



Connecticut Department of Energy and Environmental Protection License*

Structures, Dredging & Fill and Tidal Wetlands Permit

Licensee(s): William F. Hurley

Licensee Address(s): 725 Marshall Phelps Road
Windsor, CT 06095

License Number(s): 202209921-SDFTW

Municipality: Madison

Project Description: The retention of a newly constructed 2'6" x 159'3" walkway for residential boating access.

Project Address/Location: Circle Beach Road, Assessor Lot 11-8

Waters: Neck River

Authorizing CT Statute(s) and/or Federal Law: CGS Section 22a-28 to 35; CGS Section 22a-90 to 112; CGS Section 22a-365 to 379

Applicable Regulations of CT State Agencies: 22a-39-1 to 15, 22a-426-1 to 9

Agency Contact: Land & Water Resources Division,
Bureau of Water Protection & Land Reuse, 860-424-3019

License Expiration: On the date of issuance of this license.

Project Site Plan Set: Walkway Project, 5 sheets, prepared by Coastline Consulting & Development, last revised 8/25/2022.

License Enclosures: LWRD General Conditions - Retention Only; Land Record Filing; Site Plan Set

*Connecticut's Uniform Administrative Procedure Act defines License to include, "the whole or part of any agency permit, certificate, approval, registration, charter or similar form of permission required by law . . ."

Authorized Activities:

The Licensee is hereby authorized to conduct the following work as described in application # 202209921 and as depicted on any site plan sheets / sets cited herein:

1. Retain a 2'-6" x 159'-3" elevated timber walkway with 1" spaced decking boards and supported by twenty-one (21) 12" timber piles.

Failure to comply with the terms and conditions of this license shall subject the Licensee and / or the Licensee's contractor(s) to enforcement actions and penalties as provided by law.

This license is subject to the following Terms and Conditions:

1. **License Enclosure(s) and Conditions.** The Licensee shall comply with all applicable terms and conditions as may be stipulated within the License Enclosure(s) listed above.
- 2.

Issued under the authority of the Commissioner of Energy and Environmental Protection on:

Date



LWRD General Conditions - Retention Only

1. **Land Record Filing (for *Structures Dredging & Fill, Tidal Wetlands, Certificate of Permission, and Long Island Sound General Permit Licenses only*).** The Licensee shall file the Land Record Filing on the land records of the municipality in which the subject property is located not later than thirty (30) days after license issuance pursuant to Connecticut General Statute (CGS) Section 22a-363g. A copy of the Notice with a stamp or other such proof of filing with the municipality shall be submitted to DEEP.LWRDRegulatory@ct.gov no later than sixty (60) days after license issuance.
2. **Inspection.** The Licensee shall allow any representative of the Commissioner to inspect the project location at reasonable times to ensure that work is being or has been conducted in accordance with the terms and conditions of this license.
3. **Change of Use. (Applies only if a use is specified within the License “*Project Description*”)**
 - a. The work specified in the license is authorized solely for the purpose set forth in the license. No change in purpose or use of the authorized work or facilities as set forth in the license may occur without the prior written approval of the Commissioner. The Licensee shall, prior to undertaking or allowing any change in use or purpose from that which is authorized by this license, request permission from the Commissioner for such change. Said request shall be in writing and shall describe the proposed change and the reason for the change.
 - b. A change in the form of ownership of any structure authorized herein from a rental/lease commercial marina to a wholly-owned common interest community or dockominium may constitute a change in purpose as specified in paragraph (a) above.
4. **Maintenance.** The Licensee shall maintain all authorized structures or work in optimal condition or shall remove such structures or facility and restore the affected waters to their pre-work condition. Any such maintenance or removal activity shall be conducted in accordance with applicable law and any additional approvals required by law.
5. **Document Submission.** Any document required to be submitted to the Commissioner under the license or any contact required to be made with the Commissioner shall, unless otherwise specified in writing by the Commissioner, be directed to:

DEEP.LWRDRegulatory@ct.gov or

Regulatory Section
Land & Water Resources Division
Department of Energy and Environmental Protection
79 Elm Street
Hartford, Connecticut 06106-5127
860-424-3019

- 6. Date of Document Submission.** The date of submission to the Commissioner of any document required by the license shall be the date such document is received by the Commissioner. The date of any notice by the Commissioner under the license, including but not limited to notice of approval or disapproval of any document or other action, shall be the date such notice is personally delivered or the date three (3) days after it is mailed by the Commissioner, whichever is earlier. Except as otherwise specified in the license, the word “day” as used in the license means calendar day. Any document or action which is required by the license to be submitted or performed by a date which falls on a Saturday, Sunday or a Connecticut or federal holiday shall be submitted or performed on or before the next day which is not a Saturday, Sunday, or a Connecticut or federal holiday.
- 7. Certification of Documents.** Any document, including but not limited to any notice, which is required to be submitted to the Commissioner under the license shall be signed by the Licensee and by the individual or individuals responsible for actually preparing such document, each of whom shall certify in writing as follows: “I have personally examined and am familiar with the information submitted in this document and all attachments and certify that based on reasonable investigation, including my inquiry of those individuals responsible for obtaining the information, the submitted information is true, accurate and complete to the best of my knowledge and belief, and I understand that any false statement made in this document or its attachments may be punishable as a criminal offense.”
- 8. Accuracy of Documentation.** In evaluating the application for the license, the Commissioner has relied on information and data provided by the Licensee and on the Licensee’s representations concerning site conditions, design specifications and the proposed work, including but not limited to representations concerning the commercial, public or private nature of the work or structures, the water-dependency of said work or structures, its availability for access by the general public, and the ownership of regulated structures or filled areas. If such information proves to be false, deceptive, incomplete or inaccurate, the license may be modified, suspended or revoked, and any unauthorized activities may be subject to enforcement action.
- 9. Limits of Liability.** In granting the license, the Commissioner has relied on all representations of the Licensee, including information and data provided in support of the Licensee’s application. Neither the Licensee’s representations nor the issuance of the license shall constitute an assurance by the Commissioner as to the structural integrity, the engineering feasibility or the efficacy of such design.
- 10. Revocation/Suspension/Modification.** The license may be revoked, suspended, or modified in accordance with applicable law.
- 11. Other Required Approvals.** License issuance does not relieve the Licensee of their obligations to obtain any other approvals required by applicable federal, state and local law.
- 12. Rights.** The license is subject to and does not derogate any present or future property rights or powers of the State of Connecticut, and conveys no property rights in real estate or material nor any exclusive privileges, and is further subject to any and all public and private rights and to any federal, state or local laws or regulations pertinent to the property or activity affected

hereby.

13. Condition Conflicts. In the case were a project specific special condition listed on the license differs from, or conflicts with, one of the general conditions listed herein, the project specific special condition language shall prevail. It is the licensee's responsibility to contact the agency contact person listed on the license for clarification if needed prior to conducting any further regulated activities.

Land Record Filing*

To: DO NOT FILE

Signature and

NOTE: Due to the electronic delivery of this license and the legal requirement to have a live signature on this document, the “Land Record Filing” as detailed in General Condition #1 will be sent to the Licensee via U.S. Mail for the Licensee to file with the city/town clerk.

Date:

Subject: _____
License # _____

If you have any questions pertaining to this matter, please contact the Land & Water Resources Division at 860-424-3019.

~~Return to:~~

~~Land & Water Resources Division
State of Connecticut
Department of Energy & Environmental Protection
79 Elm Street
Hartford, CT 06106-5127~~

*The Licensee shall file the Land Record Filing on the land records of the municipality in which the subject property is located not later than thirty (30) days after license issuance pursuant to Connecticut General Statutes (CGS) Section 22a-363g. A copy of the Notice with a stamp or other such proof of filing with the municipality shall be submitted to the Commissioner no later than sixty (60) days after license issuance.



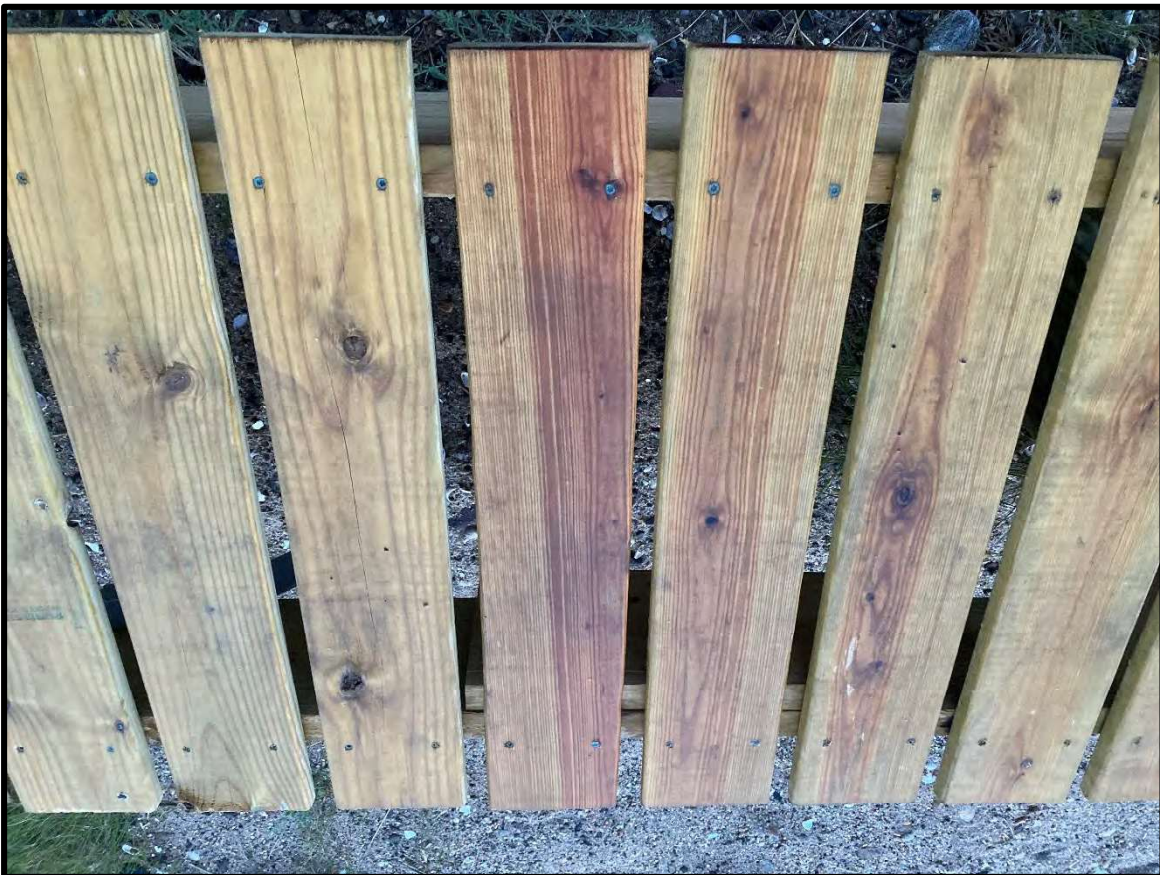
View of project site looking northwest.



View of project site looking north.



View of project site looking northwest.



View of decking board spacing.

WALKWAY PROJECT
CIRCLE BEACH ROAD, ASSESSOR LOT #11-8
MADISON, CONNECTICUT

DRAWING LIST

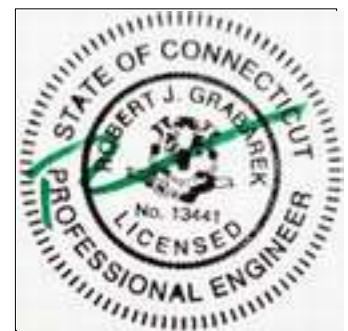
SHEET NO.	SHEET TITLE	ORIGINAL DATE	REVISION DATE	NOTES
1 OF 5	TITLE SHEET	8-25-2022		
2 OF 5	USGS TOPOGRAPHIC QAUDRANGLE MAP	8-25-2022		
3 OF 5	TAX ASSESSOR'S MAP	8-25-2022		
4 OF 5	EXISITNG/PROPOSED CONDITIONS PLAN	8-25-2022		
5 OF 5	ELEVATION A	8-25-2022		

PROJECT NOTES

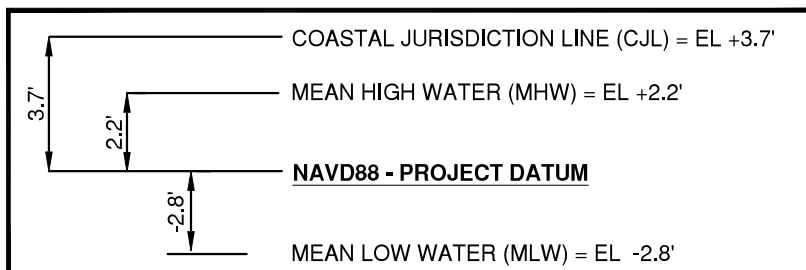
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - "TOPOGRAPHIC SURVEY, EXISTING CONDITIONS, HURLEY PROPERTY, CIRCLE BEACH ROAD, ASSESSOR LOT #11-8, MADISON, CONNECTICUT", CERTIFIED TO CLASS T-2 STANDARDS, DATED JULY 6, 2022, SCALE 1" = 20' AND CERTIFIED BY JAMES NAGLE, L.S., LIC. NO. 15195.
- BENCHMARK, TIDE LINES, AND UPLAND ELVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE C.J.L (COASTAL JURISDICTION LINE) ELEVATION OF 3.7' NAVD88 IS THE VALUE FOR MADISON, CT AS ESTABLISHED BY THE CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION.

GENERAL NOTES

- THESE DRAWINGS WERE PREPARED FROM RECORDED RESEARCH, FIELD OBSERVATIONS, DRAWINGS NOTED HEREON, AND OTHER SOURCES.
- THESE DRAWINGS ARE FOR PLANNING AND PERMITTING PURPOSES ONLY AND NOT INTENDED FOR STRUCTURAL DESIGN, BID DOCUMENTS, OR CONSTRUCTION.
- THE FEMA FLOOD LINES ARE DIGITIZED FROM A REFERENCE MAP NOTED HEREON, SHOWN TO SATISFY PERMIT REQUIREMENTS, AND NOT INTENDED FOR INSURANCE OR ELEVATION CERTIFICATE PURPOSES. BASE FLOOD ELEVATIONS ARE IN NAVD88.
- SITE MAY BE SUBJECT TO AND/OR TOGETHER WITH CERTAIN LITTORAL, RIPARIAN, OR OTHER RIGHTS AS PER THE RECORD MAY APPEAR. ANY UNDERGROUND AND/OR UNDERWATER UTILITY, STRUCTURE, AND FACILITY LOCATIONS DEPICTED AND/OR NOTED HEREON MAY HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE LOCATIONS OF WHICH ARE UNKNOWN TO COASTLINE CONSULTING & DEVELOPMENT, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL BEFORE YOU DIG: 1-800-922-4455.



TIDAL DATUM PLANE



Coastline Consulting & Development
 57-B East Industrial Road, Branford, CT 06405
 (203) 433-4486

TITLE SHEET
WALKWAY PROJECT

HURLEY PROPERTY
 CIRCLE BEACH ROAD, ASSESSOR LOT 11-8
 MADISON, CONNECTICUT

8-25-2022

JOB NO. 20-113

SHEET 1 OF 5



Coastline Consulting & Development
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 (203) 433-4486

USGS TOPOGRAPHIC QUADRANGLE MAP
 WALKWAY PROJECT

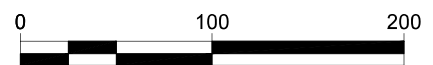
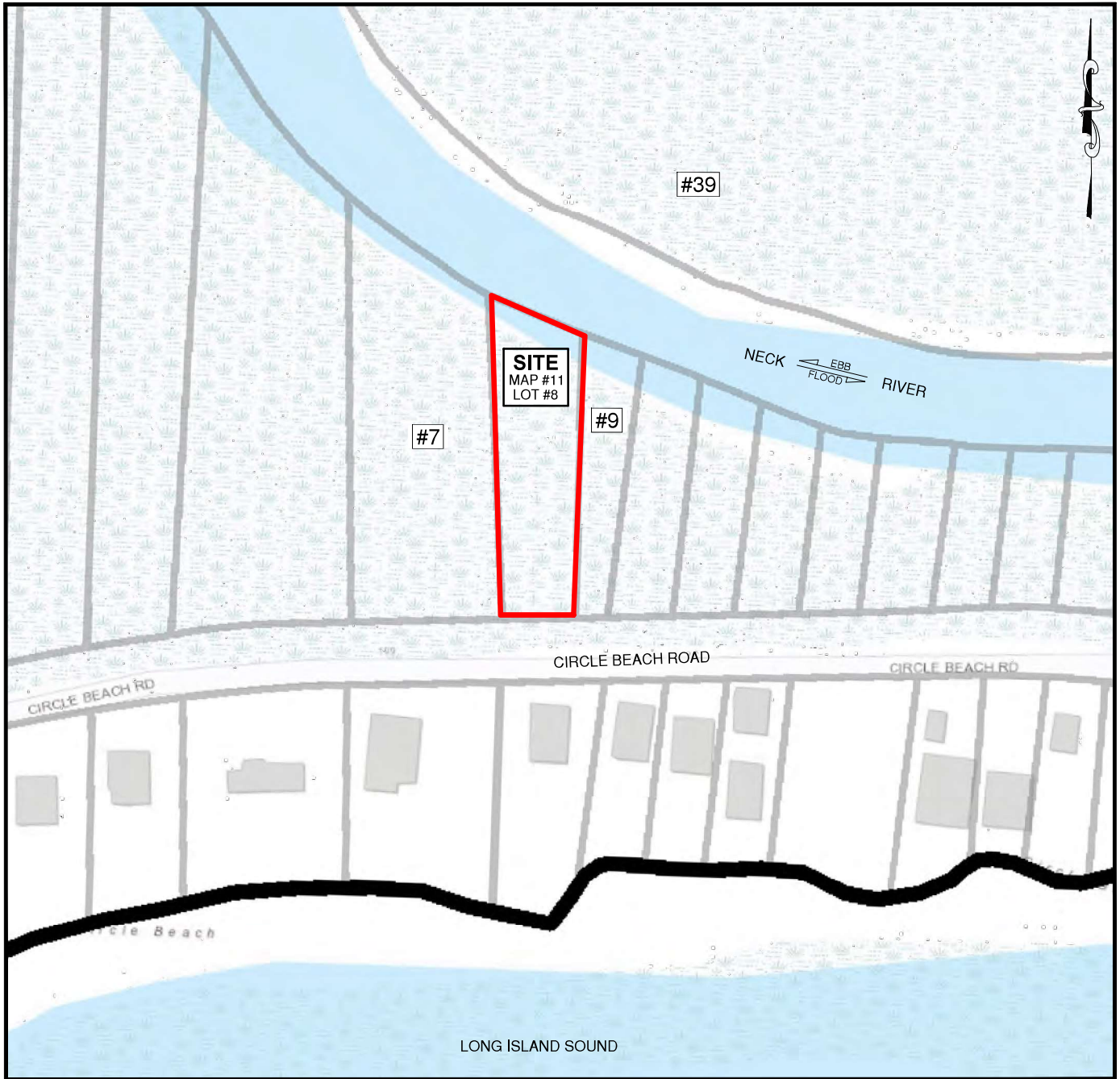
HURLEY PROPERTY
 CIRCLE BEACH ROAD, ASSESSOR LOT 11-8
 MADISON, CONNECTICUT

NOTE: MAP TAKEN FROM TOPO, INC., 7.5 MINUTE USGS TOPOGRAPHIC MAPS OF THE GUILFORD, CONNECTICUT, QUADRANGLE, 1960 (PHOTO INSPECTED 1976, PHOTO REVISED 1984).

8-25-2022

SCALE: 1 = 24,000

SHEET 2 OF 5



ADJACENT WATERSIDE PROPERTY OWNERS				
LOT #	MAP #	PROPERTY OWNER	PROPERTY ADDRESS	MAILING ADDRESS
#7	#11	ANDREW S. GARFUNKLE ET. ALS.	CIRCLE BEACH ROAD MADISON, CT 06443	41 BEAU STREET NORWALK, CT 06850
#9	#11	BRIAN LANGILLE & MARILYN LANGILLE	CIRCLE BEACH ROAD MADISON, CT 06443	24 RIDGEWOOD AVE MADISON, CT 06443
#39	#11	MADISON LAND CONSERVATION TRUST	SALT MEADOWS MADISON, CT 06443	PO BOX 561 MADISON, CT 06443

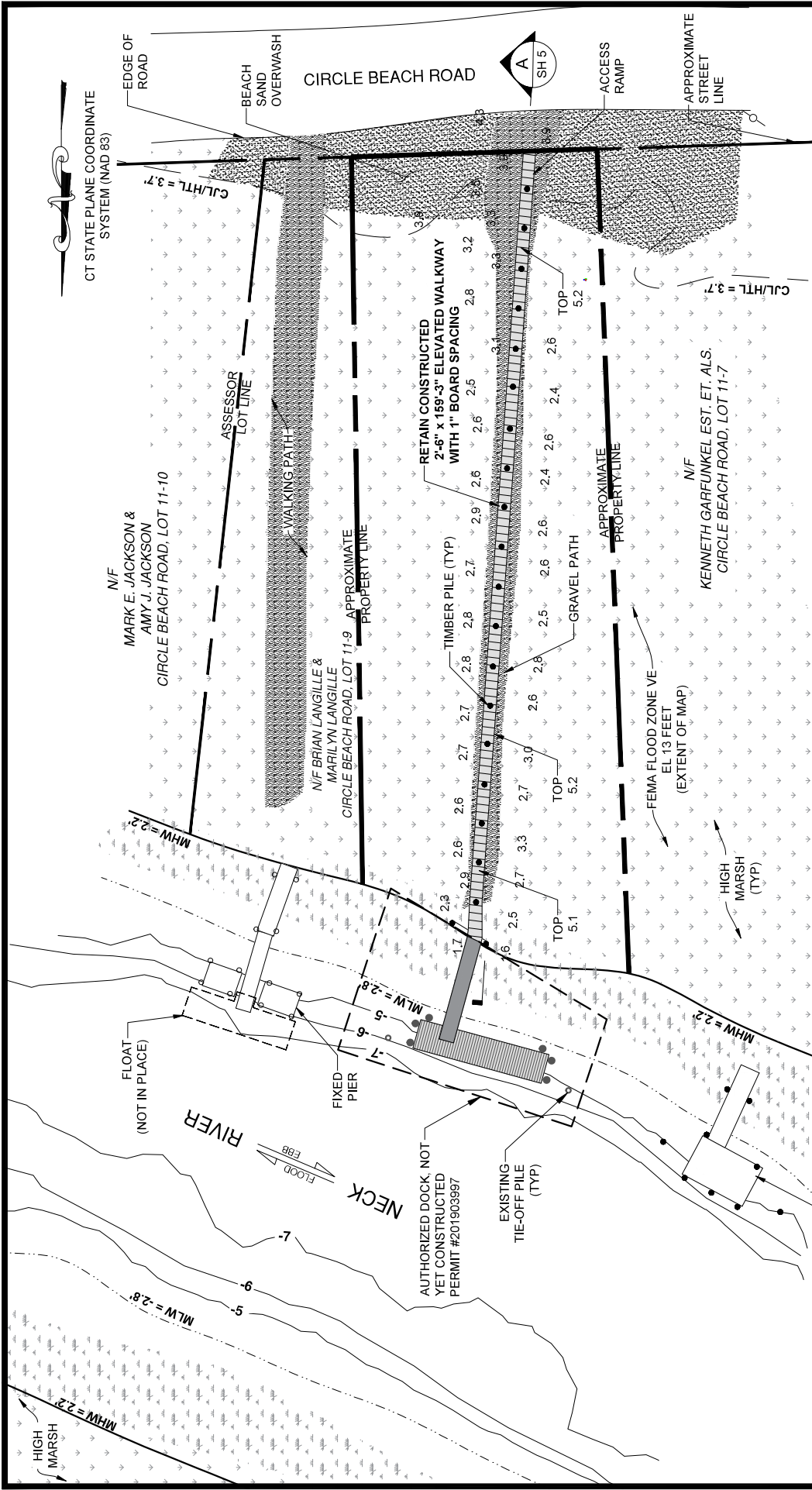
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 57-B East Industrial Road, Branford, CT 06405
 (203) 433-4486

TAX ASSESSOR'S MAP
 WALKWAY PROJECT

HURLEY PROPERTY
 CIRCLE BEACH ROAD, ASSESSOR LOT 11-8
 MADISON, CONNECTICUT

8-25-2022 SCALE: 1" = 100' SHEET 3 OF 5

NOTE: REFERENCE IS MADE TO TOWN GIS MAPPING
<http://scrcog.mapxpress.net/gcx/>.



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EXISTING/PROPOSED CONDITIONS PLAN
 WALKWAY PROJECT

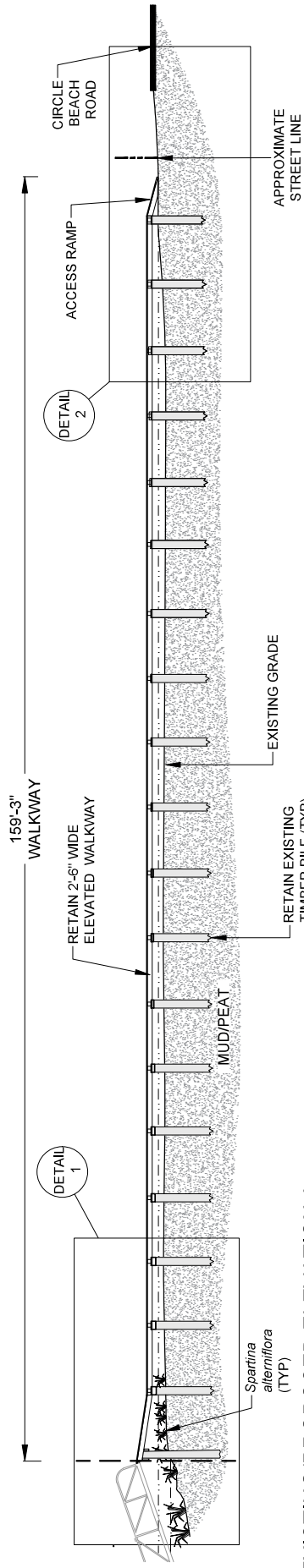
HURLEY PROPERTY
 CIRCLE BEACH ROAD, ASSESSOR LOT 11-8
 MADISON, CONNECTICUT

8-25-2022 SCALE 1" = 30' SHEET 4 OF 5

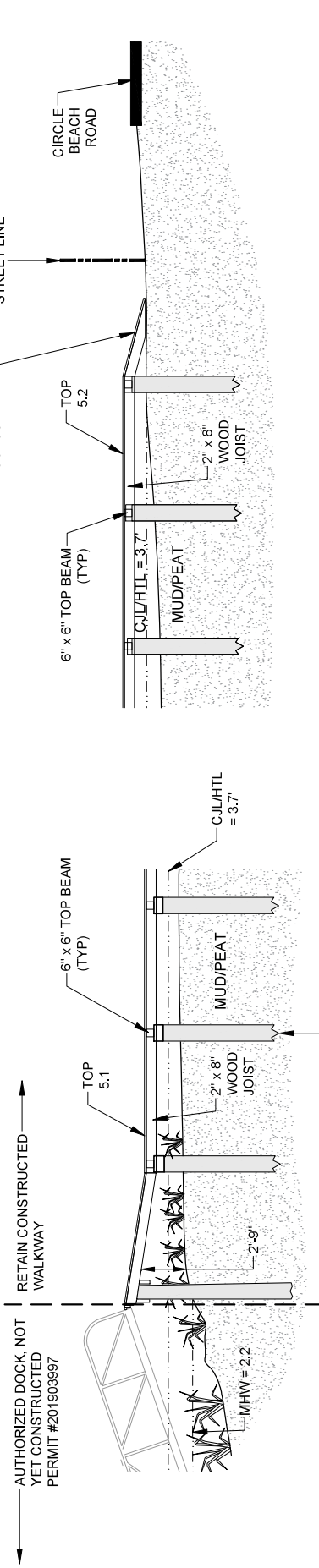
LEGEND

MLW	=	MEAN LOW WATER
MHW	=	MEAN HIGH WATER
CJL	=	COASTAL JURISDICTION LINE
HTL	=	HIGH TIDE LINE
8.9	=	SPOT ELEVATION
N/F	=	NOW/FORMERLY
TYP	=	TYPICAL



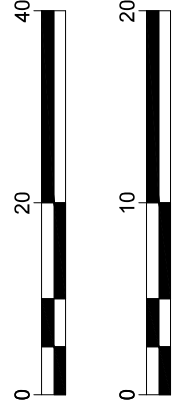


EXISTING/PROPOSED ELEVATION A
SCALE 1" = 20'



DETAIL 1
SCALE 1" = 10'

DETAIL 2
SCALE 1" = 10'



REFER TO NOTES ON SHEET 1.

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ELEVATION A
WALKWAY PROJECT

HURLEY PROPERTY
CIRCLE BEACH ROAD, ASSESSOR LOT 11-8
MADISON, CONNECTICUT

8-25-2022 SCALE AS NOTED SHEET 5 OF 5