

April 5, 2019

Melanie A. Bachman
Executive Director
Connecticut Siting Council
10 Franklin Square
New Britain, CT 06051

Re: **Notice of Exempt Modification – Pratt & Whitney Cogeneration Power Generating Facility Modifications, 400 Main Street, East Hartford, Connecticut**

Dear Ms. Bachman:

Pratt & Whitney, a division of United Technologies Corporation (“P&W”) currently maintains a 32 megawatt (“MW”) dual fuel-fired (natural gas and liquid fuel) cogeneration power generating facility (the “Cogen Facility”) at its 400 Main Street, East Hartford, Connecticut manufacturing plant (the “Property”). The Cogen Facility generates 32 MW of electricity (approximately two-thirds of P&W’s electrical requirements) and provides nearly 90,000 pounds of steam, per hour, for plant heating and manufacturing operations. The Connecticut Siting Council’s (“Council”) jurisdiction over the Cogen Facility dates back to its March 7, 2002 approval of Petition No. 546, when P&W increased the gross power production at the Cogen Facility from 24.9 MW to 32 MW.

The Cogen Facility’s primary fuel is natural gas. To ensure reliability of the Cogen Facility, P&W maintains a back-up liquid fuel supply of Ultra Low Sulfur Diesel (“ULSD”) on site. The ULSD is currently stored in two 50,000 gallon underground fuel storage tanks (“USTs”) located to the north of the Cogen Facility power house. *See Aerial Photographs* included in Attachment 1. The existing USTs have been in use for nearly thirty (30) years, have reached the end of their warrantied life and, pursuant to State regulatory requirements need to be replaced.

P&W intends to remove the two existing USTs and the existing ULSD pump shed currently located above the USTs, and replace them with two new 30,000 gallon aboveground storage tanks (“ASTs”) in the same location on the Property. The ASTs will be installed beneath a new tank shelter, on a 25-foot by 53-foot concrete pad. The new ASTs are doubled-walled and will maintain leak detection systems and alarms. The fuel pumps located in the existing pump

19215295-v1

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shed will be relocated into the Power House building to the south.

Storm water run-off from the roof of the new tank shelter will be collected in a gutter and leader system and will discharge into the storm water system in the adjacent paved parking lot. Storm water that may fall or collect on the concrete slab beneath the ASTs will be collected in a closed storm water sump. Select pages of the P&W Power House UST Removal & Replacement Project plan set are included in Attachment 2.

Prior to making this filing, members of the P&W project team consulted with the Town Planner and the East Hartford Planning and Zoning Commission (the "PZC") on the project. On February 14, 2018, the PZC approved a Site Plan Modification application for the UST removal and replacement project. A copy of the PZC approval letter is included in Attachment 3.

Please accept this letter as notification pursuant to R.C.S.A. § 16-50j-57(b), that the removal of the existing USTs and pump shed and the installation of two new ASTs, an AST shelter and associated storm water and fuel piping systems will not have a substantial adverse environmental effect. In accordance with the Council's rules of practice, a copy of this letter is being sent, via certificate of mailing (Attachment 4), to East Hartford Mayor Marcia A. Leclerc and Jeff Cormier East Hartford's Town Planner.

The planned modifications to the existing Cogen Facility, described in detail above, fall squarely within those activities explicitly provided for in R.C.S.A. § 16-50j-57(b)(2), as amended.

1. The proposed removal of the existing USTs and a pump shed and the installation of two new ASTs and tank shelter will not result in or require an extension of any site boundaries. All activity related to the UST removal and replacement project will be completed within the limits of the Property.
2. The proposed modifications will not result in the increase in height of any of the tallest Cogen Facility components or equipment (e.g. Power House building; Cogen exhaust stack). The new AST shelter will extend to a height of 26 feet above grade. While slightly (3 feet) taller than the pump shed that will be remove, the proposed AST shelter will remain significantly lower than the surrounding structures on the Property.
3. The proposed relocation of the ULSD pumps into the Power House structure will result in a decrease of noise levels at the Cogen Facility. The new ASTs do not produce any noise.

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4. The proposed UST removal and replacement project will not, in any way, affect electric and magnetic field levels associated with the Cogen Facility.
5. The proposed removal of the existing USTs and ULSD pump shed and the installation of two new ASTs and tank shelter will not result in a significant adverse change or alteration in the physical or environmental characteristics of the Property. The UST removal and replacement project will, in fact, result in an overall improvement to the physical and environmental characteristics of the Property. For example, the replacement of two 30 year old USTs with two state of the art ASTs with leak detection systems and alarms will allow P&W to continue to store its backup fuel in a safe and environmentally responsible manner. The new AST system will also be incorporated into P&W's existing Spill Prevention, Control and Countermeasure ("SPCC") Regulatory Plan to insure compliance with the company's strict environmental requirements and standards. The improvements will also occur in the area above the existing USTs and area currently occupied by the ULSD pump shed. This portion of the Property is currently paved and improved. (See Attachment 1).
6. The proposed UST removal and replacement project will not impact, in any way, the structural integrity of any buildings or structures at the Cogen Facility. The new AST shelter will comply with all applicable Connecticut building code requirements.

For the foregoing reasons, P&W respectfully submits that the proposed modification to the Cogen Facility constitutes an exempt modification under R.C.S.A. § 16-50j-57(b)(2).

Sincerely,



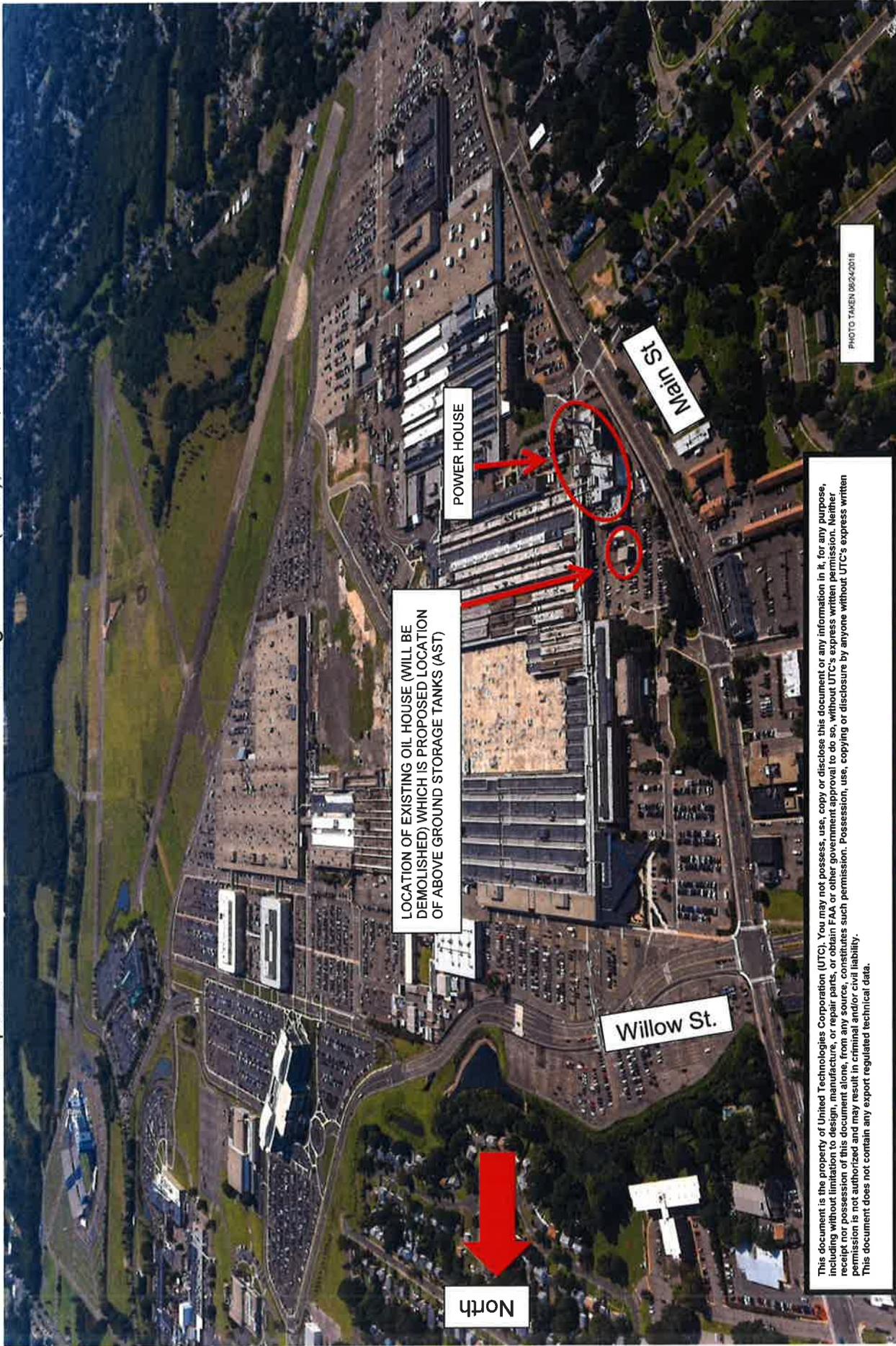
Kenneth C. Baldwin

KCB/kmd
Attachment
Copy to:

Marcia A. Leclerc, Mayor
Jeffery Cormier, Town Planner
Michael Kozlik, Esq., Pratt & Whitney
David Billard, Facilities Project Engineer, Pratt & Whitney
David Ohayon, Associate Director of Energy and Power Plants

ATTACHMENT 1

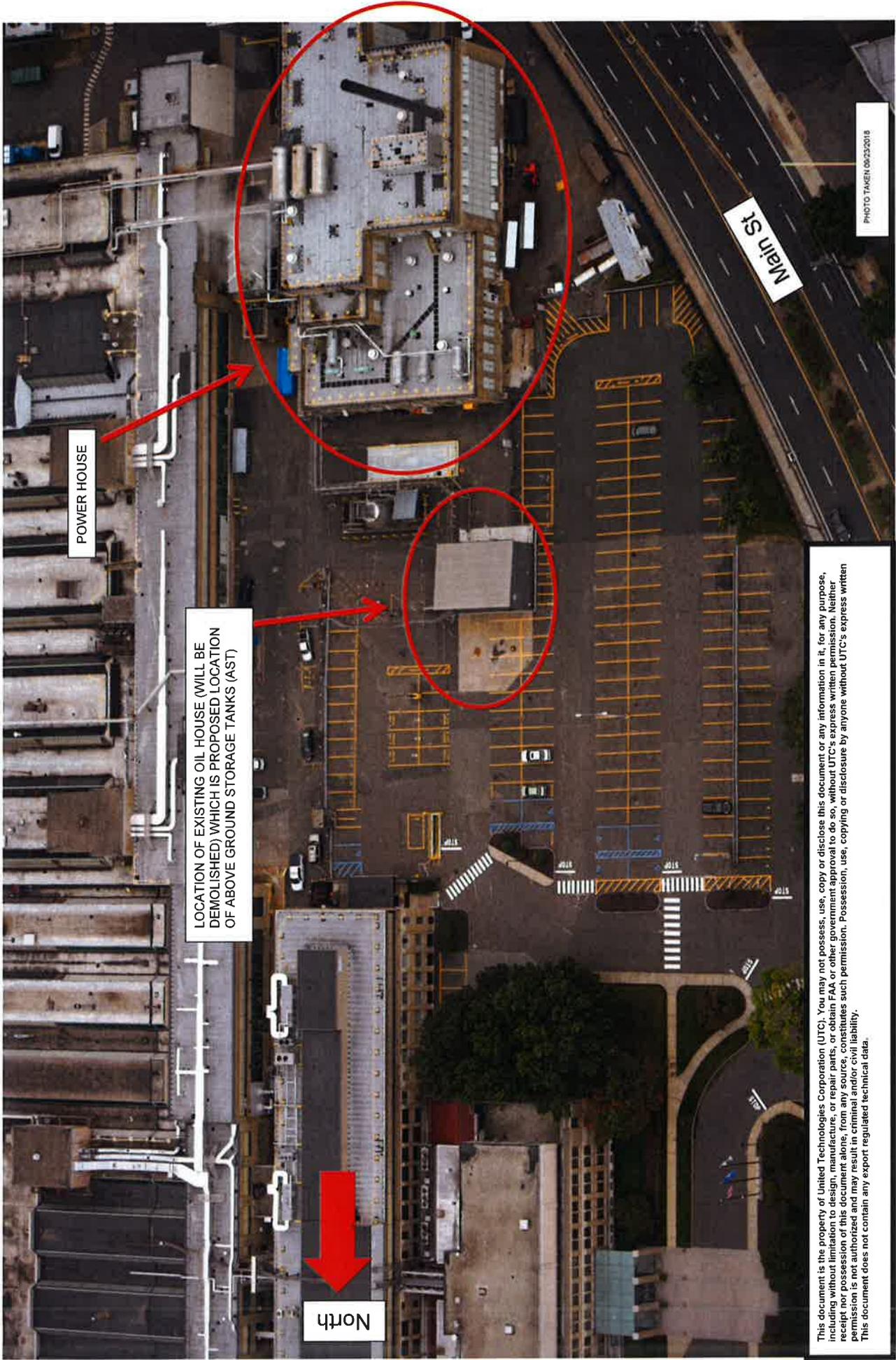
Proposed Location of Above Ground Storage Tanks (AST), P&W, EH, 04/02/2019



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Proposed Location of Above Ground Storage Tanks (AST), P&W, EH, 04/02/2019



ATTACHMENT 2

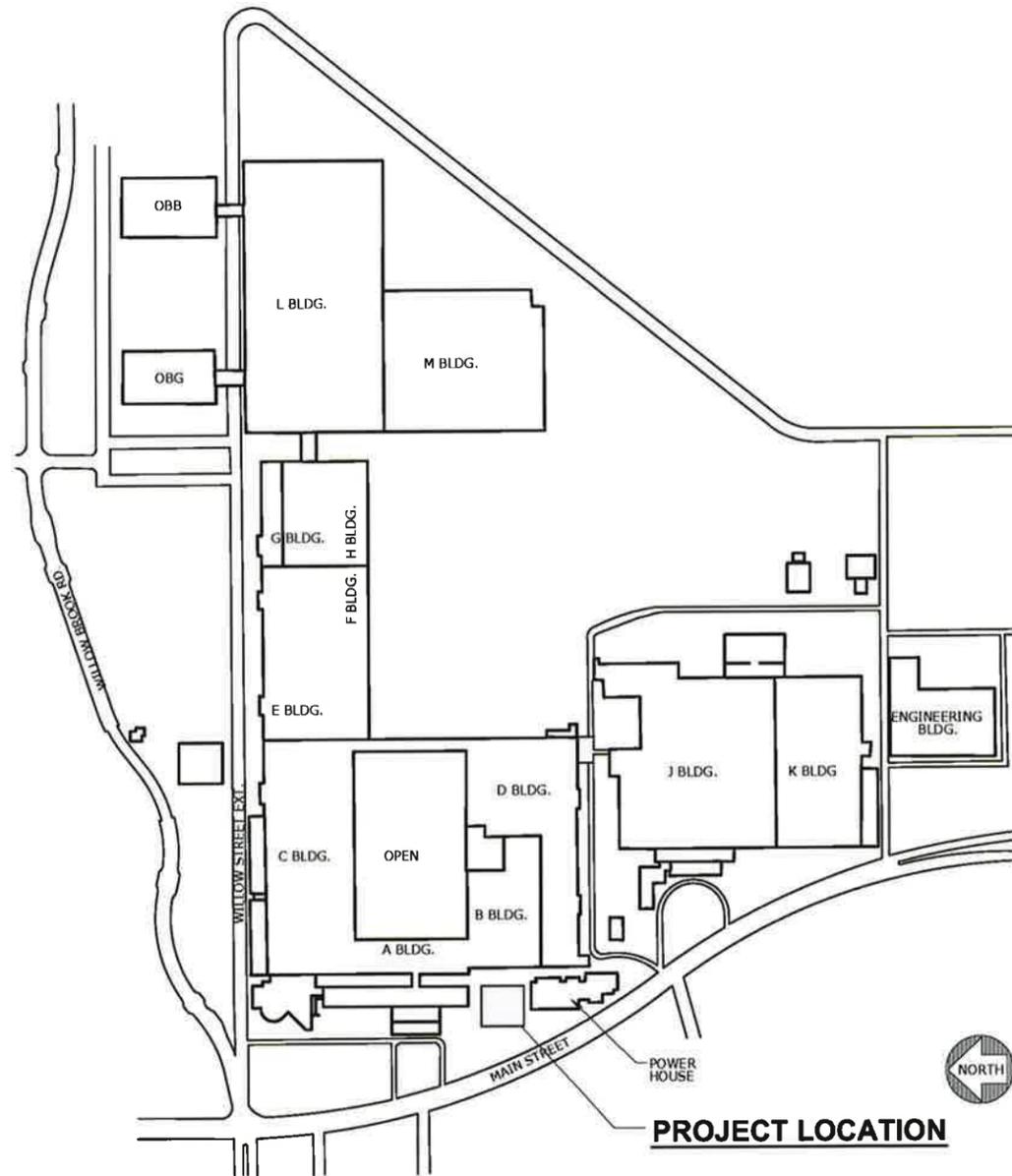


UNITED TECHNOLOGIES PRATT & WHITNEY

POWERHOUSE UST REMOVAL & REPLACEMENT EAST HARTFORD, CT

DRAWING LIST

DATE: 02/05/19
COMM. No. 68PB659



LOCATION PLAN
NOT TO SCALE

SHEET #	TITLE SHEET	REVISION	DATE
2	CR001 CODE REVIEW SHEET		
3	D001 DEMOLITION SITE PLAN	ADD. 2	2/27/19
4	D002 DEMOLITION NOTES AND DETAILS		
5	C001 PROPOSED SITE PLAN		
6	C002 SOIL & SEDIMENT EROSION PLAN		
7	C003 TYPICAL SITE DETAILS		
8	A001 FLOOR AND ROOF PLANS	ADD. 1	2/15/19
9	A002 ELEVATED WALKWAY PLAN AND DETAILS	ADD. 1	2/15/19
10	A003 ARCHITECTURAL ELEVATIONS	ADD. 1	2/15/19
11	A004 ARCHITECTURAL DETAILS	ADD. 1	2/15/19
12	A005 TYPICAL ARCHITECTURAL DETAILS		
13	A006 TYPICAL ARCHITECTURAL DETAILS		
14	S001 STRUCTURAL NOTES	ADD. 1	2/15/19
15	S002 FOUNDATION PLAN		
16	S003 ROOF FRAMING PLAN		
17	S004 STRUCTURAL DETAILS		
18	S005 STRUCTURAL DETAILS		
19	S006 STRUCTURAL DETAILS		
20	S007 TYPICAL STRUCTURAL DETAILS		
21	M001 MECHANICAL PLANS	ADD. 1	2/15/19
22	M002 NEW P & I DIAGRAM	ADD. 2	2/27/19
23	M003 PLUMBING PLAN AND MECHANICAL DETAILS		
24	E001 ELECTRICAL PLAN RELOCATED SKID		
25	E002 FLOOR PLAN W/ TANK ENCLOSURE		
26	E003 ELECTRICAL DETAILS	ADD. 2	2/27/19
27	E004 IO MATRIX		
28	SP001 SPECIFICATIONS		
29	SP002 SPECIFICATIONS		
30	SP003 SPECIFICATIONS		
31	SP004 SPECIFICATIONS		
32	SP005 SPECIFICATIONS	ADD. 2	2/27/19



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SHEET NO: 1 NO. OF SHEETS: 32

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POWER HOUSE FUEL TANK SHELTER - CODE REVIEW

PROJECT DESCRIPTION:

CURRENTLY PRATT & WHITNEY STORES #2 FUEL OIL REQUIRED TO SUPPLY THE POWER HOUSE BOILERS IN UNDERGROUND STORAGE TANKS (UST'S). THE TANKS WILL BE REACHING THEIR LIFE EXPECTANCY IN THE NEAR FUTURE. THE PROPOSED PROJECT WILL REPLACE THE UST'S WITH ABOVE GROUND STORAGE TANKS (AST'S) CONSISTING OF TWO NEW 30,000 GALLON DOUBLE WALL FIREGUARD TANKS. THE TANKS WILL BE LOCATED AT GRADE IN PLACE OF THE EXISTING PUMP HOUSE. THE EXISTING TRUCK UNLOADING STATION WILL REMAIN. THE NEW AST'S ARE DOUBLE WALL, HAVE 110 PERCENT CONTAINMENT WITH LEAK DETECTION, AND A 2 HOUR FIRE RATING, MEETING UL 2085 STANDARD.

CODES TO WHICH THIS PROJECT HAS BEEN DESIGNED

- A. CONNECTICUT STATE BUILDING CODE
2018 CONNECTICUT STATE BUILDING CODE WITH PORTIONS OF THE 2015 INTERNATIONAL BUILDING CODE
- B. NFPA 30, 2015, FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE. #2 FUEL OIL#2 FUEL OIL, NFPA 30 CLASS II COMBUSTIBLE LIQUID
- C. NFPA 31, 2015, INSTALLATION OF OIL BURNING EQUIPMENT. #2 FUEL OIL, NFPA 30 CLASS II COMBUSTIBLE LIQUID
- D. ASME B31.3
- E. NFPA 70, 2017 NATIONAL ELECTRICAL CODE.
#2 FUEL OIL FUEL STORAGE, VENTING AND PUMPING, ELECTRICAL UNCLASSIFIED AREA, CHAPTER 3 WIRING METHODS.
- F. CONNECTICUT STATE BUILDING CODE
2015 INTERNATIONAL MECHANICAL CODE WITH 2018 STATE OF CONNECTICUT AMENDMENTS
- G. CONNECTICUT STATE BUILDING CODE
2015 INTERNATIONAL FIRE CODE WITH 2018 STATE OF CONNECTICUT AMENDMENTS
- H. SPCC REGULATIONS
THIS PROJECT COMPLIES WITH SPCC REGULATIONS.

CODE SECTION COMPLIANCE

2015 IBC

- A. USE AND OCCUPANCY CLASSIFICATION (CHAPTER 3) - UTILITY AND MISCELLANEOUS GROUP U
 - 1. HIGH HAZARD GROUP H SECTION 307 DOES NOT APPLY PER TABLE 307.1(1) FOOTNOTE (I):
THE MAXIMUM ALLOWABLE QUANTITY SHALL NOT APPLY TO FUEL OIL STORAGE COMPLYING WITH SECTION 603.3.2 OF THE INTERNATIONAL FIRE CODE
- B. CONSTRUCTION TYPE (602)
 - 1. FUEL TANK SHELTER - IIB
- C. BUILDING HEIGHT (TABLES 504.3 + 504.4)
 - 1. FUEL TANK SHELTER - ONE STORY, 26 FEET
ALLOWABLE HEIGHT - TWO STORIES, 55 FEET
- D. BUILDING AREA (TABLE 506.2)
 - 1. FUEL TANK SHELTER - 2,260 SQUARE FEET
ALLOWABLE SQUARE FEET - 8,500
- E. FIRE RESISTANT RATING OF STRUCTURAL ELEMENTS (TABLE 601)
 - 1. FUEL TANK SHELTER - TYPE IIB
 - a. STRUCTURAL FRAME - COLUMNS, GIRDERS, ROOF PURLINS 0 HR
 - b. NON BEARING WALLS, LOUVERS 0 HR
- F. FIRE RESISTANCE RATING / SEPARATION DISTANCE (TABLE 602) 1 HR
 - 1. POWERHOUSE: 60 FEET PROVIDED
 - 2. ADMINISTRATION BUILDING: 130 FEET PROVIDED
 - 3. MAIN STREET: 130 FEET PROVIDED
TANKS ARE UL 2085 - 2 HOUR FIREGUARD, STRUCTURES ARE TYPE IIB CONSTRUCTION
- G. OCCUPANT LOAD
 - 1. FUEL TANK SHELTER - UNINHABITED SPACE WITH EXCEPTION OF SERVICING TANKS
- H. 2015 IBC SECTION 414
 - a. SECTIONS 414.6.1 WEATHER PROTECTION - COMPLIES
- I. 2015 IFC CHAPTER 6 BUILDING SERVICES AND SYSTEMS
 - a. SECTION 603.3.1 THE STORAGE OF FUEL OIL ABOVE GROUND IN QUANTITIES EXCEEDING 660 GALLONS SHALL COMPLY WITH NFPA 31.
- J. 2011 NFPA 31 INSTALLATION OF OIL BURNING EQUIPMENT
 - a. SECTION 7.8.3 A TANK OR TANKS WHOSE CAPACITY EXCEEDS 660 GAL SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF CHAPTER 22 OF NFPA 30.
- K. 2012 NFPA 30 CHAPTER 22 STORAGE OF LIQUID IN TANKS - ABOVEGROUND STORAGE TANKS
 - a. SECTION 22.2.3 - COMPLIES- TANKS ARE UL2085 LISTED
 - b. SECTION 22.4.1 - COMPLIES WITH NFPA 30 TABLE 22.4.1(A) AND TABLE 22.4.1(B)
 - c. SECTION 22.4.2 - COMPLIES - TANK SPACING GREATER THAN MINIMUM REQUIRED
 - d. SECTION 22.5.1- COMPLIES - TANKS ARE UL2085
 - e. SECTION 22.5.2 - COMPLIES - CONCRETE FOUNDATIONS PROVIDED

- f. SECTION 22.6 - COMPLIES - SEE ITEM BELOW
- g. SECTION 22.7 - COMPLIES- REFER TO VENDOR SHOP DRAWINGS
- h. SECTION 22.8 - NOT APPLICABLE - UNDER 50,000 GALLONS, NOT A CLASS I LIQUID
- i. SECTION 22.10 - COMPLIES - TANKS ARE UL2065 LISTED
- j. SECTION 22.11 - COMPLIES - TANKS ARE DOUBLE WALL
- k. SECTION 22.11.4 - COMPLIES - DESIGN COMPLIES WITH ALL ITEMS EXCEPT FOR ITEM 22.1.4.1 WHICH LIMITS SECONDARY CONTAINMENT TANKS TO 20,000 GALLONS CAPACITY. THIS WAS CHANGED IN THE 2015 NFPA 30 CODE TO 50,000 GALLONS. OUR TANKS ARE 30,000 GALLONS AND WITHIN THE CODE LIMITS.
- l. SECTION 22.13 - COMPLIES WITH ALL ITEMS - DUPLICATE REQUIREMENT OF FIRE CODE
- m. SECTION 22.15 - COMPLIES - SEE ITEM 1 ABOVE.
- L. 2015 IMC CHAPTER 13 - COMPLIES - REFERS TO CHAPTER 57 IFC
- M. 2015 IFC CHAPTER 57
 - a. SECTION 5703.1 - COMPLIES, CLASS II COMBUSTIBLE LIQUID STORED BELOW FLASH POINT NO HAZARDOUS LOCATION WIRING REQUIRED.
 - b. SECTION 5703.2 FIRE PROTECTION PER 903.2.1 NOT REQUIRED
 - c. SECTION 5703.4 - COMPLIES
 - d. SECTION 5703.5.1 - OWNER TO PROVIDE "HAZARDOUS SIGNAGE"
 - e. SECTION 5703.6.2 - COMPLIES -DESIGNED PER ASME B31.3
 - f. SECTION 5703.6.3 - COMPLIES - TESTED TO B31.9
 - g. SECTION 5703.6.5 - COMPLIES
 - h. SECTION 5703.6.6 - COMPLIES - SEE DRAWING M002
 - i. SECTION 5703.6.7 - NA - NO CONNECTIONS BELOW NORMAL LIQUID LEVEL
 - j. SECTION 5703.6.8 - COMPLIES - AREA PITCHED TO DRAIN
 - k. SECTION 5703.6.9 - NA
 - l. SECTION 5703.6.10 - COMPLIES - SEE DRAWING SP004 SECTION 15000 MECHANICAL ITEM 3, PROCESS PIPING
 - m. SECTION 5704.2.3 - OWNER TO PROVIDE "HAZARDOUS SIGNAGE"
 - n. SECTION 5704.2.4 - COMPLIES
 - o. SECTION 5704.2.5 - NA
 - p. SECTION 5704.2.6 - COMPLIES - SEE SITE PLAN
 - q. SECTION 5704.2.7 - COMPLIES - TANKS ARE DESIGNED TO UL2085 AS ALLOWED BY SECTION 21.4.2.1.1 OF NFPA 30.
 - r. SECTION 5704.2.7.3 - COMPLIES - TANK VENTS RUN VERTICALLY UP ABOVE THE ROOF AND TERMINATE WITH A WEATHER HOOD.
 - s. SECTION 5704.2.7.4 - UL2085 TANK - COMPLIES WITH EXCEPTION 2.
 - t. SECTION 5704.2.7.5 - COMPLIES-THERE ARE NO CONNECTIONS BELOW LIQUID LEVEL. A MANUAL GAUGING ACCESS HATCH IS PROVIDED, DROP TUBES PROVIDED, CONNECTION LOCATIONS ARE OUTDOORS BELOW S' ABOVE GROUND
 - u. SECTION 5704.2.7.5.8 - COMPLIES - AUTO SHUTOFF DEVICES ARE PROVIDED - SEE DRAWING M001.
 - v. SECTION 5704.2.7.11 - TANK HAS INTERIOR COATING COMPATIBLE WITH #2 FUEL OIL
 - w. SECTION 5704.2.9.2 - NA
 - x. SECTION 5704.2.9.2.3 - TANKS ARE UL 2085 CONSTRUCTION
 - y. SECTION 5704.2.9.3 - COMPLIES
 - z. SECTION 5704.2.9.4 - COMPLIES
 - aa. SECTION 5704.2.9.6.1.1 - COMPLIES WITH NFPA 30 TABLE 22.4.1.1(A)
 - bb. SECTION 5704.2.9.6.2 - COMPLIES WITH NFPA 30 TABLE 22.4.2.1
 - cc. SECTION 5704.2.9.7.1,2,3,4,5 - COMPLIES - TANKS ARE UL2085 LISTED, HAVE NORMAL AND EMERGENCY VENTS, INTEGRAL SECONDARY CONTAINMENT AND VEHICLE IMPACT PROTECTION.
 - dd. SECTION 5704.2.9.7.6 - COMPLIES - SEE DRAWING M002
 - ee. SECTION 5704.2.9.7.7 - COMPLIES - DIRECT CONNECTION IS PROVIDED
 - ff. SECTION 5704.2.9.7.9 - COMPLIES
 - gg. SECTION 5704.2.9.7.10 - COMPLIES - TANK AUTO SHUTOFF VALVES HAVE AN ANTI-PHON FEATURE. TANK SUCTION LINES HAVE NORMALLY CLOSED MOTORIZED SHUTOFF VALVES.
 - hh. SECTION 5704.2.10 - COMPLIES - NO DIKES, DRAINAGE IS TO LOCAL SUMP, TANKS ARE DOUBLE WALL
 - ii. SECTION 5705.2 - COMPLIES- PIPING AND VALVES ARE APPROVED FOR THIS SERVICE.
- N. 2017 NFPA 70
 - a. COMPLIES, CHAPTER 3 WIRING METHODS ARE USED.
- O. 2015 IFC CHAPTER 6
 - a. SECTIONS 605 COMPLIES, CHAPTER 3 WIRING METHODS ARE USED, COMBUSTIBLE CLASS II LIQUID STORED BELOW FLASH POINT.

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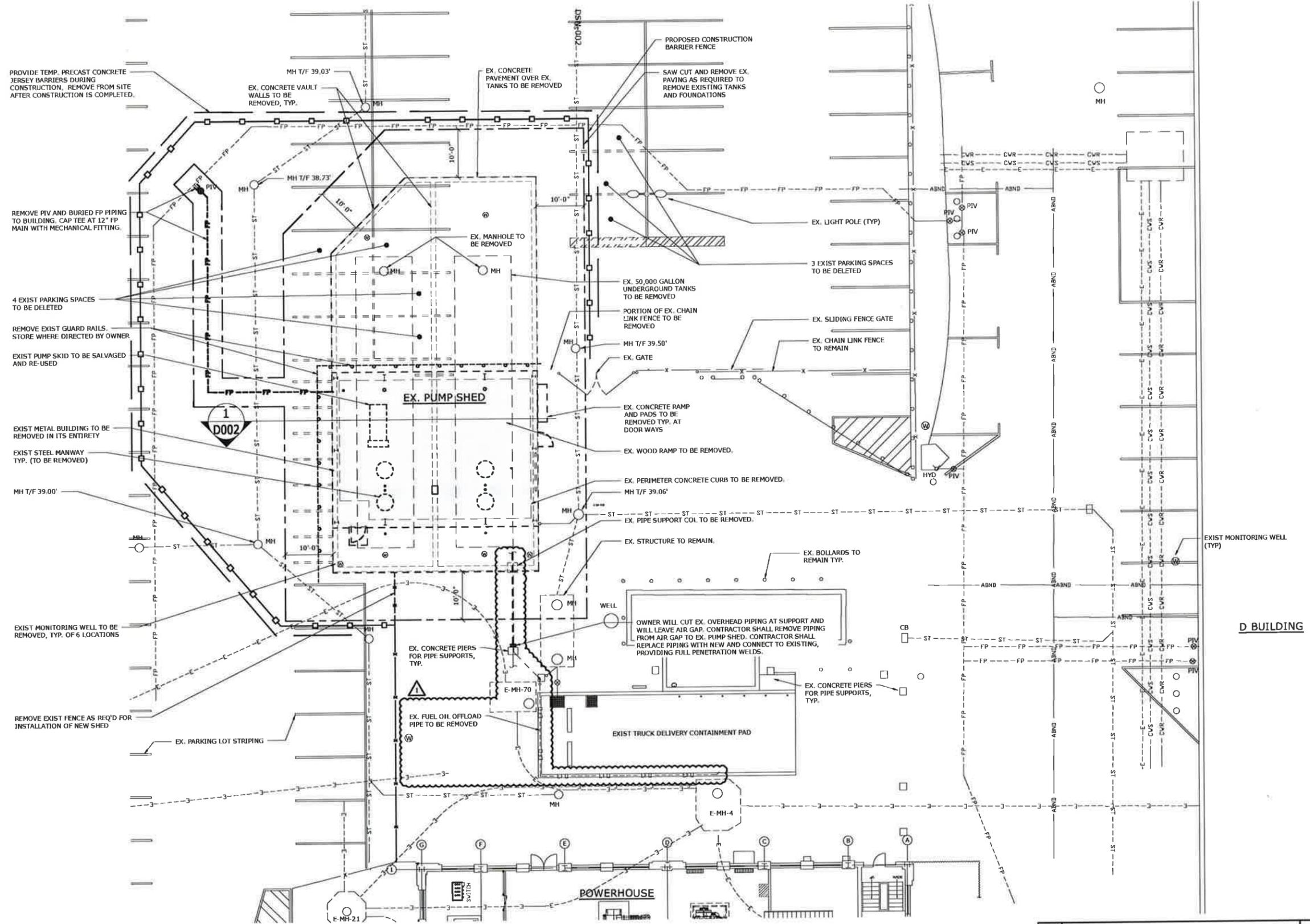
Pratt & Whitney
A United Technologies Company



FACILITIES & SERVICES
EAST HARTFORD, CT 06108, U.S.A.

REV	DESCRIPTION OF REVISION	DATE	DRAWN BY	APP. BY
0				
1				

CODE REVIEW SHEET		PLANT NO. EHF	BUILDING / SITE POWER HOUSE
		EST. FUNCTIONAL LOCATION EHF1-FAC-01580	EST. PHYSICAL LOCATION
DESIGNED BY	KMB	DATE	02/05/19
CHECKED BY	KMB	DATE	02/05/19
APPROVED BY	KMB	DATE	02/05/19
DRAWING NO.	1003728040		
PROJECT NO.	1003728040-D-CR001		
SCALE	NONE		
SHEET NO.	2	TOTAL SHEETS	32



1 PART SITE PLAN
1" = 10'

- NOTES:**
- UNDERGROUND PIPE AND BUCK DUCT ROUTING SHOWN IS SCHEMATIC IN NATURE.
 - COORDINATE ALL SYSTEM SHUT DOWNS WITH OWNER.
 - ALL WORKERS PERFORMING EXCAVATIONS OR CONTACTING SOIL MUST HAVE 40-HOUR HAZWOPER TRAINING.

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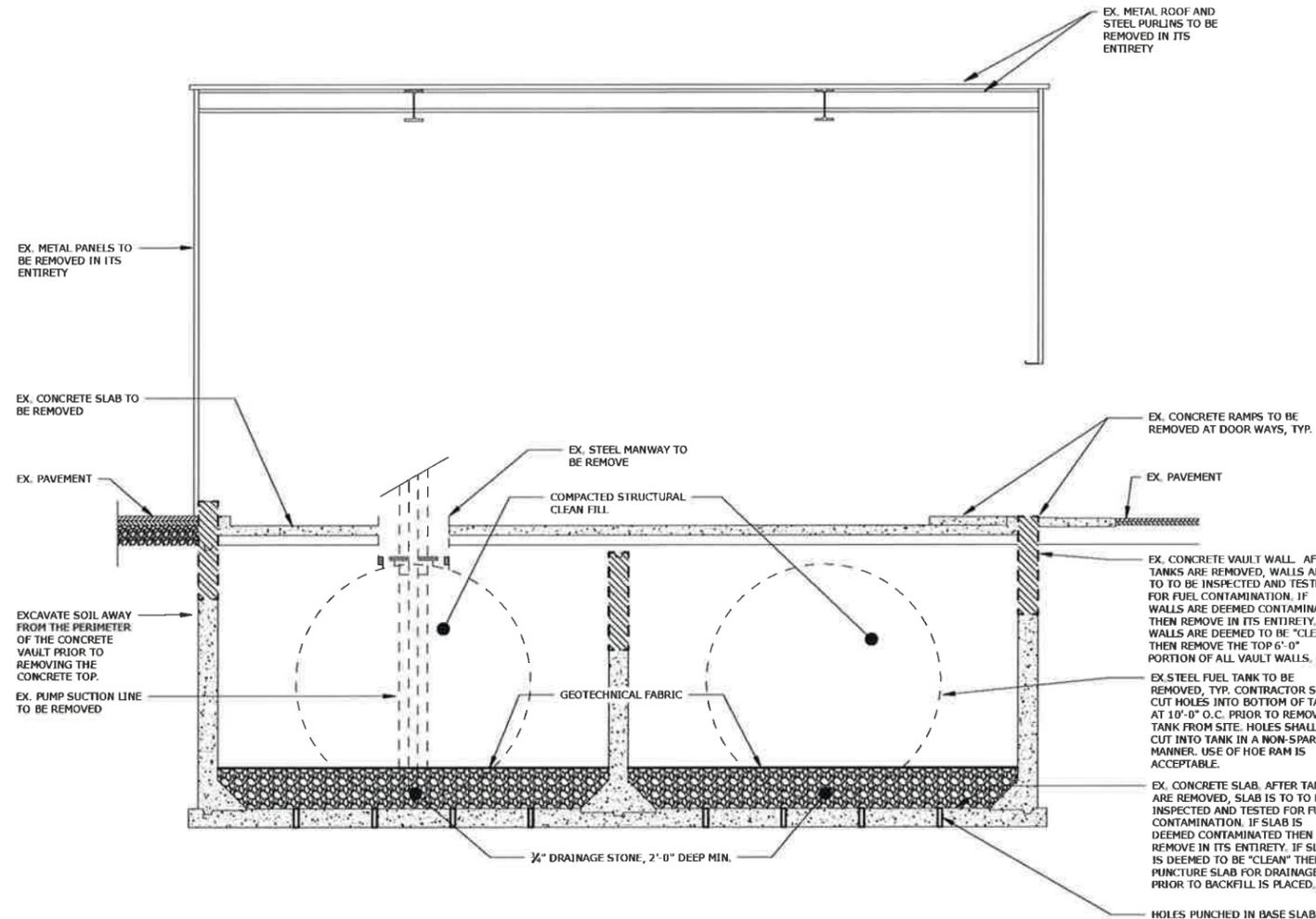
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Comm No. 68P66 59

1	ADDENDUM No. 2	02/27/19	IB	EGS
REV	DESCRIPTION OF REVISION	DATE	DRAWN BY	APP'D BY
			EH	POWER HOUSE
DEMOLITION SITE PLAN		EHP1-FAC-01580		
		POWERHOUSE UST REMOVAL & REPLACEMENT OPTIONS		
DESIGNED BY	JTF	DATE	02/05/19	
CHECKED BY	KMB	DATE	02/05/19	
APPROVED BY	KMB	DATE	02/05/19	
SCALE	AS NOTED			
PROJECT NO.	1003728040	DISCIPLINE	32	
DATE	02/05/19	REV	3	

C:\Users\jtf\Documents\Projects\1003728040\1003728040-001.dwg 2/27/2019 3:05 PM P:\Users\jtf\1003728040-001.dwg 2/27/2019 3:07 PM



NOTE: ALL FILL BROUGHT TO SITE MUST BE CONSIDERED "CLEAN FILL" PER CT REMEDIATION STANDARD REGULATIONS RCSA 22a-133k.

1 SECTION - BASE BID
1/4" = 1'-0"

BASE BID DEMOLITION / TANK REMOVAL (NO CONTAMINATION)

- REMOVE EXISTING CONCRETE SLAB OVER EXISTING FUEL TANKS.
- GROUNDWATER WILL BE ENCOUNTERED IN THE EXCAVATION. CONTRACTOR SHALL PROVIDE DEWATERING AS REQUIRED. ALL GROUNDWATER SHALL BE PUMPED TO FRAC TANKS THAT ARE TO BE PROVIDED BY THE CONTRACTOR. PRATT & WHITNEY WILL TEST THE WATER AND THEN WILL DISPOSE OF THE WATER. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SECONDARY CONTAINMENT AREA AROUND ALL FRAC TANKS.
- THE SOIL SURROUNDING THE EXISTING STEEL TANKS WITHIN THE UNDERGROUND CONCRETE TANK HAS BEEN TESTED AND CONFIRMED TO BE POLLUTED BUT NOT HAZARDOUS. THE SOIL HAS BEEN DEFINED AS POORLY GRADED SAND WITH SILT AND IS NOT SUITABLE TO BE USED AS STRUCTURAL BACKFILL. THE SOIL SHALL BE REMOVED AND PLACED IN CONTAINERS PROVIDED BY PRATT & WHITNEY. SOIL DISPOSAL WILL BE BY PRATT & WHITNEY.

ADD/ALTERNATE NO. 1:

- PROVIDE COST TO TRANSPORT SOIL TO D-1 PARKING LOT AND MIX IN A COARSER AGGREGATE TO PROVIDE A BLEND IN ACCORDANCE WITH SIEVE ANALYSIS ON DWG 5001. RE-TRANSPORT MATERIAL TO JOB SITE AND PROPERLY BACKFILL.
- REMOVE STEEL TANKS AND CUT HOLES IN BOTTOM OF TANK AS DESCRIBED IN DETAIL 1/D002.
 - PRATT & WHITNEY WILL BE TESTING THE CONCRETE WALLS AND SLAB OF THE EXISTING CONCRETE CONTAINMENT SYSTEM FOR FUEL OIL CONTAMINATION.
 - IF THE EX. CONCRETE TESTS NEGATIVE FOR FUEL OIL CONTAMINATION, PROCEED WITH BASE BID OPERATION AS SHOWN IN SECTION AND AS FOLLOWS.

IF THE EX. CONCRETE TESTS POSITIVE FOR FUEL OIL CONTAMINATION, PROCEED WITH THE ADD ALTERNATE NO. 2 OF REMOVING THE CONCRETE STRUCTURE COMPLETELY AND PLACE IN CONTAINERS PROVIDED BY PRATT & WHITNEY.

BASE BID PROCEDURE:

- REMOVE THE TOP 6'-0" OF ALL VERTICAL CONCRETE WALLS.
- PUNCH HOLES IN THE BOTTOM OF THE SLAB. HOLES SHOULD BE AT LEAST 3'-0" SPACED AT 4'-0" ON CENTERS.
- PLACE A 2'-0" LAYER OF COMPACTED 3/4" STONE ON TOP OF SLAB.
- PLACE GEOTECHNICAL FABRIC OVER STONE.
- BACKFILL UNDER AND 2 FEET OUTSIDE BUILDING FOOTPRINT WITH STRUCTURAL CLEAN FILL PROPERLY COMPACTED.

ADD ALTERNATE NO. 2 DEMOLITION / TANK REMOVAL (CONTAMINATION FOUND)

- NOTES 1 THROUGH 5 FROM BASE BID APPLIES.
- IF THE EX. CONCRETE CONTAINMENT STRUCTURE TESTS POSITIVE FOR FUEL OIL CONTAMINATION, REMOVE THE CONCRETE STRUCTURE COMPLETELY AND PLACE IN CONTAINERS PROVIDED BY PRATT & WHITNEY.
- CONTRACTOR IS RESPONSIBLE TO SHORE, BRACE AND PROTECT EXCAVATION AS REQUIRED TO REMOVE EXISTING CONCRETE TANKS. CONTRACTOR WILL BE REQUIRED TO PROVIDE A BRACED EXCAVATION, EXISTING SOILS ARE CLASSIFIED AS TYPE "C", SUBMIT BRACED EXCAVATION CALCULATIONS AND SHOP DRAWINGS SIGNED & SEALED BY A STATE OF CONNECTICUT LICENSED PROFESSIONAL ENGINEER FOR REVIEW.
- BACKFILL EXCAVATION WITH COMPACTED STRUCTURAL CLEAN FILL.

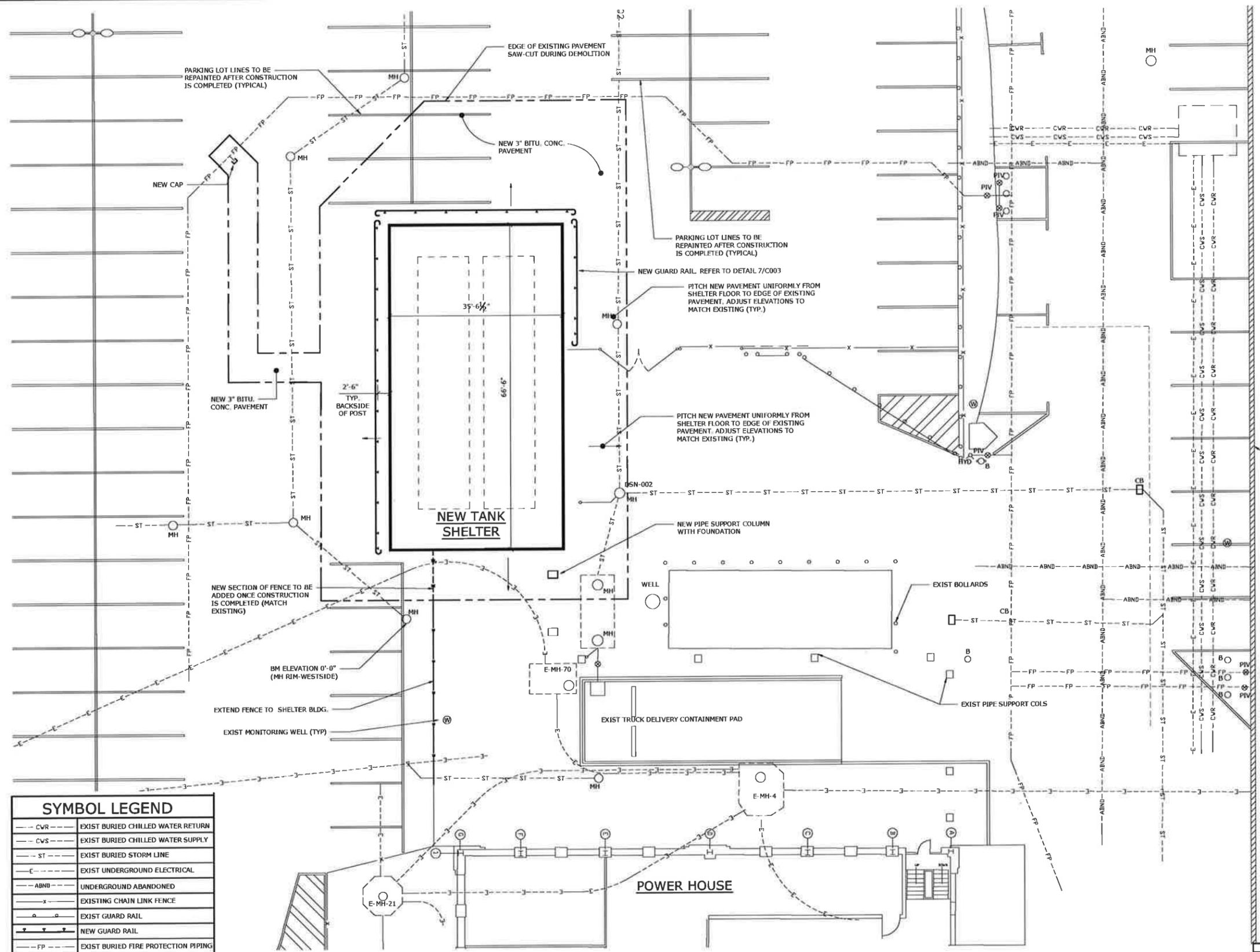
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email: info@loureiro.com
Comm No. 68PB6.59

Pratt & Whitney
A United Technologies Company
FACILITIES & SERVICES
EAST HARTFORD, CT 06108, U.S.A.

0	REV	DESCRIPTION OF REVISION	DATE	DRAWN BY	APP. BY
		DEMOLITION NOTES AND DETAILS		EHI	POWER HOUSE
		POWERHOUSE UST REMOVAL & REPLACEMENT OPTIONS		PLANT FUNCTIONAL LOCATION	EHF1-FAC-01580
DESIGNED BY	JTF	DATE	02/05/19	CHECKED BY	KMB
DATE	02/05/19	APPROVED BY	KMB	DATE	02/05/19
PROJECT NO.	1003728040	DRAWING NO.	1003728040-D-002	SHEET NO.	4
TOTAL SHEETS	32	SCALE	AS NOTED		

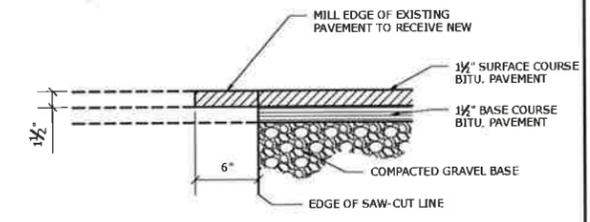


SYMBOL LEGEND	
---	EXIST BURIED CHILLED WATER RETURN
---	EXIST BURIED CHILLED WATER SUPPLY
---	EXIST BURIED STORM LINE
---	EXIST UNDERGROUND ELECTRICAL
---	UNDERGROUND ABANDONED
x	EXISTING CHAIN LINK FENCE
- - -	EXIST GUARD RAIL
- - -	NEW GUARD RAIL
---	EXIST BURIED FIRE PROTECTION PIPING
	EXIST PAVEMENT STRIPPING
○ EMH-X	EXIST ELECTRICAL MANHOLE-NUMBER
□ CB	EXIST CATCH BASIN
○○○○○○	HAYBALE SILT FENCE AT CATCH BASIN
⊗ PIV	EXIST PIV - POST INDICATOR VALVE
○ MH	EXIST MANHOLE
○ B	EXIST PIPE BOLLARD
⊕ HYD	EXIST HYDRANT
○ ○	EXIST LIGHT POLE
⊙	EXIST MONITORING WELL

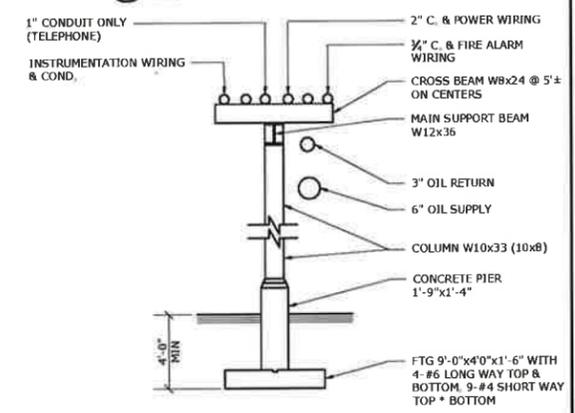
1 PART SITE PLAN
1" = 10'

NOTES:

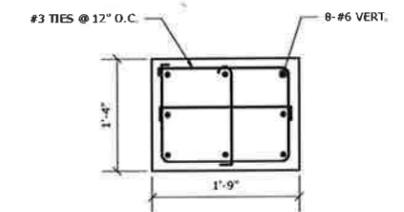
- UNDERGROUND PIPE AND BUCK DUCT ROUTING SHOWN IS SCHEMATIC IN NATURE.
- COORDINATE ALL SYSTEM SHUT DOWNS WITH OWNER.
- ALL FILL BROUGHT TO SITE MUST BE CONSIDERED "CLEAN FILL" PER CT REMEDIATION STANDARD REGULATIONS RCSA 228-133K



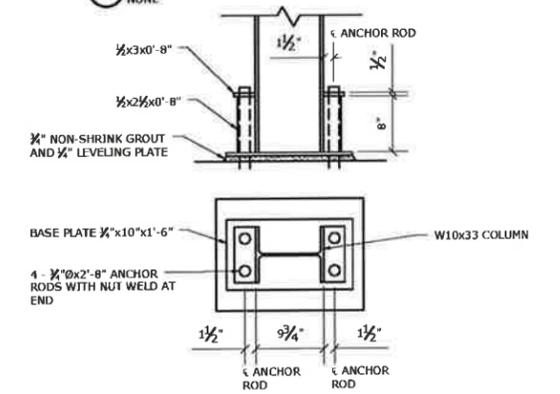
1 NEW PAVEMENT DETAIL
NONE



2 PIPE SUPPORT ANCHOR
NONE



3 PIPE SUPPORT PIER DETAIL
NONE



4 PIPE SUPPORT BASE PLATE DETAIL
NONE



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NO.	DESCRIPTION OF REVISION	DATE	DRAWN BY	APP. BY
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1				

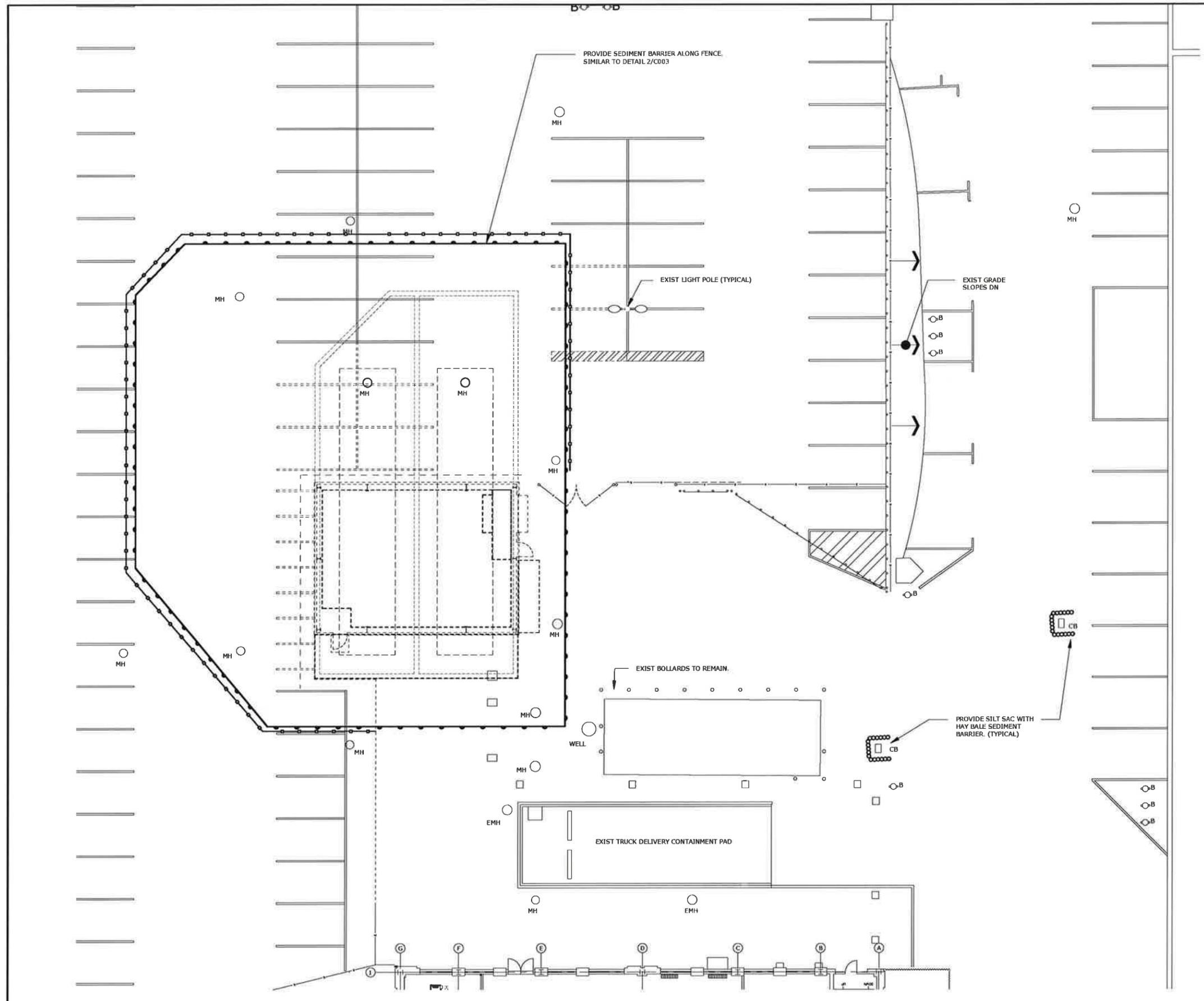
PLANT NO.	EH	BUILDING / SITE	POWER HOUSE
MAP FUNCTIONAL LOCATION	EHF1-FAC-01580		
PLANT CONSTRUCTION / FUNCTIONAL LOCATION			
DESIGNED BY	JTF	DATE	02/05/19
CHECKED BY	KMB	DATE	02/05/19
APPROVED BY	KMB	DATE	02/05/19
SCALE	AS NOTED		
PROJECT NO.	1003728040	DATE	02/05/19
REVISION NO.	1003728040-D-C001	DATE	
TOTAL SHEETS	32		

**SOIL EROSION AND SEDIMENT CONTROL
GENERAL NOTES:**

- DRAINAGE FROM THE SITE ENTERS THE SEWER SYSTEM OF THE TOWN. ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A MANNER TO AVOID SILTATION OF THE SEWER SYSTEM OR DAMAGE THERE TO. IN PARTICULAR, THE DISCHARGE OF SILT TO THE CITY SEWERS SHALL BE PREVENTED AND ALL APPLICABLE REGULATIONS OR REQUIREMENTS OF THE STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION. REGULATIONS SHALL BE ADHERED TO, INCLUDING THE PLACEMENT OF EROSION CONTROL AND SEDIMENT BARRIERS AS SHOWN ON THE DRAWINGS. WHEN THE CONSTRUCTION WORK IS COMPLETED, THE CONTRACTOR SHALL CLEAN AND RESTORE THE NATURAL DRAINAGE AREAS AFFECTED BY HIS OPERATIONS TO THEIR ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- PRIOR TO CONSTRUCTION, ALL EROSION CONTROL BARRIERS SHOULD BE PLACED TO CONFINE SEDIMENT AS SHOWN ON DRAWINGS AND WHERE REQUIRED BY THE OWNER. EROSION CONTROL SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL THE WORK HAS BEEN COMPLETED AND SURFACES STABILIZED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR THE CONDITION OF THE EROSION CONTROL STRUCTURES. IF THE EFFECTIVENESS OR INTEGRITY OF THE STRUCTURES IS FOUND TO BE INSUFFICIENT OR IF THE STRUCTURES ARE DAMAGED IN ANY WAY, THE CONTRACTOR SHALL MAKE WHATEVER REPAIRS ARE NECESSARY TO ENSURE THAT PROPER EROSION CONTROL IS MAINTAINED. MONITORING OF THE EROSION CONTROL IS PARTICULARLY IMPORTANT IN THE AREAS WHERE EXCAVATION OR CONSTRUCTION IS TAKING PLACE OR FOLLOWING PERIODS OF RAINFALL. ALL REPAIRS OF EROSION CONTROL STRUCTURES SHALL BE MADE BY THE CONTRACTOR AS SOON AS THE DAMAGE IS DISCOVERED.
- IF ADDITIONAL EROSION AND SEDIMENTATION CONTROL STRUCTURES ARE NECESSARY TO MINIMIZE EROSION AND SEDIMENTATION AS DETERMINED IN THE FIELD, THE CONTRACTOR SHALL INSTALL STRUCTURES AS REQUIRED.
- SITE CONSTRUCTION SHALL INCLUDE GRADING, PAVING, LANDSCAPING, AND UTILITY IMPROVEMENTS. SEE ATTACHED CONSTRUCTION SCHEDULE OF THE PROPOSED WORK. THE PROPOSED SEQUENCE OF THE CONSTRUCTION IS AS FOLLOWS:
 - INSTALL TEMPORARY CONSTRUCTION FENCE.
 - INSTALLATION OF EROSION CONTROL MEASURES TO THE EXTENT POSSIBLE (I.E. HAYBALE RINGS @ EXISTING CATCH BASINS, SILT FENCE, ETC.)
 - TOPSOIL STRIPPING AND STOCKPILING
 - EXCAVATION FOR BUILDING FOUNDATIONS.
 - BUILDING CONSTRUCTION BEGINS AND RUNS CONCURRENTLY WITH SITE CONSTRUCTION AND UTILITY IMPROVEMENT.
 - GRADING AND EXCAVATION FOR NEW UNDERGROUND UTILITIES. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES AS THE PROGRESS OF CONSTRUCTION REQUIRES.
 - INSTALLATION OF PARKING LOTS, ROADS, AND WALK BASE COURSES.
 - INSTALLATION OF CURBS, ROADS AND WALKS.
 - INSTALLATION OF REMAINING SITE IMPROVEMENTS.
 - TOPSOIL SPREADING AND FINE GRADING.
 - REMOVAL OF EROSION CONTROL MEASURES FOLLOWING SITE STABILIZATION.
 - SITE CLEAN-UP.
 - OCCUPANCY OF BUILDINGS, AND PARKING LOT.
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM; RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE.
- GRADED AREAS ARE TO BE LOAMED AND SEEDED AS SOON AS POSSIBLE AFTER CONSTRUCTION WORK IS COMPLETED.
- ALL OTHER AREAS AFFECTED BY CONSTRUCTION AND NOT TO BE FILLED ARE TO BE RESTORED TO ORIGINAL GRADE AND PAVED OR SEEDED.
- FOR SPECIFIC DETAILS AND THE APPLICATION OF EROSION AND SEDIMENTATION CONTROLS REFER TO CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, DATED JANUARY 1985, AS AMENDED TO DATE.
- FABRIC SEDIMENTATION BARRIER TO BE FIBRETEX 150 GRADE, AS MANUFACTURED BY CROWN ZELLERBACH, OR APPROVED EQUAL, OR STAKED HAYBALES.
- SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN AND AT THE TOE OF ALL SLOPES. PROVIDE HAY BALE RINGS AROUND ALL CATCH BASINS.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- CONTRACTOR IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN AND NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY.
- CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY UNFORESEEN FIELD CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE AUTHORITY AT LEAST 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL USE APPROVED METHODS AND MATERIALS FOR PREVENTION OF DISPERSION OF DUST.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM SUPPLY OF 100 FEET OF SILTATION FENCE ON THE SITE.
- EXISTING CATCH BASINS SHALL BE CLEARED OF SILT BEFORE STARTING WORK AND SHALL BE PERIODICALLY INSPECTED AND CLEANED AS NECESSARY TO PREVENT BUILDING OF SILT.
- CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM. DAMAGE SHALL BE REPAIRED IMMEDIATELY.
- CONTRACTOR SHALL AT ALL TIMES BE PREPARED TO SWEEP PAVED AREAS ADJACENT TO THE WORK AREA OF ACCUMULATED SOIL AND SEDIMENT AND THAT SURROUNDING AREAS TO BE SWEEPED AT A MINIMUM OF ONCE A WEEK OR AS DIRECTED BY THE TOWN ENGINEER.

SYMBOL LEGEND	
	DENOTES DOUBLE ROW OF HALE BALE SEDIMENT BARRIER, REFER TO DETAIL 1/C003
	DENOTES CONSTRUCTION FENCE
	DENOTES CB HAY BALE SEDIMENT BARRIER, REFER TO DETAIL 2/C003

SOIL & SEDIMENT EROSION CONTROL PLAN		DATE	DRAWN BY	APP. BY
POWERHOUSE UST REMOVAL & REPLACEMENT OPTIONS <td>02/05/19</td> <td>JTF</td> <td></td>		02/05/19	JTF	
EHI-1-FAC-01580 <td>02/05/19</td> <td>KMB</td> <td></td>		02/05/19	KMB	
1003728040 <td>02/05/19</td> <td>KMB</td> <td></td>		02/05/19	KMB	
1003728040-D-C002 <td></td> <td></td> <td></td>				
6				32



2 EROSION CONTROL PLAN
1"=10'

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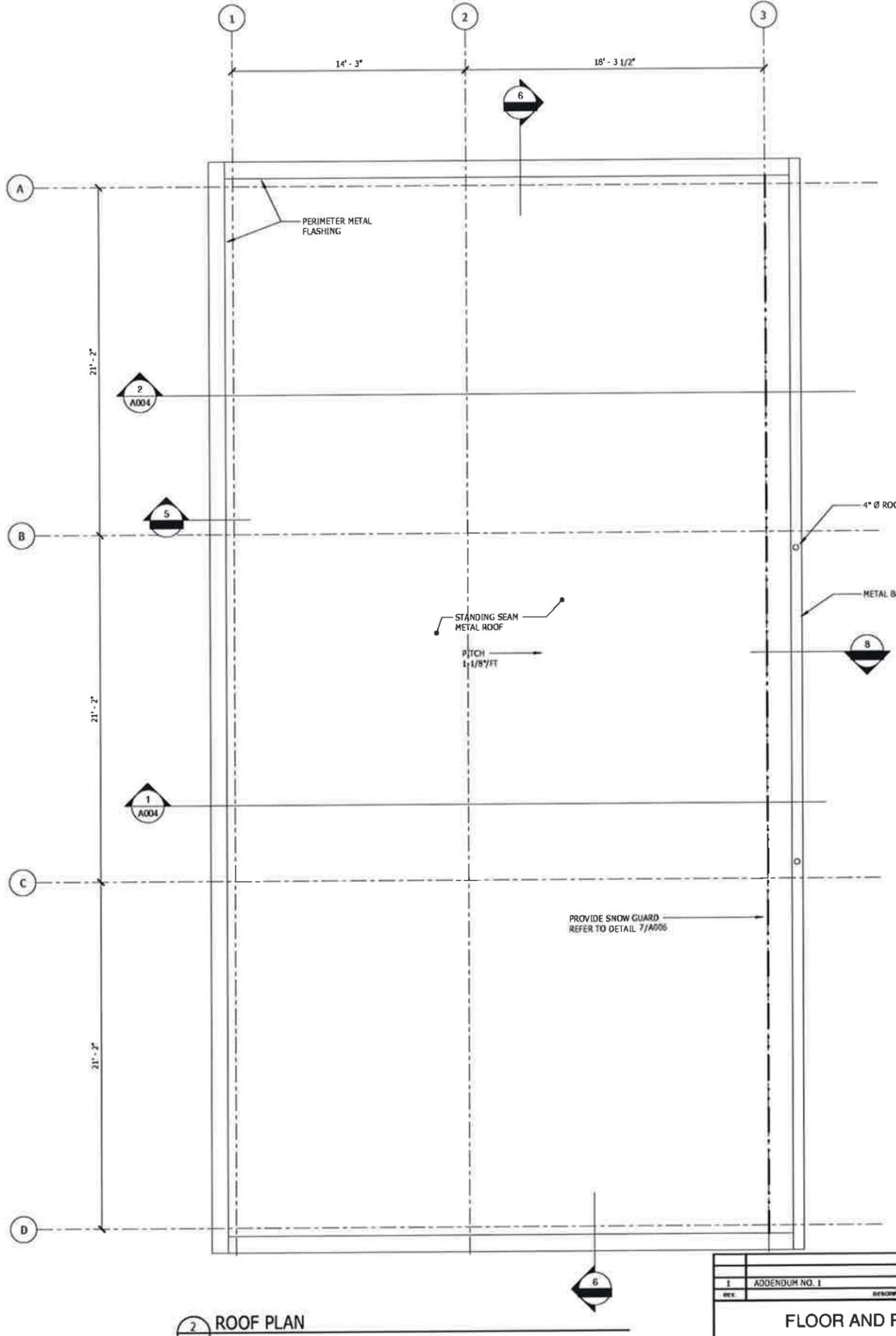
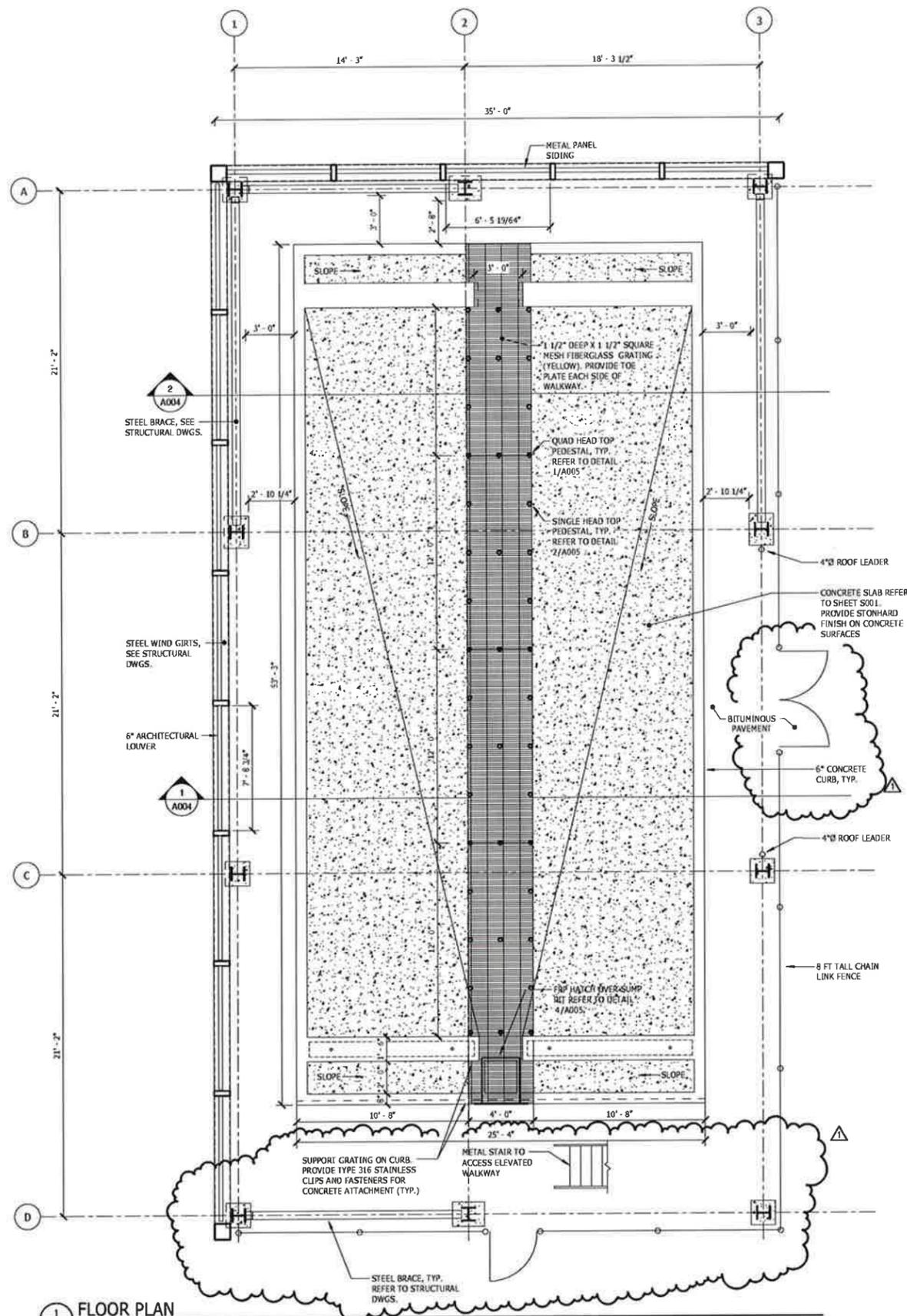
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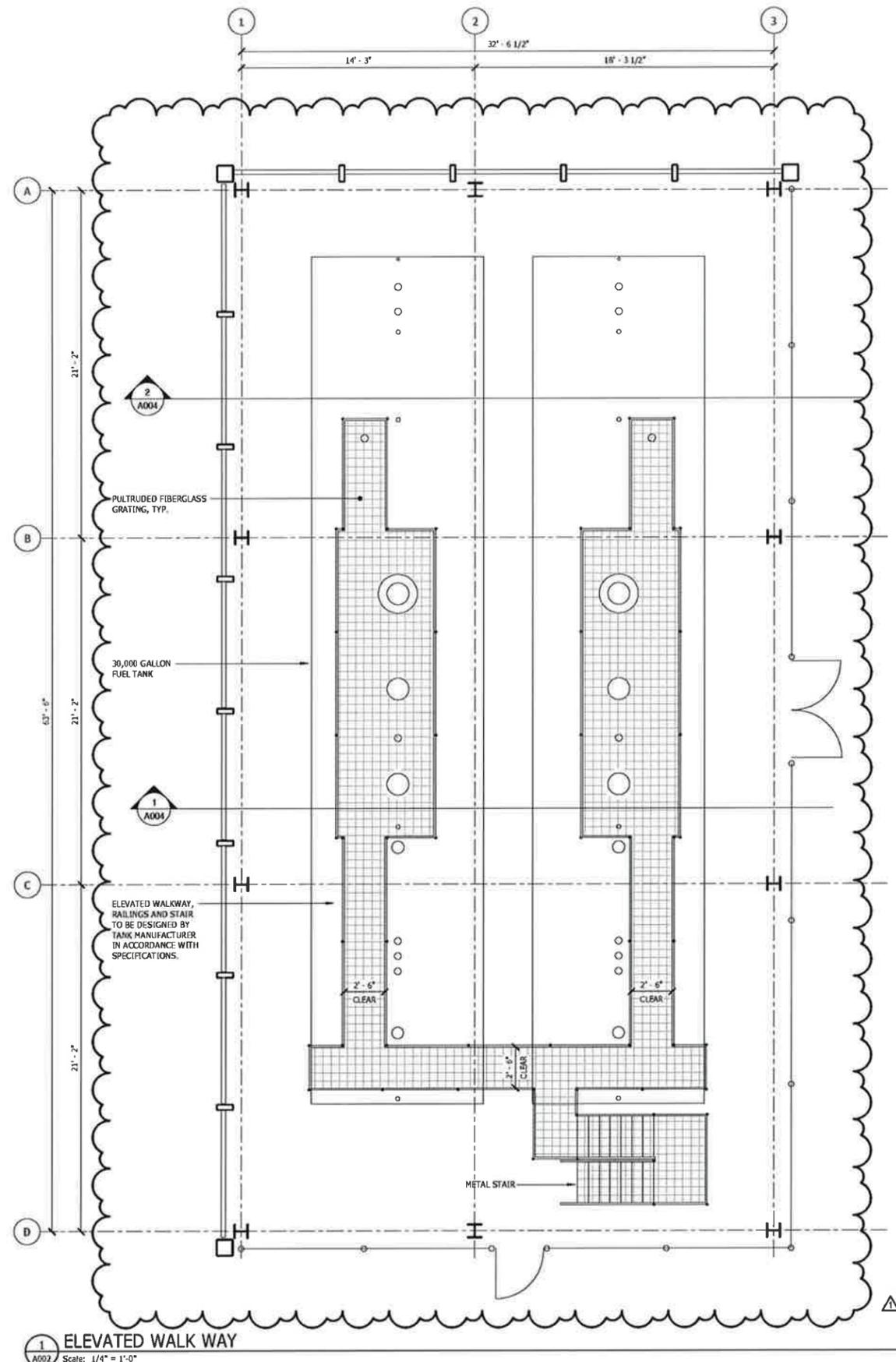
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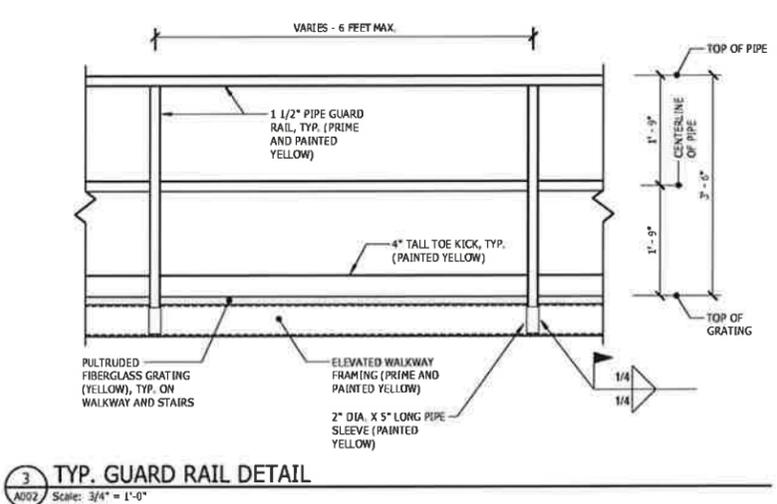
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1 ADDENDUM NO. 1		DATE: 02/15/19	KB	EGS
DESCRIPTION OF REVISION:		DATE:	DRAWN BY:	APP. BY:
FLOOR AND ROOF PLANS		PLANT NO.:	POWER HOUSE	
POWERHOUSE UST REMOVAL & REPLACEMENT OPTIONS		DESIGNED BY:	KB	02/05/19
		CHECKED BY:	EGS	02/05/19
		APPROVED BY:	EGS	02/05/19
		SCALE:	1003728040	
		PROJECT NO.:	1003728040-D-A001	
		SCALE:	1/4" = 1'-0"	
		SHEET NO.:	8	TOTAL SHEETS: 31



- ELEVATED WALKWAY NOTES:**
- TANK ELEVATED WALKWAY AND ACCESS STAIR SHALL BE DESIGNED, FURNISHED AND INSTALLED IN ACCORDANCE WITH ALL FEDERAL, STATE OF CONNECTICUT, AND OSHA CODES AND REGULATIONS. THE DESIGN AND DETAILING SHALL CONFORM TO ALL APPLICABLE CODES AND STANDARDS AND SHALL COMPLY WITH CONTRACT DOCUMENTS.
 - ELEVATED WALKWAY, STAIRS AND ITS ATTACHMENTS SHALL BE FULLY DESIGNED AND FABRICATED BY A QUALIFIED TANK SUPPLIER. G.C. IS RESPONSIBLE TO PROVIDE INSTALLATION OF ALL COMPONENTS.
 - THESE SPECIFICATIONS ARE FOR FULLY ENGINEERED ELEVATED WALKWAY(S) OF STEEL CONSTRUCTION AND SHALL BE REGARDED AS MINIMUM STANDARDS FOR DESIGN AND CONSTRUCTION.
 - INSIDE CLEAR WIDTH OF THE WALKWAY SHALL BE 30 INCHES.
 - THE ELEVATED WALKWAY SHALL HAVE PULTRUDED FIBERGLASS GRATING MEETING THE LOAD AND DEFLECTION REQUIREMENTS LISTED BELOW.
 - THE ELEVATED WALKWAY AND STAIR SHALL INCORPORATE A COMBINATION RAIL SYSTEM CONSISTING OF A TOE PLATE AND A MID RAIL TO MEET OSHA COMPLIANCE REQUIREMENTS. REFER TO TYPICAL RAILING DETAIL ON DRAWINGS. TOP OF TOP RAIL SHALL NOT BE LESS THAN 42 INCHES ABOVE THE FINISHED DECK. ENDS OF HANDRAILS SHALL BE RETURNED SMOOTHLY TO FLOOR OR POSTS. ALL GEOMETRY IS TO BE SMOOTH WITH NO SHARP CORNERS.
 - THE ELEVATED WALKWAY AND STAIRS SHALL BE DESIGNED FOR THE FOLLOWING LOAD CRITERIA:
 - DEAD LOAD: THE ELEVATED WALKWAY SHALL BE DESIGNED CONSIDERING ITS OWN DEAD LOAD INCLUDING STRUCTURE AND DECKING.
 - LIVE LOAD: ALL SUPPORTING MEMBERS SHALL BE DESIGNED FOR A UNIFORMLY DISTRIBUTED LOAD OF 60 POUNDS PER SQUARE FOOT AND A 500 POUND POINT LOAD ACTING NON-SIMULTANEOUSLY.
 - WIND LOAD: REFER TO WIND LOAD CRITERIA UNDER GENERAL NOTES ON DRAWING S001.
 - SEISMIC LOAD: REFER TO SEISMIC LOAD CRITERIA UNDER GENERAL NOTES ON DRAWING S001.
 - LIMIT VERTICAL DEFLECTION TO 1/360 OF THE SPAN OR 1/4 INCH, WHICHEVER IS LESS. LIMIT HORIZONTAL DEFLECTION SHALL NOT EXCEED 1/500 OF THE SPAN.
 - ALL STRUCTURAL MEMBERS SHALL BE PAINTED (YELLOW) STRUCTURAL STEEL. REFER TO STRUCTURAL STEEL NOTES ON DRAWING S001 FOR ADDITIONAL INFORMATION.
 - REFER TO STRUCTURAL STEEL NOTES ON DRAWING S001 FOR WELDING AND BOLTING REQUIREMENTS.
 - FABRICATION DRAWINGS AND CALCULATIONS SHALL BE PREPARED AND SUBMITTED FOR REVIEW AFTER RECEIPT OF THE ORDER. SUBMITTAL DRAWINGS SHALL BE UNIQUE DRAWINGS TO THIS PROJECT, PREPARED TO ILLUSTRATE THE SPECIFIC PORTION OF THE CATWALK(S) BEING FABRICATED. ALL RELATIVE DESIGN INFORMATION SUCH AS MEMBER SIZE, MATERIAL SPECIFICATION, DIMENSIONS, AND REQUIRED CRITICAL WELDS SHALL BE CLEARLY SHOWN ON THE DRAWINGS. DRAWINGS SHALL HAVE CROSS REFERENCED DETAILS AND SHEET NUMBERS. ALL DRAWINGS SHALL BE STAMPED, AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF CONNECTICUT.



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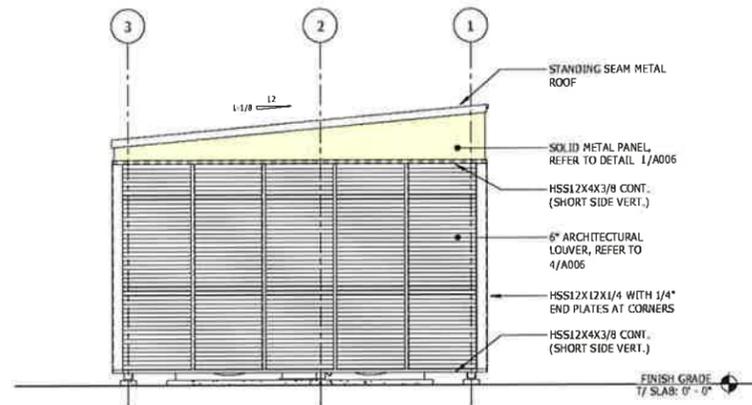
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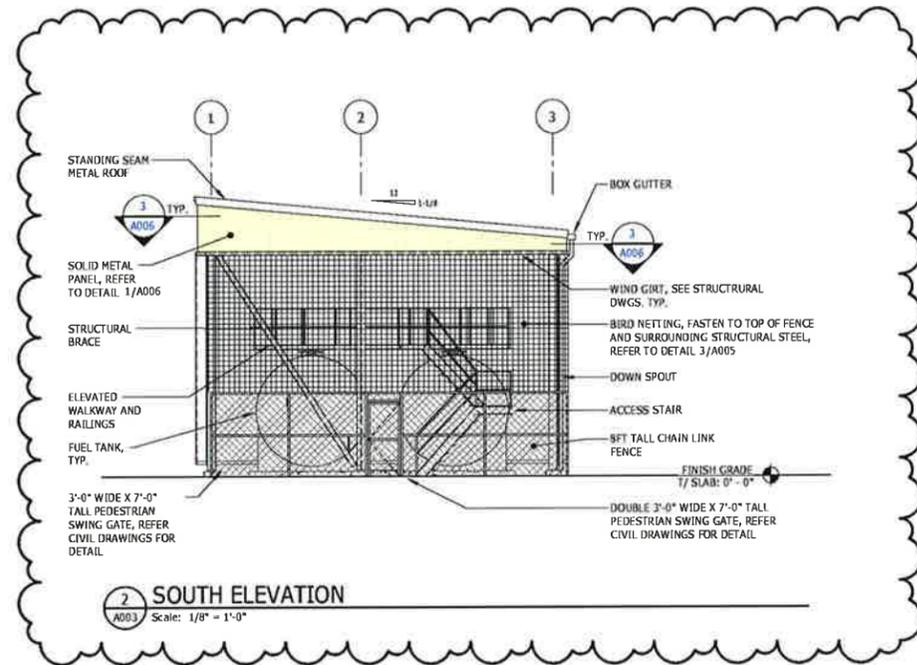
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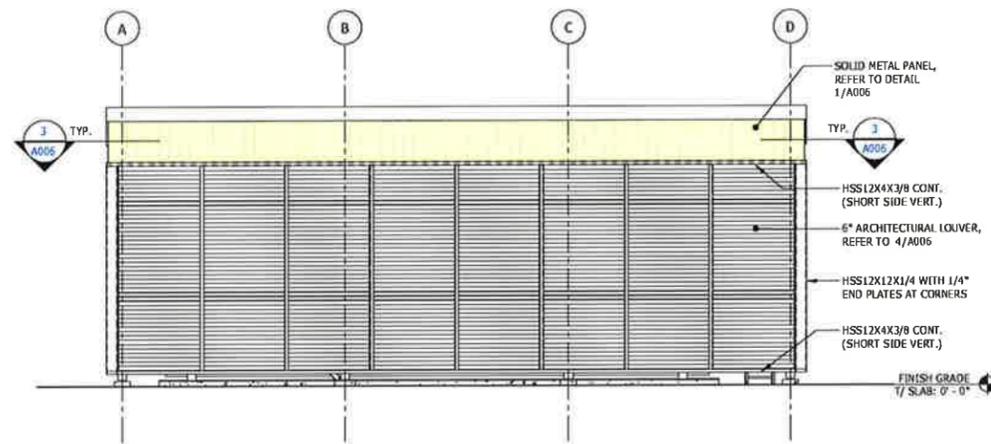
1	ADDENDUM NO. 1	02/15/19	KB	EGS
DATE	DESIGNED BY	DATE	CHECKED BY	DATE
	EH	02/06/18	EGS	02/06/18
ELEVATED WALKWAY PLAN AND DETAILS		POWERHOUSE		
POWERHOUSE UST REMOVAL & REPLACEMENT OPTIONS		1003728040		
1003728040-D-A002		31		



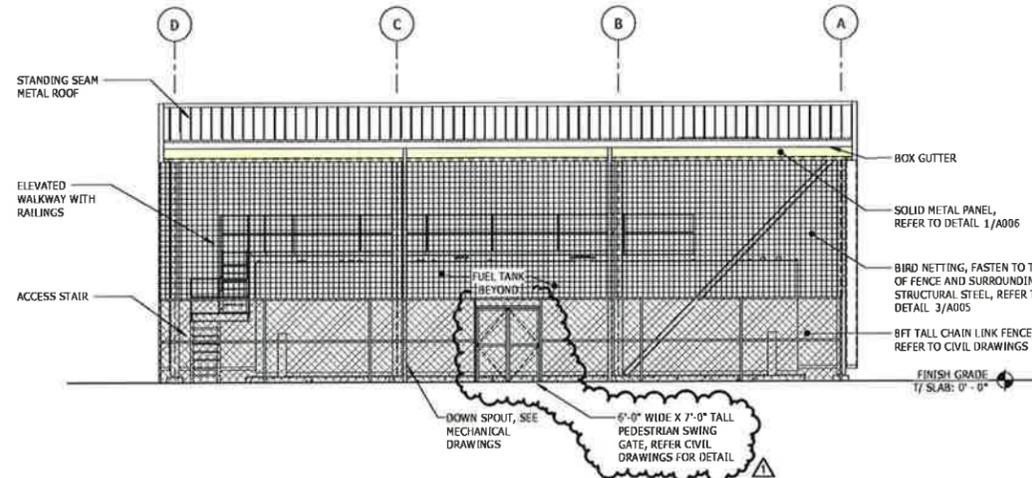
1 NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



4 WEST ELEVATION
Scale: 1/8" = 1'-0"



3 EAST ELEVATION
Scale: 1/8" = 1'-0"

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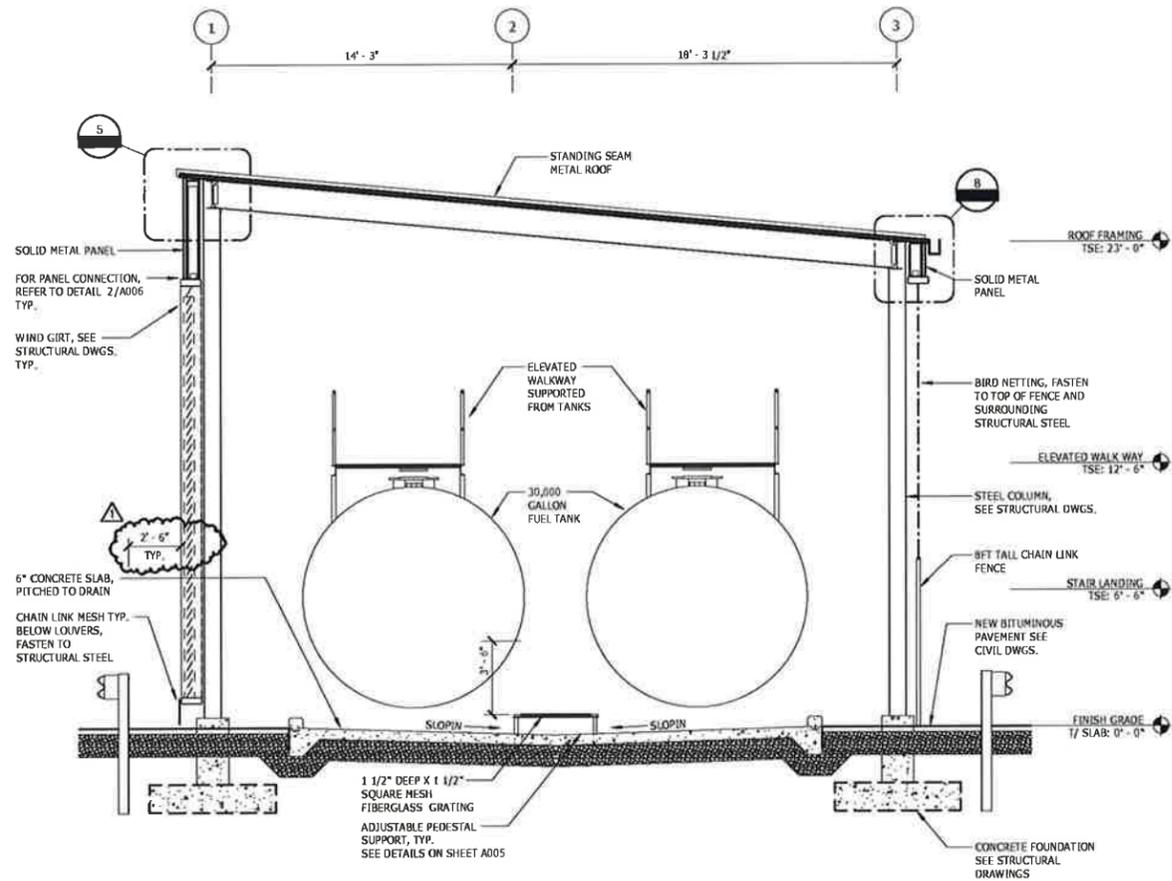


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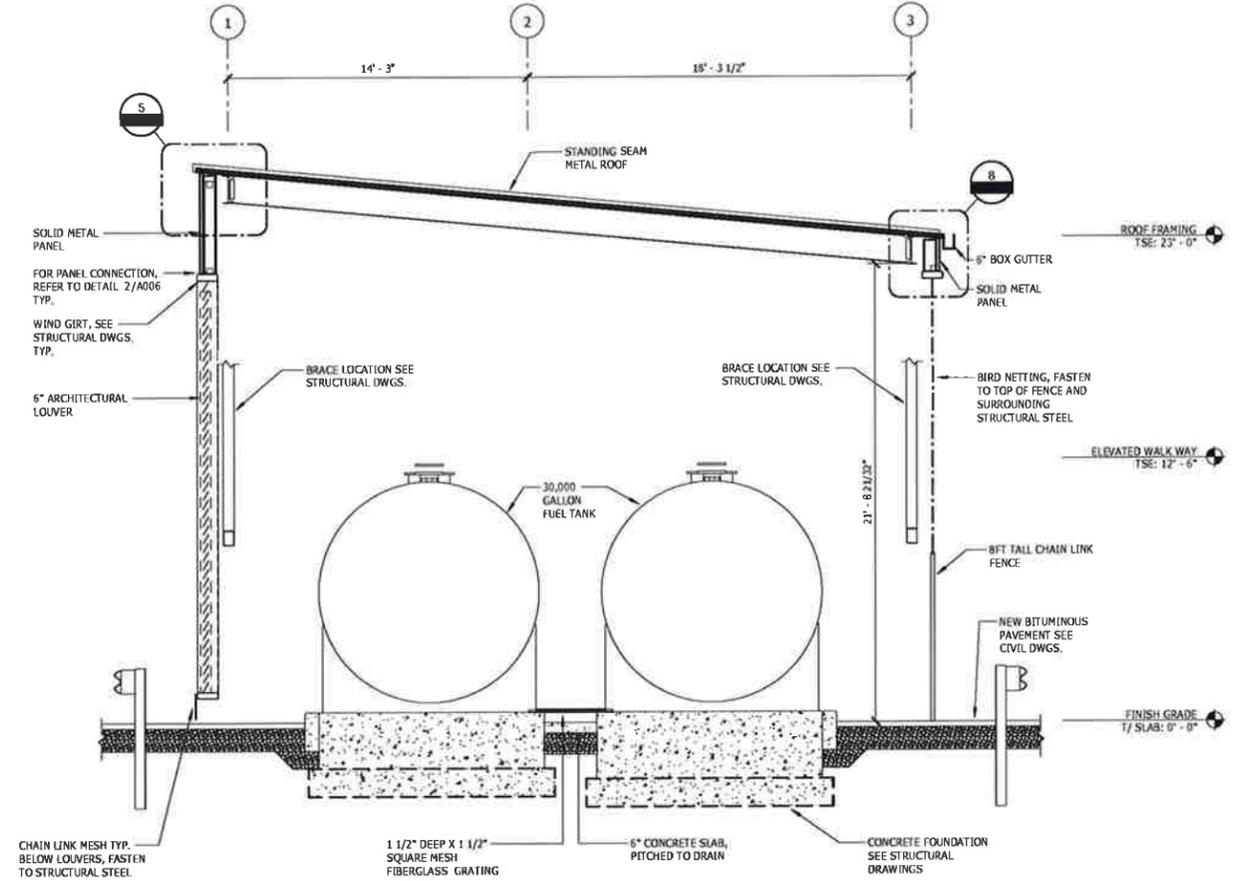


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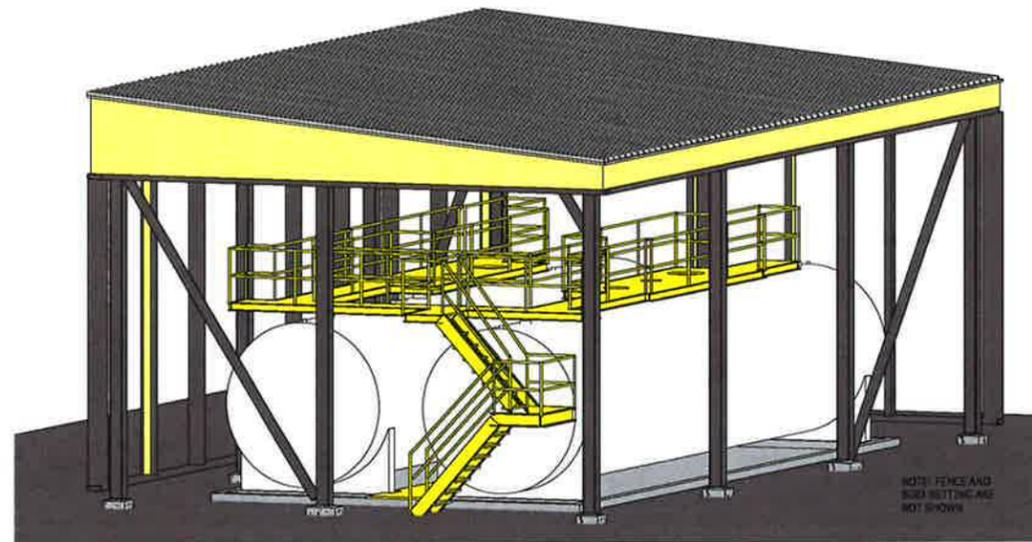
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3		ARCHITECTURAL ELEVATIONS	DATE		DESIGNED BY	KB	CHECKED BY	EGS
4		POWERHOUSE UST REMOVAL & REPLACEMENT OPTIONS	DATE	02/06/18	DESIGNED BY	EGS	CHECKED BY	EGS
5			DATE	02/06/18	DESIGNED BY	EGS	CHECKED BY	EGS
6			DATE		DESIGNED BY		CHECKED BY	
7			DATE		DESIGNED BY		CHECKED BY	
8			DATE		DESIGNED BY		CHECKED BY	
9			DATE		DESIGNED BY		CHECKED BY	
10			DATE		DESIGNED BY		CHECKED BY	



SECTION 1
 A004 Scale: 1/4" = 1'-0" (REFERENCE SHEET: A001)



SECTION 2
 A004 Scale: 1/4" = 1'-0" (REFERENCE SHEET: A001)



PERSPECTIVE VIEW
 A004 Scale:

G:\MISC\PROJECTS\060659 FUEL TANKS & SHELTER Revit\Shelter_A004.dwg 1_2019.rvt
 PLOTTED BY: RAS 2/17/2019 9:02:28 PM



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Loureiro Engineering Associates, Inc.
 100 Northwest Drive
 Plainville, Connecticut 06062
 Phone: 860-747-6181 / Fax: 860-747-8822
 An Employee Owned Company
 email: info@loureiro.com
 Curran No. 68966-59



Pratt & Whitney
 A United Technologies Company
 FACILITIES & SERVICES
 EAST HARTFORD, CT, 06108, U.S.A.

1	ADDENDUM NO. 1	02/15/19	KB	EGS
REV	DESCRIPTION OF REVISION	DATE	DESIGNED BY	APPROVED BY
			EH	POWER HOUSE
ARCHITECTURAL DETAILS		SHEET FUNCTIONAL LOCATION EHF1-FAC-01580		
POWERHOUSE UST REMOVAL & REPLACEMENT OPTIONS		PLANT LAYOUT (SHEET) FUNCTIONAL LOCATION		
DESIGNED BY	KB	DATE	02/06/18	
CHECKED BY	EGS	DATE	02/06/18	
DRAWN BY	EGS	DATE	02/06/18	
SHEET NO.	11	TOTAL SHEETS	31	
SCALE	1/4" = 1'-0"			

ATTACHMENT 3

MARCIA A. LECLERC,
MAYOR

TOWN OF EAST HARTFORD

Phone: 860 291-7300
Fax: 860 291-7298

740 Main Street
East Hartford, Connecticut 06108

DEVELOPMENT
DEPARTMENT

**CERTIFIED MAIL
RETURN RECEIPT REQUESTED**

February 15, 2018

James Wilkinson
McPrince LLC
400 Main St
East Hartford, CT 06118

RE: Town Planning and Zoning Commission
400 Main Street – Site Plan Modification
East Hartford, CT

Dear Sir or Madam:

This letter is to notify you of the results of the Town Planning and Zoning Commission meeting on February 14, 2018 regarding the following:

SITE PLAN MODIFICATION: 400 Main Street – Under section 702; removal of two 50,000 gallon underground low sulfur diesel storage tanks and replacement with two 30,000 gallon above ground tanks with new mechanical and electrical infrastructure for “Pratt & Whitney”.

Assessor’s Map-Lot: 20-45

Applicant: James Wilkinson, McPrince LLC

The Commission **Voted** to **approve** the above site plan modification application with the following conditions:

1. Final plans are to be signed and stamped (ink & impression) by the Professional Engineer, Land Surveyor or Architect licensed in the state of Connecticut who is responsible for the work.
2. In evaluating this application, the Planning and Zoning Commission has relied upon information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete, and/or inaccurate, this permit shall be modified, suspended or revoked.

Please contact me at 860-291-7301 if you should have any questions.

Sincerely,


Jeffrey Cormier
Town Planner

xc: Greg Grew, Director of Permits and Inspections
Eileen Buckheit, Director of Development
File

ATTACHMENT 4



Certificate of Mailing — Firm

Name and Address of Sender
Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

TOTAL NO. of Pieces Listed by Sender: 2

TOTAL NO. of Pieces Received at Post Office™: 2

Postmaster, per (name of receiving employee): [Signature]

APR - 5 2019
 HARTFORD, CT 06103 • USPS

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 Postmark with Date of Receipt.

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1.	Marcia A. Leclerc, Mayor Town of East Hartford 740 Main Street East Hartford, CT 06108				
2.	Jeffery Cormier, Town Planner Town of East Hartford 740 Main Street East Hartford, CT 06108				
3.					
4.					
5.					
6.					