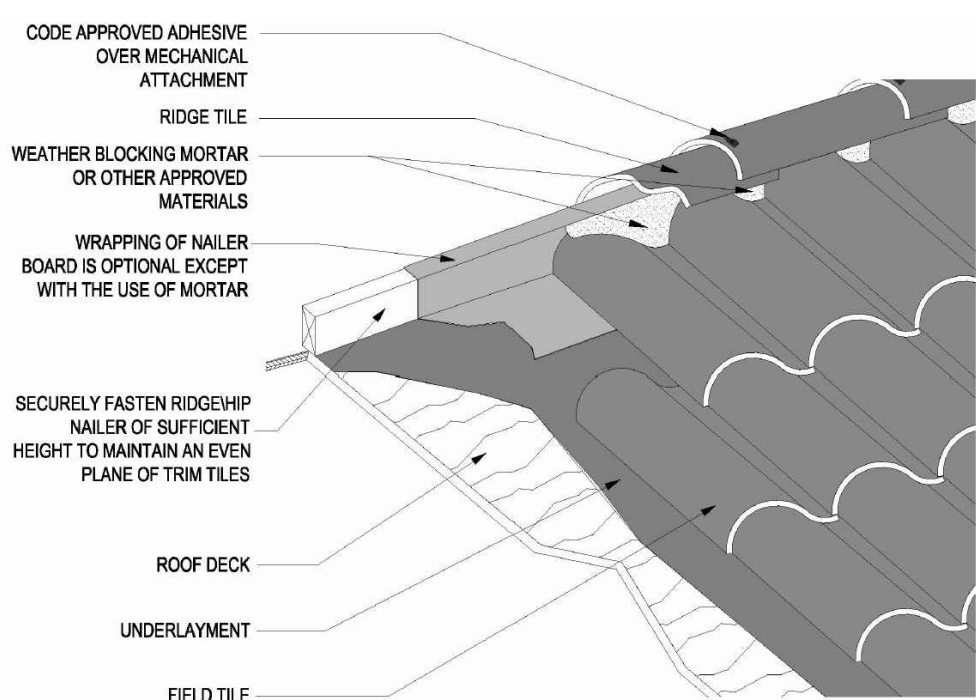
**11 VENTED RIDGE DETAIL**  
SCALE: 1" = 1'-0"



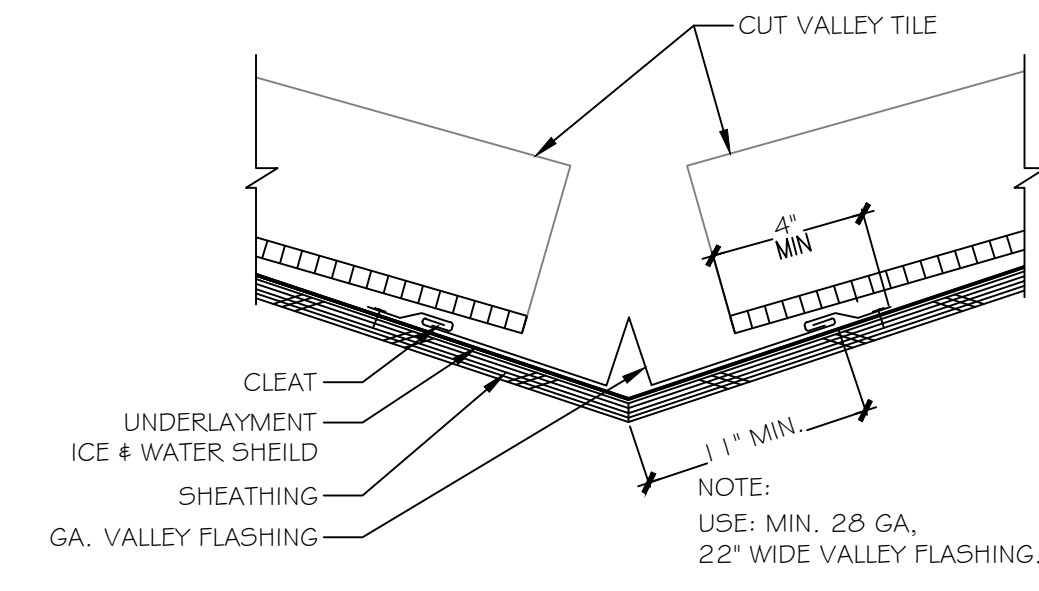
**2 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 PIPE PENETRATION DETAIL**  
SCALE: 1-1/2" = 1'-0"



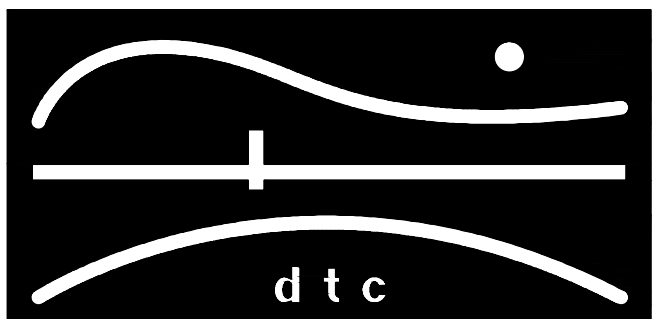
**9 HIP DETAIL**  
SCALE: N.T.S.



**12 VALLEY DETAIL**  
SCALE: N.T.S.

**NOTES:**

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**OORR**  
**APPLICATION NO. 1216**  
**TAMAS RESIDENCE**  
**4 VILLA ROSA TERRACE**  
**(ABIGAIL ST.)**  
**MILFORD, CT.**

**SOUTH & NORTH ELEVATIONS & DETAILS**

DTC PROJECT NUMBER: 13-449-006

DTC DRAWING FILE:

SCALE: VARIES DRAWN BY: REM

DATE: 3/13/2015 CHECKED BY: MC

SHEET:

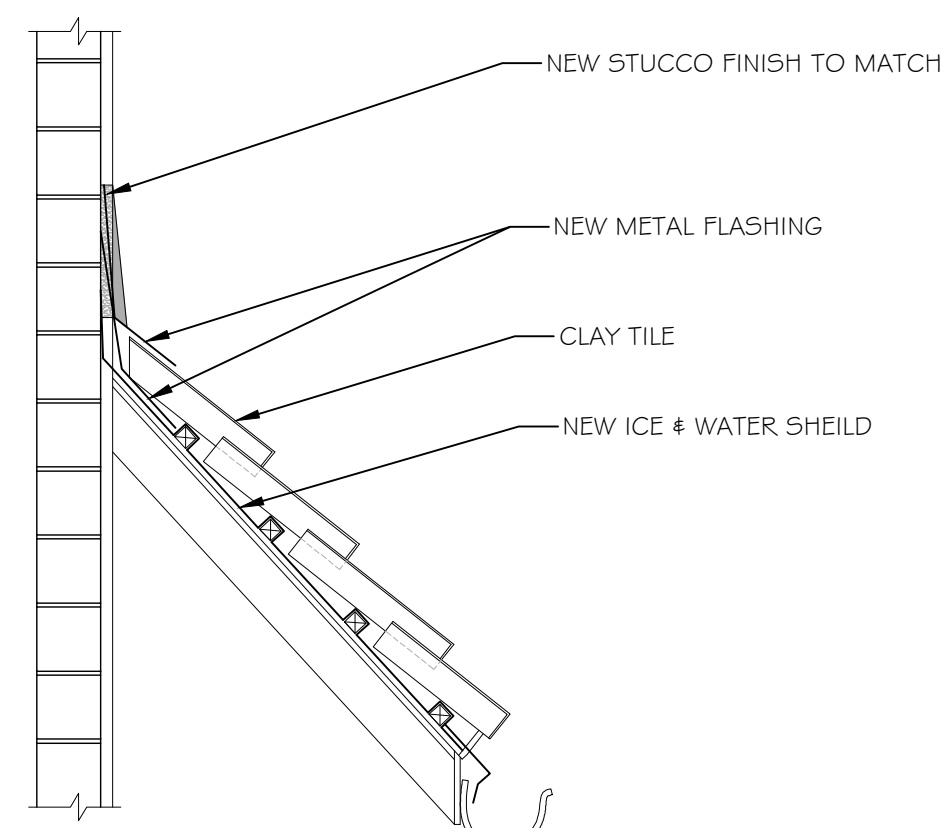
**A-201**

**EXTERIOR PAINTING**

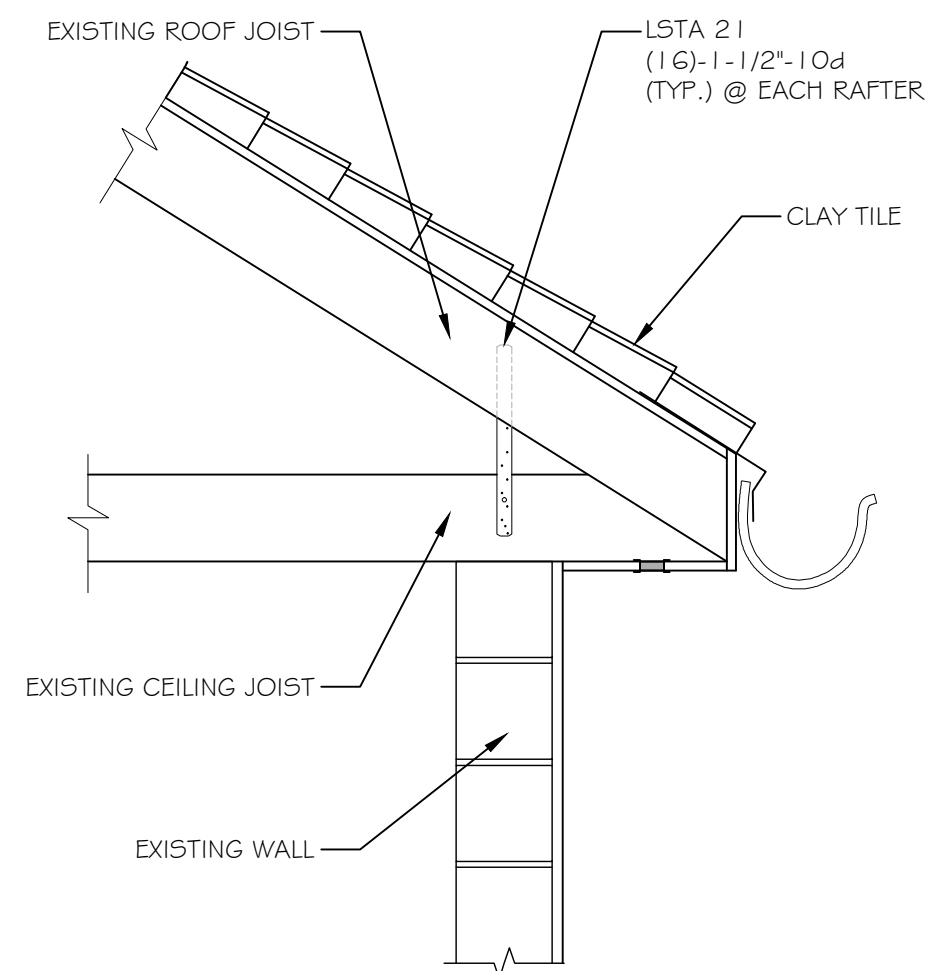
PAINT EXTERIOR OF HOUSE WITH LEADLOCK ENCAPSULATING PAINT. PAINT LEAD BASED PAINTS AS INDICATED IN LEAD SPECIFICATIONS & LEAD REPORTS INCLUDING WHITE & RED PAINTED ELEMENTS, & DECORATIVE FEATURES.

**ROOFING**

REMOVE & REPAIR ROOF. REPAIR DETERIORATED ROOF SHEATHING, INSTALL COMPLETE NEW ROOFING SYSTEM. EXISTING CLAY ROOF TILES MAY BE RE-USED IF NOT BROKEN OR DAMAGED. PROVIDE NEW TILES AS NEEDED TO COMPLETE THE ROOF SYSTEM. PROVIDE 2 FASTENERS PER TILE. REPLACE ALL DETERIORATED FLASHINGS WITH NEW FLASHINGS. PROVIDE UNDERLAYMENTS AS SHOWN & SPECIFIED.

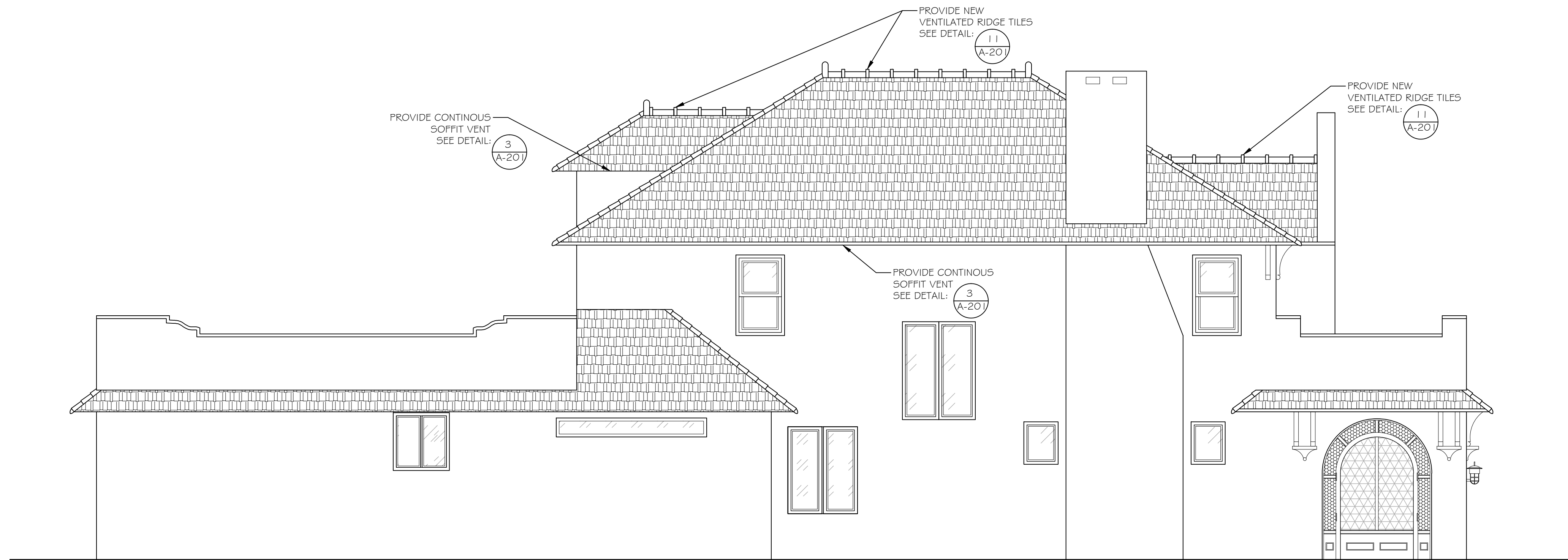


**3 ROOF TO WALL DETAIL**  
SCALE: 1/2" = 1'-0"

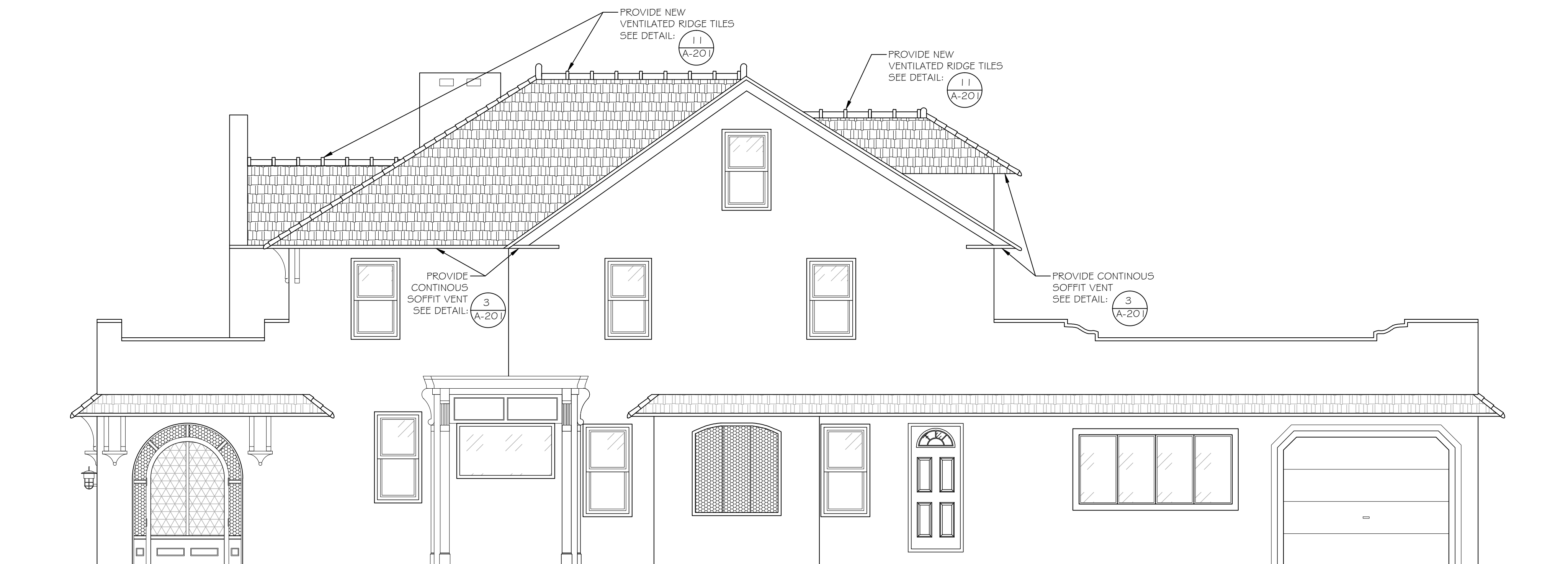


NOTE: INSTALL @ EVERY JOIST/ RAFTER CONNECTION FOR PERIMETER OF ATTIC.

**4 JOIST/ RAFTER STRAP DETAIL**  
SCALE: 3/4" = 1'-0"



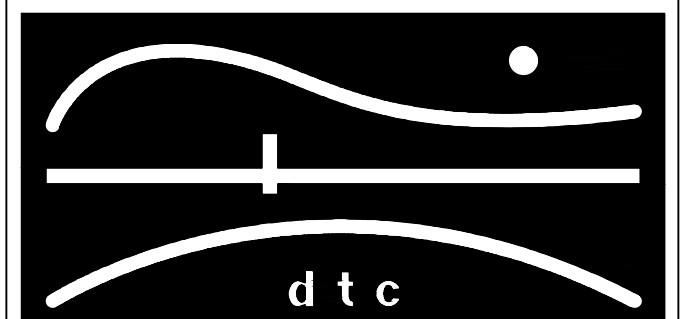
**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

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MILFORD, CT.

WEST & EAST  
ELEVATIONS  
&  
DETAILS

DTC PROJECT NUMBER: 13-449-006

DTC DRAWING FILE:

SCALE: VARIES	DRAWN BY: REM
DATE: 3/13/2015	CHECKED BY: MC

SHEET:

**A-202**

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	SURFACE PANELBOARD
	BRANCH CIRCUIT HOME RUN
	SWITCHED WIRING
	DUPLEX RECEPTACLE OUTLET
	UTILITY METER
	BATTERY OPERATED WIRELESS COMBINATION SMOKE/CARBON MONOXIDE DETECTOR
	SINGLE POLE WALL MOUNTED SWITCH
	EXISTING COMBINATION SURFACE MOUNTED FAN LIGHT

ELECTRICAL ABBREVIATIONS	
ABBREVIATIONS	DESCRIPTION
A	AMPERES
AC	ARMOR CLAD
AHJ	AUTHORITY HAVING JURISDICTION
AFF	ABOVE FINISHED FLOOR
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
CU	COPPER
DWG	DRAWING
EX	EXISTING TO REMAIN
M	METER
MC	METAL CLAD
NEC	NATIONAL ELECTRIC CODE
NECA	NATIONAL ELECTRICAL CONTRACTORS ASSOC.
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
NM/NM-B	NONMETALLIC SHEATHED
N.T.S.	NOT TO SCALE
PVC	POLYVINYL CHLORIDE
S/CO	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
UL	UNDERWRITER'S LABORATORY
U.O.N.	UNLESS OTHERWISE NOTED
V	VOLTS
VA	VOLT-AMPERES
W	WATTS
#	NUMBER
'	FEET
"	INCHES

ELECTRICAL GENERAL NOTES	
1.	UNLESS OTHERWISE INDICATED, FURNISH AND INSTALL A COMPLETE AND OPERATIONAL ELECTRICAL SYSTEM INCLUDING ALL NECESSARY MATERIAL, LABOR, AND EQUIPMENT.
2.	ELECTRICAL PLANS AND DETAILS, AND ONE LINE DIAGRAMS SHOW THE GENERAL LOCATION AND ARRANGEMENT OF THE ELECTRICAL SYSTEM. THEY ARE DIAGRAMMATIC AND DO NOT SHOW ALL CONDUIT BODIES, CONNECTORS, BENDS, FITTINGS, HANGERS, AND ADDITIONAL PULL AND JUNCTION BOXES WHICH THE CONTRACTOR MUST PROVIDE TO COMPLETE THE ELECTRICAL SYSTEM.
3.	FURNISH AND INSTALL A TEMPORARY ELECTRICAL SERVICE FOR ELECTRICAL POWER DURING CONSTRUCTION.
4.	ALL EQUIPMENT AND MATERIAL SHALL BE LABELED AND LISTED, AND INSTALLED IN ACCORDANCE WITH THEIR LISTING.
5.	THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS IN ACCORDANCE WITH STATE GOVERNING AUTHORITIES.
6.	ALL WORK SHALL BE DONE WITH LICENSED WORKMEN IN ACCORDANCE WITH STATE GOVERNING AUTHORITIES.
7.	THE DEFINITION OF ELECTRICAL TERMS USED SHALL BE AS DEFINED IN THE 2011 EDITION OF THE NATIONAL ELECTRIC CODE (NEC).
8.	THE TERM "INDICATED" SHALL MEAN "AS SHOWN ON CONTRACT DOCUMENTS (SPECIFICATIONS, DRAWINGS, AND RELATED ATTACHMENTS)".
9.	THE TERM "SIZE" SHALL MEAN ONE OR MORE OF THE FOLLOWING: "LENGTH, CURRENT AND VOLTAGE RATING, NUMBER OF POLES, NEMA SIZE, AND OTHER SIMILAR ELECTRICAL CHARACTERISTICS".
10.	ELECTRICAL PLANS AND DETAILS DO NOT SHOW ALL INTERFERENCE'S AND CONDITIONS, VISIBLE AND/OR HIDDEN, THAT MAY EXIST; THUS REQUIRING THE CONTRACTOR TO INSPECT AND SURVEY THE SPACE BEFORE PERFORMING THE WORK.
11.	COORDINATE ELECTRICAL WORK WITH OWNER.
12.	COORDINATE ELECTRICAL WORK WITH OTHER DIVISIONS OF THIS PROJECT.
13.	BEFORE SELECTING MATERIAL AND EQUIPMENT, AND PROCEEDING WITH WORK, INSPECT AREAS WHERE MATERIAL AND EQUIPMENT ARE TO BE INSTALLED TO INSURE SUITABILITY, AND CHECK NEEDED SPACE FOR PLACEMENT, CLEARANCES AND INTERCONNECTIONS.
14.	BEFORE CUTTING OR DRILLING INTO BUILDING ELEMENTS INSPECT AND LAYOUT WORK TO AVOID DAMAGING STRUCTURAL ELEMENTS AND BUILDING UTILITIES.
15.	ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) ANS/NFPA 70 2011 EDITION.
16.	TYPICAL MOUNTING HEIGHTS OF DEVICES SHALL COMPLY NECA 1-2010.
17.	PENETRATIONS THROUGH GROUND SLAB SHALL BE SEALED WITH POLYURETHANE SEALANT TYPICAL FOR ALL PENETRATIONS.
18.	FURNISH AND INSTALL MEANS OF DISCONNECTION FOR ALL MOTORIZED EQUIPMENT AND APPLIANCES IN ACCORDANCE WITH NEC.

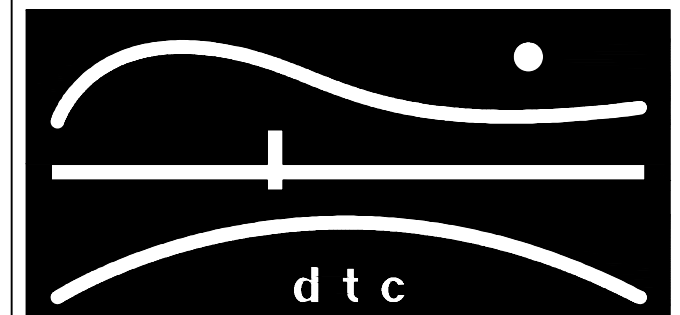
DRAWING LIST	
SHEET	NAME
E-001	ELECTRICAL GENERAL NOTES, LEGENDS AND ABBREVIATIONS
E-100	ELECTRICAL BASEMENT, FIRST AND SECOND FLOOR PLANS

FEEDER SCHEDULE				
INDOOR BRANCH CIRCUITS	CIRCUIT OR OVERCURRENT RATING 2 POLE	OUTDOOR BRANCH CIRCUITS	CIRCUIT OR OVERCURRENT RATING 2 POLE	SIZE CONDUIT
2#14&1#14G.	15A	2#12&1#12G.	15A	3/4"
2#12&1#12G.	20A	2#12&1#12G.	20A	3/4"
2#10&1#10G.	30A	2#10&1#10G.	30A	3/4"
2#8&1#10G.	40A	2#8&1#10G.	40A	3/4"
2#6&1#10	50A	2#6&1#10	50A	3/4"
2#4&1#10	60A	2#4&1#10	60A	1"
2#4&1#8	70A	2#4&1#8	70A	1"
2#3&1#8	80A	2#3&1#8	80A	1-1/4"
2#2&1#8	90A	2#2&1#8	90A	1-1/4"
SERVICE		3#1&1#6G.	100A	1-1/2"

NOTES  
 1. ALL BRANCH CIRCUIT USED INDOORS SHALL BE WIRED WITH NONMETALLIC SHEATHED CABLE (ROMEX), U.O.N.

NOTES:

REVISIONS



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 203 239 4200 203 234 7376 FAX

OORR  
 APPLICATION NO. 1216  
 TAMAS RESIDENCE  
 4 VILLA ROSA TERRACE  
 (ABIGAIL ST.)  
 MILFORD, CT.

ELECTRICAL GENERAL  
 NOTES, LEGENDS &  
 ABBREVIATIONS

DTC PROJECT NUMBER: 13-449-006

DTC DRAWING FILE:

SCALE: NONE DRAWN BY: WM

DATE: 3/13/2015 CHECKED BY: JP

SHEET:

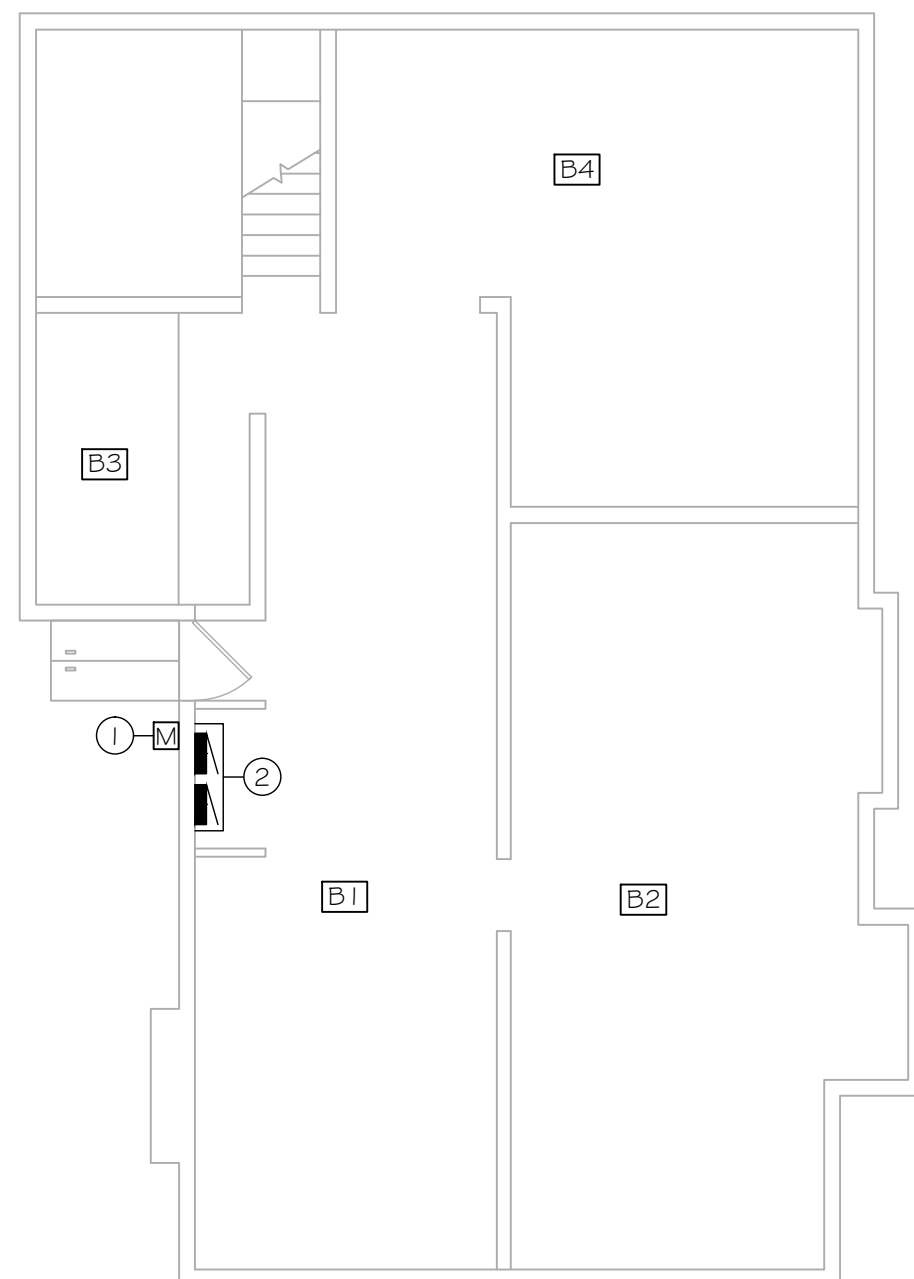
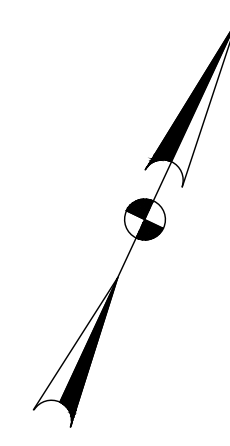
E-001

## GENERAL NOTES

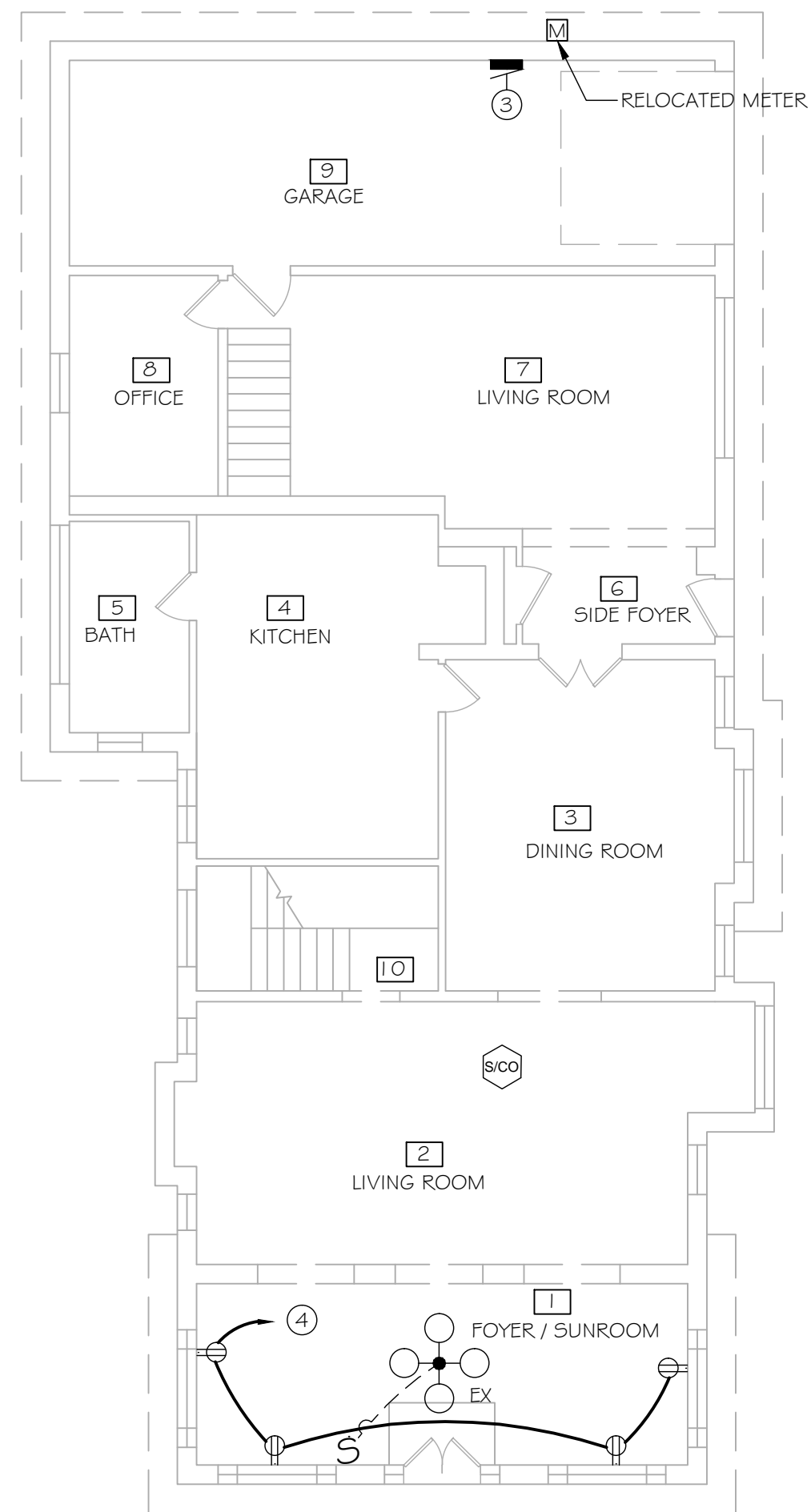
1. ALL CIRCUITS ON THIS DRAWING SHALL BE SIZED 2#12, #12G AND SHALL BE CONNECTED TO NEW 20A-1P CIRCUIT BREAKER IN SOURCE PANEL, U.O.N.
2. ALL 120VAC BRANCH CIRCUITS EXCEEDING 100' IN LENGTH SHALL BE INCREASED TO 2#10, #10G UNLESS OTHERWISE NOTED.
3. REFER TO DWG E-001 FOR SYMBOL LEGEND AND ABBREVIATIONS.
4. IF 2011 NEC REQUIRED GROUNDING IS NOT PRESENT ON EXISTING OUTLETS TO BE REPLACED, THE REPLACEMENT OUTLETS SHALL BE GFI TYPE, OR PROPER GROUNDING SHALL BE PROVIDED VIA ANOTHER METHOD ACCEPTABLE TO AHJ.
5. ALL BRANCH CIRCUIT USED INDOORS SHALL BE WIRED WITH NM CABLE U.O.N. REFER TO FEEDER SCHEDULE ON DRAWING E-001 FOR SIZING.
6. ALL EQUIPMENT AND DEVICES LOCATED OUTDOORS SHALL BE CIRCUITED WITH CONDUIT AND WIRING. REFER TO FEEDER SCHEDULE ON DWG E-001 FOR SIZING.
7. CONTRACTOR SHALL CUT, PATCH AND PAINT ALL EXISTING AREAS THAT ARE AFFECTED BY NEW CONSTRUCTION.
8. ALL 125-VOLT 15 AND 20 AMP RECEPTACLES LOCATED AT 5 1/2' AFF OR BELOW SHALL BE TAMPER RESISTANT.

## ELECTRICAL KEYNOTES #

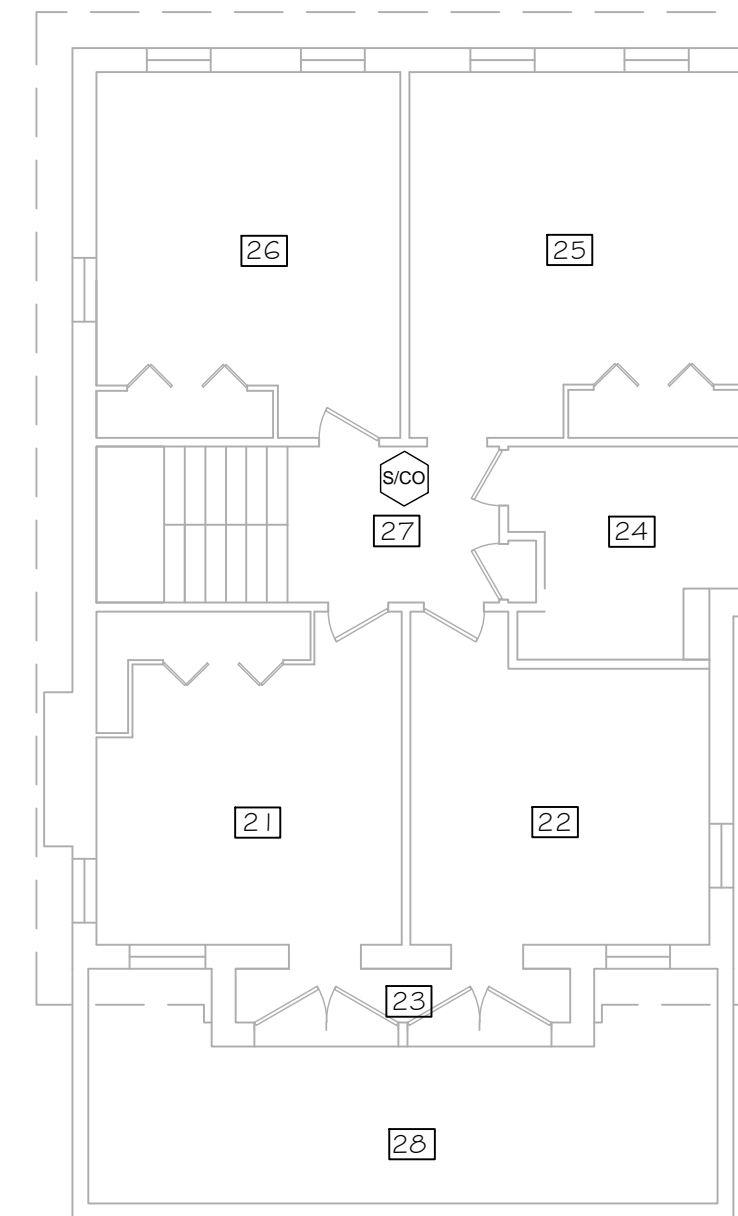
1. DISCONNECT AND REMOVE EXISTING WEATHERHEAD. EXISTING METER, OVERHEAD SERVICE ENTRANCE CONDUCTORS AND METER SHALL BE RELOCATED TO EXTERIOR WALL OF GARAGE. EXTEND SERVICE ENTRANCE CONDUIT AND WIRING AS REQUIRED AND CONNECT TO NEW WEATHERHEAD.
2. EXISTING PANELBOARDS TO BE REMOVED. EXISTING CIRCUITING SHALL BE SPLICED IN A SINGLE WALL MOUNTED NEMA 4 ENCLOSURE AND EXTENDED TO NEW PANELBOARD LOCATED IN GARAGE. EXTEND CONDUIT, WIRING AND CABLING AS REQUIRED TO MATCH EXISTING. REFER TO FEEDER SCHEDULE ON DWG E-001 FOR SIZING.
3. PROVIDE 100A, 240/120V ELECTRICAL PANEL. PANEL SHALL INCLUDE CIRCUIT BREAKER SIZES AND QUANTITIES TO MATCH EXISTING. PROVIDE NEW SERVICE GROUNDING ELECTRODE CONDUCTORS AND CONNECTIONS PER NEC ARTICLE 250.
4. WIRE RECEPTACLES TO NEW 20A 1 POLE CIRCUIT IN PANELBOARD.



1  
E-100  
BASEMENT FLOOR PLAN  
SCALE: 1/8" = 1'-0"



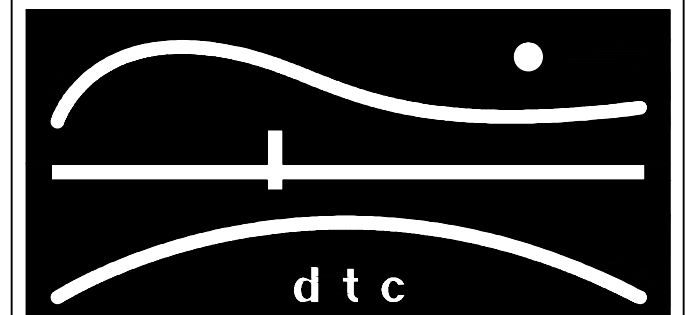
2  
E-100  
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



3  
E-100  
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

NOTES:

REVISIONS



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OORR  
APPLICATION NO. 1216  
TAMAS RESIDENCE  
4 VILLA ROSA TERRACE  
(ABIGAIL ST.)  
MILFORD, CT.

ELECTRICAL BASEMENT,  
FIRST AND SECOND  
FLOOR PLANS

DTC PROJECT NUMBER: 13-449-006

DTC DRAWING FILE:

SCALE: 1/8" = 1'-0"

DRAWN BY: WM

DATE: 3/13/2015

CHECKED BY: JP

SHEET:

# E-100